



## PLAN COMMISSION

November 14, 2017  
6:00 P.M.

### Common Council Chambers

8040 S. 6<sup>TH</sup> Street  
Oak Creek, WI 53154  
(414) 766-7000

Daniel Bukiewicz - Chair  
Dawn Carrillo  
Chaucey Chandler  
Patrick Correll  
Chris Guzikowski  
Brian Johnston  
Gregory Loreck  
Fred Siepert  
Walter Dickmann  
Edward Ciechanowski - ex-officio  
Doug Seymour - ex-officio

### The City's Vision

*Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.*

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – October 24, 2017
4. Significant Common Council Actions
5. New Business
  - a. CERTIFIED SURVEY MAP - Review a certified survey map submitted by John Thomsen, Somerstone, LLC, combining the properties at 7705, 7725, 7751, 7831, and 7869 S. 13<sup>th</sup> St. (Tax Key Nos. 784-9020-001, 784-9019-000, 784-9003-000, 784-9001-000, 784-9993-001). Follow this item on Twitter **@OakCreekPC#OCPCSomerstoneCSM**.
  - b. REZONE – Review a request by submitted by John Thomsen, Somerstone, LLC, to rezone the properties at 7705, 7751, and 7831 S. 13<sup>th</sup> St. from Rs-3, Single Family Residential to B-4, Highway Business (Tax Key Nos. 784-9020-001, 784-9003-000, and 784-9001-000). Follow this item on Twitter **@OakCreekPC#OCPCSomerstoneR**.
  - c. PLAN REVIEW – Review site and building plans submitted by Samuel Dickman, Jr., 4545 LLC, for a multitenant industrial building on the property at 10651 S. Oakview Parkway. (Tax Key No. 955-1023-000). Follow this item on Twitter **@OakCreekPC#OCPC4545Plan**.
  - d. CONDITIONAL USE PERMIT - Review a request submitted by Samuel Dickman, Jr., 4545 LLC, for a Conditional Use Permit for freight yard/freight terminal/trans-shipment depot uses on the property at 10651 S. Oakview Parkway. (Tax Key No. 955-1023-000). Follow this item on Twitter **@OakCreekPC#OCPC4545CUP**.
  - e. AFFIDAVIT OF CORRECTION - Review an Affidavit of Correction submitted by Susan Sorrentino, SBR Law Group, LLC, for the properties at 9900 and 9941 S. Ridgeview Dr. (Tax

NOV 10 AM 9:15

Key No. 926-9028-000 and 926-9029-000). Follow this item on Twitter **@OakCreekPC#OCPCAffidavit.**

- f. REZONE – Review a request by Chris Nicholson, Zund America, Inc., to rezone the property at 8142 S. 6<sup>th</sup> St. from B-4, Highway Business to DTSMUPDD, Drexel Town Square Mixed Use Planned Development District (Tax Key No. 813-9039-000). Follow this item on Twitter **@OakCreekPC#OCPCZundRezone.**
- g. PLAN REVIEW - Review site and building plans submitted by Lonnie Spicer, Harrison French & Associates on behalf of Love's Corporation, for an addition to the existing tire shop on the property at 9650 S. 20<sup>th</sup> St. (Tax Key No. 904-9000-001). Follow this item on Twitter **@OakCreekPC#OCPCLoves.**
- h. ZONING TEXT AMENDMENT – Review an amendment to the definition of beauty shop in Chapter 17 of the City's Zoning Ordinance. Follow this item on Twitter **@OakCreekPC#OCPCBeauty.**
- i. ZONING TEXT AMENDMENT – Review an amendment to the required setbacks in Section 17.03170(g) of the City's Zoning Ordinance. Follow this item on Twitter **@OakCreekPC#OCPCLm1.**

Adjournment.

Dated this 10th day of November, 2017  
Posted 11/10/2017 (sg)

**Public Notice**

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6<sup>th</sup> Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice

**DRAFT MINUTES OF THE  
OAK CREEK PLAN COMMISSION MEETING  
TUESDAY, OCTOBER 24, 2017**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Dickmann, Commissioner Johnston, Commissioner Carrillo, Commissioner Loreck, Alderman Guzikowski, Commissioner Correll, Commissioner Siepert and Commissioner Chandler. Also present: Kari Papelbon, Planner; Pete Wagner, Zoning Administrator/Planner; and Mike Kressuk, Assistant Fire Chief.

**Minutes of the October 10, 2017 meeting**

Commissioner Dickmann moved to approve the minutes of the October 10, 2017 meeting. Commissioner Siepert seconded. On roll call: all voted aye, except Alderman Guzikowski and Commissioner Correll abstained. Motion carried.

**CONDITIONAL USE PERMIT  
STORAGEWERKS, LLC  
1901 E. RAWSON AVE.  
TAX KEY NO. 768-9015-000**

Planner Papelbon provided an overview of the request and staff concerns (see staff report for details.)

Andrew Reahm, StorageWerks, LLC, 161 W. Wisconsin Ave., Suite 2J, Pewaukee, WI stated that he feels there are a lot of misunderstandings in the way this was reviewed and comments that were made to things that are applicable and not. Mr. Reahm stated that they are looking for a conditional use approval and comments regarding landscaping, bush designs, tree designs, placement, density, sizes and those types of details would come up at a later time once the conditional use permit is approved.

Mr. Reahm stated that as far as the assessment, he is mixing two different types of storages uses, whereas this development is being compared to a two-story, climate-controlled, all indoor type of storage facility. This is not that type of facility. That is more of an urban-type dense type unit. His clientele would be storing boats, trailers, ATV's and larger pieces of furniture; things that you would not take through hallways and corridors. Mr. Reahm stated that he doesn't know if it is a fair comparison to say that that is a type of facility that they should be because that is a totally different business model and clientele. Mr. Reahm stated that is difficult to respond to staff's assessment as a whole because it doesn't really compare to what they are asking for.

Mr. Reahm stated that as far as building materials, this is comparable to a commercial building in terms of how they are built. They will be using masonry and natural materials. These will not be tin buildings.

Mayor Bukiewicz stated that the 24-hour per day operation is unacceptable.

Jim Nelson, 7222 S. Delaine Dr., requested that his comment be publically read. It is as follows:

*"Pave paradise and put up a parking lot."*

Dana Merkel, 7238 S. Delaine Dr. requested that her comment be publically read. It is as follows:

*"I oppose the storage unit for the proximity to our homes, the changes to the green space and the nocturnal light pollution."*

Lonnie Benning, 7254 S. Delaine Dr., speaking on behalf of the Camelot Trails Condominium Association property owners, stated she concurs with the Planner. She was confused to see that this was not the layout of the property which had been divided into two. Now it is back to the old configuration. Also, she was surprised at the type of storage that they are proposing. She noted that the consulting letter on Page 3 from Wetland Waterway did comment about the Army Corps of Engineers, even though the DNR apparently gave some agreement. There were some wetland areas labeled on the maps. She did not see anything on there from the Army Corps of Engineers, so she was glad to see that.

Ms. Benning stated that she is very concerned about the buffer between this development and the residential condominiums. This is not what was laid out in prior meetings.

Ms. Benning stated that one of the huge concerns is the lighting wattage because this is within 50' of the backyards of the homes, which is the patio of the homes.

Ms. Benning stated that the business hours are a huge concern. Twenty-four/seven with cars driving; the whole thing is a paved parking lot and not what they anticipated.

Ms. Benning stated that she has questions about the detention basin. She is not adverse to it being there, because it may be needed. The size is not necessarily the issue, but certainly the aeration of it is a question they would like to know about in terms of what it breeds, and the safety of it in terms of it being fenced in.

Ms. Benning stated that the amount of paving is going to lead to quite a bit of runoff.

Ms. Benning stated that they had hoped to hear from Mr. Frede and he did contact them and offered to sell the homeowners association a portion of the property for \$400,000, which they do not have. He also indicated to Ms. Benning that he had DNR approval. They didn't have any word from the people who do own this business.

Joan Liempeck, 2205 E. Excalibur Ct., requested that her comment be publically read. It is as follows:

*"Do not want the property values to go down."*

Marlene Klug, 7252 S. Delaine, requested that her comment be publically read. It is as follows:

*"When making decisions, please consider current longtime residents."*

Renee Steinbeck, 7286 S. Delaine Dr., requested that her comment be publically read. It is as follows:

*"I'm concerned about the amount of lights being installed, and also the water runoff for the homes in that area."*

Jennifer Heagle, 6976 S. Rolling Meadows Ct., requested that her comment be publically read. It is as follows:

*"2 part questions: is this the same LLC that tried to build a storage facility in Mukwonago? What was outcome? Pass or fails why?"*



David Howard, 7237 S. Delaine Dr., Unit 5, stated he does not want this development to lead to a slum condition. He has seen storage facilities that had a blue roof on them and they actually look pretty nice, but he doesn't expect to have that quality, but it would be nice if it didn't lead to a slum area.

Jim Krueck, 7254 S. Delaine Dr., stated that he is opposed to the development. He is concerned about the impact on property values in the surrounding area. He stated that the retention basin is huge. He has concern about smells, bugs, runoff especially concerning his property, which is right next door to this.

Mr. Krueck stated that the traffic 24/7 would be an issue and referenced the impact of the lights from Piggly Wiggly, which is just north of him. There are three huge lights that shine directly into their yards. He has a concern that this would be repeated and they would have lights shining from the north and the west. Mr. Krueck stated that the staff report was very complete and probably addresses any other issues that he may have.

First District Alderman Steve Kurkowski, 1110 E. Milwaukee Ave., Oak Creek, WI, stated that he didn't find any positive comments in the staff report. Back when this entire project started, he received complaints about what was going on there. The new owners had started to do some work on the property and had gotten permission from the County. He stated that there is property off of Rawson Avenue that requires permission of the City to alter. Someone from the City's Engineering Department had to go over there and tell them to stop what they are doing.

Alderman Kurkowski stated that as far as lack of contact with the neighbors, he did suggest that that happen and there was a meager attempt by the developers/owners to do that. He mentioned this because he had concerns by the neighbors for the apartment development at Pennsylvania and Drexel. The developers met with the neighbors and there were a lot of concerns. There might have been 12 to 15 different problems that the neighbors had with the development. They addressed every concern that the neighbors had. To this day, he has not received any calls from any of the neighbors that the developers are going back on anything that they are doing. They are working things out with the abutting property owners and that doesn't seem to be the case now.

Alderman Kurkowski stated that the property was rezoned LM-1 so that there could be some condo-type development with the self-storage. He stated that he is aware that self-storage is allowed in the LM-1 zoning, but he specifically voted to make this LM-1 to accommodate the split in the properties. Now this has gone back to just having a self-storage facility and the changes that have occurred here are frustrating and worrisome. Alderman Kurkowski stated that this creates serious concerns about the transparency of the developer and the commitment to going forward with what they really want to do. Even though this was allowed to be rezoned to LM-1, he did have concerns at the time of the vote that he didn't like what he was seeing. After reading the Plan Commission report, he feels worse about this

Alderman Kurkowski stated that given the nature of the staff report with numerous concerns about this development, the developer still has come forward to say they would still like to go forward with their model and matters of concern such as buffers and landscaping can be discussed at a later time. Alderman Kurkowski stated his concurrence with Mr. Reahm that they are back at square-one. He stated that he would like when someone comes forward to decide what they want to build (with as much opposition as there is to this) to try and cover all the bases, have everything worked out, and not have a staff report that has so many open-ended questions and concerns. He still does not know what the developer's model is.

Alderman Kurkowski stated he is not happy with this because of everything in the staff report. The developer has not worked with the neighbors to try and rework this so that everyone can be happier or at least live with what they want to do.

Alderman Kurkowski stated that his request is to deny the conditional use permit. Let the developer come back at square one. Now they have an entire piece of property to put this self-storage facility on because the property is not being split.

Commissioner Correll stated his concern about the neighbors' opposition for a variety of reasons to this development (and staff concerns) and that this development, as presented, is not even close to being able to make it fit. Planner Papelbon responded that in every conditional use request, there is a requirement for conceptual plans. In this case, because there are specific concerns with regard to what is going on with the property, every concern that has been raised is appropriate. Things such as architectural standards can be handled at a later date, but staff has ultimate concerns regarding the development of the property. It is not just the architecture. Planner Papelbon stated that her comparisons to other self-storage facilities that have come before the City have incorporated those traditional types of self-storage units in addition to the indoor facilities. It is a combination of self-storage uses that have been brought forward recently.

Planner Papelbon stated that as far as the landscaping details, they will be reviewed at a later date. However, if the concept does not even take into consideration the Code requirements and the plans don't show that there is going to be enough room for the type of landscaping that would need to go in, that is a concern. All of these things could be incorporated into conditions and restrictions, which is why they are being brought up at this time. There are certain things that are handled at a later date for Plan Commission review; however, the requirements for compliance are incorporated into conditions and restrictions.

Commissioner Correll asked if the applicant will want to go back and look at this development again considering it will be on a larger parcel since the property is not going to be split. Planner Papelbon clarified that this has always been two lots. What was presented for the Plan Commission and Council's consideration back in May was a reconfiguration of the two lots, which is no longer being pursued. That was where staff was saying this is a complete change from what was presented. Additionally, what was originally presented said indoor climate controlled and ambient-controlled storage facility, which lead the City to believe that these are going to be indoor units or at least a combination. When the rezone and CSM were presented, they were presented with the rationale that the lots as currently configured weren't usable. If they weren't usable then, why are they suddenly usable now? There was an overall development plan for both of the lots at the time of rezone and CSM, which they no longer have. So again, it is the holistic viewpoint of what is going to happen for both of these developments. That is not necessarily what is going to happen with this conditional use because it is just for one of the lots. It is still a consideration that staff has because it was presented as an overall development plan originally.

Commissioner Correll stated that this development, as presented, is not even close to being considered. Mayor Bukiewicz concurred because there is a lot going on from what was originally proposed. Mayor Bukiewicz stated he does not feel it is appropriate to go forward with this plan.

Commissioner Siefert concurred with Commissioner Correll because of his concerns that they are only dealing with one lot and what would happen to the other lot. That empty lot could be vacant for many years and not developed. He would like to see an idea as to what is going to be proposed of the whole concept of lots 1 and 2, and not just break it off and leave a piece hanging.

Commissioner Siefert stated his concern with the staff report regarding the criteria not being met that the City established as far as a quality development.

Commissioner Chandler asked the applicant to provide more information on why the reconfiguration is not being pursued.

Michael Frede, 4191 Lakeland Dr., Nashotah, WI stated he feels there is a total misunderstanding on the concept of the division of the lot. The CSM that was reviewed and approved that reconfigured the two lots is still being pursued. The issue was that in order to record the new CSM, they needed to get the signature of the current property owner, since they don't own the property yet, and because there is a mortgage on the property. They needed to get a signature of the mortgage holder. The current property owner signed the new CSM, but the mortgage holder, would not sign the new CSM because it could affect the value of the property which is the two-lot configuration that currently exists. They attempted to record the new CSM, but were blocked because of the mortgage holder of the current property owner. At that time, they decided to work through an approval process and get to the point that they could actually purchase the property. That removes the mortgage holder from the equation and then as the new property owner, they could sign the new CSM and get it recorded. Mayor Bukiewicz asked if the City is being asked to approve something that may never happen. Mr. Frede stated that if the conditional use is approved and they can purchase the property, then they have control and they can record the new CSM.

Mr. Frede stated that what they did with the original concept, they were looking at the two lots and it was going to be self-storage on the east lot and commercial condominiums on the west lot. Based on initial feedback that there were concerns about the self-storage units being constructed next to the condominium development to the east, the decision was made to put the self-storage facility on the western lot further away from the residential area. Then they would create greenspace adjacent to the residential condominiums, and then look at doing the commercial condominiums on the northern half of the eastern lot. Mr. Frede stated that they are not far enough along in the design process to present the commercial condominiums on the north half. They have a preliminary plan to do that. So the plan is the same that has been submitted since the very beginning. The main difference is that the storage units have been shifted further away from the residential. The civil engineers attempted to create more greenspace between the residential condominiums and where the commercial buildings would be. At this point, they need to know that they can move forward before they will purchase the property.

Alderman Guzikowski asked why the applicant has not had a chance to reach out to the neighbors, as that was a request of the Plan Commission the last time they were before the Commission. Mr. Frede stated he is not the self-storage developer so it is not up to him to engage the neighbors. His job was to look at rezoning the property and it was at the request of the City to rezone it LM-1. Mayor Bukiewicz stated that the City didn't request the zoning to be changed; the property owner would have to request the change in zoning or real estate holding company representing the property owner.

Mr. Reahm stated that from his perspective the plan has not changed. This has always been a storage facility type use. It has always had aisle ways and a setup similar to that. Whether the buildings are running north/south, east/west, the concept is the same where you have linear buildings, alleyways in between, garage door access through a drive-to scenario, and security-gated access. He stated that the linear buildings could also be climate-controlled with separate drive-up access.

Mr. Reahm stated that he meant no disrespect to any of the neighbors by not reaching out to them. However, if the contact was made prematurely with a tentative plan and then he goes before Plan Commission and it changes, the initial meetings would be a waste of everyone's time.

Commissioner Correll stated he does not have a problem with a storage facility on that site. He has a problem with what has been specifically proposed so far. Commissioner Correll stated that this is a difficult site. He thinks that with the second piece coming, it ties it together. Commissioner Correll stated there are a lot of concerns about how this storage facility becomes the one that the Plan Commission would approve.

Commissioner Dickmann stated the concerns that have been brought up have been very pertinent. He has concerns as to whether this storage unit development will even occur.

Planner Papelbon responded that she understood there was an issue with getting the CSM signed by the mortgage holder. Her understanding is that until that is figured out, the applicant is not going to pursue the CSM - they are just going forward with the current configuration and proposal because the developer wants to get started on the self-storage. While staff still had concerns and questions, the direction was to put it to the Plan Commission as proposed. Planner Papelbon stated that she does not have any level of assurance that these proposed plans fit in with that proposed CSM. Until she knows that, she doesn't know how she can incorporate a condition of approval that says the CSM has to be recorded prior to developing this lot.

Mayor Bukiewicz concurred with Planner Papelbon and is not in favor of going that route. He stated that there are a lot of things that the City does not know about this development and they are being expected to make a decision based on what is not known. Planner Papelbon stated that it was a misunderstanding from the mortgage holder's perspective about what it was they were being asked to sign. When Planner Papelbon spoke to them, they seemed to be clear on it and that was the last she heard about it. Planner Papelbon stated her understanding is that they are abandoning the CSM and they are going to pursue the lot configuration as is. If the CSM is still going to be pursued, staff needs to have some assurance that this plan fits in with that proposed CSM.

Planner Papelbon clarified that moving the self-storage portion to the west makes more sense. Mayor Bukiewicz agreed; however, he has his doubts given the number of proposed units that the applicant can meet the masonry standards.

Commissioner Dickmann stated there are too many open items for him to feel comfortable voting on this.

Commissioner Johnston stated that the wetland issue is because there is a man-made pond on the site. It is their determination that they can fill that in. That creates grading issues with the long narrow buildings going down a steep slope. A stormwater pond is needed for this site. Anything development with over ½-acre of impervious surface requires a detention pond. That will contain the water from the site, slow the water down so that is good for the site and the neighbors. Commissioner Johnston added that aerators are not required.

Michael Beaumont, 9720 W. National Ave., West Allis, WI stated he and his family started this business over 30 years and it was all about the neighbors. He urged the applicant to communicate with the neighbors.

Discussion ensued on which course of action to take with regard to holding this item or making a motion for approval and having it fail the vote. Mr. Reahm stated he would prefer to hold this item rather than have the motion for approval fail at the voting level.

Mr. Frede asked if they can get the mortgage holder to sign the CSM, what items would be outstanding for this approval. Commissioner Correll responded that the building components, landscaping, layout and working out all the things in the staff report would get a more favorable response.

Mayor Bukiewicz stated that he would like this item held.

Mr. Howard came back up to the podium to ask about the CSM. Planner Papelbon responded that the property is currently two lots. The certified survey map would reconfigure those two lots so they are more equal-sized and linear. Right now the lot that is being proposed for the development of the storage is an L-shaped lot with the remainder being a smaller portion. This CSM would make the lots more regular. They would be two rectangles of roughly equivalent size.

Mayor Bukiewicz declared this item HELD.

**PLAN REVIEW  
BLIFFERT LUMBER  
6826 S. 10<sup>TH</sup> ST.  
TAX KEY NO. 735-9998-004**

Planner Papelbon provided an overview of the request (see staff report for details.)

Josh Brown, 6826 S. 13<sup>th</sup> St., stated that right now they do have asphalt shingles and they are open to doing a metal roof like they did at the building on 13<sup>th</sup> Street. The materials are very similar to what the City approved for the building on 13<sup>th</sup> Street, minus the cedar upper that they have on that building. Planner Papelbon clarified that staff does not have a preference for shingles vs. metal roof. It was mentioned because there was a conflict in the plans.

Commissioner Siepert asked what will be performed in the cutting room. Mr. Brown stated that the room will have a table saw and mitre box in it. Commissioner Siepert asked if the break room will be separate from the cutting area. Mr. Brown responded that the office and restroom will be completely separate from the cutting room. There will be two overhead doors that will open and a dust collector, so when the cutting is taking place, there will not be any hazardous materials.

Commissioner Chandler asked where the cutting operations are being moved from. Mr. Brown responded that the table saw was in one building and the chop saw was in another building; they are trying to consolidate.

Commissioner Chandler asked if there were renderings available. Mr. Brown responded no, but this building will be mostly gray with the trim color unknown at this time. However, the building will be consistent with their location on 13<sup>th</sup> Street.

Commissioner Dickmann stated that since there will be so little visibility from the street, he is fine with what is proposed. Mayor Bukiewicz concurred.

Commissioner Loreck moved that that the Plan Commission approves the site and building plans for the yard office & cutting room building located at 6826 S. 10<sup>th</sup> St., with the following conditions:



1. That all building and fire codes are met.
2. That all revised plans (site, building, lighting details, elevations, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.
3. That all mechanical equipment (ground, building, and rooftop) is screened from view.
4. That the final site grading, and drainage plans are approved by the Engineering Department.
5. That the final photometric and lighting plan is approved by the Electrical inspector prior to the issuance of building permits.
6. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**CERTIFIED SURVEY MAP**

**WALDEN OC, LLC**

**1700, 1750, 1800, 1816, 1848, 1850 AND 1900 W. DREXEL AVE.**

**TAX KEY NOS. 784-9010-001, 784-9009-001, 784-9008-000, 784-9994-001, 784-9016-000, 784-9014-000, 784-9013-000, & 784-9024-000**

**7700 S. IKEA WAY**

**TAX KEY NO. 784-9024-000**

Planner Papelbon provided an overview of the request (see staff report for details.)

Commissioner Loreck asked if this will land-lock this property with no access along Drexel Avenue. Planner Papelbon responded that the driveway access will be for residential purposes and at such time that the property would be proposed to be used for something other than residential, that would be something that staff would have to work with them to resolve.

Mayor Bukiewicz stated that the WisDOT traffic analysis is recommending having “no access” on Drexel Avenue, except for Ikea Way. The City wants to give the applicant ample time to conduct an engineering study to see if it would be feasible because they would like to obtain an entrance on Drexel. Mayor Bukiewicz stated that our recommendation is to follow the state and allow those accesses. In this case, it is only fair to take a look at their properties for possible developments to see if it is accessible through Ikea Way. Mayor Bukiewicz stated he would like condition #1 stricken that says, “*That the CSM is revised to incorporate the “no access” restriction along Drexel Avenue for all parcels.*”, and that it can be addressed at the Common Council level at another time. Commissioner Johnston stated that Engineering staff is concerned with this and this is a safety issue for Drexel Avenue. It does not meet sight distances, reaction times for getting off the expressway ramp and getting into Ikea Way. Engineering is all aboard with no access on Drexel Avenue

Commissioner Correll moved that the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by Kevin Kennedy, Walden OC, LLC for the properties at 1700, 1750, 1800, 1816, 1848, 1850, & 1900 W. Drexel Ave. and 7700 S. Ikea Way be approved, subject to the following conditions:

1. That the CSM is revised to incorporate the “no access” restriction along Drexel Avenue for all parcels.
1. That the CSM is revised to incorporate all wetlands and floodway/floodplain areas.
2. That all unused laterals are abandoned at the main in conformance with Oak Creek Water and Sewer Utility requirements.



3. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Commissioner Siepert seconded. On roll call: all voted aye, except Commissioner Johnston. Motion carried.

#### **REZONE**

##### **WALDEN OC, LLC**

**1700, 1750, 1800, 1816, 1848, 1850 AND 1900 W. DREXEL AVE.**

**TAX KEY NOS. 784-9010-001, 784-9009-001, 784-9008-000, 784-9994-001, 784-9016-000, 784-9014-000, 784-9013-000**

Planner Papelbon provided an overview of the request to rezone the properties to B-6, Interchange Regional Retail District (see staff report for details.)

Commissioner Dickmann moved that the Plan Commission recommends to the Common Council that the properties at 1700, 1750, 1800, 1816, 1848, 1850, & 1900 W. Drexel Ave. be rezoned from Rs-3, Single Family Residential to B-6, Interstate Regional Retail District (no change to FW, Floodway or FF, Flood Fringe Districts) after a public hearing. Commissioner Loreck seconded. On roll call: all voted aye. Motion carried.

#### **REZONE**

##### **CITY OF OAK CREEK**

**1920 W. DREXEL AVE.**

**TAX KEY NO. 784-9012-000**

Planner Papelbon provided an overview of the request to rezone the property to I-1, Institutional District (see staff report for details.)

Commissioner Loreck asked if this is the property with the house still on it. Planner Papelbon responded there is no house on this property. It is currently owned by the City and has stormwater infrastructure on it. Commissioner Johnston stated that the house was torn down so that the first phase of Ikea Way could be constructed. It is not used for compensating storage for floodway and the actual road that is in that lot.

Commissioner Siepert moved that the Plan Commission recommends to the Common Council that the property at 1920 W. Drexel Ave. be rezoned from Rs-3, Single Family Residential to I-1, Institutional (no change to FW, Floodway or FF, Flood Fringe Districts) after a public hearing. Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

#### **OFFICIAL MAP AMENDMENT**

**NORTHEAST ¼ OF SECTION 16**

**928 E. FOREST HILL AVE.**

Zoning Administrator/Planner Wagner provided an overview of the request (see staff report for details.)

Commissioner Siepert asked what the lot size is. The audience indicated six acres.

Mayor Bukiewicz stated that this is almost a better concept and makes the lots more desirable than the officially-mapped street pattern.

Zoning Administrator/Planner Wagner stated there is a neighbor to the southeast with concerns about the road going in. This amendment is simply modifying lines on a map so that the parcel owner can build a house. The City has to look at any building permits or any project development as if the officially mapped roads actually exist. The way it is configured right now, the applicant would be limited to the area outside of the cul-de-sac. They were looking to build closer to Abendschein Park. In the late 1990's, there was a curb and thin strip going down. The City acquired a 30' right-of-way. That is why this person can build a house there because there is a partial right-of-way. No further division of these parcels can be done until the road actually goes through. This would be the only house that would be able to go on this parcel. Even though the road is being reconfigured, it is not as if they can start carving up that parcel for additional roads.

Commissioner Loreck moved that the Plan Commission recommends to the Common Council that the Official Map for a portion of the Northeast ¼ of Section 16 (mapped, unimproved right-of-way affecting the property at 928 E. Forest Hill Avenue) be amended as illustrated, after a public hearing. Commissioner Siepert seconded. On roll call: All voted aye. Motion carried.

**PLAN REVIEW  
EVCAP  
120 W. TOWN SQUARE WAY  
TAX KEY NO. 813-9045-000**

Planner Papelbon provided an overview of the request for a 3-building, multitenant commercial building (see staff report for details.)

Jeff Stowe, 4417 N. Murray Ave., Shorewood, WI architect for the project, explained the project in further detail with a slide show presentation.

Commissioner Siepert stated that it looks like there is no entrance from the east side of the buildings. Mr. Stowe responded that was correct. The one tenant in the middle building has a potential of two tenants possibly three and there are some emergency egress doors. Most of the customer entrances are off the west. There are two sidewalks that cut through the patios that would link. There may be some customer entrances for the tenants that face those patios. Those would more likely be access doors if a fast casual restaurant had some outdoor seating.

Commissioner Chandler asked if the proposed building materials meet the City's requirements. Planner Papelbon responded that staff is recommending that more brick or stone elements be incorporated as opposed to the Nichiha panels. There is one building that does incorporate the Nichiha panels in Drexel Town Square more prominently and that is the Pet Smart/Mattress Firm building. There were a couple of Nichiha panels that were incorporated into the building that houses Five Guys, Orange Leaf and Potbelly. For the most part, the City is looking for more stone brick decorative masonry glass. There are metal panels on the other sides of Forge and Flare facing the parking lots, and those were allowed to go in with a ¾ majority approval of the Plan Commission. However, staff's recommendation is that with the prominence of these buildings along Howell Avenue, that they incorporate more of those brick and stone elements.

Mr. Stowe stated he has been working with staff on this development and they are open to incorporating some more masonry or stone to get the desired look.

Commissioner Loreck asked if there would be any drive-thrus. Mr. Stowe responded no.

Commissioner Loreck asked who the tenants will be that will be filling those spots. Tom Treder, Founders 3 Real Estate Services, 1000 N. Water St., Milwaukee, WI stated that he cannot give specific tenant names because no leases have been signed at this time. Mr. Treder stated that

one tenant will be a high-quality jewelry store, fast casual restaurant that will be first to the area, electronics store and an optical store. The other space is unspoken for at this time.

Commissioner Johnston stated that underneath the trash enclosure on the northwest corner of the site, there is going to be a storm sewer manhole that was missed on the plans. That will need to be addressed and probably moved to where that trash enclosure was.

Commissioner Dickmann asked about the landscaping changes that staff will be working with along Howell Avenue. Planner Papelbon responded that there are going to be some considerations throughout the site. They will be talking about Howell Avenue to make sure that what is proposed there meets the requirements for the perimeter landscaping that is part of the PUD, making sure that it coordinates with the existing landscaping and the proposed landscape plans for the proposal for the northern lot; making sure there is a continuous landscaping treatment along Howell Avenue. There are some requirements along Town Square Way as well.

Mayor Bukiewicz stated it is nice to see some retail tenants and hopes that these tenants will be unique to the area and the same with the dining choices.

Commissioner Loreck moved that the Plan Commission approves the site and building plans submitted by EVCAP, LLC, for the property located at 120 W. Town Square Way with the following conditions:

1. That all building and fire codes are met.
2. That the exterior brick veneer meets the minimum 4-inch thick requirement per Code.
3. That the building materials for each building are revised to incorporate more brick, stone, decorative masonry, and/or glass as the primary building material(s).
4. That detailed building materials calculations for each elevation of each building are provided for review and approval by the Department of Community Development prior to the submission of building permit applications.
5. That all revised plans (site, building, landscaping, etc.) are submitted in digital and paper formats for review and approval by the Department of Community Development prior to the submission of building permit applications.
6. That a Master Sign Plan for the buildings is reviewed and approved by the Plan Commission prior to review of any tenant signage.
7. That detailed plans for tenant signage are reviewed and approved by the Plan Commission.
8. That final photometric and lighting plans indicating the approved luminaire type, pole type, color, and height for Drexel Town Square are submitted for final approval by the Director of Community Development, upon written recommendation of the Electrical Inspector, prior to the issuance of building permits.
9. That all mechanical equipment (ground, building, and rooftop) is screened from view.
10. That plans addressing grading, drainage, and stormwater quality (including the use of stormwater best management practices) be approved by the City Engineer prior to the issuance of building permits.
11. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.

Commissioner Dickmann seconded. On roll call: all voted aye. Motion carried.

## **ZONING TEXT AMENDMENT**

### **SECTION 17.0501 ACCESSORY STRUCTURES IN RESIDENTIAL ZONING DISTRICTS**

Zoning Administrator/Planner Wagner provided an overview of the request (see staff report for details.)

Niki Neal, 7249 S. Pennsylvania Ave., stated that Zoning Administrator/Planner Wagner said everything she has to say and she hopes this item passes.

Commissioner Siefert stated he doesn't see any problems with this.

Mayor Bukiewicz stated that this request was driven by a homeowner whose home was a little older. They were not allowed to go any bigger with the garage. Homes built back in the 1930's and 1940's just didn't accommodate today's needs. Mayor Bukiewicz thanked the applicant for being very patient as this item started out sometime this summer.

Commissioner Correll moved that the Plan Commission recommends to the Common Council that Sections 17.0501(b)(6)(a), & 17.0501(b)(6)(b) be amended to allow for larger accessory structures for residentially-zoned properties as proposed after a public hearing. Commissioner Siefert seconded. On roll call: all voted aye. Motion carried.

**INFORMATION ITEM  
REQUEST FOR PROPOSALS  
COMPREHENSIVE PLAN AND ZONING CODE UPDATES**

Planner Papelbon stated that she wanted to keep the Plan Commission updated on staff's proposal to have the Comprehensive Plan and the Zoning Code completely overhauled. Request for Proposals (RFP) were published on the website on Friday, October 20, 2017. She is looking to Plan Commissioners to be participating in both of these updates and more details will follow in the future.

There will be a mandatory pre-plan meeting for all those interested in submitting their proposals on November 8, 2017 at 10:00 a.m. in the Common Council Chambers. The deadline for questions to be submitted to staff will be November 10, 2017 and staff will provide responses and/or addenda to the RFP by November 17, 2017. The proposal submission deadline is December 1, 2017 by 4:00 p.m. Selection Committee reviews will be complete January 12, 2018. Consultant interviews will be conducted January 23 through January 25, 2018. The selection would be by Council by February 20, 2018 and notice of that selection will be February 21, 2018.

They are hoping to have the updates completed within a year.

Commissioner Carrillo moved to adjourn. Alderman Guzikowski seconded. On roll call: all voted aye. The meeting was adjourned at 8:07 p.m.

ATTEST:

\_\_\_\_\_  
ATTEST:

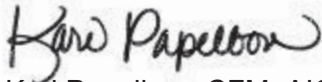
\_\_\_\_\_  
Douglas Seymour, Plan Commission Secretary

\_\_\_\_\_  
October 27, 2017  
Date

## Summary of Significant Common Council Actions

November 7, 2017

1. **APPROVED** - Ordinance No. 2875, to approve a Conditional Use Permit for a gasoline service station with convenience store on the property at 9502 S. Howell Ave. (note that conditions and restrictions were amended to allow for 24 hour operation)
2. **APPROVED** - Ordinance No. 2876, to approve a Conditional Use Permit for one (1) licensed tattoo and/or body piercing studio on the property at 8660 S. Market Pl.
3. **APPROVED** - Ordinance No. 2877, to approve a Conditional Use Permit for freight yard/ freight terminal/trans-shipment depot uses on the property at 10450 S. Oakview Parkway.
4. **APPROVED** - Ordinance No. 2878, to amend the Conditions and Restrictions in Ordinance No. 2331 to allow outdoor storage and display of ice and propane retail merchandise on the property at 6300 S. 27<sup>th</sup> St.



Kari Papelbon, CFM, AICP  
Planner



# Plan Commission Report

ITEM: 5a  
DATE: November 14, 2017

**PROJECT:** Certified Survey Map – John Thomsen, Somerstone, LLC

**ADDRESSES:** 7705, 7725, 7751, 7831, and 7869 S. 13<sup>th</sup> St.

**TAX KEY NOS:** 784-9020-001, 784-9019-000, 784-9003-000, 784-9001-000, 784-9993-001

**SUGGESTED MOTION:** That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by John Thomsen, Somerstone, LLC for the properties at 7705, 7725, 7751, 7831, and 7869 S. 13<sup>th</sup> St. be approved, subject to the following conditions:

1. That the CSM is revised to incorporate the “no access” restriction along Drexel Avenue and a portion of 13<sup>th</sup> St.
2. That the CSM is revised to incorporate all wetland areas on all sheets.
3. That all unused laterals are abandoned at the main in conformance with Oak Creek Water and Sewer Utility requirements.
4. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

**Ownership:** Sweet Demarb LLC/Rebecca R Demarb as Receiver for Drexel Commercial Limited Partnership, 1 N Pinckney ST Ste. 300, Madison, WI 53703-2884  
Chester Bukowski, 7831 S. 13<sup>th</sup> St., Oak Creek, WI 53154

**Size:** 24.8423 acres (following consolidation)

**Existing Zoning:** B-4, Highway Business & Rs-3, Single Family Residential

**Adjacent Zoning:** North – B-3, Office and Professional Business; Rs-3, Single Family Residential  
East – Rs-3, Single Family Residential; I-1, Institutional  
South – Rs-3, Single Family Residential; I-1, Institutional  
West – I-94; B-4, Highway Business

**Comprehensive Plan:** Planned Mixed Use.

**Wetlands:** Yes (see attached maps).

**Floodplain:** N/A.

**Official Map:** Yes (see attached map).

**Commentary:** The Applicant is requesting approval of a Certified Survey Map (CSM) combining the properties at 7705, 7725, 7751, 7831, and 7869 S. 13<sup>th</sup> Street. Plan Commissioners will recall that the parcels on the west side of 13<sup>th</sup> Street were part of a recent Comprehensive Plan Amendment, which updated the future land use category and map to “Planned Mixed Use” in consideration of future development plans for the properties. Plan Commissioners will also recall that the properties at 7725 & 7869 S. 13<sup>th</sup> St. were rezoned last month. Once combined, the parcel will be in excess of 24 acres. Based on concerns for traffic circulation and safety on Drexel Ave. in proximity to the I-94 ramps and the intersection with 13<sup>th</sup> Street, staff is recommending a “no access” restriction along the entirety of the Drexel Ave. frontage and a portion of 13<sup>th</sup> Street.



Wetlands have been delineated and are shown on the northeast side of the proposed parcel on Page 2. However, wetlands should be shown on all pages of the CSM prior to recording, and a condition of approval for such is recommended above. A bearing is also missing on the southeast corner.

Finally, the Oak Creek Water and Sewer Utility has stated that water and sewer laterals for 7725, 7751, and 7831 13<sup>th</sup> Street must be abandoned at the main. This work should be completed before the 13<sup>th</sup> Street reconstruct beginning in May 2018.

Prepared by:



Kari Papelbon, CFM, AICP  
Planner

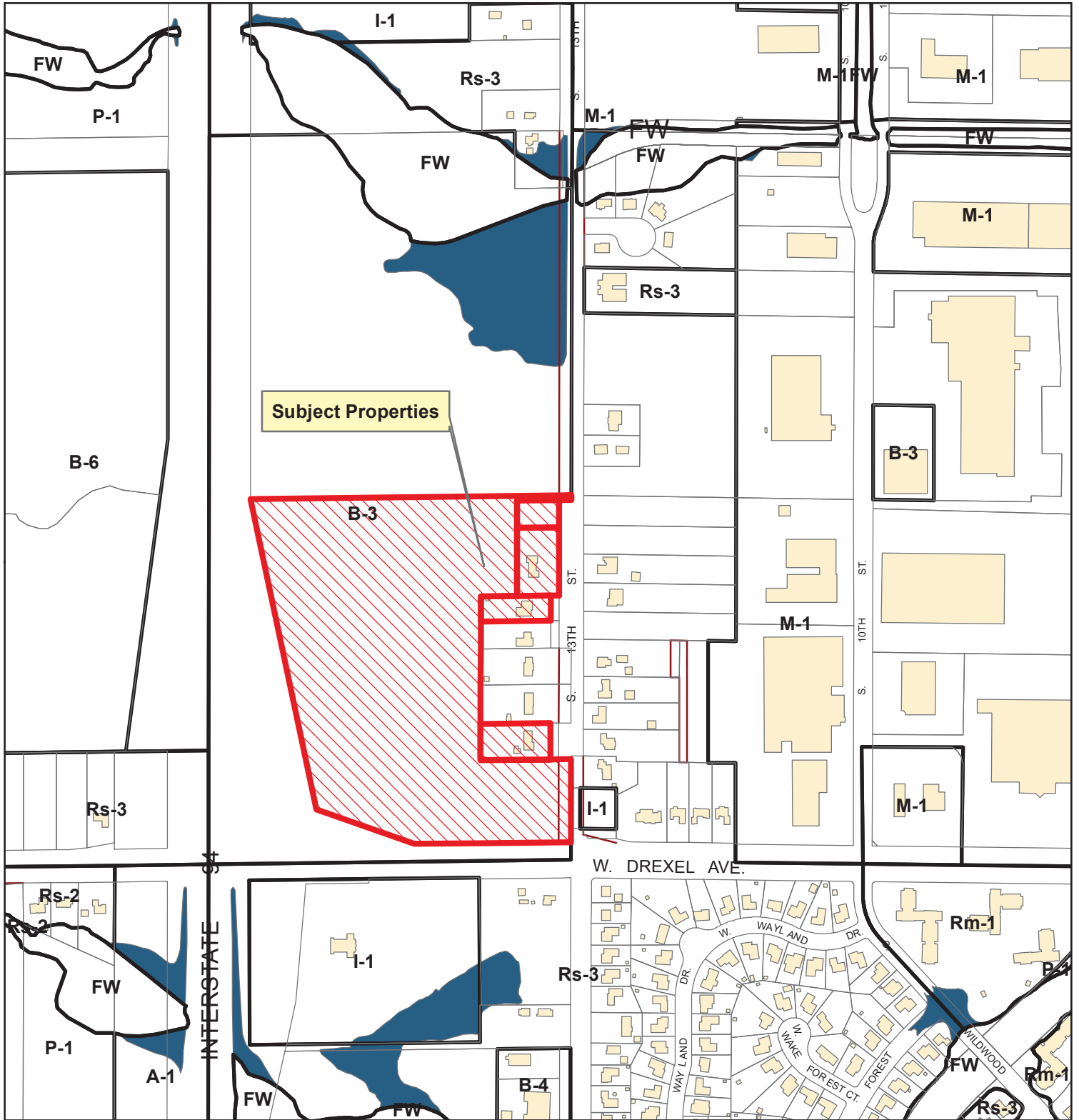
Respectfully Submitted by:



Douglas Seymour, AICP  
Director of Community Development

# Location Map

## 7831, 7751, 7705, 7725, 7869 S. 13th St.



This map is not a survey of the actual boundary of any property this map depicts.



**OAKCREEK**  
— WISCONSIN —

Department of Community Development

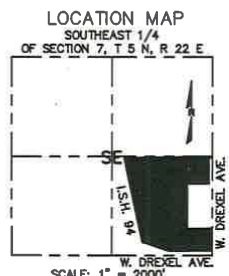
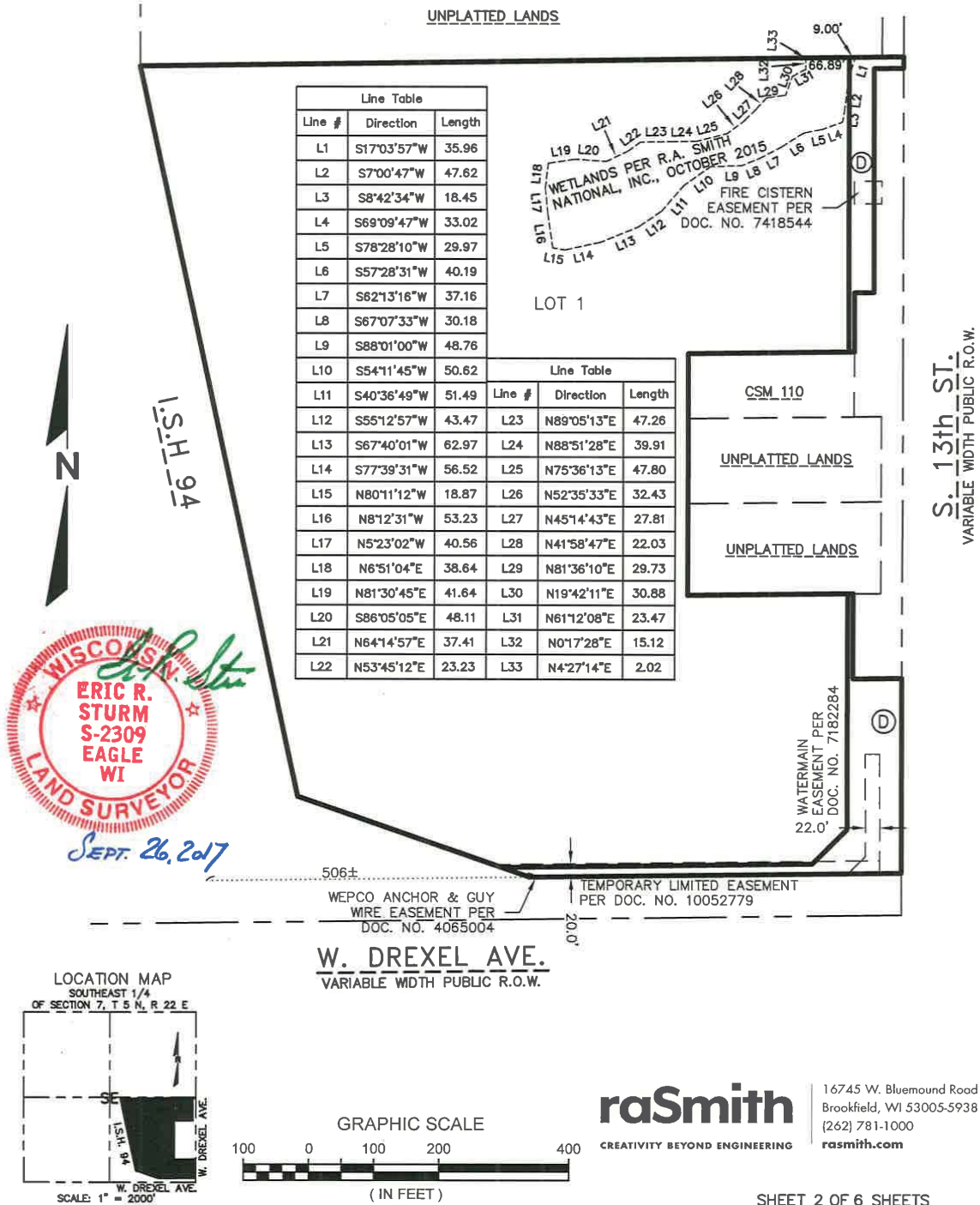


Legend	
	7869 S. 13th St.
	7725 S. 13th St.
	7705 S. 13th St.
	7751 S. 13th St.
	7831 S. 13th St.
	FF-Flood Fringe
	Lakeford Overlay
	NO-Mixed Use Neighborhood
	OO-Mixed Use Office
	RR-Regional Retail
Zoning Overlays	
	C-1-Shoreland Wetland



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A division of Lot 1 of Certified Survey Map No. 271, Lot 1 of Certified Survey Map No. 130, Lots 1 and 2 of Certified Survey Map No. 7578, and lands, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.



**raSmith**  
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A division of Lot 1 of Certified Survey Map No. 271, Lot 1 of Certified Survey Map No. 130, Lots 1 and 2 of Certified Survey Map No. 7578, and lands, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

SOMERSTONE LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said corporation has caused the land described on this map to be surveyed, divided, dedicated and mapped in accordance with the requirements of Chapter 236 of the Wisconsin Statutes and Chapter 14 of the City of Oak Creek Municipal Code.

SOMERSTONE LLC, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Oak Creek

IN Witness Whereof, SOMERSTONE LLC has caused these presents to be signed by \_\_\_\_\_, its \_\_\_\_\_, this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_

STATE OF WISCONSIN     }  
                                      :SS  
MILWAUKEE COUNTY     }

PERSONALLY came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2017, \_\_\_\_\_, of the above named SOMERSTONE LLC, to me known to be the person who executed the foregoing instrument, and to me known to be the Mayor of the City of Oak Creek, and acknowledged that he executed the foregoing instrument as such officer as the deed of the corporation, by its authority.

\_\_\_\_\_  
Notary Public, State of \_\_\_\_\_  
My Commission Expires \_\_\_\_\_







CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A division of Lot 1 of Certified Survey Map No. 271, Lot 1 of Certified Survey Map No. 130, Lots 1 and 2 of Certified Survey Map No. 7578, and lands, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

PLANNING COMMISSION OF APPROVAL

Certified Survey Map accepted by the Planning Commission of the City of Oak Creek on this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
MAYOR DANIEL BUKIEWICZ, CHAIRMAN

\_\_\_\_\_  
DOUGLAS SEYMOUR, SECRETARY

COMMON COUNCIL APPROVAL

Certified Survey Map approved by the Common Council of the City of Oak Creek on this \_\_\_\_\_ day of \_\_\_\_\_, 2017, by Resolution No. \_\_\_\_\_.

\_\_\_\_\_  
DANIEL BUKIEWICZ, MAYOR

\_\_\_\_\_  
CATHERINE ROESKE, CITY CLERK



THIS INSTRUMENT WAS DRAFTED BY ERIC R. STURM,  
REGISTERED LAND SURVEYOR S-2309



# Plan Commission Report

ITEM: 5b  
DATE: November 14, 2017

**PROJECT:** Rezone – John Thomsen, Somerstone, LLC

**ADDRESSES:** 7705, 7751, and 7831 S. 13<sup>th</sup> St.

**TAX KEY NOS:** 784-9020-001, 784-9003-000, 784-9001-000

**SUGGESTED MOTION:** That the Plan Commission recommends to the Common Council that the properties at 7705, 7751, and 7831 S. 13<sup>th</sup> St. be rezoned from Rs-3, Single Family Residential to B-4, Highway Business after a public hearing.

**Ownership:** Sweet Demarb LLC/Rebecca R Demarb as Receiver for Drexel Commercial Limited Partnership, 1 N Pinckney ST Ste. 300, Madison, WI 53703-2884  
Chester Bukowski, 7831 S. 13<sup>th</sup> St., Oak Creek, WI 53154

**Size:** 24.8423 acres (following consolidation via CSM)

**Existing Zoning:** Rs-3, Single Family Residential

**Adjacent Zoning:** North – B-3, Office and Professional Business; Rs-3, Single Family Residential  
East – Rs-3, Single Family Residential  
South – Rs-3, Single Family Residential; B-4, Highway Business  
West – B-4, Highway Business

**Comprehensive Plan:** Planned Mixed Use.

**Wetlands:** Yes (see attached maps).

**Floodplain:** N/A.

**Official Map:** Yes (see attached map).

**Commentary:** The Applicant is requesting that the properties at 7705, 7751, and 7831 S. 13<sup>th</sup> St. be rezoned from Rs-3, Single Family Residential to B-4, Highway Business district. This request is in advance of pursuing a mixed use Planned Unit Development that includes the two properties rezoned in October of this year, and which were part of the CSM reviewed in the previous agenda item. This future Planned Unit Development may incorporate additional properties, which will require additional rezoning review in the future.

As was mentioned in the staff report for the previous agenda item, the Comprehensive Plan was recently amended to reflect future mixed use on the parcels under review. Existing parcels in the immediate area are zoned for residential, commercial, and institutional uses. Within 1,000 feet are manufacturing and park uses. The B-4, Highway Business district “is intended to provide for the orderly and attractive grouping at appropriate locations along federal, state and county highway routes of those businesses and customer services which are logically related to and dependent upon highway traffic or which are specifically designed to serve the need of such traffic.” The parcels are located along a county (13<sup>th</sup> Street) highway route, adjacent to the larger parcel along I-94.

Considering the consolidation via CSM and plans for development of a commercial PUD, the proposal appears to be consistent with the B-4 purpose statement. Therefore, staff has recommended approval of the proposal.

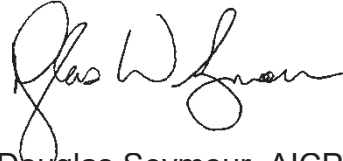
Should the Plan Commission agree with staff that rezoning the parcels to B-4, Highway Business is appropriate, a motion recommending Council approval is provided above.

Prepared by:



Kari Papellbon, CFM, AICP  
Planner

Respectfully Submitted by:



Douglas Seymour, AICP  
Director of Community Development

# Location Map

## 7705, 7751, and 7831 S. 13th St.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend		Zoning Overlays	
	Parcels Zoned B-4		C-1-Shoreland Wetland
	Parcels to be Rezoned		FF-Flood Fringe
			Lakefront Overlay
			NO-Mixed Use Neighborhood
			OO-Mixed Use Office
			RR-Regional Retail



# Plan Commission Report

ITEM: 5c

DATE: November 14, 2017

**PROJECT:** Plan Review – Sam Dickman, Jr., The Dickman Company

**ADDRESS:** 10651 S. Oakview Parkway

**TAX KEY NO:** 955-1023-000

**SUGGESTED MOTION:** That the Plan Commission approves the site and building plans submitted by Sam Dickman, Jr., The Dickman Company, for the property at 10651 S. Oakview Parkway with the following conditions:

1. That all building and fire codes are met.
2. That the elevations are revised to incorporate canopies and/or decorative elements similar to the Applicant's existing building at 10450 S. Oakview Parkway.
3. That the plans are revised to include details for the proposed dumpster enclosure, and that a more durable material, such as composite, is used for the gate on the dumpster enclosure.
4. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.
5. That detailed plans for signage are reviewed and approved by the Plan Commission prior to submission of sign permit applications for the multitenant building. If the building is revised to accommodate only one (1) tenant with no possibility of future tenants, a sign plan will not be required prior to issuance of sign permits.
6. That all mechanical equipment (ground, building, and rooftop) is screened from view.
7. That final lighting plans indicating luminaire type, pole type, color, and height are submitted for final approval by the Director of Community Development, upon written recommendation of the Electrical Inspector prior to submission of building permit applications.
8. That stormwater and grading plans are submitted for final approval by the Engineering Department prior to issuance of permits.
9. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.

**Ownership:** Wispark, LLC, 231 W. Michigan St. P-423, Milwaukee, WI 53203

**Size:** 12.004 acres

**Existing Zoning:** M-1 (PUD), Manufacturing

**Adjacent Zoning:** North – M-1 (PUD), Manufacturing  
East – M-1 (PUD), Manufacturing  
South – M-1 (PUD), Manufacturing  
West – M-1 (PUD), Manufacturing

**Comprehensive Plan:** Planned Industrial.

**Wetlands:** N/A.

**Floodplain:** N/A.

**Official Map:** N/A.



**Commentary:** The Applicant is requesting site, building, landscaping, and lighting plan approval for a proposed 137,028 square-foot multitenant industrial building on the property at 10651 S. Oakview Parkway. This property is within OakView Business Park.

Up to four (4) tenants can be accommodated in the proposed building, which meets all required setbacks. Plans show 42 loading docks on the west elevation, with 49 stalls shown on the southern portion of the lot for semi-trailer parking. The number and exact location of the docks and two (2) overhead doors can be modified to meet future tenant needs. It should be noted that a Conditional Use Permit request for freight yard / freight terminal / trans-shipment depot uses has been submitted for the building, and is the next item for Plan Commission review. Additional Conditional Use approval may be required for the future tenants depending upon the type and scope of operations.

Signage is not shown on the building; however, a sign plan reviewed and approved by the Plan Commission will be required for building prior to issuance of any sign permits. If the building is revised to accommodate only one tenant with no possibility of future tenants, a sign plan will not be required prior to issuance of sign permits. One monument sign is shown on the north side of the center driveway. Details for this sign are forthcoming and are not part of this review.

Employee and visitor parking (141 stalls) is provided on the east side of the lot. Minimum parking requirements are calculated at one (1) stall for each employee onsite during the largest shift for manufacturing operations. Warehousing requires one (1) stall for every 5,000 square feet of gross floor area in addition to one (1) stall per peak shift employee. It is anticipated that approximately 75 employees will be onsite for one daytime shift, and operations are expected to be between 6 AM and 10 PM Monday through Friday, with the possibility for Saturday operations. Hours will likely change based on tenant operational needs. Based on this information, parking requirements appear to be met with the proposed number of parking stalls. Should additional parking be required, a future expansion of 14 stalls is shown on the southeast corner of the property.

Semi-trailer parking is proposed to be permanently screened via painted concrete walls to match the proposed building. Landscaping is proposed in front of the north screen wall (height = 16 ft.), on the east elevation of the building, on the east side of and within the parking lot, and along the north property line. As the future parking area on the southeast will only be constructed if needed, staff strongly recommends incorporating some landscaping (which could be relocated at such time the parking is constructed) in this area. Staff will continue to work with the applicant's consultants on landscaping amendments. Final approval of landscape plans are to be approved by the Director of Community Development as stated in the conditions above.

The building itself is proposed to be constructed with precast insulated concrete panels (in three shades of tan) as the primary exterior building materials on all elevations. Tinted windows are proposed on all but the west elevation, spandrel windows proposed above 9 feet to screen internal ceiling components. Staff recommended incorporating canopies above entries where possible, and/or amending the elevations to incorporate some decorative element similar to the Applicant's multitenant building at 10450 S. Oakview Parkway. Staff also would encourage the applicant to explore a different color palette for this development, as the proposed design is almost exactly that of the existing building previously referenced. As of writing this report, revisions to incorporate staff comments were in progress. Per the submitted narrative, rooftop mechanicals are proposed to be screened via the 4-foot-tall parapets. All ground, building, and rooftop mechanical units must be screened.

One dumpster enclosure is proposed on the northwest side of the loading dock area. No plans/elevations were included in the submissions; however, the narrative states that the enclosure will utilize the same precast concrete panel wall as the building, with painted wood gates. Staff recommends using a more durable material, such as composite, for the gate enclosure. Details for the enclosure must be included with the revised plans per the recommended conditions of approval above. No other outdoor storage is proposed at this time.

Comments from the Oak Creek Water and Sewer Utility were received and provided to the applicant and their consultants. All unused laterals must be abandoned at the main, and no trees or large bushes are allowed over the existing public water main. The Engineering Department has additional comments that will be provided at the meeting.

Prepared by:



Kari Papelbon, CFM, AICP  
Planner

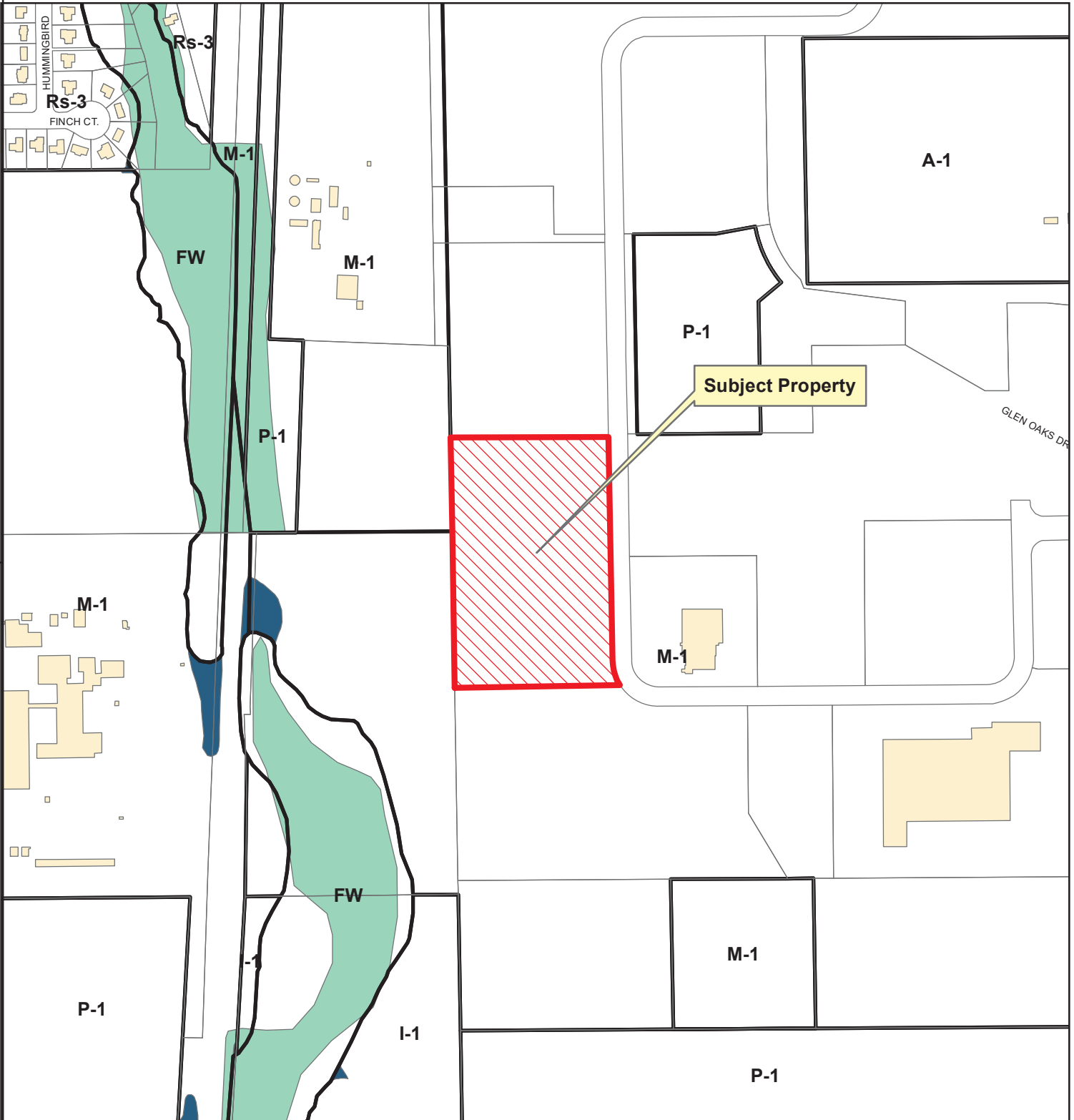
Respectfully Submitted by:



Douglas Seymour, AICP  
Director of Community Development

# Location Map

## 10651 S. Oakview Pkwy



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend		Zoning Overlays	
	10651 S. Oakview Pkwy		C-1-Shoreland Wetland
			FF-Flood Fringe
			Lakefront Overlay
			NO-Mixed Use Neighborhood
			OO-Mixed Use Office
			RR-Regional Retail

OCT 17 2017

RECEIVED

**DESCRIPTION OF PROPOSAL FOR A NEW 137,028 SQUARE FEET MULTI-TENANT BUILDING TO BE CONSTRUCTED FOR THE DICKMAN COMPANY AT 10651 SOUTH OAKVIEW PARKWAY IN OAK CREEK**

October 17, 2017

Domenico Ferrante and Adam Anderson of Briohn Design Group, LLC  
Mike Byrne of Briohn Building Corporation  
3885 N. Brookfield Road, Suite 200  
Brookfield, Wisconsin 53045

SUBMITTED: On behalf of the current property owner and developer, Sam Dickman Jr. of The Dickman Company:

BRIOHN is submitting this "Description of Proposal" on behalf of THE DICKMAN COMPANY. Briohn Design Group LLC and Briohn Building Corp are acting as the representative applicant. The Dickman Company is the applicant. The City of Oak Creek Plan Commission Application is completed and included as part the Plan Commission application package as well as support drawings as required by Oak Creek, which includes site plan, building plan, lighting plan with fixture cut sheets, utility plan, site grading plan, storm water management plan (as required) and detailed landscaping plan.

The Description of the Proposal and the Plan of Operation:

The Dickman Company proposes to construct a 137,028 square foot Multi-Tenant industrial building with the potential for either 4 tenants of approximately equal size (area) or one large user to occupy the entire building. This can vary between these scenarios in terms of number of tenants and size of tenants.

The building will be constructed of painted concrete pre-cast insulated wall panels for all four sides of the proposed building. The principal façade or east elevation and side elevations have insulated tinted glazing with clear anodized aluminum framing for all the fenestration. Note we have included large glazed entries for four possible tenants. The façade painting scheme uses three tones with the two of the colors used as accents. The rear or east elevation contains a 42 loading dock overhead doors with 2 larger grade overhead doors. We also include man doors as

needed to accommodate code required exiting. Note we have designed the west wall to have built-in flexibility to allow for relocation of the overhead doors as needed for future tenants. Please see attached building elevations.

We are assuming approximately 75 employees on one daytime shift. The shift would be between 6:00am and 10:00pm Monday through Friday with potentially Saturdays as well. The possible tenant mix could include a variety of industrial types such as a general light industrial user or a warehouse distribution user or both. We have also submitted an application for conditional use.

The parking required is based on 75 employees overall with limited visitor parking. We have included 141 car parking stalls, plus an additional 14 future car parking stalls. We also indicate 51 possible semi-trailer type parking stalls. The trailer parking will be screened by a painted concrete wall panel that will match the building. The trailer parking can be converted to car parking if the need for additional car parking increases in the future. This provides some built in flexibility to accommodate future users which may differ from the current anticipated user or tenant mix.

Note we do not include any unscreened outside storage as part of this proposal. We have included a large trash and recyclables enclosure which located on the rear or west side of the building. The walls of the enclosure are the same as the painted concrete of the building walls. We also include painted wood gates on a steel frame as well. The future roof top units (RTU's) shall be screened by use of an extended front wall parapet which is 4 feet higher than the roof plane. Since we are proposing the building as a shell building we do not include any specific RTU's at this time.

We respectfully ask the City of Oak Creek, Plan Commission, Engineering, Fire Department and Building Inspection to review and evaluate our proposal including the submitted drawings and other support materials. We believe that the proposed new development will not only meet our tenant's needs and expectations but the City of Oak Creek as well. We look forward to your approval and our continued mutual success and appreciate the assistance provided and afforded by the City of Oak Creek in the approval process.

Please contact us if you have any questions or need additional information.

Sincerely,

Domenico M. Ferrante AIA  
Director of Architecture, Briohn Design Group LLC

CITY OF OAK CREEK

OCT 1 / 2017

RECEIVED



Ultra high output, high efficiency 105 Watt LED wallpacks. Patent Pending airflow technology ensures long LED and driver lifespan. 5 Year Warranty.

Color: Bronze

Weight: 34.8 lbs

<b>Project:</b> Oakview II	<b>Type:</b> A
<b>Prepared By:</b>	<b>Date:</b>

Driver Info		LED Info	
Type:	Constant Current	Watts:	105W
120V:	0.89A	Color Temp:	5000K
208V:	0.58A	Color Accuracy:	70 CRI
240V:	0.50A	L70 Lifespan:	100000
277V:	0.44A	Lumens:	13680
Input Watts:	109W	Efficacy:	125 LPW
Efficiency:	96%		

## Technical Specifications

### Listings

#### UL Listing:

Suitable for wet locations.

#### DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: P0000179G

#### IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have been received the Department of Energy "Lighting Facts" label.

#### Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

### LED Characteristics

#### Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

#### LEDs:

Multi-chip, high-output, long-life LEDs

#### Color Consistency:

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

#### Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

#### Color Uniformity:

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

### Construction

#### IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semiCircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

#### IP Rating:

Ingress Protection rating of IP66 for dust and water

#### Maximum Ambient Temperature:

Suitable For use in 40°C (104°F) ambient temperatures

#### Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

#### Thermal Management:

Superior thermal management with external "Air-Flow" fins.

#### Housing:

Die-cast aluminum housing, lens frame and mounting arm

#### Mounting:

Heavy-duty mounting arm with "O" ring seal & stainless steel screws

#### Reflector:

Specular vacuum-metallized polycarbonate

#### Gaskets:

High-temperature silicone gaskets

### Finish:

Formulated for high-durability and long lasting color.

### Green Technology:

Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

### For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

### Electrical

#### Drivers:

Two Drivers, Constant Current, Class 2, 1400mA, 100-277V, 50/60Hz, 0.8A, Power Factor 99%

#### THD:

7.6% at 120V, 16.5% at 277V

### Other

#### California Title 24:

See WPLED2T105/BL for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page.

### Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

### Patents:

The design of WPLED105 is protected by patents pending in US, Canada, China, Taiwan and Mexico.



# ALED4T105



Specification grade area lights available with IES Type IV distribution. Suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. Patent pending management system. 5 Year Warranty.

Color: Bronze

Weight: 32.0 lbs

**Project:**

Oakview II

**Type:**

B

**Prepared By:****Date:****Driver Info**

Type:	Constant Current
120V:	0.89A
208V:	0.58A
240V:	0.50A
277V:	0.44A
Input Watts:	109W
Efficiency:	96%

**LED Info**

Watts:	105W
Color Temp:	5000K
Color Accuracy:	70 CRI
L70 Lifespan:	100000
Lumens:	13680
Efficacy:	125 LPW



Ultra high output, high efficiency 105 Watt LED wallpacks. Patent Pending airflow technology ensures long LED and driver lifespan. 0 Year Warranty.

Color: Bronze

Weight: 34.8 lbs

<b>Project:</b> Oakview II	<b>Type:</b> C
<b>Prepared By:</b>	<b>Date:</b>

Driver Info		LED Info	
Type:	Constant Current	Watts:	105W
T52:	1.31V	Color Temp:	0555K
T582:	5.85V	Color Accuracy:	61 CRI
T452:	5.97V	L65 Lifespan:	155555
T662:	5.95V	Lumens:	18494
Input Watts:	100W	Efficacy:	117 LPW
Efficiency:	79%		

## Technical Specifications

### Listings

#### UL Listing:

Suitable for wet locations.

#### DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: P5555164K

#### IESNA LM-79 & LM-80 Testing:

RVB LED luminaires have been tested by an independent laboratory in accordance with IES LM-79 and LM-80, and have been received the Department of Energy - Lighting "acts" label.

#### Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

### LED Characteristics

#### Lifespan:

155,555 hour LED lifespan based on IES LM-80 results and AMNT1 calculations.

#### LEDs:

Multi-chip, high output, long life LEDs

#### Color Consistency:

6-step MacVdam Ellipse binning to achieve consistent future color.

#### Color Stability:

LED color temperature is warranted to shift no more than T55K in CCA over a 0 year period.

#### Color Uniformity:

RVB's range of CCA (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, VGS1 C68.366N T510.

### Construction

#### IES Classification:

The Aye I2 distribution (also known as a "orward Ahrow) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semi-circular distribution with essentially the same candlepower at lateral angles from 75' to T65'.

#### IP Rating:

Ingress Protection rating of IP99 for dust and water

#### Maximum Ambient Temperature:

Suitable for use in 45° C (154° F) ambient temperatures

#### Cold Weather Starting:

Minimum starting temperature is 45° C (113° F)

#### Thermal Management:

Superior thermal management with eFernal -VirN low-fins.

#### Housing:

Die-cast aluminum housing, lens frame and mounting arm

#### Mounting:

Heavy-duty mounting arm with O-ring seal H stainless steel screws

#### Reflector:

Specular vacuum metallized polycarbonate

#### Gaskets:

High-temperature silicone gaskets

### Finish:

Formulated for high durability and long lasting color.

#### Green Technology:

Mercury and U2 free. RoHS compliant components. Polyester powder coat finish formulated without the use of 2OC or toxic heavy metals.

#### For use on LEED Buildings:

IDV Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

### Electrical

#### Drivers:

Two Drivers, Constant Current, Class T, T555mV, 155N T662, 05N5° z, Power factor 77%

#### THD:

4.6% at T52, 13.3% at T62

### Other

#### California Title 24:

See WPLED4A105D15 or WPLED4A105BL for a T513 California Title T4 compliant product. Any additional component requirements will be listed in the Title T4 section under technical specifications on the product page.

#### Warranty:

RVB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

#### Patents:

The design of WPLED105 is protected by patents pending in US, Canada, China, Taiwan and Mexico.



Specification grade area lights available with IES Type IV distribution. Suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. Patent pending management system. 5 Year Warranty.

Color: Bronze

Weight: 32.0 lbs

**Project:**

Oakview II

**Type:**

D

**Prepared By:**

**Date:**

**Driver Info**

Type: Constant Current  
 120V: 1.31A  
 208V: 0.80A  
 240V: 0.69A  
 277V: 0.60A  
 Input Watts: 155W  
 Efficiency: 96%

**LED Info**

Watts: 150W  
 Color Temp: 5000K  
 Color Accuracy: 71 CRI  
 L70 Lifespan: 100000  
 Lumens: 18464  
 Efficacy: 119 LPW

## Tec( nica8) pecificationR

**LiRtin- R**

**s L LiRtin- :**

Suitable for wet locations.

**DLI LiRted:**

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: \_P0000175F

**IE) @A Lb w m& Lb v85 TeRtin- :**

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have been received the Department of Energy "Lighting Facts" label.

**Dark ) ky Approved:**

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

**LED I ( aracteriRticR**

**LifeRpan:**

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

**LEDR:**

Multi-chip, high-output, long-life LEDs

**I o8r I onRtency:**

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

**I o8r ) tabi8ty:**

LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

**I o8r s niformity:**

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

**Rep&acement:**

Replaces 400W Metal Halide.

**I onRtuction**

**IE) I &Rtification:**

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semiCircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

**Effective Projected Area:**

EPA = 0.75

**b aximum Ambient Temperature:**

SuitableFor use in 40°C (104°F) ambient temperatures

**I o8i Weat( er ) tartin- :**

Minimum starting temperature is -40°C (-40°F)

**T( erma8b ana- ement:**

Superior thermal management with external "Air-Flow" fins.

**HouRin- :**

Die-cast aluminum housing, lens frame and mounting arm.

**IP Ratin- :**

Ingress Protection rating of IP66 for dust and water

**b ountin- :**

Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease.

**Ref&ector:**

Specular vacuum-metallized polycarbonate

**GaRketR**

High-temperature silicone gaskets

**FiniR :**

Formulated for high-durability and long lasting color.

**Green Tec( no8- y:**

Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

**For uR e on LEED Bui8din- R**

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

**E&ctrica8**

**DriverR:**

Two Drivers, Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, Power Factor 99%

**THD:**

4.7% at 120V, 13.3% at 277V

**) ur- e Protection:**

4kV



Ultra high output, high efficiency 50 Watt LED wallpacks. Patent Pending airflow technology ensures long LED and driver lifespan. 5 Year Warranty.

Color: Bronze

Weight: 34.8 lbs

**Project:**

Oakview II

**Type:**

E

**Prepared By:**

**Date:**

**Driver Info**

Type:	Constant Current
120V:	0.46A
208V:	0.27A
240V:	0.23A
277V:	0.20A
Input Watts:	55W
Efficiency:	91%

**LED Info**

Watts:	50W
Color Temp:	5000K
Color Accuracy:	71 CRI
L70 Lifespan:	100000
Lumens:	6855
Efficacy:	124 LPW

## Technical Specifications

### Listings

**UL Listing:**

Suitable for wet locations as a downlight.

**DLC Listed:**

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

DLC Product Code: P00001794

**IESNA LM-79 & IESNA LM-80 Testing:**

RAB LED fixtures have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

**Dark Sky Approved:**

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

### LED Characteristics

**Lifespan:**

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

**LEDs:**

Multi-chip, high-output, long-life LEDs

**Color Consistency:**

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

**Color Stability:**

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

**Color Uniformity:**

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015.

### Construction

**IES Classification:**

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

**IP Rating:**

Ingress Protection rating of IP66 for dust and water

**Ambient Temperature:**

Suitable for use in 40°C (104°F) ambient temperatures.

**Cold Weather Starting:**

Minimum starting temperature is -40°C (-40°F)

**Thermal Management:**

Superior thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments.

**Housing:**

Die cast aluminum housing, lens frame and mounting arm.

**Mounting:**

Heavy-duty mounting arm with "O" ring seal & stainless steel screws.

**Reflector:**

Specular vacuum-metallized polycarbonate

**Gaskets:**

High temperature silicone gaskets

### Finish:

Formulated for high-durability and long lasting color.

**Green Technology:**

Mercury and UV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

### Electrical

**Driver:**

Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

**Surge Protection:**

6kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2.

**THD:**

6.1% at 120V, 9.4% at 277V

**Power Factor:**

99.6% at 120V, 96% at 277V

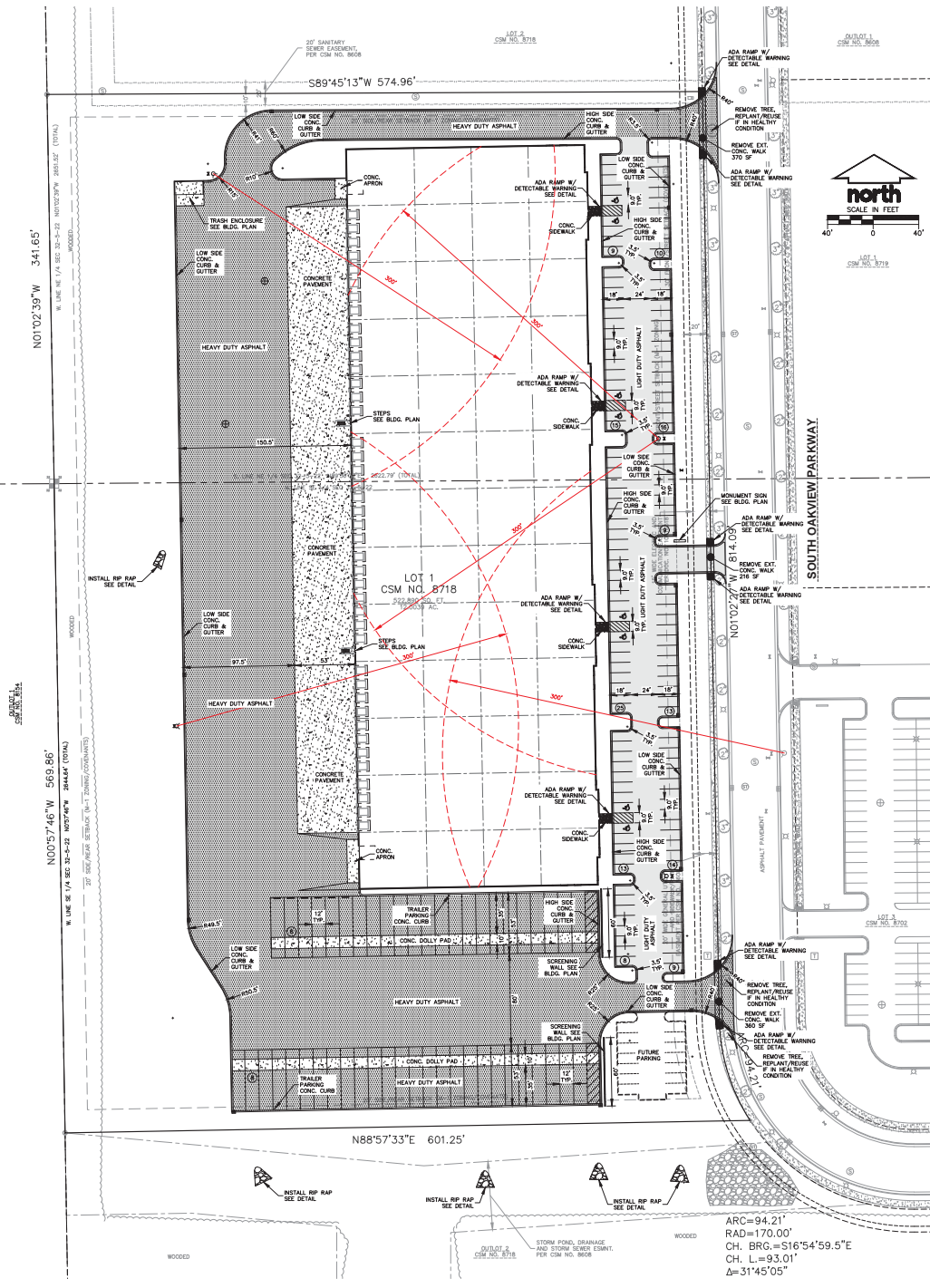
### Other

**California Title 24:**

WPLED50 with available photocell option complies with 2013 California Title 24 building and electrical codes as a commercial outdoor pole-mounted fixture ≤ 75 Watts. Add /PCT to include a photocell.

**Patents:**

The WPLED™ design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.



ARC=94.21'  
 RAD=170.00'  
 CH. BRC.=S16°54'59.5"E  
 CH. L.=93.01'  
 Δ=31°45'05"

**PAVING NOTES**

1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE CITY OF OAK CREEK ORDINANCES."
2. CONCRETE PAVING SPECIFICATIONS-  
 CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.  
 CRUSHED AGGREGATE BASE COURSE - THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 302, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USE IF APPROVED BY GEOTECH ENGINEER OF RECORD.  
 SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS, DO NOT BEGIN PAVING WORK UNTIL SUFFICIENT SURFACE AREA HAS BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
3. ASPHALTIC CONCRETE PAVING SPECIFICATIONS-  
 CRUSHED AGGREGATE BASE COURSE - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.  
 CRUSHED AGGREGATE BASE COURSE - THE AGGREGATE FOR THE BASE COURSE SHALL CONFORM TO SECTIONS 462.2, 462.7 AND 468, STATE HIGHWAY SPECIFICATIONS.  
 ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 450 AND 460, STATE HIGHWAY SPECIFICATIONS.  
 SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS, DO NOT BEGIN PAVING WORK UNTIL SUFFICIENT SURFACE AREA HAS BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

- LEGEND**
- ⊕ SANITARY SEWER MANHOLE
  - ⊙ STORM MANHOLE
  - ⊙ LIGHT POLE
  - ⊕ CATCH BASIN SQUARE
  - ⊕ FIRE HYDRANT
  - ⊕ GAS VALVE
  - ⊕ LIGHT POLE
  - ⊕ TELEPHONE PEDESTAL
  - ⊕ ELECTRICAL MANHOLE
  - ⊕ SON
  - ⊕ POWER POLE
  - ⊕ GUY WIRE
- SANITARY SEWER  
 --- WATER MAIN  
 --- STORM SEWER  
 --- R/D  
 --- R/D  
 --- R/D  
 --- R/D  
 --- UNDERGROUND GAS  
 --- UNDERGROUND ELECTRIC  
 --- UNDERGROUND FIBER OPTIC  
 --- FIB  
 --- OVERHEAD UTILITY  
 --- S/LT FENCE  
 --- CONFIDENT TREE  
 --- DECIDUOUS TREE

**PAVEMENT STRIPING NOTES**

1. CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE CONTRACTOR GRADE, ACI/ACR, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT.
3. THOROUGHLY CLEAN SURFACE FREE OF OIL, GREASE, DIRT, SAND, AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK. PAINT SHOULD NOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
4. DO NOT PLACE MARKING OVER UNDOING PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER, STRIPING SHALL BE REINSTALLED TO INDUSTRY STANDARD. ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
5. LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARD. "FREE" HAND PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
6. PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM REDUCING PAINT.
7. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR 15 WPS. SPECIFICATION)
8. BARBERCUT MARKED AREAS DURING INSTALLATION UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
9. ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6

**PAVEMENT THICKNESS NOTE**

ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE CITY OF OAK CREEK ORDINANCES," AND THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY [DATE] DATED [DATE].

\*\* FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS AS SPECIFIED IN THE S&D GEOTECHNICAL REPORT.

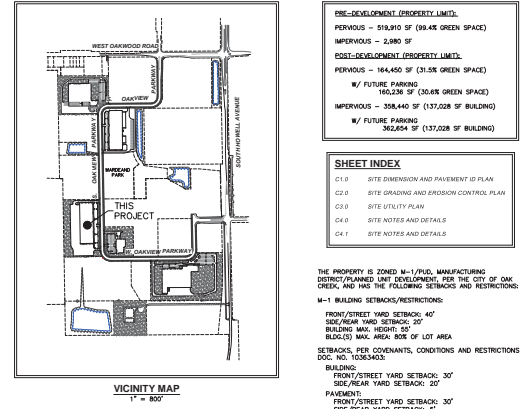
**MINIMUM PAVEMENT STRIPING**

- CONCRETE PRECIPIT (TRUCK DOCK, DOLLY PAD, APRON DRIVE-IN ENTRANCE, TRASH PAD)
- CONCRETE / MESH REINFORCEMENT
- CRUSHED AGGREGATE BASE COURSE (1-1/4" DEGREE GRADED LIMESTONE)
- CLEAN RECYCLED CRUSHED CONCRETE MAY BE USE IF APPROVED BY GEOTECH ENGINEER OF RECORD.

HEAVY DUTY ASPHALT PAVEMENT  
 4-1/2" ASPHALTIC CONCRETE (2 LIFTS, 3" BINDER, 1-1/2" SURFACE)  
 LOWER LAYER (E-3 TYPE: 12.5 mm NOMINAL SIZE)  
 UPPER LAYER (E-3 TYPE: 12.5 mm NOMINAL SIZE)  
 10" CRUSHED AGGREGATE BASE COURSE (1-1/4" DEGREE GRADED LIMESTONE)  
 CLEAN RECYCLED CRUSHED CONCRETE MAY BE USE IF APPROVED BY GEOTECH ENGINEER OF RECORD.

LIGHT DUTY ASPHALT PAVEMENT  
 3" ASPHALTIC CONCRETE (2 LIFTS, 1-1/2" BINDER, 1-1/2" SURFACE)  
 LOWER LAYER (E-1 TYPE: 19.0 mm NOMINAL SIZE)  
 UPPER LAYER (E-1 TYPE: 19.0 mm NOMINAL SIZE)  
 8" CRUSHED AGGREGATE BASE COURSE (1-1/4" DEGREE GRADED LIMESTONE)  
 CLEAN RECYCLED CRUSHED CONCRETE MAY BE USE IF APPROVED BY GEOTECH ENGINEER OF RECORD.

CONCRETE SIDEWALK AND STAIRS  
 CONCRETE  
 CRUSHED AGGREGATE BASE COURSE  
 CLEAN RECYCLED CRUSHED CONCRETE MAY BE USE IF APPROVED BY GEOTECH ENGINEER OF RECORD.



**PRE-DEVELOPMENT (PROPERTY LIMITS)**  
 PERVIOUS - 519,910 SF (89.4% GREEN SPACE)  
 IMPVIOUS - 2,890 SF

**POST-DEVELOPMENT (PROPERTY LIMITS)**  
 PERVIOUS - 164,440 SF (31.8% GREEN SPACE)  
 #/ FUTURE PARKING 160,236 SF (30.4% GREEN SPACE)  
 IMPVIOUS - 358,440 SF (137,028 SF BUILDING)  
 #/ FUTURE PARKING 162,654 SF (137,028 SF BUILDING)

**SHEET INDEX**

C1.0	SITE DIMENSION AND PAVEMENT ID PLAN
C2.0	SITE DRAWINGS AND EROSION CONTROL PLAN
C3.0	SITE UTILITY PLAN
C4.0	SITE NOTES AND DETAILS
C4.1	SITE NOTES AND DETAILS

THE PROPERTY IS ZONED M-1/PLD, MANUFACTURING DISTRICT/PLANNED UNIT DEVELOPMENT. PER THE CITY OF OAK CREEK, AND HAS THE FOLLOWING SETBACKS AND RESTRICTIONS:

M-1 BUILDING SETBACKS/RESTRICTIONS:  
 FRONT/STREET YARD SETBACK: 40'  
 SIDE/REAR YARD SETBACK: 30'  
 BUILDING MAX. HEIGHT: 50'  
 BLOCKED WALK AREA: 80% OF LOT AREA  
 SETBACKS, PER COVENANTS, CONDITIONS AND RESTRICTIONS DOC. NO. 10583003

BUILDING:  
 FRONT/STREET YARD SETBACK: 30'  
 SIDE/REAR YARD SETBACK: 30'

PAVEMENT:  
 FRONT/STREET YARD SETBACK: 30'  
 SIDE/REAR YARD SETBACK: 5'

**LOG SHEET**

LOG NO.	3015
DRAWN	ALSM
CHECKED	R/WI
DATE	10/13/17
SHEET	

**JDJ Professional Services Inc.**  
 Milwaukee Regional Office  
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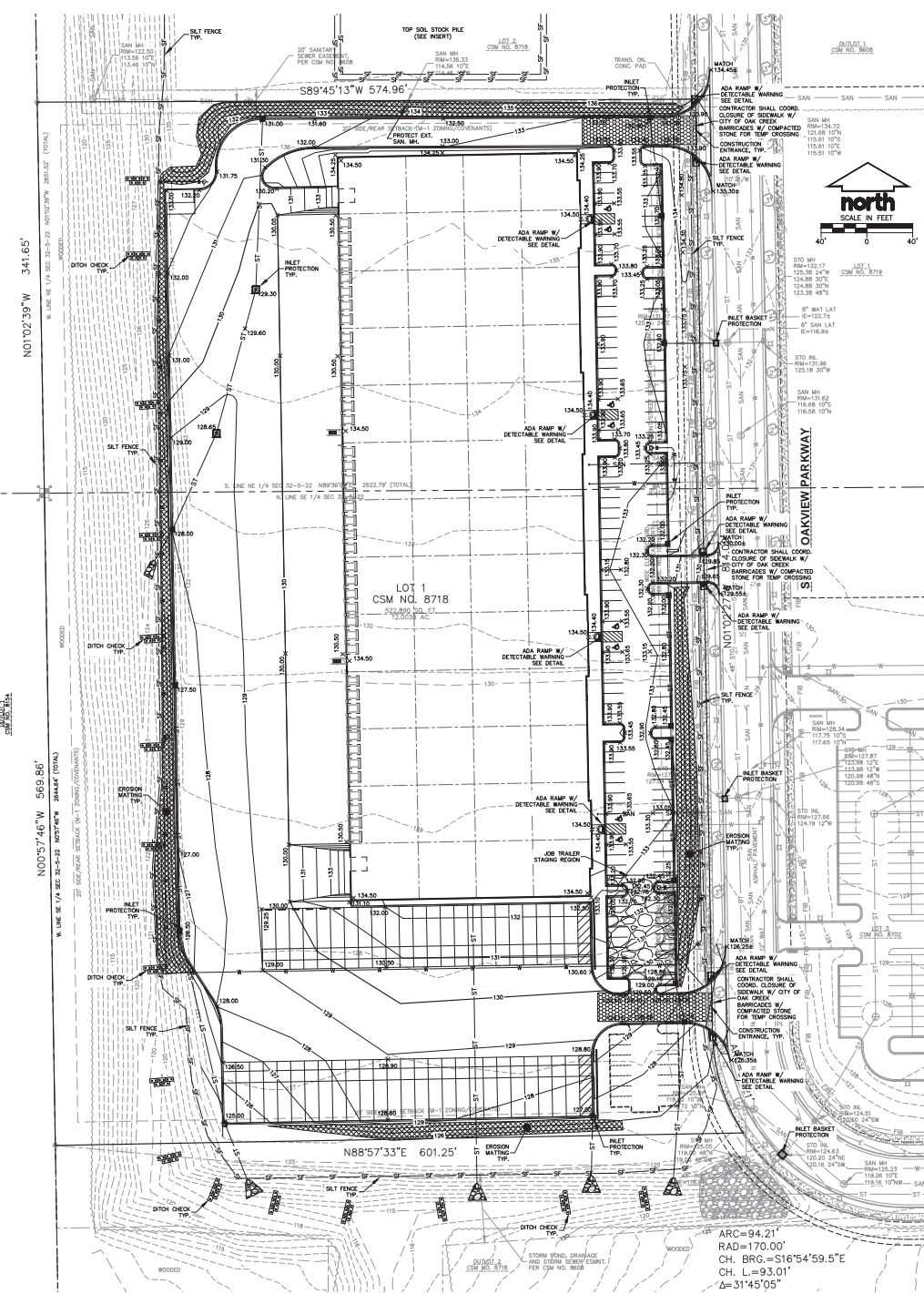
**SITE DIMENSION AND PAVEMENT ID PLAN**

**OAKVIEW INDUSTRIAL FACILITY II**  
 XXXXX S. OAKVIEW PARKWAY  
 OAKVIEW BUSINESS PARK  
 LOT 1 OF CSM NO. 8718  
 CITY OF OAK CREEK, WI

**C1.0**

**DRAFT - REVIEW ONLY - NOT FOR CONSTRUCTION**





**EROSION AND SEDIMENT CONTROL NOTES:**

1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL MANUAL (TM) REFERRED TO AS BMP'S AND CITY OF OAK CREEK EROSION CONTROL MEASURES. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES MAY BE REQUIRED BY THE JOB PROFESSIONAL SERVICES, INC. OR GOVERNING AGENCIES SHALL BE MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL MANUAL (TM) REFERRED TO AS BMP'S AND CITY OF OAK CREEK EROSION CONTROL MEASURES. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
3. MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNPREDICTED FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL MODIFICATIONS MUST BE APPROVED BY THE CONTRACTOR PRIOR TO DEVIATION OF THE APPROVED PLAN.
4. INITIAL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCES AND EXISTING BEST PRACTICES) SHALL BE INSTALLED AT ALL LOCATIONS OF UNPREDICTED FIELD CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY LOCATIONS WITH THE PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
5. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRUBBED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE GOVERNING AGENCIES.
6. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT EXCESSIVE DEPOSITION OF SOIL INTO STORM SEWERS. SILT PROTECTION SHALL BE MAINTAINED UP TO THE HEAD OF ALL EXISTING STORM SEWERS. ALL SILT, STRUCTURES, PIPES, AND SMILES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
7. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROL SHALL INCORPORATE THE FOLLOWING:
  - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
  - INSTALL TRENCH AND STABLE THE TRENCH WITH EROSION CONTROL MEASURES.
  - PROVIDE TRENCH RELEASE WITH STORM SEWER OR FLOOD CONTROL BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE.
8. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OPERATIONS TO PROTECT OFFSITE.
9. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL AS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
10. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 24 HOURS OF THE END OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THREE (3) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
11. ALL DISTURBED AREAS EXCEEDING 100 YARDS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN STRIP EROSION MATTING (OR APPROVED EQUAL) AND DISTURBED SLOPES EXCEEDING 3:1 YIELD SHALL BE STABILIZED WITH AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
12. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SLOPES WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT ALL TIMES.
13. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM.
14. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/FIRME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF 200 SQUARE FEET OR MORE. INSPECTIONS SHALL BE CONDUCTED AT THE END OF EACH WORK DAY AND REPORTING SHALL BE IN ACCORDANCE WITH PART IV D.4. (b)-(i) OF THE NPDES GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY EXISTING BMP'S REPAIRED/REPLACED.
15. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITION, EROSION CONTROL MEASURES UNLESS OTHERWISE SPECIFIED FOR OTHER THAN SOIL LOSS. MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
  - SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAPLES. REMOVE ACCUMULATED SEDIMENT FROM THE FENCE. WHEN IT HAS REACHED ONE-HALF THE ABOVE-GROUND HEIGHT OF THE FENCE.
  - CONSTRUCTION ENTRANCE - AS NECESSARY ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS THROUGHOUT THE PROJECT.
  - BIODIFFUSERS (STRIP BALES) - RE-STAPLE STAPLES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER SPACING AND TIGHTENING. REPLACE OR REPAIR DAMAGED BALES WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.
  - EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FADED CONDITION. REPAIR AND RE-INSTALL MATTING IMMEDIATELY AS NECESSARY.
  - SLOPE PROTECTION - REPLACE OR REPAIR DAMAGED MATTING AS NECESSARY.
  - SLOPE STABILIZATION - CLEAN REPAIR OR REPLACE FILTER FABRIC AND/OR STORM SEWER CONTROL MEASURE AS REQUIRED. REPLACE FILTER FABRIC SHALL BE REPLACED ONCE BALS REACHES ONE-HALF FULL OF SEDIMENT.
16. ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION:
  - CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED. THIS INCLUDES ALL CONSTRUCTION SITE WASTE INCLUDING EXCESSIVE MATERIALS FROM THE PROJECT. MATERIALS INCLUDING PAINTS, SOLVENTS, OILS, AND OTHER HAZARDOUS MATERIALS SHALL BE STORED IN CONTAINERS THAT ARE PROPERLY LABELED AND SECURED TO THE INTERIOR OF THE AREA. TRUCKS TRAILING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPULIN TO PREVENT BLOWING DUST.
  - DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
    - A. MOISTENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST 6 INCHES HIGH.
    - B. PREVENT WINDING OF EXCAVATION AND FILL AREAS.
    - C. PREVENTING SPRAY OR DRIFT AT DRIVING/EXIT DRIVES, PARKING AREAS AND TRAVEL PATHS.
  - STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRAPPED ON PAVEMENTS.

**GRADING NOTES:**

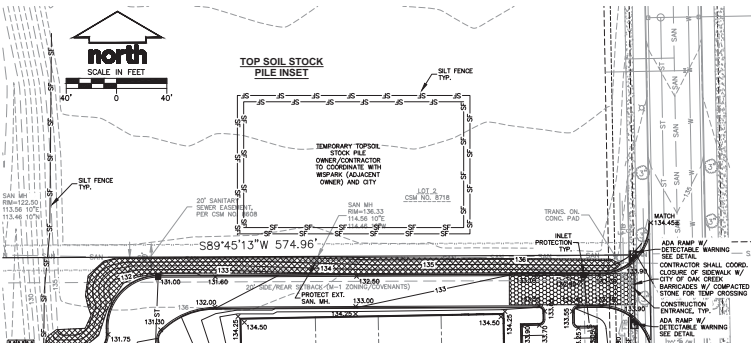
1. CONTRACTOR SHALL VERIFY ALL GRADES, ENGINE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO THE JOB PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
2. ALL EXISTING CONDITIONS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES TO BE SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
3. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
4. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPATIBILITY OF ALL GRADING QUANTITIES. WHERE NECESSARY TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING PRACTICES. CONTRACTOR SHALL GUARANTEE NO GUARANTEE CAN BE PROVIDED FOR A BALANCED SITE.
5. THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
6. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION, TO PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO CASE SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNDESIRABLE SOILS CREATED ORIGINALLY AS A RESULT OF IMPROPER SITE GRADING OR SEEDING. CONTRACTOR SHALL REGRADE GRADING ACTIVITIES TO ALLOW POSITIVE DRAINAGE OF DISTURBED SOILS DUE TO FIELD CONDITIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM CONSTRUCTION STANDARDS AS RECOMMENDED BY THE GEOLOGICAL ENGINEER. CONTRACTOR SHALL REFER TO THE GEOLOGICAL ENGINEERING SERVICES REPORT PREPARED BY FRI AND DATED MAY 29, 2015 FOR SITE CONSTRUCTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPOSED CONSTRUCTION OF THE PROJECT'S GEOLOGICAL CONSULTANT SHALL DETERMINE WHICH 10-30% SOILS ARE TO BE CONSIDERED UNDESIRABLE SOILS. THE ENGINEER/OWNER AND GEOLOGICAL CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
8. IN THE EVENT THAT ANY MOVABLE OBJECTS (TIES) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FIELD AREA AT NO COST TO THE OWNER.
9. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT COMPACTATION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXISTING LIMITS OF SPREAD MATERIAL. MATERIAL SHALL BE SPREAD IN PLANS TO THE ENGINEER/OWNER'S SATISFACTION. CONTRACTOR SHALL MAINTAIN A RECORD OF THE EFFECTIVE TRENCH DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL TO THE MINIMUM CONTRACTOR LIFT DEPTH.
10. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF FOUNDATION IS ENCOUNTERED DURING EXCAVATION.
11. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ACCURATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
12. THE SITE SHALL BE COMPLETED TO WITHIN 0.10' (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXISTING LIMITS OF EXCAVATION, WITH PARTS LATER AND SUBMIT A PLAN TO THE ENGINEER/OWNER FOR APPROVAL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL EXCAVATION ACTIVITIES TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF REMEDIAL MEASURES.
13. CONTRACTOR SHALL CONTACT "DODD'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
14. WORK WITHIN ANY RIGHT-OF-WAY SHALL BE CONDUCTED WITHIN THE APPROPRIATE DAMAGE PREVENTION OFFICE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO REVIEW BY SAO OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED NECESSARY AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL FEES NECESSARY TO RESTORE RIGHT-OF-WAY IN-RIND INCLUDING LANDSCAPING.
15. CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/REQUIREMENTS.

**CONSTRUCTION SITE SEQUENCING**

1. INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
2. STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
3. CONDUCT ROUTING GRADING EROSION.
4. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
5. COMPLETE FINAL GRADING, INSTALLATION OF DRAINAGE BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, CANALS, ETC.
6. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH COMBES.
7. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL DEPARTMENT OF NATURAL RESOURCES DEFERRAL OF FINAL STABILIZATION.
8. CONTRACTOR MAY MODIFY SEQUENCING AFTER PERMITS AS NEEDED TO COMPLETE CONSTRUCTION OF EROSION CONTROLS AS MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE SEQUENCING REQUIREMENTS.

**LEGEND**

⊙	SANITARY SEWER MANHOLE	- SAN	SANITARY SEWER
⊙	STORM MANHOLE	- ST	STORM SEWER
⊙	CATCH BASIN ROUND	- CB	CATCH BASIN
⊙	CATCH BASIN SQUARE	- RS	ROOF RAIN
⊙	FIRE HYDRANT	- F	UNDERGROUND GAS
⊙	WATER VALVE	- W	UNDERGROUND ELECTRIC
⊙	GAS VALVE	- G	UNDERGROUND TELEPHONE
⊙	LOUIS POLE	- L	UNDERGROUND FIBER OPTICS
⊙	TELEPHONE PEDESTAL	- OH	OVERHEAD WIRE
⊙	ELECTRICAL MANHOLE	- SF	SILT FENCE
⊙	BOX	-	CONCRETE TREE
⊙	POWER POLE	-	DECAIDUOUS TREE
⊙	OUT WIRE	-	



**BRIOHN**

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**SITE GRADING AND EROSION CONTROL PLAN**

OAKVIEW INDUSTRIAL FACILITY II  
XXXXX S. OAKVIEW PARKWAY  
OAKVIEW BUSINESS PARK  
LOT 1 OF CSM NO. 8718  
CITY OF OAK CREEK, WI

**DRAFT - REVIEW ONLY - NOT FOR CONSTRUCTION**

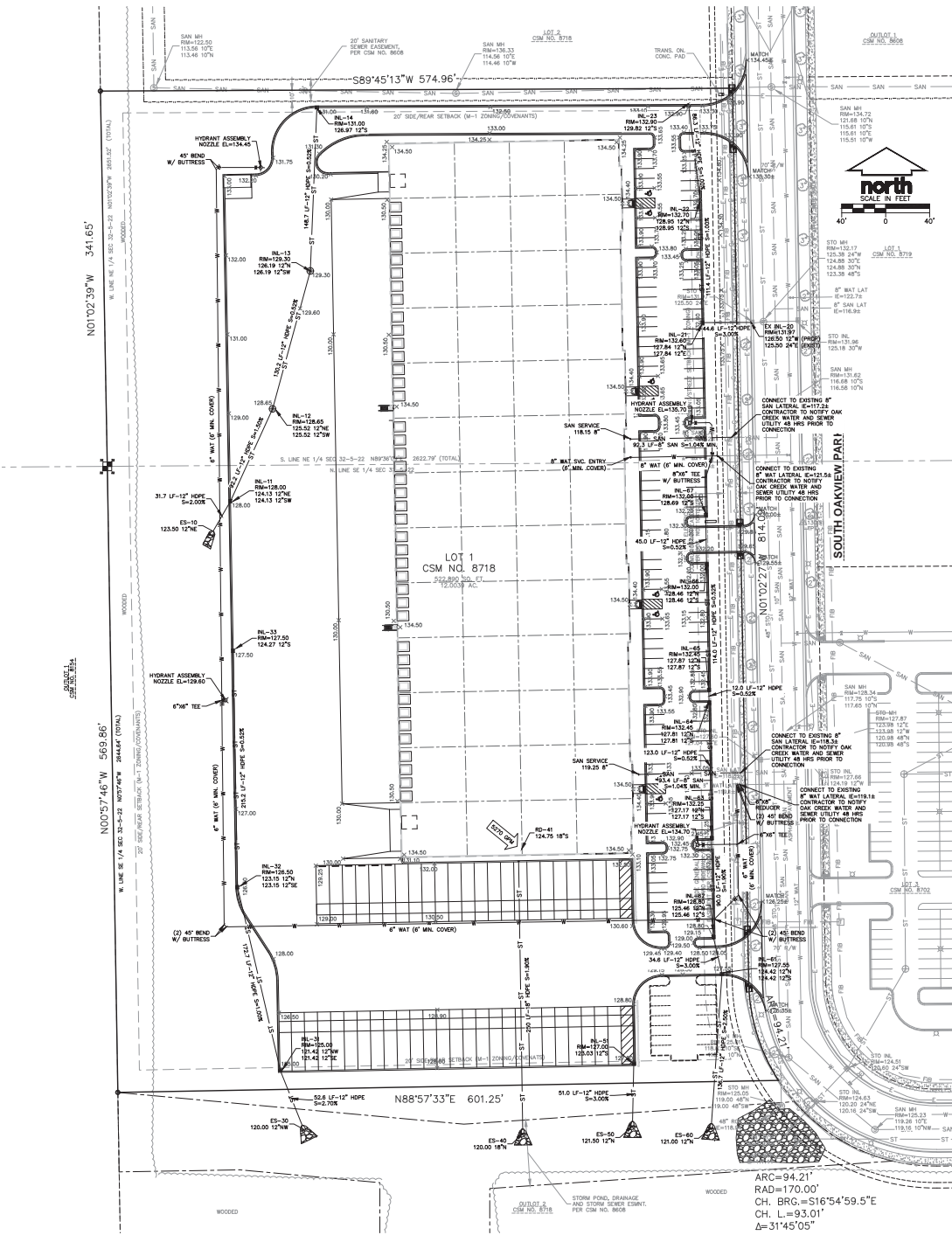
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**UTILITY NOTES**

- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES AND/OR TO AVOID DAMAGE THEREOF. CONTRACTOR SHALL CALL "DOG'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF OAK CREEK SPECIAL PROVISIONS AND WISCONSIN STATUTES, ORDINANCES AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE CITY OF OAK CREEK SPECIAL PROVISIONS AND WISCONSIN STATUTES, ORDINANCES AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES. CONTRACTOR SHALL CALL "DOG'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- TRACER WIRE SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 18.2.01(2)(B) OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION. TRACER WIRE SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST AND/OR REFRAGMENT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FRESHENED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
- STORM SEWER SPECIFICATIONS -
  - PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS V (MINIMUM C-76) WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-442. HIGH DENSITY DUAL-WALL POLYETHYLENE HDPE (HDPE) SHALL BE AS MANUFACTURED BY ADOX OR EQUAL, WITH WATER TIGHT JOINTS AND SHALL MEET THE REQUIREMENTS OF ASTM DESIGNATION M-204 TYPE "D" OR POLYVINYL CHLORIDE (PVC) - CLASS 6588 MEETING ADOX, AS NOTED. IF HOPE PIPE IS USED FOR POOR OUTFALLS, A MINIMUM OF THREE (3) STRAPPS SHALL BE STRAPPED TOGETHER.
  - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEWMAN R-1802 WITH TYPE "B" SELF SEALING LIDS, NON-ROOFING OR EQUAL.
- WATER MAIN SPECIFICATIONS -
  - PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF ANMA STANDARD A-201. ALL PIPES SHALL BE 15' MINIMUM DEPTH BELOW FINISHED GROUND SURFACE. GATE VALVES SHALL BE ANMA GATE VALVES MEETING THE REQUIREMENTS OF ANMA C-500 AND CHAPTER 8.2.7.2 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
  - 10-GAUGE TRACER WIRE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF ALL PRIVATE WATER MAINS, EXTERIOR LINES, AND INTERNAL CONNECTION LINES AND LATERALS. THE TRACER WIRE SHALL BE ENCASED IN THE SURFACE OF THE PIPE AND SHALL BE PROTECTED BY AN EXTENDING WALL AND ENCLOSED IN RIGID BOX WITH WATER ON THE COVER.
  - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF OAK CREEK AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". HYDRANTS SHALL BE INSTALLED TO THE CENTERLINE OF THE LOWEST NOZZLE AND TO A POINT 5 FEET FROM THE EDGE OF PAVEMENT. NOZZLES SHALL BE POLISHED STEEL AND SHALL BE PROTECTED BY A STEEL CAP OR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEHIND THE HYDRANT. HYDRANTS SHALL BE INSTALLED WITH A 4-INCH HOSE END. HOSE END SHALL BE PAINTED RED WITH SILVER NOZZLE CAP AND OPERATING NUT.
  - BEADING AND COVER MATERIAL - PIPE BEADING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE OR CRUSHED STONE SCREENING CONFORMING TO CHAPTER 8.4.2 OF THE "STANDARD SPECIFICATIONS".
  - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 8.4.2 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET FROM THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
  - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034. SANITARY SEWER SHALL BE 15' MINIMUM DEPTH BELOW FINISHED GROUND SURFACE, MEETING THE REQUIREMENTS OF ASTM D-3022.
  - BEADING AND COVER MATERIAL - BEADING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATIONS" WITH THE FOLLOWING MODIFICATION: COVER MATERIAL SHALL BE THE SAME AS USED FOR BEADING AND SHALL CONFORM TO SECTION 8.4.3.5 (A). BEADING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LAYS, OF AS REQUIRED TO ACHIEVE ADEQUATE COMPRESSIVE STRENGTH. THE LAYERS SHALL BE SEPARATED BY A MINIMUM OF 1/2" OF SAND OR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEHIND BEADING MATERIAL UNDER THE HANDS OF THE PIPE TO PROVIDE ADEQUATE SUPPORT.
  - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 8.4.2 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET FROM THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
  - MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE CITY OF OAK CREEK.
  - MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NEWMAN R-1800 WITH TYPE "B" SELF SEALING LIDS, NON-ROOFING OR EQUAL.
  - FRAME AND COVER SHALL BE NEWMAN R-1800 WITH TYPE "B" NON-ROOFING FRAME AND COVER. MANHOLE CASTING SHALL HAVE A CHIMNEY SEAL.
- WATER MAIN AND SANITARY SEWER SHALL BE INSTALLED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. ISOLATION AND PLACING OF ISOLATION SHALL CONFORM TO CHAPTER 11.7.2 MODIFICATION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 8TH EDITION UPDATED WITH ITS LATEST AMENDMENTS (TYP.).
- TRACER WIRE SHALL BE INSTALLED ALONG THE SANITARY SEWER SERVICE. THE TRACER WIRE SHALL BE CONTINUOUS AND SHALL BE EXTENDED UNDER A 4-INCH PVC UNDERGROUND UTILITY CONDUIT ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
- ALL NEW EXISTING SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
- THE CONTRACTOR SHALL CONTACT THE CITY OF OAK CREEK ENGINEERING DEPARTMENT (414-788-7541) 48 HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.

**LEGEND**

⊙	SANITARY SEWER MANHOLE	— SAN	SANITARY SEWER
⊙	STORM MANHOLE	— W	WATER MAIN
⊙	CATCH BASIN ROAD	— ST	STORM SEWER
⊙	CATCH BASIN SQUARE	— RD	ROOF DRAIN
⊙	FIRE HYDRANT	— G	UNDERGROUND GAS
⊙	WATER VALVE	— E	UNDERGROUND ELECTRIC
⊙	GAS VALVE	— U	UNDERGROUND UTILITY
⊙	LIGHT POLE	— FB	UNDERGROUND FIBER OPTICS
⊙	TELEPHONE PEDESTAL	— OH	OVERHEAD UTILITY
⊙	ELECTRICAL MANHOLE	— SF	SILT FENCE
⊙	SIGN	⊙	CONIFEROUS TREE
⊙	POWER POLE	⊙	DECIDUOUS TREE
⊙	GUY WIRE		



**SITE UTILITY PLAN**

PROJECT

**OAKVIEW INDUSTRIAL FACILITY II**

XXXXX S. OAKVIEW PARKWAY  
OAKVIEW BUSINESS PARK  
LOT 1 OF CSM NO. 8718  
CITY OF OAK CREEK, WI

LOG	3/15
DRAWN	SJM
CHECKED	RWR
DATE	10/13/17
SHEET	

**C3.0**

**JSD** Professional Services Inc.  
Milwaukee Regional Office  
202 S. MILWAUKEE AVENUE  
MILWAUKEE, WISCONSIN 53108  
Tel: 414-333-2270  
www.jsdinc.com

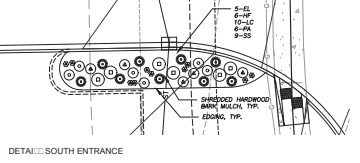
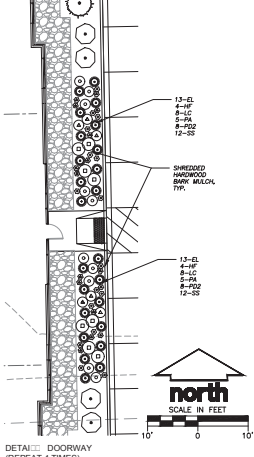
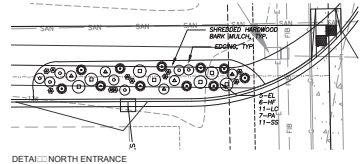
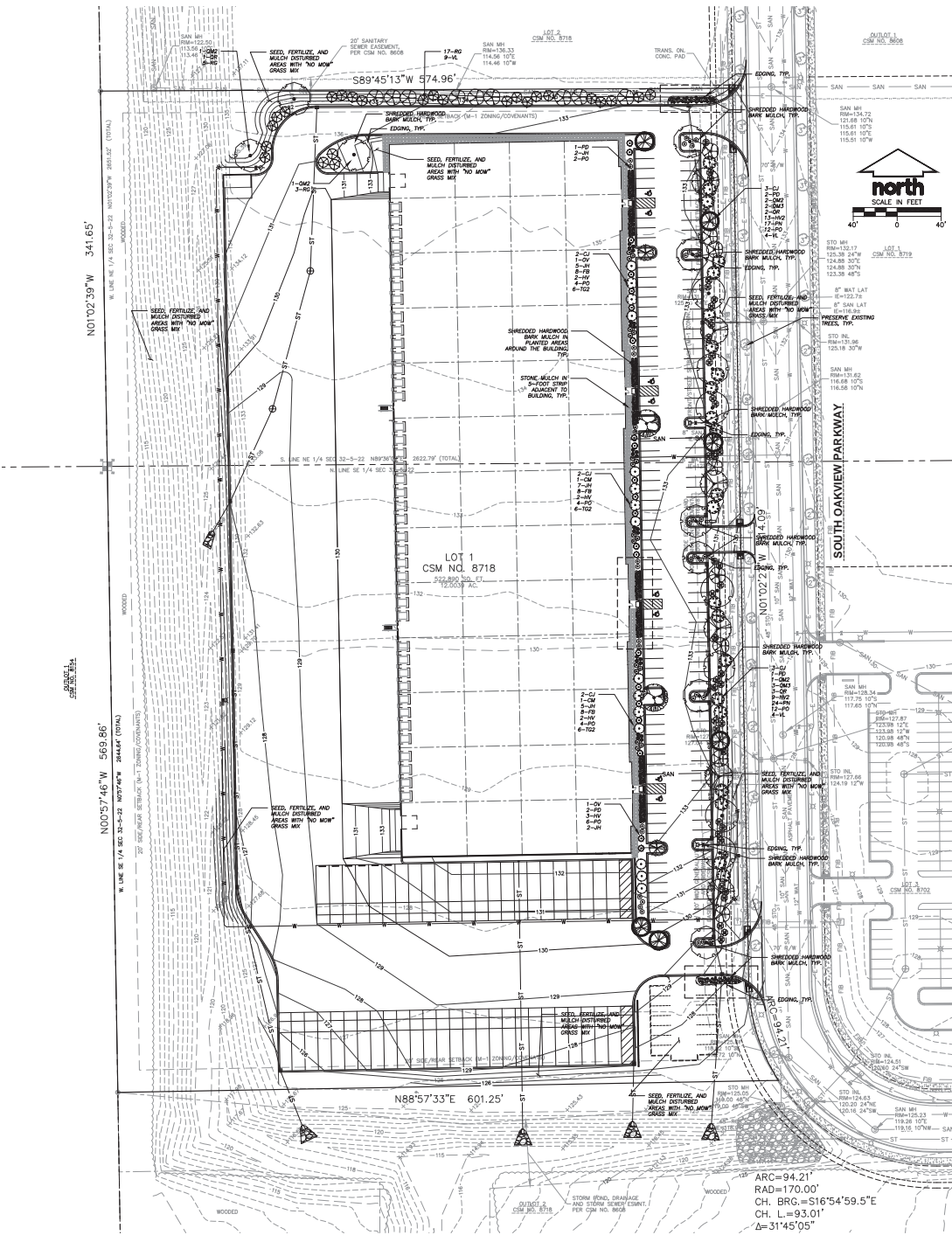
**W.D. Dugger & Sons Inc.**  
262 S. WISCONSIN AVENUE  
MILWAUKEE, WISCONSIN 53108  
Tel: 414-333-2270  
www.wddugger.com

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LANDSCAPE PLAN

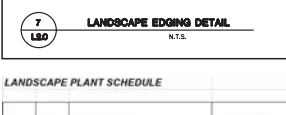
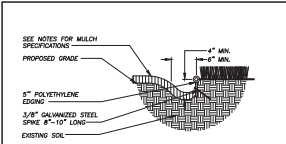
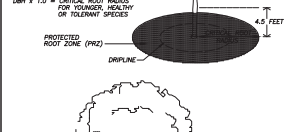
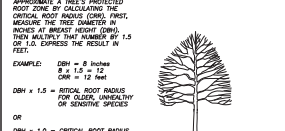
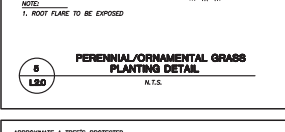
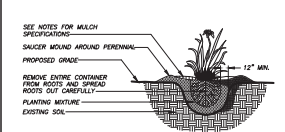
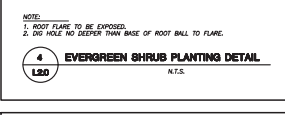
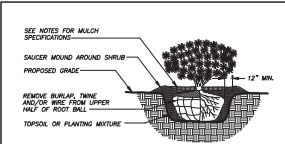
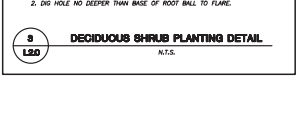
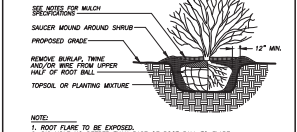
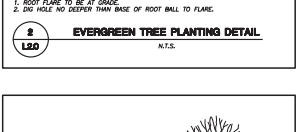
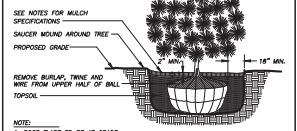
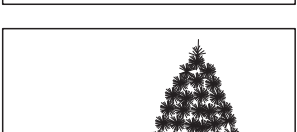
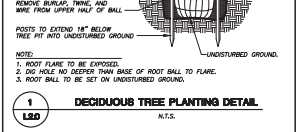
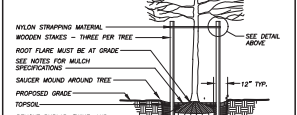
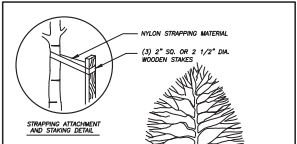
OAKVIEW INDUSTRIAL FACILITY II  
 XXXXX S. OAKVIEW PARKWAY  
 OAKVIEW BUSINESS PARK  
 LOT 1 OF CSM NO. 8718  
 CITY OF OAK CREEK, WI

JOB NO.	3015
DRAWN	KAS
CHECKED	RWI
DATE	10/13/17
SHEET	

**L1.0**



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**LANDSCAPE PLANT SCHEDULE**

KEY	BOTANICAL NAME	COMMON NAME	QTY	INSTALLED SIZE	MAINTAINED SIZE	ROOT	SPACING	LAND SQ. FT.	TOTAL COVERAGE SQ. FT.
SHADE TREE	QMS	Quercus macrocarpa	1	2 1/2 Cal. Min.	75x75	8x8	As shown		
	QMS	Quercus muhlenbergii	5	2 1/2 Cal. Min.	75x75	8x8	As shown		
	QMS	Quercus alba	6	2 1/2 Cal. Min.	75x75	8x8	As shown		
ORNAMENTAL TREE	CM	Cornus florida	2	2 1/2 Cal. Min.	25x25	8x8	As shown		
	CA	Campanula medium	6	2 1/2 Cal. Min.	30x30	8x8	As shown		
	CA	Campanula medium	6	2 1/2 Cal. Min.	30x30	8x8	As shown		
EVERGREEN TREE (4" DIA.)	EC	Euonymus japonicus	1	2 1/2 Cal. Min.	25x25	8x8	As shown		
	EC	Euonymus japonicus	1	2 1/2 Cal. Min.	25x25	8x8	As shown		
	EC	Euonymus japonicus	1	2 1/2 Cal. Min.	25x25	8x8	As shown		
LARGE DECIDUOUS SHRUB (4" DIA.)	HS	Hemlock	9	2 1/2 Cal. Min.	15x15	8x8	As shown	36	342
	HS	Hemlock	9	2 1/2 Cal. Min.	15x15	8x8	As shown	36	342
	HS	Hemlock	9	2 1/2 Cal. Min.	15x15	8x8	As shown	36	342
MEDIUM DECIDUOUS SHRUB (4" DIA.)	HS	Hemlock	17	2 1/2 Cal. Min.	15x15	8x8	As shown	68	646
	HS	Hemlock	17	2 1/2 Cal. Min.	15x15	8x8	As shown	68	646
	HS	Hemlock	17	2 1/2 Cal. Min.	15x15	8x8	As shown	68	646
SMALL DECIDUOUS SHRUB (2-4" DIA.)	HS	Hemlock	46	2 1/2 Cal. Min.	15x15	8x8	As shown	204	1938
	HS	Hemlock	46	2 1/2 Cal. Min.	15x15	8x8	As shown	204	1938
	HS	Hemlock	46	2 1/2 Cal. Min.	15x15	8x8	As shown	204	1938
PERENNIAL (4-6" POT)	EL	Euonymus japonicus	24	1 1/2 Cal. Min.	15x15	8x8	As shown	12	108
	EL	Euonymus japonicus	24	1 1/2 Cal. Min.	15x15	8x8	As shown	12	108
	EL	Euonymus japonicus	24	1 1/2 Cal. Min.	15x15	8x8	As shown	12	108
TOTAL									8888
									29%

- GENERAL NOTES**
- GENERAL: ALL WORK IN THE P-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE FIELD MONITORED AND DOES NOT WARRANT ANY DIMENSIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN UNDESIRABLE ACTIONS BY ANY OF ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ANY EXISTING UTILITIES. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
  - DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ACCURATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT FEASE FROM THE DELIVERER. ALL TREES AND SHRUBS SHALL BE DELIVERED WITH LEGIBLE IDENTIFICATION LABELS. PLANTS SHALL BE DELIVERED WITH LEGIBLE IDENTIFICATION LABELS. PLANTS SHALL BE DELIVERED WITH LEGIBLE IDENTIFICATION LABELS. PLANTS SHALL BE DELIVERED WITH LEGIBLE IDENTIFICATION LABELS.
  - MATERIALS: PLANTS TO BE PLANTED IN NURSERY STOCK AND SHALL BE TRUE TO SPECIES AND UNWEED SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS IN THE LOCALITY OF THE PLANTING. PLANTS SHALL BE OF THE LATEST OF YEARS. PLANTS SHALL BE OF THE MOST RECENT FAVORABLE HARVEST SEASON. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS AND DIMENSIONS. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND GENUINELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE SUFFICIENTLY DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM OTHER CONDITIONS THAT WOULD PREVENT THROUGH GROWTH. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE CITY OF OAKVIEW'S PLANTING STANDARDS. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE CITY OF OAKVIEW'S PLANTING STANDARDS. PLANTS SHALL BE PLANTED IN ACCORDANCE WITH THE CITY OF OAKVIEW'S PLANTING STANDARDS.
  - PLANNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. THIS SHALL BE THE ONLY TIME ALLOWED AS PLANNING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS AND SHALL BE PERFORMED BY A LICENSED TREE CARE PROFESSIONAL. PRUNING SHALL BE PERFORMED BY A LICENSED TREE CARE PROFESSIONAL. PRUNING SHALL BE PERFORMED BY A LICENSED TREE CARE PROFESSIONAL.
  - CLEANUP: EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BARKING AND WRAPPING MATERIALS SHALL BE SHIPPED AWAY AND HEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED ON THE PUBLIC PROPERTY OR IN A PUBLIC EASEMENT. UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

- LANDSCAPE MATERIAL NOTES**
- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
    - PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON OTHER DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR CLUMPS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7.5. PLANTING SOIL SHALL BE TESTED TO CONFIRM TO THESE SPECIFICATIONS AND SHALL BE APPLIED TO MEET THESE SPECIFICATIONS. APPLY SOIL AMOUNTING TO ALL LANDSCAPE AREAS PER SQ. FT. OF 10 FEET WHEN THE ACTUAL PLANTING AREA IS LESS THAN 100 SQ. FT.
    - PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON OTHER DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR CLUMPS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7.5. PLANTING SOIL SHALL BE TESTED TO CONFIRM TO THESE SPECIFICATIONS AND SHALL BE APPLIED TO MEET THESE SPECIFICATIONS. APPLY SOIL AMOUNTING TO ALL LANDSCAPE AREAS PER SQ. FT. OF 10 FEET WHEN THE ACTUAL PLANTING AREA IS LESS THAN 100 SQ. FT.
  - MATERIALS - SHREDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WOOD FREE SHREDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS. SHREDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE. SHREDED HARDWOOD BARK MULCH SHALL BE INSTALLED WITH A MINIMUM 2" LAYER. SHREDED HARDWOOD BARK MULCH SHALL BE INSTALLED WITH A MINIMUM 2" LAYER. SHREDED HARDWOOD BARK MULCH SHALL BE INSTALLED WITH A MINIMUM 2" LAYER.
  - MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A CONSISTENT DEPTH OF THREE INCHES OVER EXISTING SOIL. STONE MULCH SHALL BE INSTALLED WITH A MINIMUM 2" LAYER. STONE MULCH SHALL BE INSTALLED WITH A MINIMUM 2" LAYER. STONE MULCH SHALL BE INSTALLED WITH A MINIMUM 2" LAYER.
  - MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN EXPOSED LAWN AREAS SHALL BE INSTALLED WITH A MINIMUM 5" DIAMETER SHREDED HARDWOOD BARK MULCH FREE RING SPRINGS IN A CONCENTRIC DEPTH OF 6 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 4" DEPTH OF MULCH. ALL TREE RINGS SHOULD BE INSTALLED WITH A 4" DEPTH OF MULCH. ALL TREE RINGS SHOULD BE INSTALLED WITH A 4" DEPTH OF MULCH.
  - MATERIALS - WEED BARRIER FABRIC: ALL DECORATIVE STONE MULCH PLANTING AREAS SHALL BE INSTALLED WITH WEED BARRIER FABRIC. NO PLASTIC/IMPENETRABLE BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK WOODEN, SHREDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WEED BARRIER FABRIC.
  - MATERIALS - EDGING: EDGING SHALL BE 4" DEEP, POLYETHYLENE EDGING. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
  - MATERIALS - SEED: DESTROYED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE "NO MOW" SEED OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO FESCUE SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DESTROYED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MOW PER MANUFACTURER'S RECOMMENDATIONS.
  - MATERIALS - SOIL: ALL AREAS SPECIFIED ON PLAN PER THESE NOTES: TURFGRASS SOIL CLASS OF TURFGRASS SOIL SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOIL. ALL AREAS SPECIFIED ON PLAN PER THESE NOTES: TURFGRASS SOIL CLASS OF TURFGRASS SOIL SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOIL. ALL AREAS SPECIFIED ON PLAN PER THESE NOTES: TURFGRASS SOIL CLASS OF TURFGRASS SOIL SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOIL.

- CONTRACTOR AND OWNER RESPONSIBILITY NOTES**
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE SPECIFIED BY OWNER'S REPRESENTATIVE. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DESTROYED IN ANY MANNER DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRENGTHENING GUARANTEE FOR ALL TREES.
  - CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DRESSING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
  - MAINTENANCE: CONTRACTOR FOR ALL PLANTING, SEEDS AREAS AND EXISTING BARRIERS. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR WEEDING, WATERING, FERTILIZING AND TRIMMING PLANTS AND LAWN/TURFGRASS AREAS. THE CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH.
  - MAINTENANCE: OWNER THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**BRIOHN**

**DESIGN GROUP**

1400 WILSON AVENUE, SUITE 200  
MILWAUKEE, WISCONSIN 53188  
TEL: 414.224.1100  
WWW.BRIOHNDG.COM

**LANDSCAPE NOTES, SPECIFICATIONS, & DETAILS**

PROJECT: **OAKVIEW INDUSTRIAL FACILITY II**

XXXXX S. OAKVIEW PARKWAY  
OAKVIEW BUSINESS PARK  
LOT 1 OF CSM NO. 8718  
CITY OF OAK CREEK, WI

**DRAFT - REVIEW ONLY - NOT FOR CONSTRUCTION**

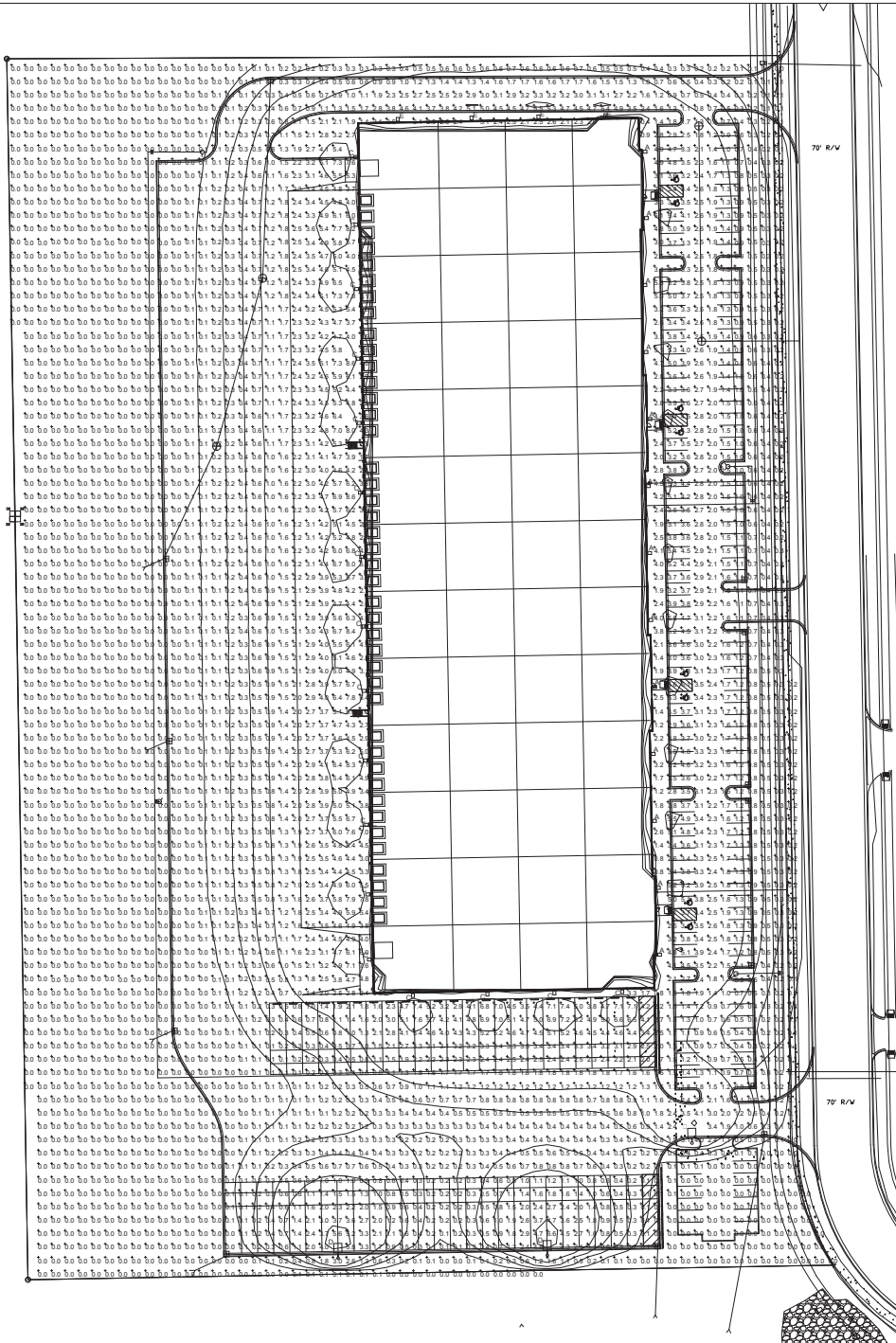
**JSD**

**MILWAUKEE REGIONAL OFFICE**

102 WESTERN WISCONSIN COURT SUITE 3  
WALKAUSE, WISCONSIN 53188  
TEL: 414.224.1100 FAX: 414.224.1101  
WWW.JSDINC.COM

**L2.0**

LOG: 3/15  
DRAWN: KAS  
CHECKED: RWN  
DATE: 10/15/17  
SHEET:



Item No.	Code	Quantity	Description	Unit	Notes
1	A	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION
2	B	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION
3	C	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION
4	D	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION
5	E	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION

Item No.	Code	Quantity	Description	Unit	Notes
6	F	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION
7	G	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION
8	H	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION
9	I	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION
10	J	1	CONCRETE WALKWAY 12" THICK	SQ. YD.	SEE PLAN FOR LOCATION

**HFR electric inc.**  
ELECTRICAL CONTRACTOR  
Residential - Commercial - Industrial  
262-644-6940

**Oak Jew II**

Revision Date

Document Date  
10-16-17

Sheet Title  
Electrical Schematic Plan

Sheet Number

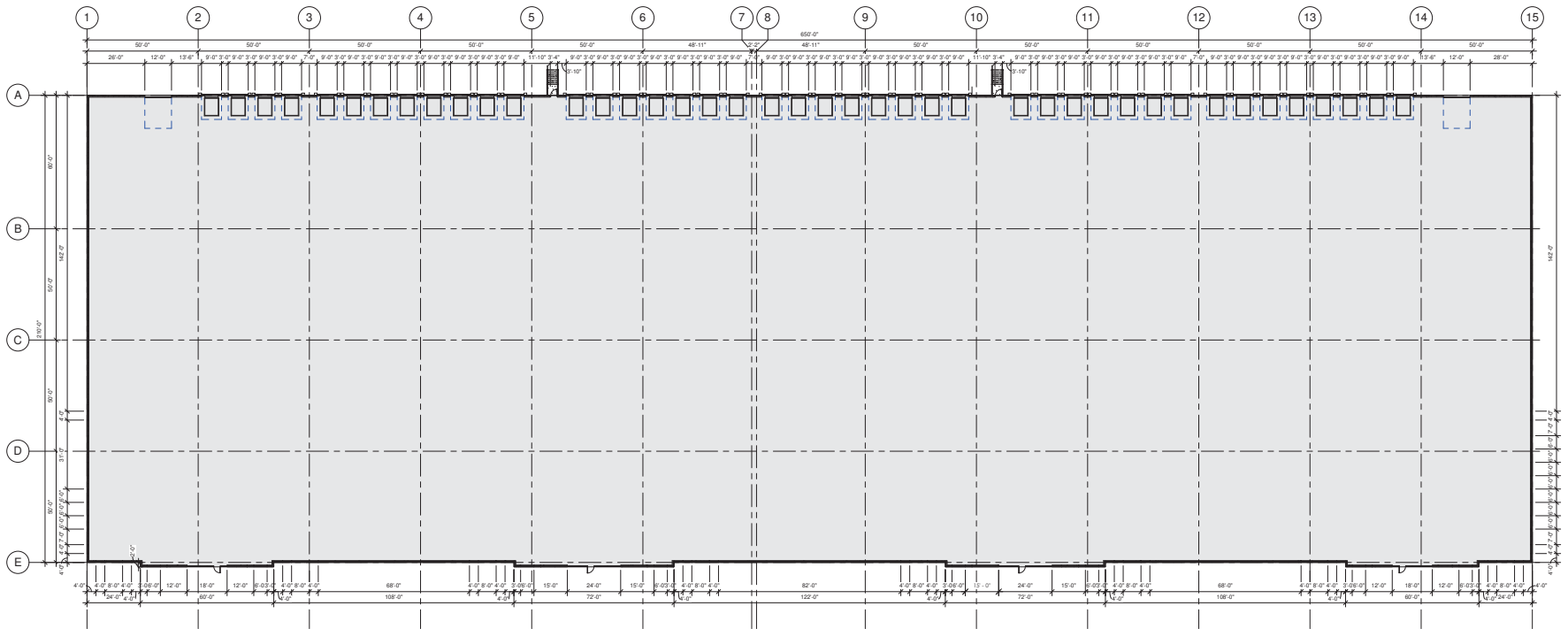
WEST OAKVIEW PARKWAY



OVERALL FLOOR PLAN

NOTE

PROPOSED SHELL BUILDING FOR:  
**OAKVIEW II**  
 10651 SOUTH OAKVIEW PARKWAY  
 OAK CREEK, WI



**1** FIRST FLOOR PLAN  
 1"=20'

DATE	3/15
DRAWN	AA
CHECKED	DF
DATE	10/16/17
SHEET	

**A1.1**

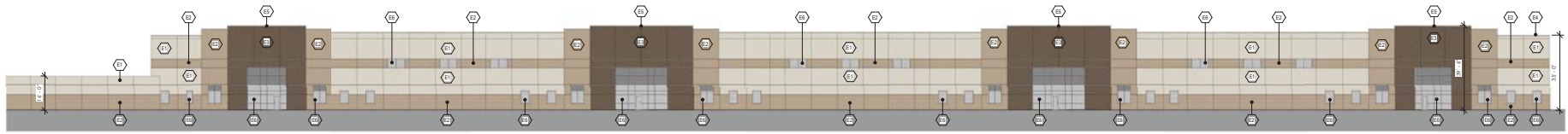


ELEVATION COORD NOTES	
NOTE	DESCRIPTION
E1	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE REGULATED WITH PAINTED FINISH - COLOR LIGHT TAN.
E2	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE REGULATED WITH PAINTED FINISH - COLOR MEDIUM TAN.
E3	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE REGULATED WITH PAINTED FINISH - COLOR DARK TAN.
E4	PRE FINISHED METAL 24 GA. GRAVEL STOP COLOR SHALL BE "MEDIUM BROWN ANODIZED FINISH".
E5	PRE FINISHED METAL 24 GA. CORING COLOR SHALL BE "MEDIUM BROWN ANODIZED FINISH".
E6	PRE FINISHED CLEAR ANODIZED ALUMINUM FRAMED THERMALLY BROKEN AND 1" REGULATED LOW E EMIT FINISH WINDOW UNITS WITH GREY SPANDREL (SPANDREL GLASS ABOVE 4'-0" ON WEST ELEVATION).
E7	10' 0" REGULATED OR DOOR FACTORY FINISHED TAN WITH VISION WINDOWS.
E8	10' 0" REGULATED OR DOOR FACTORY FINISHED TAN WITH VISION WINDOWS, DOCK SEALS, DOCK LEVELERS AND BUMPERS.
E10	PAINTED HOLLOW METAL SERVICE DOOR AND FRAME WITH EMERGENCY EGRESS CODE REQUIRED LIGHTING (COLOR TO MATCH ADJACENT PRE CAST COLOR).

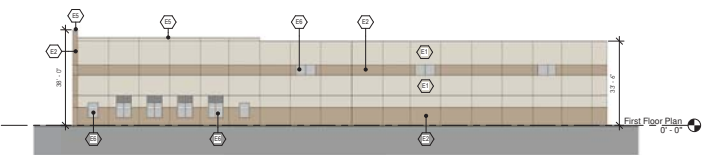


EXTERIOR ELEVATIONS

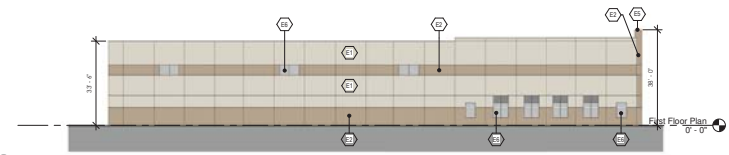
PROPOSED SHELL BUILDING FOR:  
 OAKVIEW II  
 10651 SOUTH OAKVIEW PARKWAY  
 OAK CREEK, WI



1 East  
1" = 20' 0"



3 North  
1" = 20' 0"



2 South  
1" = 20' 0"



4 West  
1" = 20' 0"

DATE	3/15
DRAWN	AA
CHECKED	DF
DATE	10/16/17
SHEET:	

A5.1



# Plan Commission Report

ITEM: 5d

DATE: November 14, 2017

**PROJECT:** Conditional Use Permit – Samuel D. Dickman, 4545 LLC

**ADDRESS:** 10651 S. Oakview Pkwy.

**TAX KEY NO:** 955-1023-000

**SUGGESTED MOTION:** That the Plan Commission recommends that the Common Council approves a Conditional Use Permit for freight yard/freight terminal/trans-shipment depot uses on the property at 10651 S. Oakview Pkwy., after a public hearing and subject to conditions and restrictions that will be prepared for the Commission’s review at the next meeting (November 28, 2017).

**Ownership:** Wispark, LLC, 231 W. Michigan St. P-423, Milwaukee, WI 53203

**Size:** 12.004 ac

**Existing Zoning:** M-1 (PUD), Manufacturing

**Adjacent Zoning:**  
North – M-1 (PUD), Manufacturing  
East – M-1 (PUD), Manufacturing  
South – M-1 (PUD), Manufacturing  
West – M-1 (PUD), Manufacturing

**Comprehensive Plan:** Planned Industrial.

**Wetlands:** N/A.

**Floodplain:** N/A.

**Official Map:** N/A.

**Commentary:** The Applicant is requesting recommendation of Conditional Use approval for freight yard/ freight terminal/trans-shipment depot uses on the property at 10651 S. Oakview Pkwy. Freight yard/freight terminal/trans-shipment depot uses are Conditional Uses in the M-1, Manufacturing district. Site and building plans for a multitenant manufacturing and warehouse building were reviewed in the previous agenda item.

Per the submitted narrative, approximately 75 employees are anticipated during a daytime shift, with hours of operation between 6:00 AM and 10:00 PM Monday through Friday (potentially through Saturday). Truck parking is provided on the south side of the building, and approximately 30 daily deliveries by semi-trailer are anticipated. No outdoor storage, other than screened semi-trailer parking and trash within an enclosure, has been requested.

Should the Plan Commission determine that the site is appropriate for freight yard/freight terminal/trans-shipment depot uses, staff will prepare conditions and restrictions to be reviewed at the next meeting on November 28, 2017.

Prepared by:

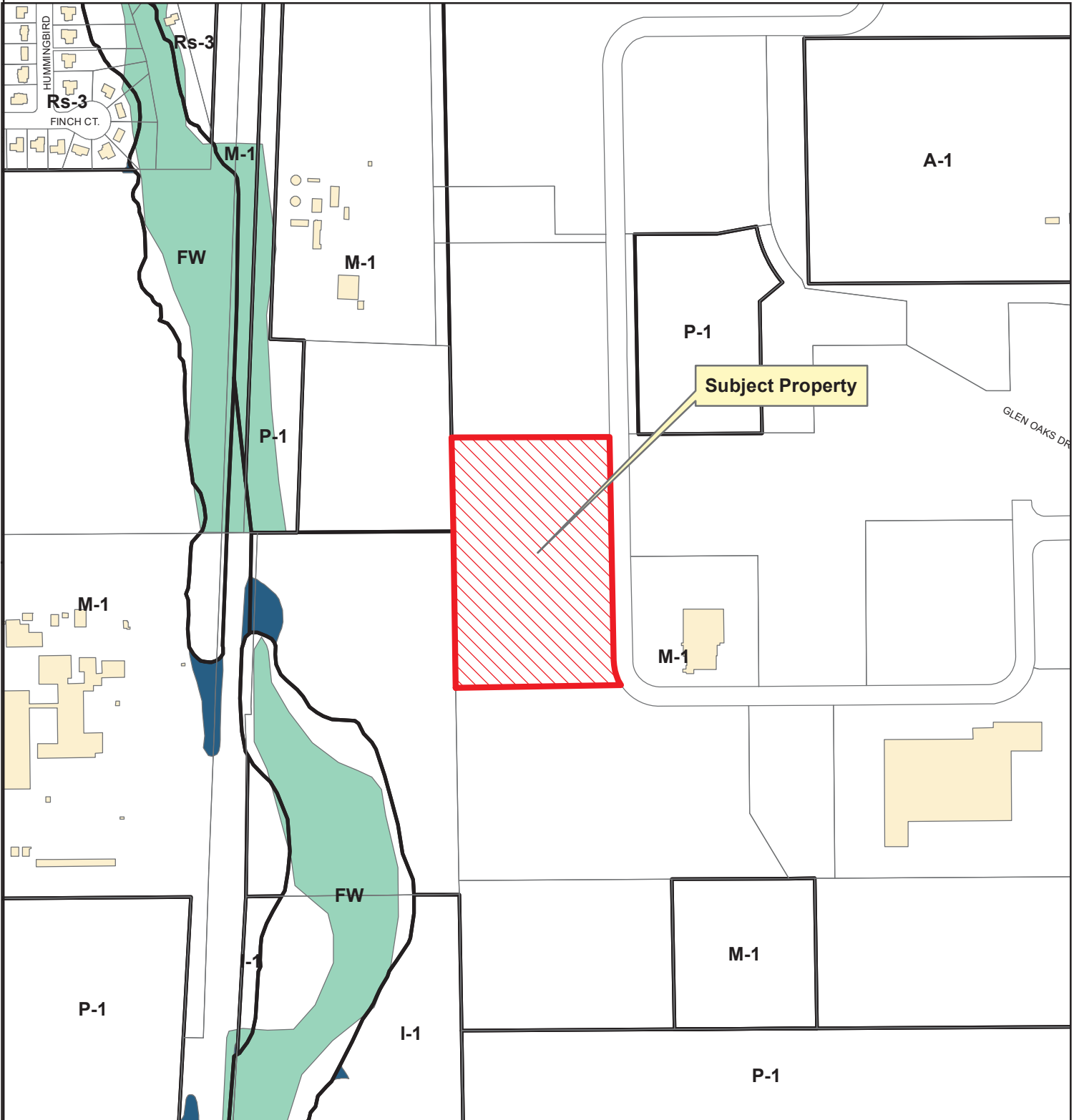
Kari Papelbon, CFM, AICP  
Planner

Respectfully Submitted by:

Douglas Seymour, AICP  
Director of Community Development

# Location Map

## 10651 S. Oakview Pkwy



This map is not a survey of the actual boundary of any property this map depicts.



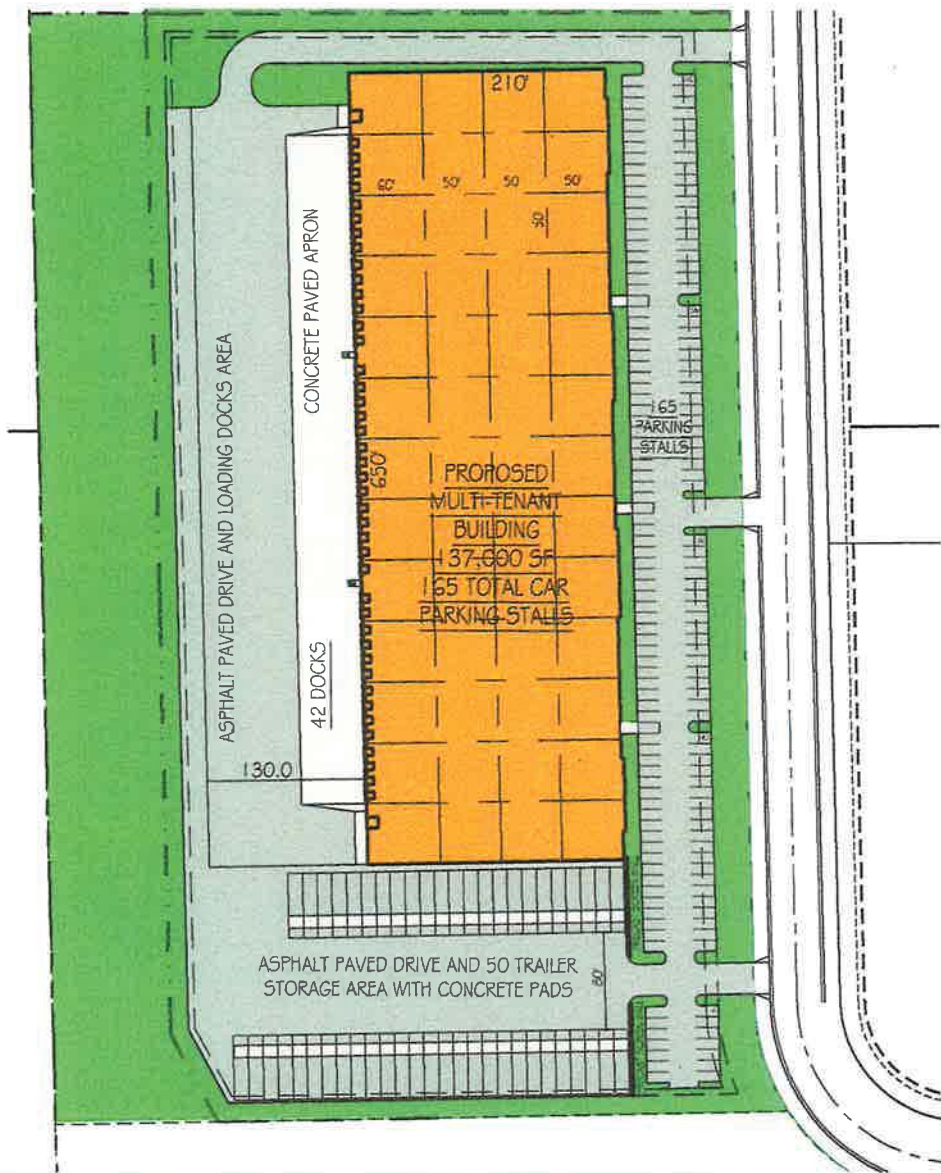
Department of Community Development



Legend		Zoning Overlays	
	10651 S. Oakview Pkwy		C-1-Shoreland Wetland
			FF-Flood Fringe
			Lakefront Overlay
			NO-Mixed Use Neighborhood
			OO-Mixed Use Office
			RR-Regional Retail

## PLAN COMMISSION APPLICATION

Building Size:	136,500 square feet
Demised Space:	136,500 square feet
Office Space:	7,000 square feet
Number of Employees:	75
Hours of Operation:	6:30 a.m. to 10:00 p.m.
Property Modifications:	Build out of office space.
Frequency of Deliveries:	30 semi-trailers
Truck Parking:	Trailer trucks will be stored at night in the rear of the property in the designated area. This area is well lit and has a dolly pad for the trailers.
Car Parking Stalls:	165
Outdoor Storage:	None
Use:	Assembly, processing, manufacturing, storage, distribution, warehousing, delivery services, transportation and logistics, as well as ancillary office, professional and administrative uses consistent with the M-1 Manufacturing District



SITE COVERAGE CALCULATIONS	
TOTAL SITE =	12.0039 ACRES (522,890 SF)
LOT COVERAGE =	69.5% (363,189 SF)
GREEN SPACE =	30.5% (159,701 SF)

SITE PLAN  
Scale: 1" = 100'-0"







# Plan Commission Report

ITEM: 5e  
DATE: November 14, 2017

**PROJECT:** Affidavit of Correction – Susan Sorrentino, SBR Law Group, LLC

**ADDRESSES:** 9900 & 9941 S. Ridgeview Dr.

**TAX KEY NOS:** 926-9028-000 & 926-9029-000

**SUGGESTED MOTION:** That the Plan Commission recommends to the Common Council that the Affidavit of Correction submitted by Susan Sorrentino, SBR Law Group, LLC for the properties at 9900 & 9941 S. Ridgeview Dr. be approved, subject to the following conditions:

1. That all unused laterals are abandoned at the main in conformance with Oak Creek Water and Sewer Utility requirements.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

**Ownership:** Seville Flexpack Corp., 9905 S. Ridgeview Dr., Oak Creek, WI 53154  
Yakich Children’s, LLC, 4983 S. 22<sup>nd</sup> Pl., Milwaukee, WI 53221

**Size:** 3.919 acres & 6.695 acres

**Existing Zoning:** M-1 (PUD), Manufacturing

**Adjacent Zoning:** North – M-1 (PUD), Manufacturing  
East – M-1 (PUD), Manufacturing  
South – M-1 (PUD), Manufacturing  
West – M-1 (PUD), Manufacturing

**Comprehensive Plan:** Planned Industrial.

**Wetlands:** Yes (see attached maps).

**Floodplain:** N/A.

**Official Map:** Yes (see attached map).

**Commentary:** The Applicant is requesting approval of an Affidavit of Correction affecting the properties at 9900 & 9941 S. Ridgeview Dr. Both properties were part of CSM 7884, which referred to Outlot 1 and the vacation of a portion of Ridgeview Drive. As described in the summary (included with this report), the CSM did not contain an Outlot 1 and the referenced vacation never occurred. There is no plan to pursue the vacation at this time. The Applicant is proposing to have both references removed via the Correction instrument. No other changes are proposed.

The Oak Creek Water and Sewer Utility requires unused water and sewer laterals for 9900 & 9941 S. Ridgeview Dr. be abandoned at the main. No other comments have been submitted.

Prepared by:

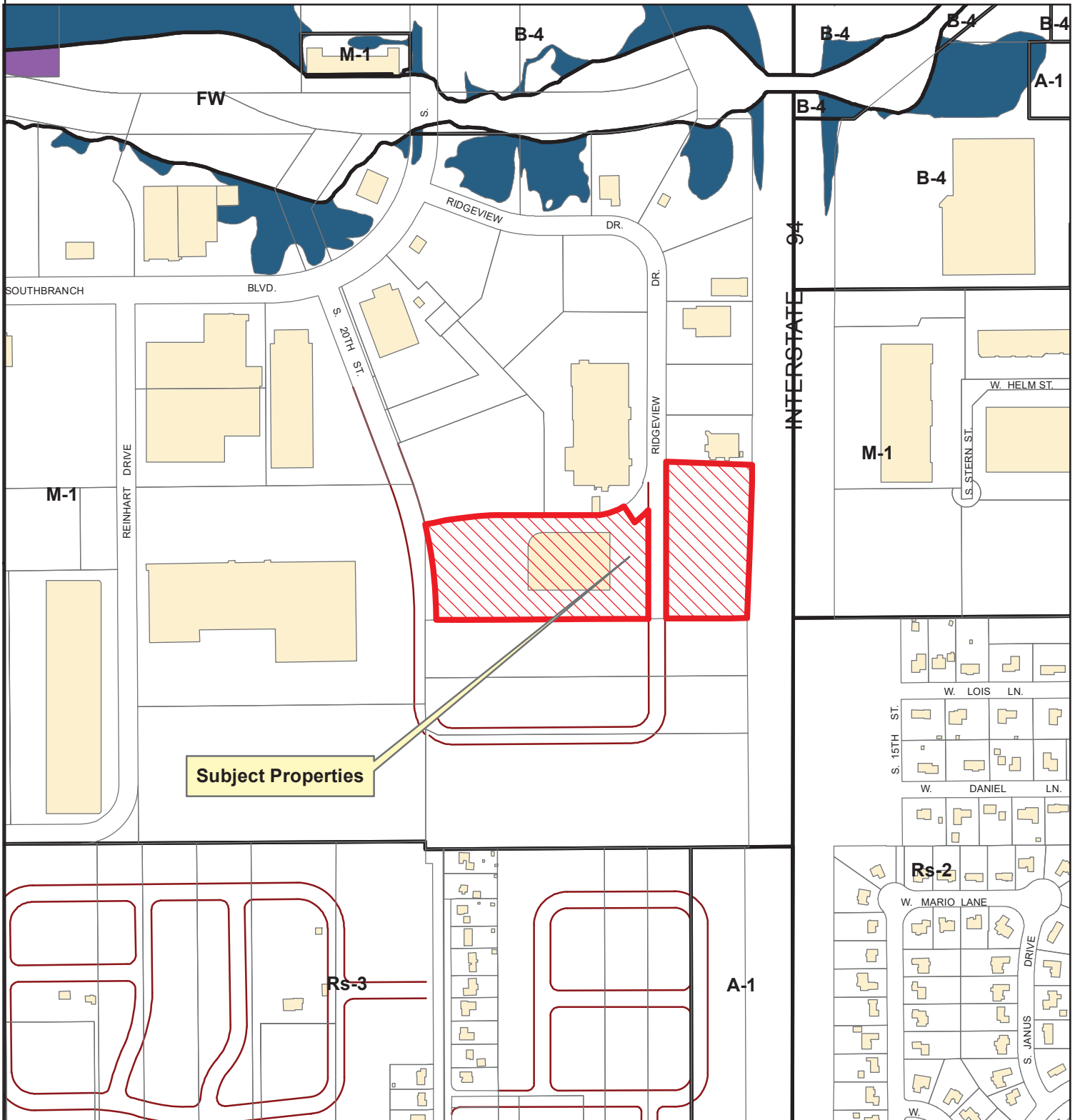
Kari Papelbon, CFM, AICP  
Planner

Respectfully Submitted by:

Douglas Seymour, AICP  
Director of Community Development

# Location Map

## 9941 & 9900 S. Ridgeview Dr.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend		Zoning Overlays	
	9900 S. Ridgeview Dr.		9941 S. Ridgeview Dr.
	C-1-Shoreland Wetland		FF-Flood Fringe
	Lakefront Overlay		NO-Mixed Use Neighborhood
	OO-Mixed Use Office		RR-Regional Retail

## S U M M A R Y

On September 29, 2017, The Walter J. Yakich Family Trust sold a portion of the Property to Seville Flexpack Corporation (“**Buyer**”). In connection with the conveyance, First American Title Insurance Company (“**Title**”) had agreed to provide to Buyer insurance over items in the title commitment and issue an Owner’s policy of title insurance to Buyer based on SBR Law Group LLC’s execution and the subsequent recording of an Affidavit of Correction (“**Affidavit**”) to remove language referring to the vacation of Ridgeview Drive and Outlot 1 and to specify that the ingress/egress easement only benefits the property to the north known as Lot 6, Block 6, in Southbranch Industrial Park as shown on the face of Certified Survey Map No. 7884 recorded February 22, 2007 as Document No. 9389813 (“**CSM**”) in order to subsequently remove exceptions 8 and 10 and remove the reference to Outlot 1 in exception 12 of the title commitment (“**Exceptions**”). We want to record the Affidavit based upon the following errors in the current CSM:

1. Both the title company and surveyor searched for a filed resolution for vacation of Ridgeview Drive and couldn’t find anything of record. We subsequently followed up with Doug Seymour at the City of Oak Creek (Director of Community Development) who could not find any documentation to support a resolution for any part of Ridgeview Drive shown on Exhibit A attached.
2. Both the title company and surveyor could not determine who the ingress/egress easement shown on Exhibit A was meant to benefit. Additionally, they do not find an “Outlot 1” on the recorded CSM in which the note refers to (see Exhibit A). We reached out to Doug Seymour at the City of Oak Creek (Director of Community Development) who informed us there was nothing of record that spoke of the easement benefitting the public or a particular party. He also did not see an Outlot 1 on the CSM.

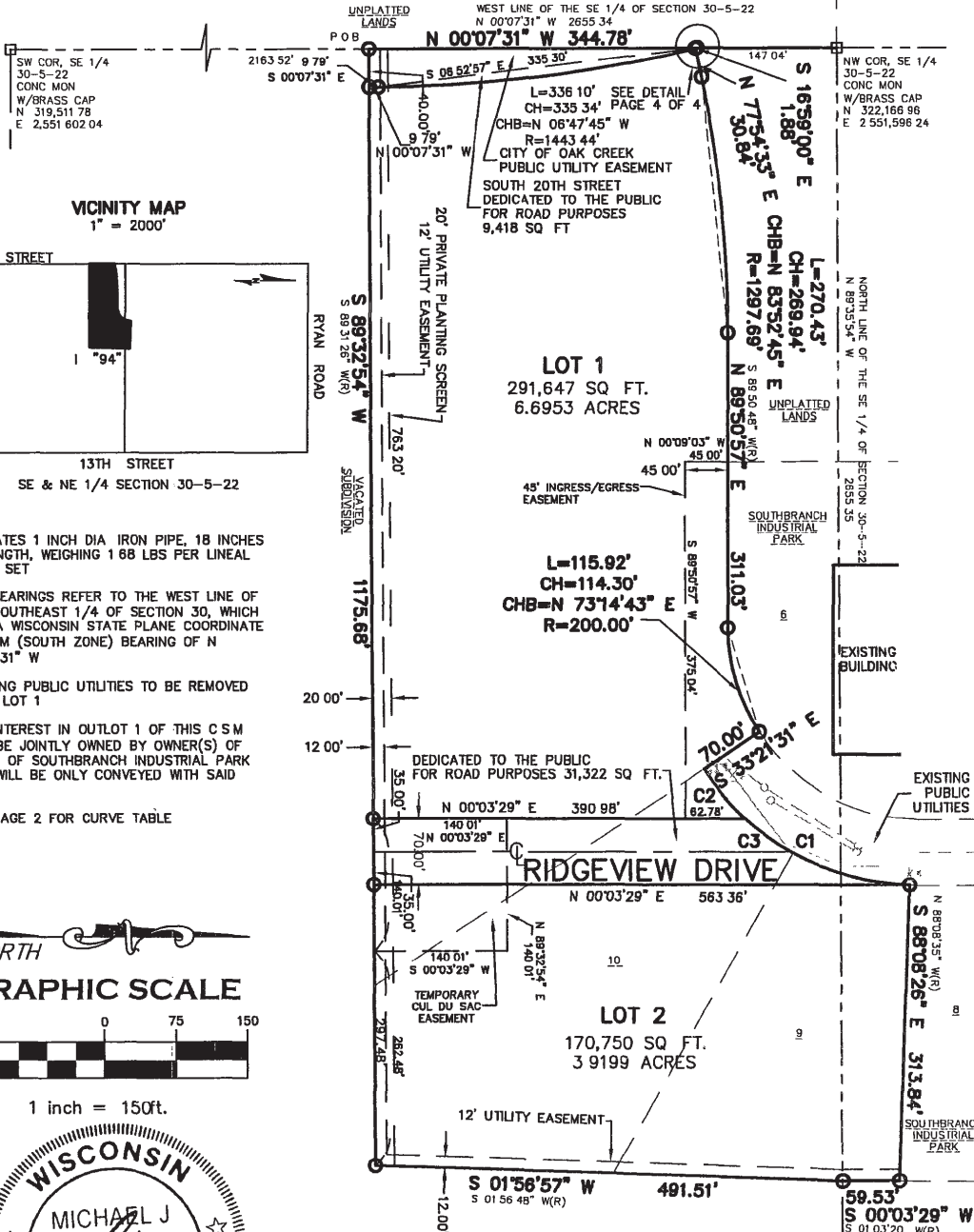
The Affidavit of Correction will remove the errors on the face of the current CSM and will allow the Buyer the appropriate insurance over the items shown in the title commitment referred to above.

4

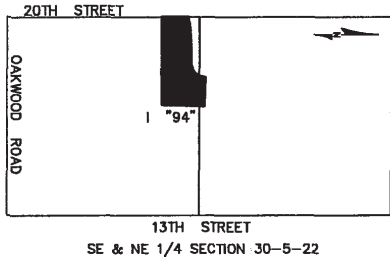
Exhibit A

# CERTIFIED SURVEY MAP NO. 7884

A REDIVISION OF LOTS 9 AND 10 IN BLOCK 5 IN SOUTHBRANCH INDUSTRIAL PARK, THAT PORTION OF VACATED RIDGEVIEW DRIVE AND LANDS IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWN 5 NORTH, RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



VICINITY MAP  
1" = 2000'



○ INDICATES 1 INCH DIA IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 168 LBS PER LINEAL FOOT, SET

ALL BEARINGS REFER TO THE WEST LINE OF THE SOUTHEAST 1/4 OF SECTION 30, WHICH HAS A WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE) BEARING OF N 00°07'31" W

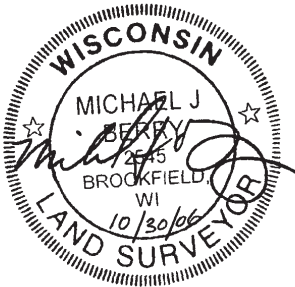
EXISTING PUBLIC UTILITIES TO BE REMOVED FROM LOT 1

ALL INTEREST IN OUTLOT 1 OF THIS CSM WILL BE JOINTLY OWNED BY OWNER(S) OF LOT 6 OF SOUTHBRANCH INDUSTRIAL PARK AND WILL BE ONLY CONVEYED WITH SAID LOT 6

SEE PAGE 2 FOR CURVE TABLE



1 inch = 150ft.



FEE INTERSTATE "94"  
# 77.25 (2r)  
EXEMPT

PREPARED FOR:  
WALTER J. YAKICH REVOCABLE TRUST  
1640 E. ELM ROAD  
OAK CREEK, WI 53154



CAPITOL SURVEY & ENGINEERING  
11430 W BLUEMOUND ROAD SUITE 11  
WAUWATOSA, WISCONSIN 53226  
PH (414) 302 4580  
FAX (414) 302 5905  
WWW.CAPITOLSURVEY.COM

REVISED 11/07/06  
REVISED 1/10/07  
REVISED 1/18/07  
REVISED 2/7/07

# CERTIFIED SURVEY MAP NO. 7884

A REDIVISION OF LOTS 9 AND 10 IN BLOCK 5 IN SOUTHBRANCH INDUSTRIAL PARK, THAT PORTION OF VACATED RIDGEVIEW DRIVE AND LANDS IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWN 5 NORTH, RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN )  
MILWAUKEE COUNTY ) SS

I, MICHAEL J BERRY, A REGISTERED LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED, MAPPED AND DEDICATED A REDIVISION OF LOTS 9 AND 10 IN BLOCK 5 IN SOUTHBRANCH INDUSTRIAL PARK, THAT PORTION OF VACATED RIDGEVIEW DRIVE AND LANDS IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWN 5 NORTH, RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4; THENCE N 00°07'31" W ALONG THE WEST LINE OF SAID 1/4 SECTION 2163.52 FEET TO THE POINT OF BEGINNING OF LANDS TO BE DESCRIBED, THENCE CONTINUING N 00°07'31" W 344.78 FEET; THENCE S 16°59'00" E 1.88 FEET, THENCE N 77°54'33" E 30.84, THENCE EASTERLY 270.43 FEET ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE SOUTH, WHOSE RADIUS IS 1297.69 FEET AND WHOSE CHORD BEARS N 83°52'45" E 269.94 FEET THENCE N 89°50'57" E AND ALONG THE SOUTH LINE OF SOUTHBRANCH INDUSTRIAL PARK 311.03' TO THE SOUTHERLY END OF RIDGEVIEW DRIVE, THENCE S 33°21'31" E 70.00 FEET TO A POINT ON THE EASTERLY LINE OF SAID DRIVE, THENCE NORTHEASTERLY 258.15 FEET ALONG SAID DRIVE AND THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTHWEST, WHOSE RADIUS IS 270.00 FEET AND WHOSE CHORD BEARS N 29°15'04" E 248.43 FEET, THENCE S 88°08'26" E ALONG THE SOUTH LINE OF LOT 8 OF SAID INDUSTRIAL PARK 313.84 FEET, THENCE S 00°03'29" W 59.53 FEET, THENCE S 01°56'57" W 491.51 FEET, THENCE S 89°32'54" W ALONG THE SOUTH LINE OF SAID INDUSTRIAL PARK AND ITS EXTENSION 1175.68 FEET TO THE POINT OF BEGINNING.

LANDS CONTAINING 503,138 SQUARE FEET OR 11,550.5 ACRES

THAT I HAVE MADE SUCH SURVEY, LAND DIVISION AND MAP BY THE DIRECTION OF WALTER J YAKICH REVOCABLE TRUST, OWNER OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF MADE

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE STATUTES OF THE STATE OF WISCONSIN AND CHAPTER 14 OF THE CITY OF OAK CREEK MUNICIPAL CODE IN SURVEYING, DIVIDING, AND MAPPING THE SAME.

DATED THIS 30TH DAY OF OCTOBER, 2006.



MICHAEL J BERRY  
REGISTERED LAND SURVEYOR, S-2545  
STATE OF WISCONSIN



CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	258.15'	270.00'	248.43'	N29°15'04"E
C2	67.61'	270.00'	67.43'	N49°28'05"E
C3	190.54'	270.00'	186.61'	N22°04'39"E

REVISED 11/07/06  
REVISED 1/10/07  
REVISED 1/18/07  
REVISED 2/7/07

**CERTIFIED SURVEY MAP NO. 7884**

A REDIVISION OF LOTS 9 AND 10 IN BLOCK 5 IN SOUTHBRANCH INDUSTRIAL PARK, THAT PORTION OF VACATED RIDGEVIEW DRIVE AND LANDS IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWN 5 NORTH, RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

**CORPORATE OWNER'S CERTIFICATE**

WALTER J YAKICH REVOCABLE TRUST, DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED, MAPPED AND DEDICATED AS REPRESENTED ON THIS MAP IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCES OF THE CITY OF OAK CREEK.

WITNESS THE HAND AND SEAL OF WALTER J YAKICH, PRESIDENT, ON THIS 9 DAY FEBRUARY 2007

DOC.# 09389813

REGISTER'S OFFICE | SS  
Milwaukee County, WI

*Walter J. Yakich*  
WALTER J. YAKICH

RECORDED 02/22/2007 08:26AM

JOHN LA FAVE  
REGISTER OF DEEDS

AMOUNT 17 00

REEL → 6544  
STATE OF WISCONSIN) SS  
COUNTY) SS

ON THIS 9 DAY OF February, 2007, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SUCH COUNTY AND STATE, PERSONALLY APPEARED WALTER J. YAKICH, KNOWN OR IDENTIFIED TO ME TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SUCH INSTRUMENT IS A FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT THEY ARE AUTHORIZED TO EXECUTE SUCH INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL HERETO, AFFIXED THE DAY, MONTH AND YEAR IN THIS CERTIFICATE FIRST ABOVE WRITTEN

DATED THIS 9 DAY OF February, 2007

*Nan Ludwiczal*  
NOTARY PUBLIC  
STATE OF WISCONSIN  
MY COMMISSION EXPIRES 12-30-2007



REVISED 11/07/06  
REVISED 1/10/07  
REVISED 1/18/07  
REVISED 2/7/07



# CERTIFIED SURVEY MAP NO. 7884

A REDIVISION OF LOTS 9 AND 10 IN BLOCK 5 IN SOUTHBRANCH INDUSTRIAL PARK, THAT PORTION OF VACATED RIDGEVIEW DRIVE AND LANDS IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWN 5 NORTH, RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

## PLANNING COMMISSION APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF OAK CREEK ON THIS 14 DAY OF November, 2006

Richard R. Bolender  
RICHARD R. BOLENDER, CHAIRMAN  
CITY OF OAK CREEK

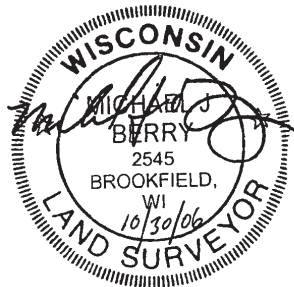
Douglas Seymour  
DOUGLAS SEYMOUR, SECRETARY  
CITY OF OAK CREEK

## COMMON COUNCIL APPROVAL

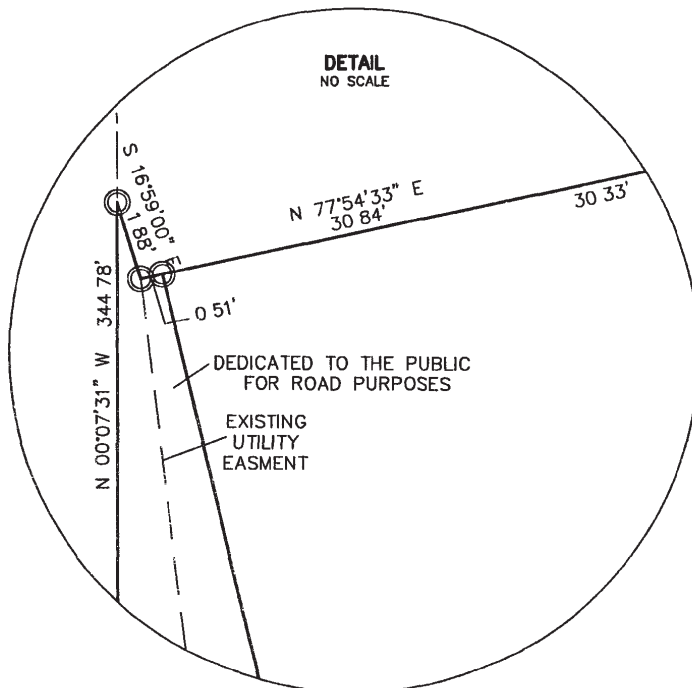
THIS CERTIFIED SURVEY MAP, AND THE DEDICATION OF RIDGEVIEW DRIVE AND SOUTH 20TH STREET, BEING A REDIVISION OF LOTS 9 AND 10 IN BLOCK 5 IN SOUTHBRANCH INDUSTRIAL PARK, THAT PORTION OF VACATED RIDGEVIEW DRIVE AND LANDS IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWN 5 NORTH, RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN, HAVING BEEN APPROVED BY THE PLANNING COMMISSION BEING THE SAME, IS HEREBY APPROVED AND ACCEPTED BY THE COMMON COUNCIL OF THE CITY OF OAK CREEK ON THIS 16 DAY OF February, 2007 per resolution No. 10733-020607

Richard R. Bolender  
RICHARD R. BOLENDER, MAYOR  
CITY OF OAK CREEK

Beverly A. Buretta  
BEVERLY A. BURETTA, CITY CLERK  
CITY OF OAK CREEK



REVISED 11/07/06  
REVISED 1/10/07  
REVISED 1/18/07  
REVISED 2/7/07



**AFFIDAVIT OF  
CORRECTION**

Document No.

Return to:

SBR Law Group LLC  
Attn: Susan C. Sorrentino  
675 N. Barker Road, Suite 300  
Brookfield, WI 53045

926-9028-000 and 926-9029-000

Tax Parcel Number

This instrument was drafted by:

SBR Law Group LLC  
Attn: Susan C. Sorrentino  
675 N. Barker Road, Suite 300  
Brookfield, WI 53045

**AFFIDAVIT OF CORRECTION**

STATE OF WISCONSIN    )

                                  ) SS.

\_\_\_\_\_ COUNTY    )

THIS AFFIDAVIT, made this \_\_\_\_\_ day of \_\_\_\_\_, 2017, by SBR Law Group LLC, a Wisconsin limited liability company, hereinafter referred to as "SBR", and John P. Casucci, PLS of R.A. Smith Inc.

WITNESSETH:

That Capitol Survey & Engineering ("CSE"), on or about the 7<sup>th</sup> of February, 2007, executed and delivered for recording to the Register of Deeds in the County of Milwaukee a Certified Survey Map, which was thereafter recorded on February 22, 2007 as Doc. No. 9389813 "CSM".

Said real estate is located in the County of Milwaukee, State of Wisconsin and is described as follows:

Certified Survey Map No. 7884 recorded in the office of the Register of Deeds for Milwaukee County, Wisconsin, on February 22, 2007 as Document No. 9389813, being a redivision of Lots 9 and 10 in Block 5 in Southbranch Industrial Park, that portion of vacated Ridgeview Drive and lands in the Southwest ¼ of the Northeast ¼ and the Northwest ¼ of the Southeast ¼ of Section 30, Township 5 North, Range 22 East. in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

Tax Key Nos. 926-9028-000 and 926-9029-000

That the CSM contained errors which are creating issues with the insurance and/or transfer of the real property.

That in order to clear the issues on title, the following corrections have been approved by the Common Council of the City of Oak Creek, a copy of said approval is attached as Exhibit A hereto and are hereby incorporated into the CSM:

1. The reference made in the legal description as "that portion of vacated Ridgeview Drive" is now deleted from said legal description on page 2 and the heading on all sheets.
2. The note shown on Page 1 of the CSM as "All interest in Outlot 1 of this CSM will be jointly owned by owner(s) of Lot 6 of Southbranch Industrial Park and will be only conveyed with said Lot 6" is now deleted from said Page 1.

3. The South line of Lot 1, depicted as 763.20' computes and is hereby changed to 768.20'.
4. The 45' ingress/egress easement shown on Lot 1 of the CSM will be revised to read as follows: "45' ingress/egress easement for the benefit of the owner and its successors or assigns of Lot 6, Block 6, Southbranch Industrial Park".
5. In the Surveyors Certificate, the 8<sup>th</sup> line of the metes and bounds description written as: "INDUSTRIAL PARK 311.03' TO THE SOUTHERLY END OF RIDGEVIEW DRIVE, THENCE S", is corrected to: "INDUSTRIAL PARK 311.03'; THENCE NORTHEASTERLY 115.92' ALONG THE ARC OF A CURVE WHOSE CENTER LIES TO THE NORTHWEST, WHOSE RADIUS IS 200.00' AND WHOSE CHORD BEARS N 73°14'43" E 114.30' TO THE SOUTHERLY END OF RIDGEVIEW DRIVE; THENCE S"

This affidavit has been made for the protection and benefit of the current owner, Seville Flexpack Corporation and its successors or assigns, and for the protection and benefit of any party who may acquire an interest in Parcel 1 or Parcel 2 of the CSM, and shall be binding upon the respective heirs, executors, administrators and assigns of Seville Flexpack Corporation.

IN WITNESS WHEREOF, this Affidavit has been duly executed on behalf of SBR by its duly authorized representative.

SBR LAW GROUP LLC

By: \_\_\_\_\_  
 Susan C. Sorrentino  
 Its: Member

State of Wisconsin    )  
                                   ) SS  
 County of Waukesha    )

This affidavit was acknowledged before me on \_\_\_\_\_, 2017, by Susan C. Sorrentino as the member of SBR Law Group LLC, know to me to be the person who executed the foregoing.

\_\_\_\_\_  
 Notary Public  
 My Commission expires: \_\_\_\_\_.







# Plan Commission Report

ITEM: 5f  
DATE: November 14, 2017

**PROJECT:** Rezone – Chris Nicholson, Zünd America, Inc.

**ADDRESS(ES):** 8142 S. 6<sup>th</sup> St.

**TAX KEY NO(S):** 813-9039-000

**SUGGESTED MOTION:** That the Plan Commission recommends to the Common Council that the property at 8142 S. 6<sup>th</sup> St. be rezoned from B-4, Highway Business to LM-1, Light Manufacturing after a public hearing.

**Ownership:** Woodman’s Food Market, Inc., 2631 Liberty Ln., Janesville, WI 53545

**Size:** 3.398 acres

**Existing Zoning:** B-4, Highway Business

**Adjacent Zoning:** North – DTSMUPDD, Drexel Town Square Mixed Use Planned Devel. District  
East – B-4, Highway Business  
South – B-4, Highway Business  
West – B-4, Highway Business

**Comprehensive Plan:** Planned Mixed Use.

**Wetlands:** N/A.

**Floodplain:** N/A.

**Official Map:** N/A.

**Commentary:** The Applicant is requesting that the property at 8142 S. 6<sup>th</sup> St. be rezoned from B-4, Highway Business to LM-1, Light Manufacturing district. This request is in advance of developing the property with a new US headquarters facility for Zünd America. As stated on the company’s website, Zünd provides customer service and support “in graphics, packaging, leather, textiles/composites, manufacturing, and other industries that rely on Zünd cutters for precise, efficient digital cutting.” More information on the company and a conceptual site layout is included with this report.

Existing parcels in the immediate area are zoned for mixed use, commercial, and manufacturing uses. This property, by virtue of its location, serves as a transition between Drexel Town Square to the north, and manufacturing uses to the south and southeast. The LM-1, Light Manufacturing district

*is intended to provide for a mix of low-impact (of a limited nature and size) manufacturing, industrial, wholesaling, limited warehousing, research and development, engineering and testing, and related service facilities and uses which occur within enclosed buildings, and which will not have an adverse effect upon the district in which the use is located.*



No manufacturing of cutting machines is proposed to occur within the facility. Rather, service/repair of the equipment, demonstrations and testing, office, and limited warehousing are the primary uses within the proposed facility. Staff's analysis has determined that the proposal conforms to the intent of the LM-1, Light Manufacturing district and it's allowed uses.

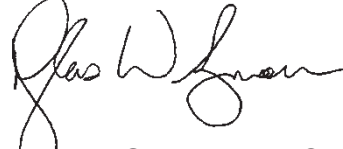
Should the Plan Commission agree with staff that rezoning the parcel to LM-1, Light Manufacturing is appropriate, a motion recommending Council approval is provided above.

Prepared by:



Kari Papelbon, CFM, AICP  
Planner

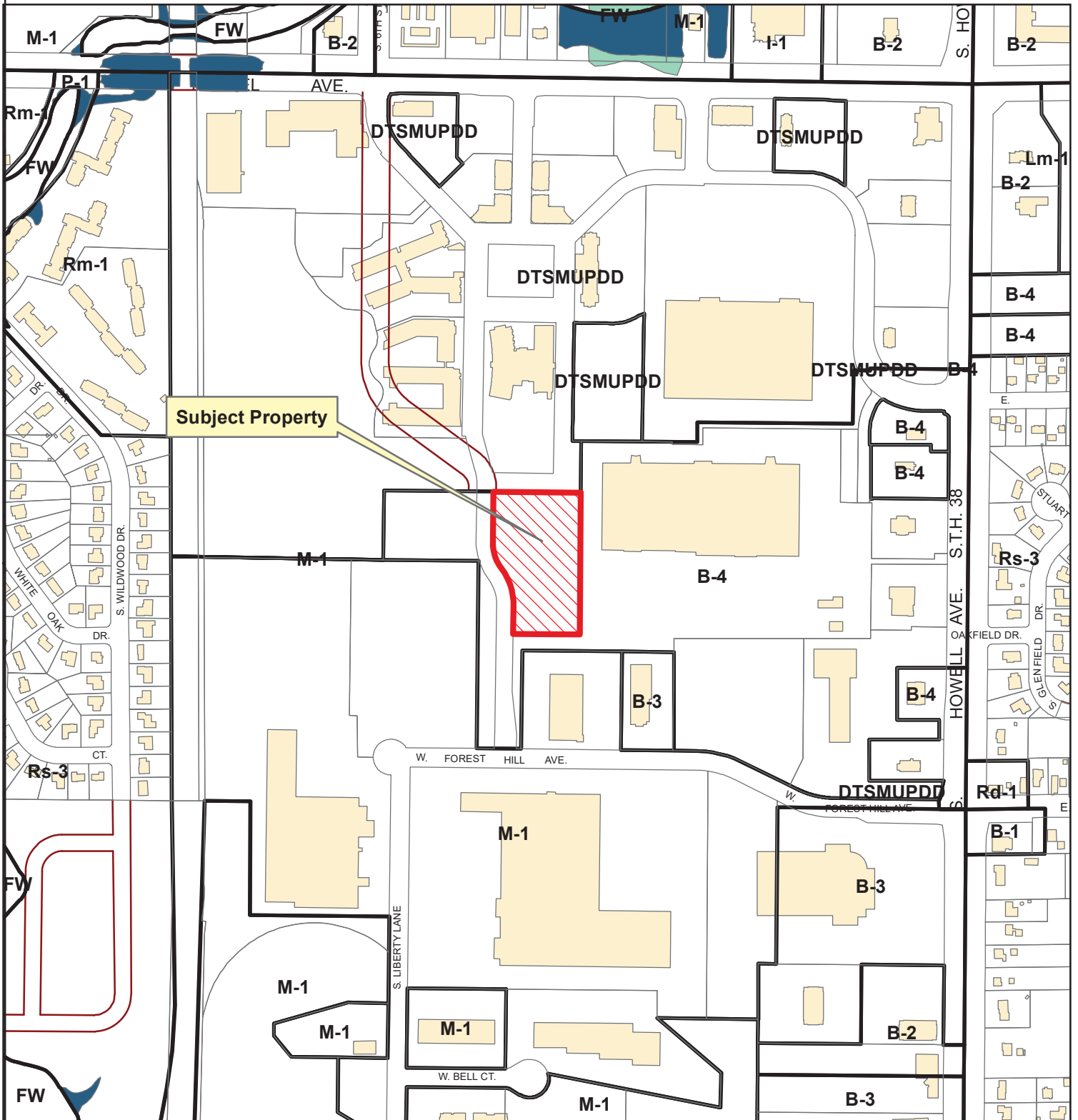
Respectfully Submitted by:



Douglas Seymour, AICP  
Director of Community Development

# Location Map

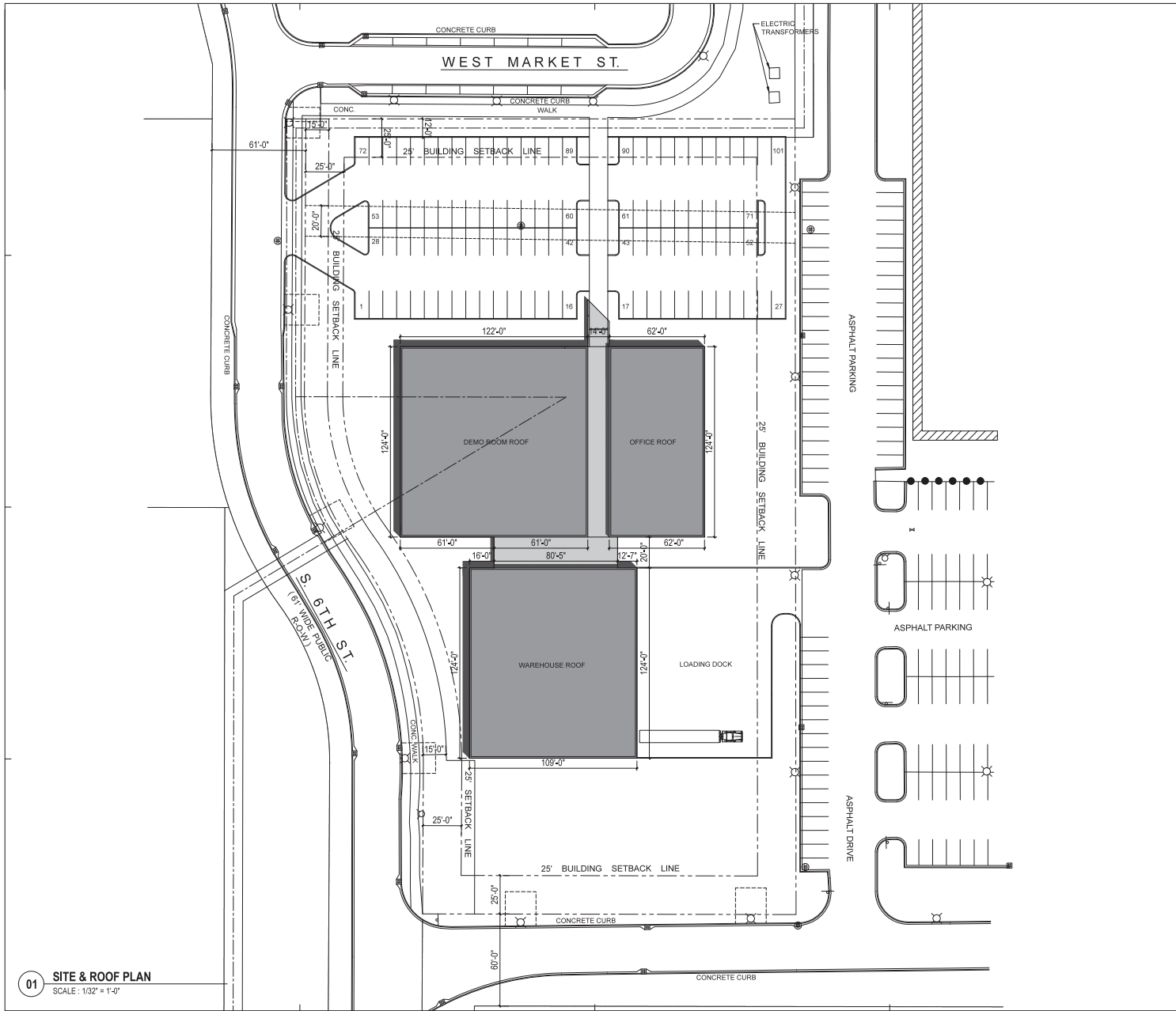
## 8142 S. 6th St.



This map is not a survey of the actual boundary of any property this map depicts.



Legend	
	OCGIS.GIS.PAR_MCAMLIS_TP_STK selection 2
Zoning Overlays	
	C-1-Shoreland Wetland
	FF-Flood Fringe
	Lakefront Overlay
	NO-Mixed Use Neighborhood
	OO-Mixed Use Office
	RR-Regional Retail



01 SITE & ROOF PLAN  
SCALE: 1/32" = 1'-0"

**SHEET NOTES:**

**GENERAL NOTES:**

ALL PLUMBING, MECHANICAL, ELECTRICAL SYSTEMS TO BE DESIGN-BUILD BY SUBCONTRACTOR AND GENERAL CONTRACTOR, PROVIDE ALL MATERIALS FOR A CODE COMPLIANT INSTALLATION, SUBCONTRACTOR TO PROVIDE SUBMITTAL FOR ARCHITECT AND OWNER REVIEW PRIOR TO INSTALLATION.

PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETS AND APPLIANCES, G.C. TO COORDINATE LOCATION.

PROVIDE MOISTURE RESISTANT GYPBOARD AT BATHROOM WALLS AND SOFFIT. PRIMED AND PAINTED PER OWNER SELECTION.

SMOOTH FINISH AT ALL GYPBOARD WALL AND SOFFIT TYPICAL FINISH TO MATCH #5 FINISH, NO TEXTURE, TYP ALL FINISHES.



ZUND AMERICA  
HEADQUARTERS  
8142 S. 6TH STREET  
OAK CREEK, WI 53154

**CLIENT:**  
ZUND AMERICA  
5088 W. ASHLAND WAY  
FRANKLIN, WI 53132

**DESIGN ARCHITECT:**  
**GRAF & TOLOSA**  
12 GEARY STREET, SUITE #603  
SAN FRANCISCO, CA 94116  
CONTACT: FABIAN GRAF  
TEL: (415) 962-7890

**ARCHITECT OF RECORD:**

NO.	DESCRIPTION	DATE
PROGRESS		08/28/2017

KEY PLAN

STAMP

SCALE: 1/32" = 1'-0"  
DATE: 08/25/2017  
DRAWN BY: TEAM

**SITE & ROOF PLAN**



A1.0.1



# Plan Commission Report

ITEM: 5g  
DATE: November 14, 2017

**PROJECT:** Plan Review – Lonnie Spicer, Harrison French & Associates (Love’s)

**ADDRESS:** 9650 S. 20<sup>th</sup> St.

**TAX KEY NO:** 904-9000-001

**SUGGESTED MOTION:** That the Plan Commission approves the site and building plans for the oil alcove addition to the existing tire shop building located at 9650 S. 20<sup>th</sup> St., with the following conditions:

1. That all building and fire codes are met.
2. That all revised plans (site, building, lighting details, elevations, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.
3. That all mechanical equipment (ground, building, and rooftop) is screened from view.
4. That the final site grading and drainage plans are approved by the Engineering Department.

**Ownership:** Love’s Travel Stops & Country Stores, Inc., c/o Ryan LLC, 15 W 6<sup>th</sup> St., Ste. 2400, Tulsa, OK 74199

**Size:** 13.246 acres

**Existing Zoning:** B-4 (PUD), Highway Business; FF, Flood Fringe; FW, Floodway

**Adjacent Zoning:** North – B-4 (PUD), Highway Business  
 East – I-94; FF, Flood Fringe  
 South – FW, Floodway; B-4, Highway Business  
 West – B-4 (PUD), Highway Business

**Comprehensive Plan:** Planned Business; Limited Development Area; Resource Protection Area.

**Wetlands:** Yes (see County Map).

**Floodplain:** Yes (see maps).

**Official Map:** N/A.

**Commentary:** The Applicant is requesting site and building plan approval for a proposed addition to the existing tire shop building at 9650 S. 20<sup>th</sup> St. The proposed 60’6” x 12’6” addition, which meets all required setbacks and will be constructed on existing impervious surface, will be used as an oil alcove for the building.

Fiber cement panel siding to match the existing building is proposed for the exterior building material. Per Code, the use of fiber cement products requires a ¾ majority approval of the Plan Commission. Additionally, Section 17.1009(a)(2)(ii) states: “The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material.” It will be up to the Plan Commission to determine whether the fiber cement products fulfill this requirement.

Submitted plans do not show any mechanicals; however, all ground, building, and rooftop mechanical units, transformers, and utility boxes are required to be screened per Code. Additionally, the Fire Department must be contacted to discuss fire suppression requirements for the structure.

Prepared by:



Kari Papelbon, CFM, AICP  
Planner

Respectfully Submitted by:

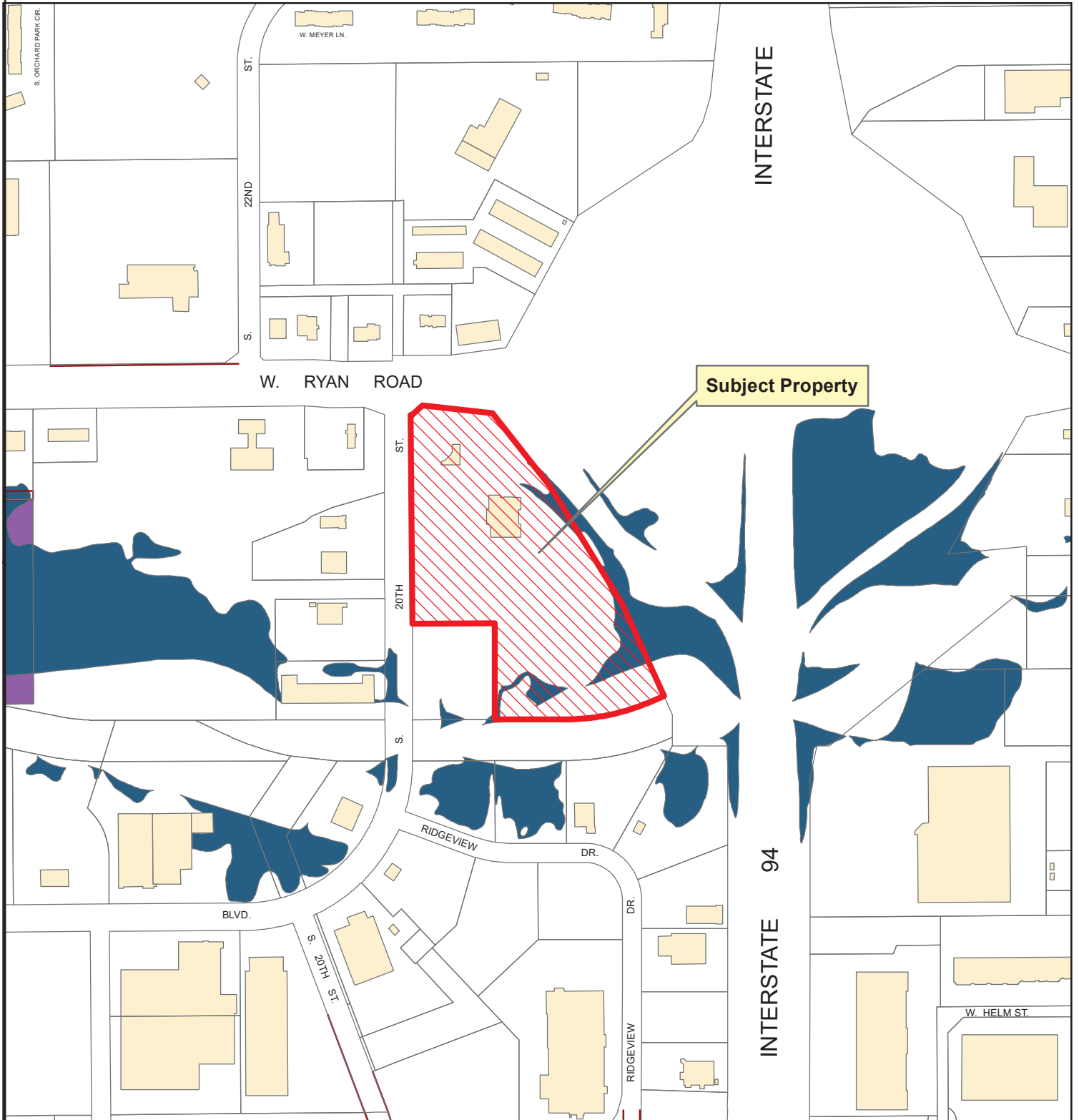


Douglas Seymour, AICP  
Director of Community Development



# Location Map

## 9650 S. 20th St.



This map is not a survey of the actual boundary of any property this map depicts.



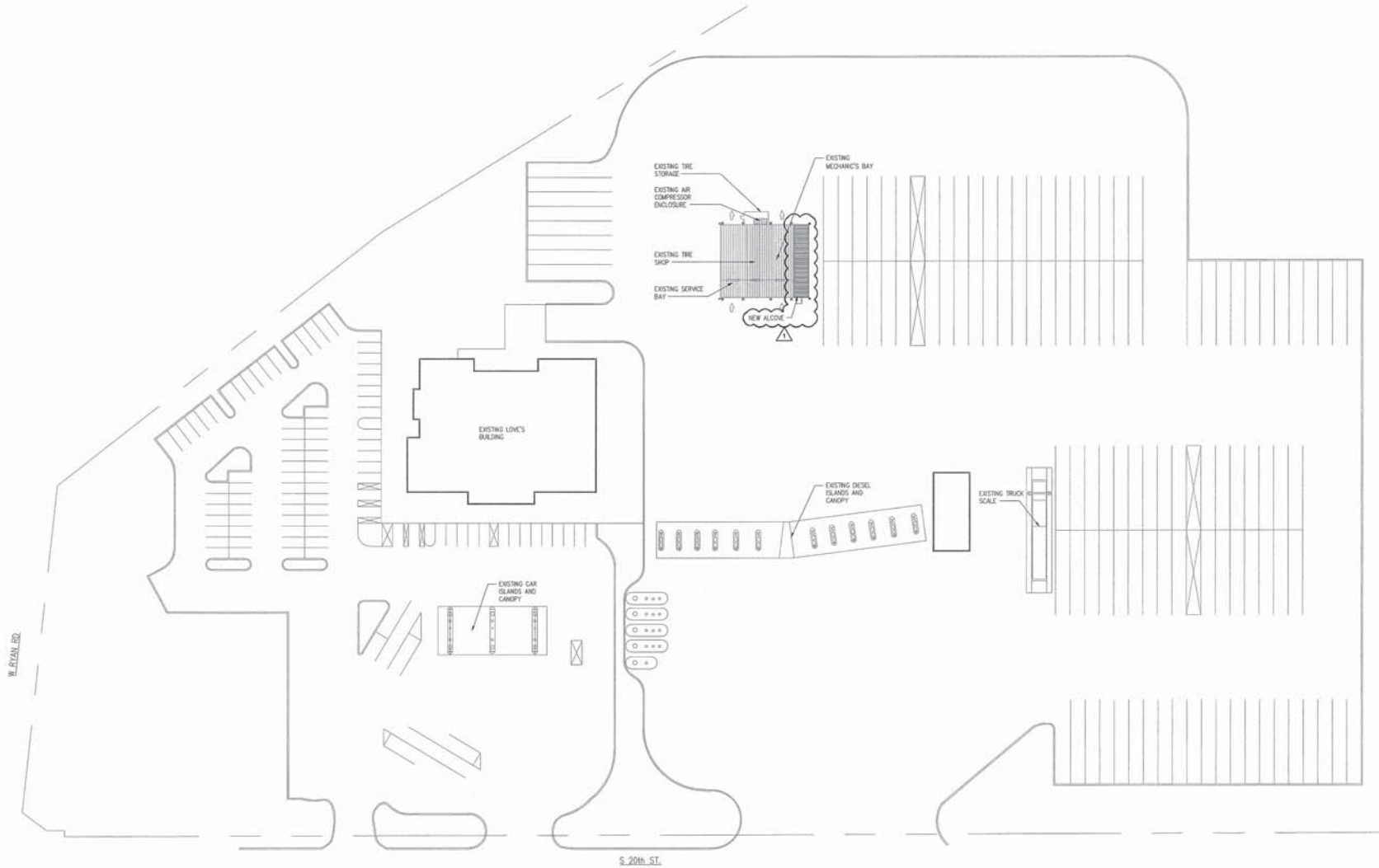
Department of Community Development



Legend	
	9650 S. 20th St.
Zoning Overlays	
	C-1-Shoreland Wetland
	FF-Flood Fringe
	Lakefront Overlay
	NO-Mixed Use Neighborhood
	OO-Mixed Use Office
	RR-Regional Retail



08/12/2015 1:16:44pm - User: george.king@hfa.com  
 R:\2015\170642\Level 1 - Oak Creek, WI - EXISTING\0208-REITER\_105\_SPT\_412.dwg



**A** SITE PLAN  
SCALE 1" = 40'-0"



**HARRISON FRENCH**  
ARCHITECTS, P.C.

1705 S. Wilson Blvd., Suite 3  
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9650 S 20TH STREET  
OAK CREEK, WI 53154  
**SPECIAL PROJECT  
CONEX ADDITION**  
PROJECT NUMBER: 03-07-0412

**Love's**  
**Travel Stop &  
Country Stores**



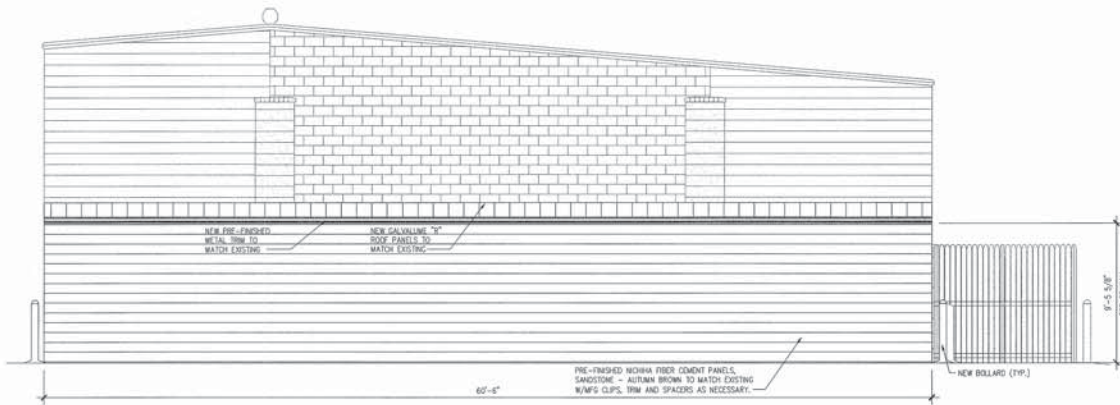
OCT 17 2017

ISSUE BLOCK	
DATE	REV#1
10/13/17	

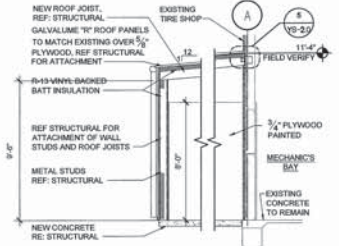
STORE NO. 432  
DOCUMENT DATE: 07/20/17  
CHECKED BY: LLM  
DRAWN BY: GLK  
PHOTO CYCLE:

SITE PLAN

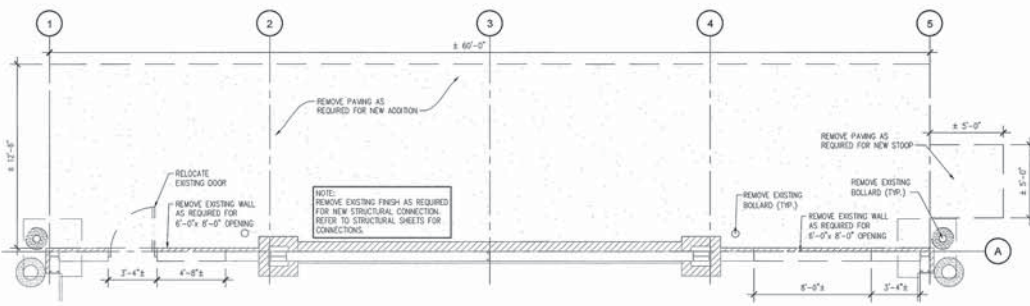
SHEET: SP-1



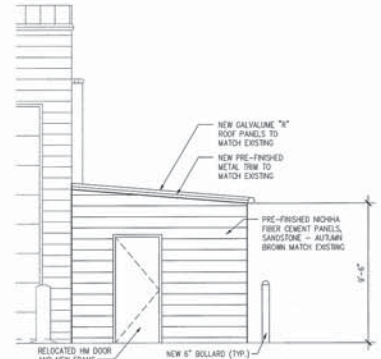
**C ELEVATION**  
SCALE 1/4" = 1'-0"



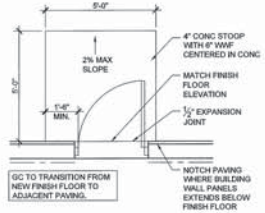
**F SECTION**  
SCALE 3/4" = 1'-0"



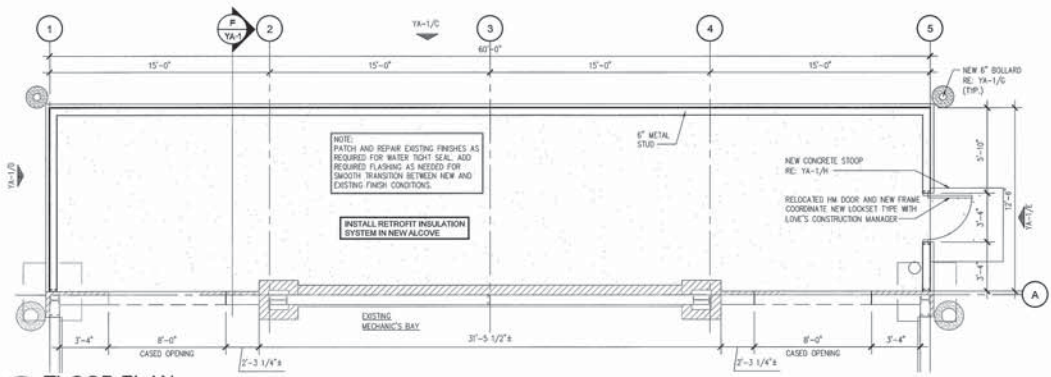
**B DEMOLITION FLOOR PLAN**  
SCALE 1/4" = 1'-0"



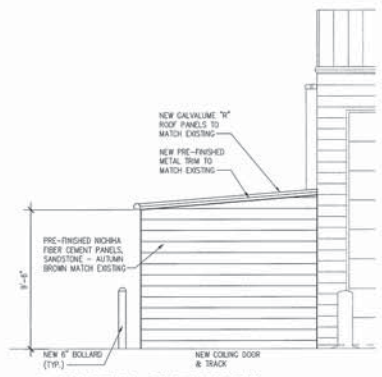
**E PARTIAL ELEVATION**  
SCALE 1/4" = 1'-0"



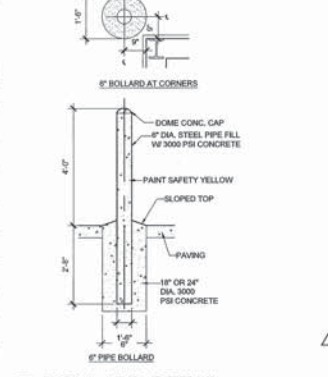
**H STOOP**  
SCALE 3/8" = 1'-0"



**A FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**D PARTIAL ELEVATION**  
SCALE 1/4" = 1'-0"



**G BOLLARD DETAIL**  
SCALE 1/2" = 1'-0"

STATEMENT OF REVISIONS

NO. 1: REVISIONS FOR PERMITS AND LOCAL ADOPTION OF THE 2015 IBC. ALL DIMENSIONS AND FINISHES TO BE VERIFIED IN THE FIELD. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2015 IBC AND ALL APPLICABLE LOCAL ORDINANCES. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2015 IBC AND ALL APPLICABLE LOCAL ORDINANCES. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2015 IBC AND ALL APPLICABLE LOCAL ORDINANCES.

9650 S. 20TH STREET  
OAK CREEK, WI 53154

**SPECIAL PROJECT  
CONEX ADDITION**

PROJECT NUMBER: 03-17-0422

**Love's**  
Travel Stop &  
Country Stores

CONSULTING ARCHITECTS

OCT 17 2017

ISSUE BLOCK	
NO.	REV #1

STORE NO. 432

DOCUMENT DATE: 07/29/17

CHECKED BY: LLM

DRAWN BY: GLK

PHOTO CYCLE:

FLOOR PLAN AND DETAILS

SHEET: YA-1



**CONSTRUCTION SAFETY GENERAL NOTE**

THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

**CONCRETE GENERAL NOTES**

**3300.1** All detailing, fabrication and placing of reinforcing steel shall conform to the ACI standard "Details and Detailing of Concrete Reinforcement" (ACI 318).

**3300.2** Concrete mix designs shall meet the following requirements:

Location	Minimum Compressive Strength (psi)	Maximum Aggregate Size	Maximum Water/Cement Ratio	Slump (in.)	Air Entrainment (Percent %)
Interior Slabs	4000	3/4"	.50	4 ± 1	0
Exterior Slabs	3000	3/4"	.50	4 ± 1	5 ± 1
Perimeter Foundations	3000	1"	.50	4 ± 1	0

**3300.3** Reinforcing bars #4 and larger (except bars and stirrups) shall meet ASTM A615 with Supplementary Requirements (S1), Grade 60. Smaller bars shall be grade 40.

**3300.4** All reinforcing bar splices shall be 44 bar diameters.

**3300.5** All reinforcing bar hooks shall be ACI standard 90 degree hook, unless noted otherwise.

**3300.6** All bars are to be supported in forms and spaced with wire bar supports per ACI "Manual of Standard Practice for Detailing Concrete Structures" (latest edition). Bars shall be securely wired per latest edition of CRSI's "Recommended Practice for Tying Reinforcing Bars". Accessories for exposed concrete shall be plastic or have plastic-faced knit.

**3300.7** The top of concrete pour shall be square, smooth & level to receive the Concrex Box bars.

**3300.8** Smooth dowels shall be steel conforming to ASTM A36.

**3300.9** All slabs, sleeves and other embedded items such as stop-logs holdowns shall be set before concrete is placed. See Architectural, Electrical, Mechanical and vendor's drawings for sizes & locations.

**3300.10** Electrical conduit to be placed below slab shall be located by electrician prior to placement of slab reinforcements. Slab shall be thickened in these areas to accommodate a minimum of 2" top covering and 2" bottom clearance.

**3300.11** Fly ash shall not be used unless approved in writing by the Engineer. Fly ash, if approved, shall conform to ASTM C618 and shall not exceed 15% of the total cement volume.

**3300.12** All concrete is reinforced unless specifically called out as unreinforced. Reinforce all concrete not otherwise shown with same steel as in similar sections or areas.

**3300.13** No aluminum items shall be embedded in any concrete or placed in contact with concrete.

**3300.14** Concrete coverage of reinforcement shall have the following clear distances unless noted otherwise on the drawing:

- Cast against earth:
  - Formed concrete exposed to earth or weather: 2"
  - Slabs not exposed to earth or weather: 1"
  - Beams & columns not exposed to weather: 1 1/2"

**3300.15** Embedment and all reinforcing bars marked continuous shall be embedded to develop the full tension capacity of the bar. Bars shall be Class B lap splice unless specified otherwise on the drawing. Unless shown otherwise, splice top bars near midspan and splice bottom bars over supports.

**3300.16** Supply corner bars 4'-0" long (min. 2'-0" in each direction) in outside face of wall at corners of all walls and continuous footings, matching size and spacing of horizontal bars. Where there are no outside bars in outside face of wall, supply three (3) #4 vertical support bars for corner bars.

**3300.17** Concrete placed during cold weather shall conform to the requirements of ACI 309R-10. Cold weather is defined as a period when, for more than 3 consecutive days, the mean daily temperature drops below 40°F.

**3300.18** Concrete placed during hot weather shall conform to the requirements of ACI 309R-10. Hot weather is defined as that combination of air temperature, relative humidity and wind speed that will cause a rate of evaporation of 0.2 lb/ft<sup>2</sup>/hr, or more as defined by Figure 2.1.5 of ACI 309R-10.

**3300.19** Do not add water to concrete during delivery, at Project Site, or during placement, unless approved by the Engineer of Record.

**3300.20** Reinforcing shall have the following lap splice and hook lengths:

Bar Size	Lap Splice	Hook
#4	2'-2"	9"
#5	2'-2"	10"
#6	2'-2"	11"
#7	2'-2"	12"
#8	2'-2"	13"

**3300.21** Maximum net allowable bearing pressure for footings = 1,500 psf (assumed). Bottom of footings shall bear on well compacted suitable residual soils or engineered fill. Soil shall be compared to minimum of 5% maximum dry density (ASTM D-698). Bottom of footings shall bear at or below bearing depth. Bearing depth is 90° below lowest adjacent finished grade.

**NOTE:** EXPANSIVE CLAYS, LOW-STRENGTH SOILS, SOFT SOILS & SOILS WITH ORGANIC MATERIAL ARE NOT SUITABLE IN SUPPORTING THE SLAB AND FOUNDATIONS. IF CONTRACTOR DISCOVERS UNSUITABLE MATERIAL DURING EXCAVATION, A SOILS ENGINEER SHALL BE CONSULTED IN ORDER TO ARRIVE AT A SOLUTION THAT WILL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF THE SLAB & FOUNDATIONS.

**STRUCTURAL STEEL GENERAL NOTES**

**5100.1** All detailing, fabrication and erection of structural steel shall conform to the requirements of the AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings.

**5100.2** Hollow Structural Section (HSS) shall conform to ASTM A500, Grade B with a yield strength of 48 ksi.

**5100.3** W-Shapes shall conform to ASTM A992 with a yield strength of 50 ksi. All other structural steel shall conform to the requirements of ASTM A36.

**5100.4** All anchor rods shall conform to ASTM F1554, Grade 36. Nuts for anchor rods shall conform to ASTM A563, Grade A, heavy hex and anchor nut washers shall conform to F5-7092.

**5100.5** All welding shall conform to the specifications of the American Welding Society. Welding electrodes shall be E-70 series. Welding shall be done by a certified welder.

**5100.6** All bolts shall be tightened to a snug-tight condition. A snug-tight condition is defined as the tightness attained by a few impacts of an impact wrench or the full effort of a man using an ordinary spanner wrench. All connected elements must be brought into snug contact.

**5100.7** Bearing ends of all columns shall be square cut.

**5100.8** No openings shall be cut in structural members unless shown on the drawings.

**5100.9** Anchor rod holes in base plates shall be sized in accordance with AISC "Detailing for Steel Construction".

**LIGHT GAUGE STEEL GENERAL NOTES**

**5400.1** All structural studs and headers shall be of the type, size, gauge and spacing as shown on the drawings.

**5400.2** All framing members shall be formed from steel, corresponding to the requirements of ASTM A653.

**5400.3** All steel framing members shall have a minimum yield strength of 33 ksi.

**5400.4** Exterior studs and headers shall have a 1/8" flange with 1/2" return lip, typical. Runner track gauge to match stud gauge.

**5400.5** Exterior studs and runner track shall be 18 ga. thickness (1/16 O.D.).

**5400.6** Provide bracing to structure for all stud walls and run-downs.

**5400.7** Powder actuated fasteners for attachment of bottom runner track shall have a 0.145" minimum shank diameter and a 1/4" minimum concrete embedment. Space fasteners at 32" o.c.

**5400.8** All exterior studs shall have horizontal bracing @ 4'-0" o.c. vertically for the full height of the wall. Bridding can be removed for utility access after sheathing is attached along one side of wall.

**5400.9** Maximum thickness values of framing specified in page values on drawings are as follows:

MINIMUM DESIGN THICKNESS (MILS)	DESIGN THICKNESS (IN.)	INSIDE CORNER RADIUS (IN.)	GAGE NO. (REFERENCE ONLY)
19	0.038	0.043	25
27	0.053	0.058	25
30	0.071	0.076	20-DRYWALL
33	0.048	0.054	20-STRUCTURAL
43	0.045	0.051	18
54	0.055	0.061	18
68	0.071	0.076	14
97	0.097	0.102	12

**NOTE:** Minimum Thickness represents 95% of the thickness and is the minimum acceptable thickness delivered to the job site based on Section A.3.4 of the AISI Specification.

**DESIGN LOADS**

- Building Code: 2015 International Building Code
- Roof Dead Load: 20 psf
- Roof Collateral Load: 5 psf
- Roof Live Load: 20 psf
- Snow Load: 30 psf
  - Ground Snow Load (Pg): 30 psf
- Wind Load:
  - Ultimate Wind Speed (3-second gust): 115 mph
  - Normal Wind Speed (3-second gust): 90 mph
  - Wind Importance Factor (Iw) = 1.0
  - Risk Category II
  - Wind Exposure C
  - Enclosure Classification = Enclosed
  - Internal Pressure Coefficient (Cp) = ±0.55
  - Components And Cladding Wind Pressure: Exterior Walls (150 psf)
    - Corner Zone: 20 psf
    - Interior Zone: 24 psf
    - Roof (150 psf):
      - Joists: 48 psf
      - Corner Zone: 48 psf
      - Edge Zone: 30 psf
      - Deck: 52 psf

- Seismic:
  - Seismic Occupancy Category II
  - Seismic Importance Factor, (Iw) = 1.0
  - Site Coefficient:
    - Fs = 1.0
    - Fv = 2.4
    - Ss = 0.091
    - S1 = 0.048
    - S2 = 0.027
    - S3 = 0.077
  - Site Class D
  - Seismic Design Category B
  - Basic Structural System = Bearing Wall System
  - Seismic Restraint System = Light-Framed (Cold-Formed Steel) Walls Sheathed w/ Wood Structural Panels Rated for Shear Resistance
  - Response Modification Coefficient (R) = 8.5
  - Drift Amplification Factor (Ca) = 4.0
  - Design Base Shear, V = 0.020V (at ASD)
  - Analysis Procedure = Equivalent Lateral Force Procedure

**TYPICAL STRUCTURAL ABBREVIATIONS**

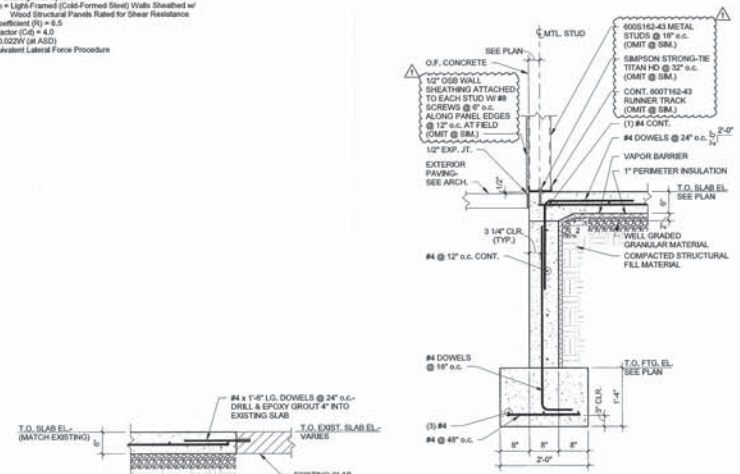
ACI	AMERICAN CONCRETE INSTITUTE	EXP.	EXPANSION	FED	FEDESTAL
ABC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	FLR.	FLOOR	PL	PLATE
A.R.	ANCHOR ROD	FDN.	FOUNDATION	PLF	POUNDS PER LINEAR
ARCH.	ARCHITECT	FTG.	FOOTING	PROJ.	PROJECTION
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS	F.S.	FAR SIDE	PSF	POUNDS PER SQUARE FOOT
BLDG.	BUILDING	GALV.	GALVANIZED	PSI	POUNDS PER SQUARE INCH
BM	BEAM	HK.	HOOK	R	RADIUS
BOTT.	BOTTOM	H.S.A.	HEADED STUD ANCHOR	REIN.	REINFORCEMENT
BOS.	BOTTOM OF STEEL BEARING	I.F.	INSIDE FACE	REQD.	REQUIRED
BRG.	BRACING	J.BE	JOIST BEARING ELEVATION	RTU	ROOF TOP UNIT
C.	CENTERLINE	JST.	JOIST	SCHED.	SCHEDULE
CLR.	CLEAR	JNT.	JOINT	SECT.	SECTION
COL.	COLUMN	L.G.	LONG LEG HORIZONTAL	SMA	SIMILAR
CONN.	CONNECTION	LLH	LONG LEG HORIZONTAL	S.A.	STEEL JOIST INSTITUTE
CONT.	CONTINUOUS	LLV	LONG LEG VERTICAL	S.E.G.	SLAB-ON-GRADE
CTRD.	CENTERED	LONG.	LONGITUDINAL	SPA.	SPACING
DEG. ±	DEGREE	MAX.	MAXIMUM	SPECS	SPECIFICATIONS
DIAM.	DIMENSION	MFR.	METAL BUILDING MANUFACTURER	STD.	STANDARD
DN	DOWN	MECH.	MECHANICAL	STFF.	STIFFENERS
DO	DITTO	MEN.	MANUFACTURER	STL.	STEEL
DTL.	DETAIL	MISC.	MISCELLANEOUS	TOC	TOP OF CONCRETE
DWG.	DRAWING	MTL.	METAL	TOP	TOP OF FOOTING
DWL.	DOWEL	N.S.	NEAR SIDE	TOG	TOP OF GRADE BEAM
EA.	EACH	O.C.	ON-CENTER	TOS	TOP OF STEEL
EL.	ELEVATION	O.F.	OUTSIDE FACE	TOW	TOP OF WALL
EQ.	EQUAL	OPNG.	OPENING	TRANS.	TRANSVERSE
EW	EACH WAY	PAP.	POWDERED ACTUATED	TYP.	TYPICAL
EXBT.	EXISTING	FASTNER	FASTER	UN.O.	UNLESS NOTED OTHERWISE
				VERT.	VERTICAL
				WI	WITH
				W.P.	WORK POINT
				WWF	WELDED WIRE FABRIC

**REQUIRED SPECIAL INSPECTIONS (BY TESTING AGENCY)**

IN ADDITION TO THE REGULAR INSPECTIONS REQUIRED BY SECTION 110, THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH SECTION 1704 & 1706 OF THE 2015 IBC:

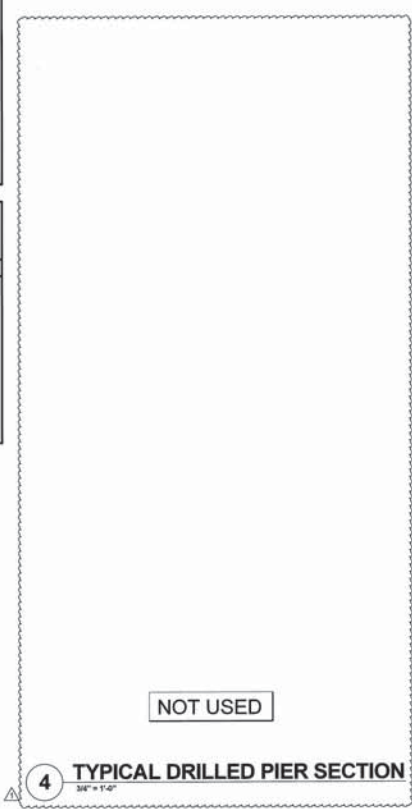
ITEM	SECTION
<b>Inspection of Fabricators</b> - Verify fabrication/quality control procedures	1704.2.5
<b>Concrete Construction</b> - Reinforcing Steel Installation - Cast-in Place Anchor Bolts - Verify Design Mix - Fresh Concrete Sampling - Concrete Placement - Concrete Curing Operations - Evaluation of Concrete Strength - Post Installed Anchor	Table 1705.3 Table 1705.3 Table 1705.3 Table 1705.3 Table 1705.3 Table 1705.3 Table 1705.3
<b>Soils</b> - Verify materials below are adequate to achieve design bearing capacity - Verify excavations are extended to proper depth and have reached proper bearing material - Perform classification and testing of controlled fill materials - Verify use of proper materials, quantities and fill thickness during placement and compaction of controlled fill	Table 1705.6 Table 1705.6 Table 1705.6 Table 1705.6

- REQUIRED SPECIAL INSPECTION NOTES:**
- General Contractor shall coordinate any additional special inspection requirements with Owner and applicable building authorities.
  - Special Inspections are the responsibility of the Owner.
  - The names of persons or firms who are to perform the Special Inspections shall be forwarded to the Building Official for approval.
  - The Special Inspector(s) shall complete and submit all forms required by the Local Jurisdiction.

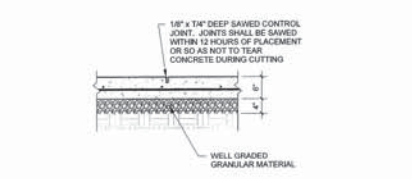


**3 SECTION**  
34" x 1'-0"

**2 SECTION**  
34" x 1'-0"



**4 TYPICAL DRILLED PIER SECTION**  
34" x 1'-0"



**TYP. SLAB-ON-GRADE CONTROL JOINT DETAIL**  
34" x 1'-0"

**HEA ARCHITECTS ENGINEERS INTERIORS**

**HARRISON FRENCH & ASSOCIATES, LTD.**  
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Bentonville, Arkansas 72712  
479.273.7780  
479.273.7466  
www.hf-a.com

9650 S 20TH STREET  
OAK CREEK, WI 53154  
SPECIAL PROJECT  
CONEX ADDITION  
PROJECT NUMBER: 03-17-042Z

**Love's Travel Stop & Country Stores**

ISSUE BLOCK  
1 10/13/17 REV #1

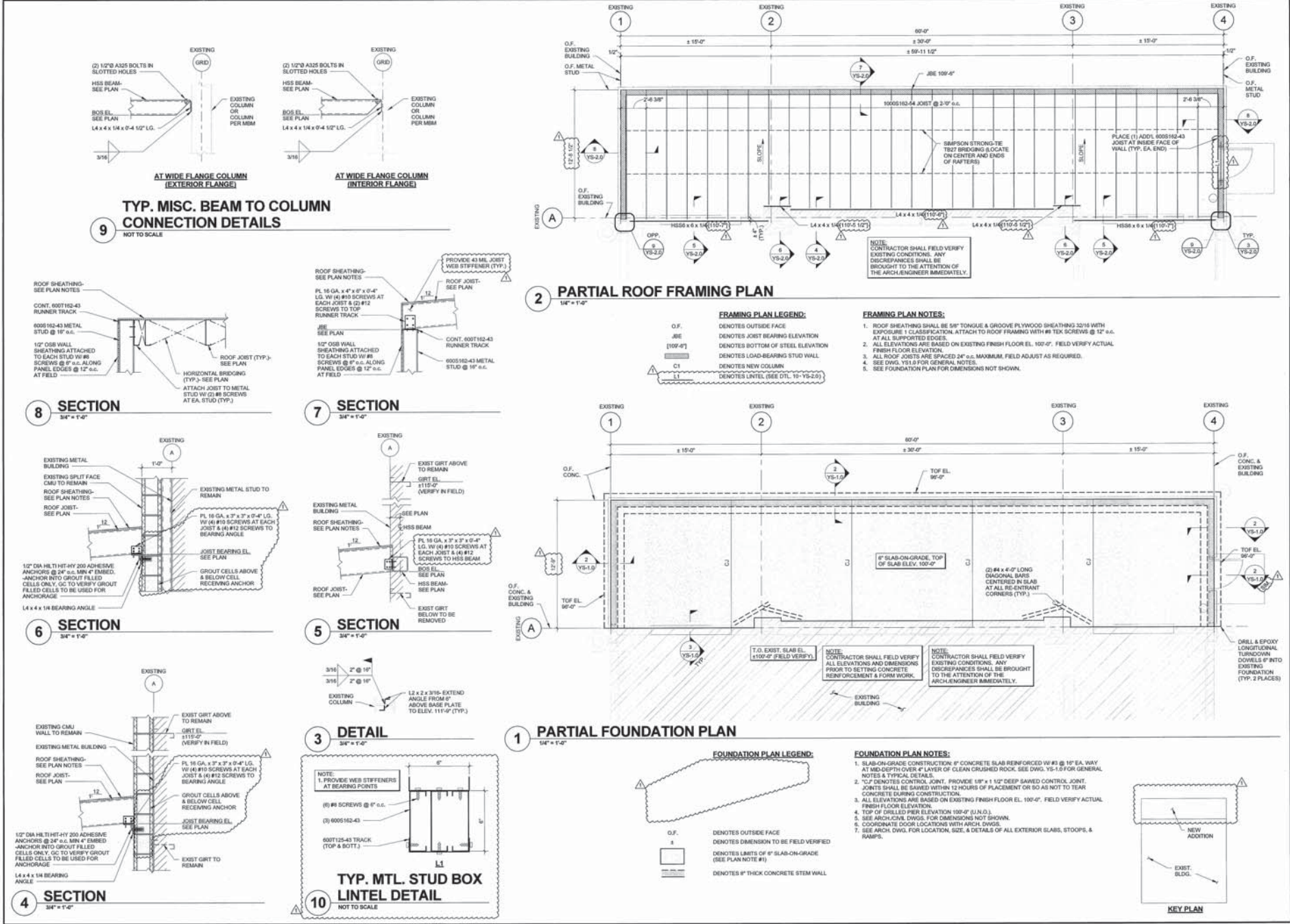
STORE NO. 432  
DOCUMENT DATE: 07-28-17  
CHECKED BY: LST  
DRAWN BY: JCT  
PROTO CYCLE:

GENERAL NOTES & TYPICAL DETAILS

SHEET **YS-1.0**



NO.	DATE	REV #	DESCRIPTION
1	10/13/17	REV #1	





# Plan Commission Report

ITEM: 5h

DATE: November 14, 2017

**PROJECT:** Zoning Text Amendment – Definition of Beauty Shop

**Suggested Motion:** That the Plan Commission recommends to the Common Council that Section 17.1402 be amended to include the definition of a Beauty Shop as a commercial establishment where cosmetology services are offered which may include: hair care, skin care, nail care, licensed facial microblading and facial micro-pigmentation, tanning, and hair removal. Piercing, tattooing, and massage therapy are not included, after a public hearing.

**Commentary:** Recently, the City became aware of new cosmetology services being conducted within the City known as microblading and micro-pigmentation. These type of services provide customers the opportunity to have semi or permanent makeup applied to their face. These types of services are licensed by the State as tattooing services. City code identifies tattooing as a conditional use in the B-2, and B-4 Districts. However, the code does not make any distinction between tattoo studio, microblading, and micro-pigmentation.

Since microblading and micro-pigmentation are typically tattoo techniques associated with cosmetology more than a traditional tattoo studio, staff is proposing to add a definition of a beauty shop to include facial microblading and facial micro-pigmentation. The definition will exclude tattoo and piercing studios, and massage therapy. Included with this report is a description of microblading and micro-pigmentation.

If the Plan Commission believes that amending the code to define facial microblading and facial micro-pigmentation as permitted services as part of the definition of a beauty shop, the next step would be to recommend that the Common Council adopt the proposed text amendment after a public hearing.

Prepared by:

A handwritten signature in cursive script that reads "Peter Wagner".

Peter Wagner  
Zoning Administrator/Planner

Respectfully Submitted by:

A handwritten signature in cursive script that reads "Douglas Seymour".

Douglas Seymour, AICP  
Director of Community Development

## **What is Microblading?**

Microblading eyebrows is a form of permanent makeup that creates natural, beautiful eyebrows with a handheld microblade. It's perfect for people who have overplucked or those who want to define, darken or reshape their eyebrows.

Microblading originated in Asia over 25 years ago and has gone by many names: eyebrow embroidery, feather touch, microstroking and even "the Japanese Method." By 2015, microblading became popular in the United States.

Technically, microblading is a form of eyebrow tattooing. But unlike traditional tattooing, which uses a machine, microblading artists apply each hairstroke with a handheld microblade. This produces a very fine line that resembles real hair. Each individual hairstroke is hand drawn by the artist and blended in with the client's existing eyebrow hair. With a strong artist at the helm, the results can be gorgeous and very lifelike.

There are many techniques and approaches to microblading. There are 1D Eyebrows, where the hairstrokes all go in one direction. There are 3D Eyebrows, where the hairstrokes are laid out in a specific pattern across the eyebrow ridges, creating a 3D effect. World renowned artist, and friend of Microblading LA, David Zhang, creates what he calls "6D Eyebrows" where the actual depth of the microblade varies on each individual hairstroke. This creates an even more dimensional and natural result. All of these approaches are valid and part of the art of microblading, but our artists at Microblading LA use 3D and 6D techniques.

Microblading typically takes two appointments to complete. In the first appointment, the client is profiled and the eyebrows are drawn on with a waterproof pencil, so the artist and client can agree on the look. The artist then microblades the eyebrows and the client is ready to go back into the world. There is some mild scabbing and aftercare required, but your microblading should be completely healed in 30 days.

The second appointment is a touch up at least 30 days after the first session. This allows enough time for the ink in the epidermis to naturally slough off, and the color to settle into your skin. In the touch up appointment, the artist can see how your skin has received the ink and make any necessary corrections.

Sometimes a client's skin undertones may have unexpected effects on the ink's color, and the artist may need to add color to adjust. These kind of corrections are normal with any microblading artist and an essential part of the process, as everyone's skin is different and receives ink differently.

## **A Brief History of Microblading**

Microblading eyebrows first rose to prominence about 25 years ago throughout Asia. Its history is not well-documented in the US, and it doesn't help that it's gone by so many different names: microstroking, feather tattooing, eyebrow tattooing, "the Japanese Method," feathering, hairstroking... the list goes on. In Asia, the technique matured as artists experimented with different brow patterns and tools and application techniques.

A lot of modern techniques are now taken for granted and commonplace. Originally, many artists would cross hairstrokes in an “x” pattern, since in real life hairs do cross. However, this would injure the skin and looked less natural. These days, most artists are taught never to cross hairstrokes.

Today, more advanced techniques such as “3D Eyebrows” are popular throughout the United States. Newer techniques are still being innovated in of Asia, such as the “6D Eyebrow” by artists like David Zhang.

In the last few years, microblading had a surge of popularity throughout Europe, where schools and artists have established themselves as the frontier of microblading for the West. In 2015, microblading finally caught on and overtook "permanent makeup" in Google searches: Bloggers and YouTubers began experimenting with this procedure, while new artists started advertising their work and putting up websites for the first time. In 2016, microblading had its first mainstream endorsement, when actress Bella Thorne visited Microblading LA's studio and the story was picked up by virtually every beauty news media outlet.

The history of microblading is very brief, but its future looks very bright.

## **Microblading vs. Eyebrow Tattooing**

At [Microblading LA](#), we hear people sometimes refer to microblading as eyebrow tattooing, which is technically true but not 100% accurate.

Technically, microblading is eyebrow tattooing, but microblading is not like any eyebrow tattoo. Microblading is considered a “cosmetic tattoo.”

Let’s talk about the key differences between eyebrow tattooing and microblading (cosmetic tattooing).

### **1. Microblading artists hand draw each line. Eyebrow tattooing uses a machine.**

This makes a big difference. Microblading features very fine lines and when applied by a skilled artist, those lines do not “bleed out” over time. Not true of traditional eyebrow tattooing. Eyebrow tattooing is usually done by a machine, with much greater injury to the skin. The lines created are not as fine and over time begin to bleed out. If you’ve ever seen someone tattoo handwriting on their skin, only to see the writing get thicker over the years, then you know the effect. (You can see more [microblading photos here](#).)

### **2. Microblading has different retention.**

The fine lines of microblading often fade over time. For many, they fade over 1 to 3 years. With microblading, there is physically less ink deposited under the skin. In the dermis, where the ink is placed, this ink can move around over time, giving a slighter appearance. When there is a lot of ink, like in traditional tattooing, the tattoo remains very consistent, often expanding. With microblading, the ink will fade or disappear, depending on the skin type and how much ink was inserted.

### **3. Microblading inks maintain their color.**

Microblading does not use traditional tattoo ink. We use a different kind of ink that maintains its original hue over time. Many tattooing clients report that their tattoos turn blue or brown over time. With microblading, however, colors tend to get lighter, rather than changing hue.

### **4. Microblading is less painful. (And many consider it painless.)**

Our artists use a topical anesthetic, which numbs clients of most of the pain. In fact, [many microblading clients report little or no pain](#). Some people fear traditional tattoos on certain parts of their body because of the pain, but this is typically not an inhibiting factor for microblading clients.

### **5. Results from microblading are more natural than traditional eyebrow tattoos.**

Each hairstroke is hand drawn in microblading. To the naked eye, these individual hairstrokes blend right in with a clients' real hair. While eyebrow tattoos may look more like a filled-in brow or a solid line ("sharpie look"), microblading looks more like natural eyebrow hair.

### **6. Microblading artists are not necessarily tattoo artists and vice versa!**

Microblading and tattooing each take specific training and are not linked! Microblading artists do not learn how to tattoo during their training and likewise, tattoo artists do not necessarily learn the skills necessary to become a microblading artist. For the noted differences, tattooing and microblading are each separate artforms that take their own time and training to master. (That said, great tattoo artists, with proper [training in the art of microblading](#), would make excellent microblading artists)

Source: [www.microbladingla.com](http://www.microbladingla.com)



## **What is micropigmentation?**

Micropigmentation (also known as dermopigmentation, permanent or semi-permanent make-up) is a special aesthetic treatment used to correct, modify, beautify and balance features semi-permanently.

Permanent outlining is a fast and effective treatment that resolves many aesthetic problems, improving the appearance of eyebrows, eyes and lips, scars or nipple areolae.

Permanent outlining is carried out using mineral pigments under the skin which approximately one week after implantation and a phase of strong colour, fade to leave a more natural appearance that will last for years.

- The color gradually weakens.
- Shape and colour can be altered according to fashion or personal preferences. Micropigmentation of the eyes, eyebrows and lips is no longer a luxury; it is a necessity of modern-day life.
- This technique is not only used to beautify, it is also used to correct serious image problems that can often cause complexes in people such as inexistent or thin eyebrows, droopy eyelids, inexpressive eyes, and small, asymmetrical, discoloured or lifeless lips.
- Micropigmentation is a painless procedure as a local anaesthetic is first applied to the area to be treated.

A micropigmentation session lasts between 1.5 and 3 hours, as your features are studied before the procedure in order to detect minor imperfections that once corrected will enhance your beauty. A corrector pen is then used to draw the outline until you are completely satisfied with the chosen shape, and following this stage only the outlined area is pigmented, choosing the design and colour together with the consultant.

## **Benefits of permanent make-up:**

- You will spend less time on your daily make-up, especially professional women who are on a tight schedule and need to look good at all times.
- It is ideal for women with oily or mixed skin which tends to absorb make-up shortly after applying it.
- It is a great solution for women who are allergic to conventional make-up, or for people with thinning eyelashes on the top or bottom eyelid, or with constant tears due to wearing contact lenses.
- It corrects imperfections such as small lip volume or uneven volumes between the upper and lower lip.
- It makes you look well-groomed at all times.

## **Examples of micropigmentation**

### **Eyebrow micropigmentation:**

Eyebrows frame the face, which is why it is so important to give them the right shape to enhance your beauty. Eyebrow outlining can achieve several effects

- \* outline the perfect shape you have always wanted.
- \* a lifting effect, as it visually lifts creating a rejuvenating effect.
- \* filling areas where hair is lacking
- \* correcting asymmetries

### **Treatment procedure:**

- a photo is taken before and after so you can appreciate the results.
- the area to be treated is cleaned and disinfected
- a corrector pen is used to design the eyebrow according to the type of face and personality, correcting any imperfections
- once the design has been chosen, the right colour is selected with different options available
- the local area is anaesthetised to avoid discomfort or pain
- micro-implantation is performed.

\*The outlining will last from 1.5-3 years, depending on each person's type of skin and lifestyle.

### **Eyelid micropigmentation:**

Eyelid micropigmentation results in a more expressive gaze, creating the effect of having fuller eyelashes.

### **Treatment procedure:**

- a photo is taken before and after so you can appreciate the results.
- the area to be treated is cleaned and disinfected
- a corrector pen is used to design the eyelid according to the type of face and personality
- once the design has been chosen, the right colour is selected with different options available
- the local area is anaesthetised to avoid discomfort or pain
- micro-implantation is performed.

\*The outlining will last from 1.5-3 years, depending on each person's type of skin and lifestyle.

### **Lip micropigmentation:**

Micropigmentation of the lips can have various objectives, and consequently has different techniques. This outlining can achieve gentle and natural effects but also lips with the sensual appearance you have always wanted.

Effects:

- profiling
- blurring
- enlargement or reduction
- reconstruction and correction of asymmetry
- addition of colour and life to pale lips

**Treatment procedure:**

- a photo is taken before and after so you can appreciate the results.
- the area to be treated is cleaned and disinfected
- a corrector pen is used to design the lips according to the type of face and personality, correcting any imperfections
- once the design has been chosen, the right colour is selected with different options available
- the local area is anaesthetised to avoid discomfort or pain
- micro-implantation is performed.

\*The outlining will last from 1.5-3 years, depending on each person's type of skin and lifestyle.

Source: [www.beauty-perse.com](http://www.beauty-perse.com)



# Plan Commission Report

ITEM: 5i

DATE: November 14, 2017

**PROJECT:** Zoning Text Amendment – Lm-1 District, Setback Requirement

**Suggested Motion:** That the Plan Commission recommends to the Common Council that Section 17.03170(g) be amended to reduce the building front setback from a road or right-of-way from 30 feet to 25 feet, after a public hearing.

**Commentary:** Recently, the City adopted the new zoning district Lm-1, Limited Manufacturing. The purpose of this district was to create a zoning district that would provide a mix of low-impact manufacturing, industrial, wholesaling, limited warehousing, research and development, engineering and testing, and related service facilities and uses which occur within enclosed buildings, which would not have an adverse effect upon the district in which it was located.

This zoning district was intended as a bridge between the land uses in the B-4, Highway Commercial Business District and M-1, Manufacturing District. When creating a new zoning district, staff proposed regulations such as size, setbacks, land uses. Etc. When the Lm-1 District was adopted, staff proposed using the same building setbacks that was found in the M-1 District. Not having a similar district elsewhere in the code, it was difficult to determine what the appropriate setback should be. Since that time, staff has reviewed the front setback for the Lm-1 District and evaluated the various land uses in that district as it relates to front setbacks.

Staff has determined that the 30-foot front setback, as it relates to the types of uses in the Lm-1 District, would not benefit any development being setback an additional five feet from the front lot line. By reducing the front setback to 25 feet, the City would increase the development potential of Lm-1 zoned parcels without having an adverse effect on any other districts. This change will not impact any other setback requirements. By making this change, the front setback in the Lm-1 District will match the front setback in the B-4 District.

If the Plan Commission believes that amending the code to reduce the front setback for the Lm-1 District to 25 feet is appropriate, the next step would be to recommend that the Common Council adopt the proposed text amendment after a public hearing.

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