



PLAN COMMISSION

July 25, 2017
6:00 P.M.

Common Council Chambers
8040 S. 6TH Street
Oak Creek, WI 53154
(414) 766-7000

Daniel Bukiewicz - Chair
Dawn Carrillo
Chaucey Chandler
Patrick Correll
Chris Guzikowski
Brian Johnston
Gregory Loreck
Fred Siepert
Walter Dickmann
Edward Ciechanowski – ex-officio
Doug Seymour – ex-officio

The City's Vision

Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – July 11, 2017
4. Significant Common Council Actions
5. 6:00 Public Hearings
 - a. Hold a public hearing on a proposed sign appeal for the buildings at 8772 and 8774 S. Mayhew Dr. submitted by Matt Lyons, Azura, LLC, that would allow two (2) ground signs on the property (Tax Key No. 860-9033-004). Follow this item on Twitter [@OakCreekPC#OCPCAzura](#).
6. New Business
 - a. SIGN APPEAL - Consider a request for a sign appeal for the buildings at 8772 and 8774 S. Mayhew Dr. submitted by Matt Lyons, Azura, LLC, that would allow two (2) ground signs on the property (Tax Key No. 860-9033-004). Follow this item on Twitter [@OakCreekPC#OCPCAzura](#).
 - b. PLAN REVIEW – Review site, building, landscaping, and lighting plans submitted by Jerry Cousin, All Star Honda, for an automotive sales and service facility on the properties at 7008 and 7018 S. 27th St., and 2500 W. Rawson Ave. (Tax Key Nos. 737-9989-001, 737-9988-001, 737-9037-001). Follow this item on Twitter [@OakCreekPC#OCPCBuickGMC](#).
 - c. CERTIFIED SURVEY MAP - Review a certified survey map submitted by Jerry Cousin, All Star Honda, for the properties at 7008 and 7018 S. 27th St., and 2500 W. Rawson Ave. (Tax Key Nos. 737-9989-001, 737-9988-001, 737-9037-001). Follow this item on Twitter [@OakCreekPC#OCPCAllStarCSM](#).

Visit our website at www.oakcreekwi.org for the agenda and accompanying Plan Commission reports.

- d. SIGN PLAN REVIEW – Review a proposed sign plan submitted by Lisa Senafe, Bentley’s Pet Stuff, for the Bentley’s Pet Stuff commercial tenant portion of the building at 7940 S. 6th St. (Suite 103) (Tax Key No. 813-9054-000). Follow this item on Twitter @OakCreekPC#OCPCBentley.
- e. REZONE - Review a request by Daniel Ziesemer to rezone the property at 9838 S. Chicago Rd. from Rs-3, Single Family Residential to A-1, Limited Agricultural, to A-1, Unincorporated Agricultural (Tax Key Nos. 812-9930-000). Follow this item on Twitter @OakCreekPC#OCPCZiesemer.
- f. SIGN PLAN REVIEW – Review a proposed sign plan submitted by Mary Koll, Barre District, for the Barre District commercial tenant portion of the building at 7978 S. Main St. (tenant address: 7966 S. Main St.) (Tax Key No. 813-9050-000). Follow this item on Twitter @OakCreekPC#OCPCBarreDist.
- g. CERTIFIED SURVEY MAP - Review a certified survey map submitted by St. Matthew Congregation for the properties at 9261, 9303, 9329, and 9348R S. Chicago Rd. (Tax Key Nos. 869-9973-000, 869-9972-002, 869-9971-000, 870-9978-002). Follow this item on Twitter @OakCreekPC#OCPCStMattCSM.
- h. REZONE - Review a request by St. Matthew Congregation to rezone a portion of the property at 9261 S. Chicago Rd. from Rs-3, Single Family Residential to I-1, Institutional, and the property at 9348R S. Chicago Rd. from Rs-2, Single Family Residential to I-1, Institutional (Tax Key Nos. 869-9973-000 & 870-9978-002). Follow this item on Twitter @OakCreekPC#OCPCStMattRezone.
- i. PLAN REVIEW – Review site and building plans submitted by Katherine Kawczynski, VJS Construction Services, for a score tower facility for the Oak Creek Knights Baseball Program on the Abendschein Park property at 1321 E. Drexel Ave. (Tax Key No. 815-9997-000). Follow this item on Twitter @OakCreekPC#OCPCscoretower.
- j. PRELIMINARY PLAT – Review a preliminary subdivision plat submitted by Mike Kaerek, The Orchard of Mukwonago, LLC, for the proposed Creekside Meadows subdivision located at 9349 S. Nicholson Rd. and 1200 E. Ryan Rd. (Tax Key Nos. 873-9998-002 & 873-9006-006). Follow this item on Twitter @OakCreekPC#OCPCcreekside.

RESCHEDULED TO AUGUST 8, 2017

Adjournment.

Dated this 20 day of July, 2017

Posted 07/20/17 (jf)

Public Notice

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice

**DRAFT MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, JULY 11, 2017**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Dickmann, Commissioner Carrillo, Alderman Guzikowski, Commissioner Correll, Commissioner Siepert, and Commissioner Chandler. Commissioner Johnston and Commissioner Loreck were excused. Also present: Kari Papelbon, Planner; Pete Wagner, Zoning Administrator/Planner.

Minutes of the June 27, 2017 meeting

Commissioner Dickmann moved to approve the minutes of the June 27, 2017 meeting. Commissioner Siepert seconded. On roll call: all voted aye. Motion carried.

PUBLIC HEARING

SIGN APPEAL

FROEDTERT & MEDICAL COLLEGE OF WISCONSIN

7901 S. 6TH ST.

TAX KEY NO. 813-9056

Zoning Administrator/Planner Wagner read the public hearing notice into the record.

Mayor Bukiewicz made three calls for public comment. Seeing none, the public hearing was closed.

SIGN APPEAL

FROEDTERT & MEDICAL COLLEGE OF WISCONSIN

7901 S. 6TH ST.

TAX KEY NO. 813-9056

Zoning Administrator/Planner Wagner provided an overview of the request (see staff report for details).

Commissioner Correll asked if “Froedert & Medical College of Wisconsin” wording has to be on the monument directional signs, as the name of the hospital is on the other elevations of the building. His concern is the clutter on the directional signs. Also, the signs do not have to be as large if that wording is removed.

Discussion ensued regarding clarification of the requested variances.

Commissioner Chandler asked why it was necessary to have so many signs on each elevation with the hospital name on them. Zoning Administrator/Planner Wagner responded that in talking with the sign company, the size of the building may have dictated the request for the number of signs on each elevation. Mayor Bukiewicz stated that the building is big enough to support the two signs on the east elevation.

Mayor Bukiewicz stated he does not see the point of having the monument/directional sign #2, which sits on the corner of 6th St. and Drexel Ave. Zoning Administrator/Planner Wagner stated that he is not sure about the granting of the Utility easement and if a variance is going to be allowed. They might not actually be able to put it at that location based on the easement issue or a vision triangle.

Mayor Bukiewicz stated that as far as the west elevation, the “Froedert” and “Drexel” signage looks like one sign, but is considered two. Zoning Administrator/Planner Wagner stated that the applicant could have gone for the variance in the size or quantity. They meet the design and standards; however, opted to request a variance for the number of signs.

Commissioner Correll stated that this is a lot of signage outside of a nice development of apartments. It is very obvious that the hospital is there and if the signs were cut in half, people would still know they were there. Commissioner Correll stated that this seems like overkill in totality of signs. Commissioner Dickmann concurred.

Commissioner Chandler asked about the duplication of signs on the same elevation. Ramona Marena, Lemberg Sign Company, stated that the location of one sign is lower for better visibility. They want to make sure that the public understands that the lower elevation building is tied into the larger part of the center.

Commissioner Dickmann asked about the number of mentions of the hospital name, especially those on the directional signs. He stated that it is overkill. Ms. Marena stated that the applicant likes to brand themselves. Commissioner Correll stated that if they are purely directional, they don't need to be that large. Zoning Administrator/Planner Wagner stated that when it comes to the directional signs, the 6 feet is the regulation. The applicant is asking for 15 feet. The Plan Commission must decide on a size. If they want to take it down to 5' x 3', it is up to the Commission's discretion as to how much of a variance they will allow from the 6 square-foot regulation.

Commissioner Correll asked if there is a priority with the directional signs. Zoning Administrator/Planner Wagner stated that these are three directional signs that exceed the size, so they need a variance to grant the size of the directional signage.

Commissioner Correll stated he would be okay with the larger size if they could stay off of Drexel Avenue. He does not think the directional sign on Drexel Avenue serves a purpose other than branding. Mayor Bukiewicz concurred. Mayor Bukiewicz stated that he does agree with the two directional signs on the inner portion of the property. Ms. Marena stated that the directional sign on Drexel Avenue is to keep people from pulling into the western-more drive. That is strictly for emergency vehicles and delivery trucks egress. Mayor Bukiewicz stated he was not in favor of that road and thinks it is a terrible idea.

Commissioner Dickmann asked if the Plan Commission was saying they do not want the directional sign on Drexel Avenue. Mayor Bukiewicz stated that the right-of-way location is unknown at this time and they may not be able to install the sign in that location anyway. Zoning Administrator/Planner Wagner suggested having the standard highway sign (the blue “H”) to identify where the hospital entrance is instead of having the full directional sign.

South Elevation – no comments

West Elevation – Zoning Administrator/Planner Wagner explained that the “ambulance entrance” sign is for internal direction and is not meant for visibility from Drexel Avenue. Because this directional sign is mounted on the wall, it is considered a wall sign. Asst. Fire Chief Kressuk stated that all the signage helps the Fire Department staff get to where they need to go to pick up a patient that may need to be transported to another facility. For the Oak Creek Fire Department, it will take a couple of weeks to a month before the crews have exposure to responses there. The signage helps for future mutual aid partners that may need to respond to that facility, or there may be other EMS agencies that respond. Asst. Fire Chief Kressuk stated that the size of the ambulance sign is probably adequate.

East Elevation – Commissioner Chandler stated there are too many signs on this elevation. Ms. Miranda responded that it is a large building and with the change of the building materials on this elevation, it is important to establish that the facility continues and that the lower elevation is the actual entrance. Commissioner Dickmann concurred with Ms. Marena. Alderman Guzikowski, Commissioner Correll, Commissioner Siepert concurred.

Commissioner Chandler asked if the signs could be reduced in size if the “Drexel Town Square Health Center” were removed from one of the signs. Mayor Bukiewicz stated no, he likes the mention of Drexel Town Square.

Monument Signs – Mayor Bukiewicz stated that the inner directional signs are important, especially when approaching the center from the south, but is not in total agreement with the directional sign on Drexel Avenue. Ms. Miranda stated that the reason they went with a monument sign for the directional signs was they were given direction that they had to stay within the monument signs of the development.

Ms. Miranda stated that monument #3 is taller because it has the direction for the ambulance. It guides the ambulances along the south entrance rather than going through the parking lots and inhibiting traffic. Otherwise, the signs would be 5’10”.

Commissioner Carrillo had comments, but they were not picked up by the microphone.

Commissioner Siepert had comments, but they were not picked up by the microphone.

Alderman Guzikowski stated he wants the size reduced and the number.

Commissioner Dickmann stated that if they reduce the size, they can put on the sign what they want. He assumes that he would eliminate the “Froedert Health Center” wording because it is on the building. He would like the directions and the address to stay on those signs. He would like to see the signs made smaller. Zoning Administrator/Planner Wagner responded that staff calculated the size of the sign was the 5’ x 3’, which is the dark black cabinet. The address and branding was not included in the overall size because that was an effort by the applicant to follow the design standards for Drexel Town Square.

Commissioner Correll asked if they were limited to two signs, could the applicant decide where they will place them. Zoning Administrator/Planner Wagner responded that the applicant may still decide to keep the branding and in order to achieve the smaller size, decrease the size of the font. The Commission can grant a variance on number, height, and size of signs. Ms. Miranda stated that these directional signs are for guiding people in urgent situations many times. During these times, the driver is going to want to see the words “urgent care” as many times as possible. They will want to be directed as often as possible. Commissioner Correll stated that it is still more than is necessary. He would be okay with two signs and he would be okay with the size. Commissioner Carrillo stated that the corner sign is probably the most important when it comes to directional signage.

Asst. Fire Chief Kressuk stated that the signage routes different types of apparatus; ambulances, the public, clinic visitors, those seeking urgent care and emergency vehicles. The more signage, the better, in the case of the Fire Department, especially when there are alternate routes for each. The urgent care patients should be directed in the most direct route to aid. Emergency apparatus should be routed to where there is less vehicular congestion. Visitors and employees have an alternate route for routine travel. Therefore, the more signage may be better as long as the signage is specific to what they are trying to direct. Mayor Bukiewicz concurred. Commissioner Correll stated there is plenty there. He has no problem with the height if they were both the larger signs.

Commissioner Correll moved that the Plan Commission approves the sign variance for 7901 S. 6th Street to allow for a total of 9 wall signs on three elevations of the building, and two directional signs, one being 5' 10" and not to exceed 15 square feet in size, and one not to exceed 6' 5" and 18 square feet in size. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**SIGN PLAN REVIEW
FROEDERT & MEDICAL COLLEGE OF WISCONSIN
7901 S. 6TH ST.
TAX KEY NO. 813-9056**

Zoning Administrator/Planner Wagner provided an overview of the sign plan proposal (see staff report for details).

Commissioner Dickmann moved that the Plan Commission approves the sign plan submitted by Froedert & Medical College of Wisconsin for the development located at 7901 S. 6th Street, with modification of permitting only one 5' 10" tall, 15 square-foot directional sign, and one 6' 5", 18 square-foot directional sign for the development located at 7901 S. 6th Street. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**SIGN PLAN REVIEW
ORANGE LEAF YOGURT
160 W. TOWN SQUARE WAY
TAX KEY NO. 813-9046**

Zoning Administrator/Planner Wagner provided an overview of the request for a wall sign on the north elevation (see staff report for details).

Commissioner Correll moved that the Plan Commission approves the sign plan submitted by Orange Leaf Yogurt for Unit 400 of the building at 160 W. Town Square Way. Commissioner Siepert seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW
VILLA HEALTH CARE
2700 W. HONADEL BLVD.
TAX KEY NO. 831-9035**

Planner Papelbon provided an overview of the proposal for the skilled nursing and hospice facility (see staff report for details).

Commissioner Correll stated that he likes how it looks and where it is going.

Commissioner Siepert asked if the Fire Department has any issues with moving apparatus around the site. Asst. Fire Chief Kressuk responded that they did review site access to determine access points and road widths. They will comply with code on all of those road widths. The Fire Department has been actively working with the civil recently to determine FDC locations, hydrant locations. The Fire Department is okay with the access.

Commissioner Dickmann asked if the hospice center is completely separated from the other part of the building. Grant Reginato, Direct Supply Aptura, 6767 N. Industrial Road, Milwaukee, stated that the owner is going to operate the skilled nursing portion of the facility. They are going to have a separate operator for the hospice. That is why it has its own entrance.

Commissioner Dickmann moved that the Plan Commission approves the site and building plans submitted by Joe Tikotzky, Villa Healthcare, for the property at 2700 W. Honadel Blvd. with the following conditions:

1. That all building and fire codes are met.
2. That all exterior brick veneer meets the minimum 4-inch thick requirement per Code.
3. That all final plans (site, building, landscaping, lighting, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.
4. That all mechanical equipment (ground, building, and rooftop) is screened from view.
5. That final lighting plans indicating luminaire type, pole type, color, and height are submitted for final approval by the Electrical Inspector prior to submission of building permit applications.
6. That stormwater and grading plans are submitted for final approval by the Engineering Department prior to issuance of permits.
7. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.

Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn. Commissioner Siefert seconded. On roll call: all voted aye. The meeting was adjourned at 7:24 p.m.

ATTEST:



Douglas Seymour, Plan Commission Secretary

7/12/17

Date

Summary of Significant Common Council Actions

July 18, 2017

1. **APPROVED** - Ordinance No. 2860, rezoning the properties at 1901 and 1941 E. Rawson Ave. from B-4, Highway Business and A-1, Limited Agricultural to LM-1, Light Manufacturing District.
2. **APPROVED** - Resolution No. 11824-060617, approving a Certified Survey Map for the properties at 1901 and 1941 E. Rawson Ave., Michael Frede, VentureSpace, LLC.
3. **APPROVED** - Resolution No. 11837-071817, approving a Certified Survey Map for Mike and Carrie Murphy for the property at 10855 S. 10th Street.
4. **APPROVED** - Resolution No. 11840-071817, approving an easement for pedestrian cross access with the Drexel Hotel Group, Inc., the City of Oak Creek, and The Waters of Oak Creek, LLC, for the property at 7980 S. Market St



Kari Papelbon, CFM, AICP
Planner



Plan Commission Report

ITEM: 5a & 6a

DATE: July 25, 2017

PROJECT: Sign Appeal – Matthew Lyons, Azura

ADDRESS: 8772 & 8774 S. Mayhew Dr.

TAX KEY NO: 860-9033-004

STAFF RECOMMENDATION: Staff does not make a recommendation for a sign appeal.

Ownership: Azura, LLC, P.O. Box 27279, Denver, CO 80227

Size: 2.574 acres

Existing Zoning: Rm-1 (CU), Multifamily Residential

Adjacent Zoning: North – B-3, Office and Professional Business

East – Rm-1 (PUD), Multifamily Residential

South – I-1, Institutional; B-4 (PUD), Highway Business; Rm-1 (PUD), Multifamily Residential

West – B-4, Highway Business; B-4 (CU), Highway Business; B-4 (PUD), Highway Business

Comprehensive Plan: Planned Mixed Use.

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The applicant is requesting a variance from Section 17.0705(a) which states that one residential development sign is permitted per parcel. If granted, the variance would allow the applicant to install one ground sign located at the northern entrance to the parcel and one ground sign at the southern entrance to the parcel located at 8774 S. Mayhew Drive.

The applicant is proposing to install two signs that will be identical except for the address identifying each building. The signs will be five feet tall and have a sign panel that is three feet by two feet, 2 inches, for an overall size of 6.5 square feet. The size, dimensions, and proposed locations meet the sign code. Included with this report are graphics illustrating how the signs will look. Also include is a site map that shows the locations of the proposed signs.

The Plan Commission in its deliberation of a variance may consider the location of the proposed sign, the height, the size, the appearance, number, and location of other signs in the vicinity of the proposed sign, and any other factor as the Plan Commission deems appropriate. When considering a variance, the Plan Commission must make the final decision on appeals using the following criteria:

- a. There shall be no public harm and there shall be a public benefit.

- b. Variance considerations shall include enhancement of the overall character of a neighborhood or mitigation of unusual site conditions.
- c. The sign will not result in an undue concentration of signage which renders it difficult or confusing to read existing signs.
- d. The effect a proposed sign may have on depreciating property values of a neighborhood.

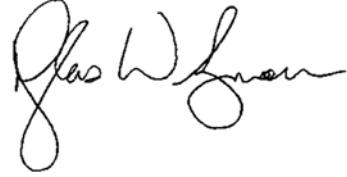
If the Plan Commission believes a variance should be granted, a motion can be made to allow for the installation of two residential development signs for the parcel located at 8774 S. Mayhew Drive.

Prepared by:



Peter Wagner, AICP
Zoning Administrator/Planner

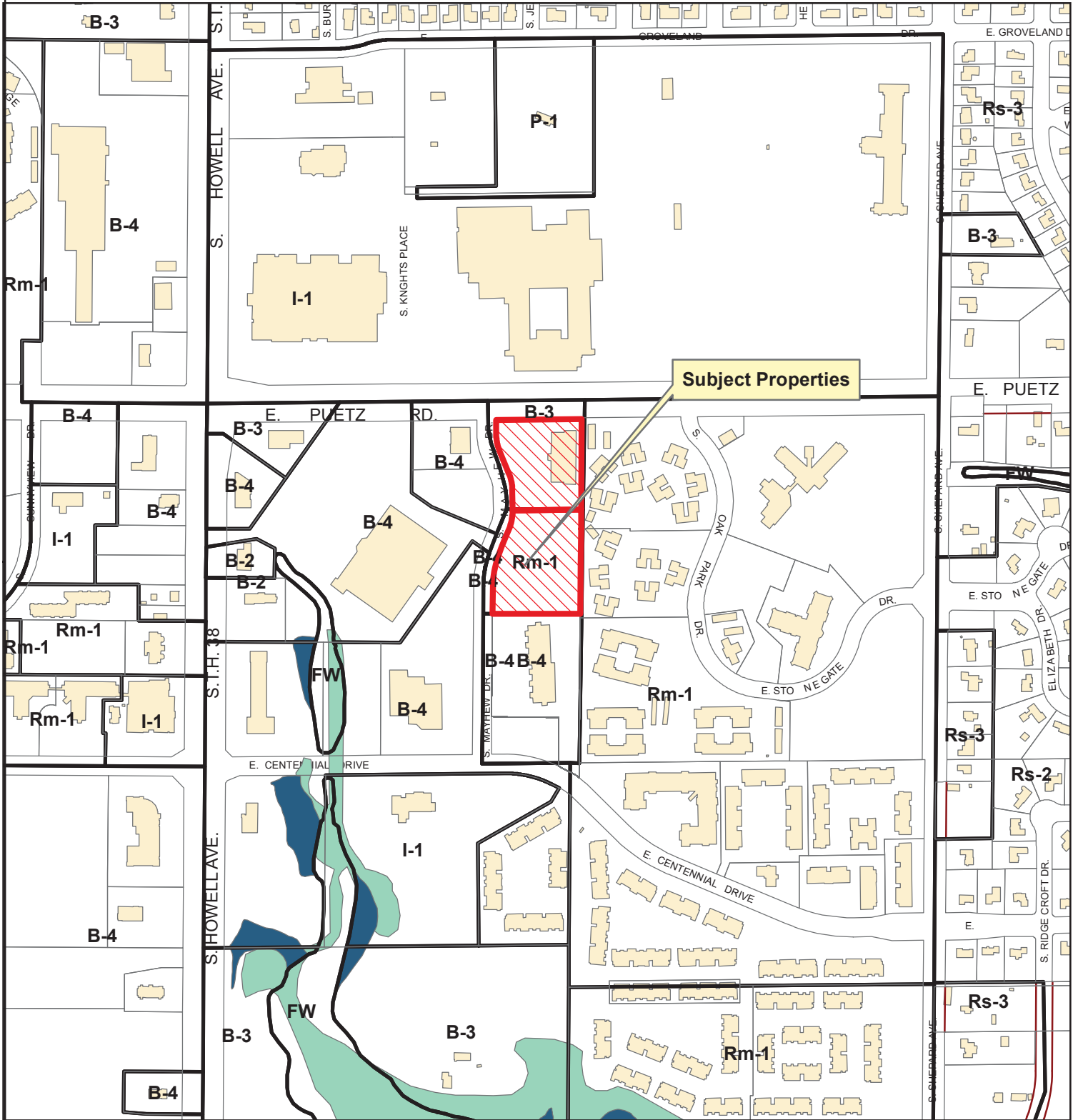
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

8772 & 8774 S. Mayhew Dr.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

- 8772 & 8774 S. Mayhew Dr.
- Zoning Overlays
- C-1-Shoreland Wetland
- FF-Flood Fringe
- Lakefront Overlay
- NO-Mixed Use Neighborhood
- OO-Mixed Use Office
- RR-Regional Retail

Publish July 13, 2017

**CITY OF OAK CREEK
NOTICE OF PUBLIC HEARING
BEFORE THE PLAN COMMISSION**

A public hearing for a sign appeal will be held:

Date: Tuesday, July 25, 2017

Time: 6:00 p.m.

Place: Oak Creek City Hall
COMMON COUNCIL CHAMBERS
8040 S. 6th Street
Oak Creek, WI 53154

Appellant: Azura (Matthew Lyons)

Tax Key No. 860-9033-004

Property location: 8774 S. Mayhew Drive

To Request: A variance from Section 17.0705(a) which states that one residential development sign is permitted per parcel.

If granted, the variance would allow the applicant to install one ground sign located at the northern entrance to the parcel and one ground sign at the southern entrance to the parcel located at 8774 S. Mayhew Drive.

Zoning of Property: Rm-1 CU, Multi-Family Residential District, Conditional Use

All interested persons wishing to be heard are invited to be present.

Dated this 6th Day of July, 2017

PLAN COMMISSION
CITY OF OAK CREEK, WISCONSIN

/s/ Mayor Daniel J. Bukiewicz, Chairman

Public Notice

PLEASE NOTE: Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferable a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 414-766-7000, or by writing to the ADA Coordinator at the Health Department, City Hall, and 8040 South 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.



June 27, 2017

Oak Creek Plan Commission
8040 6th Street
Oak Creek, Wisconsin 53154

To whom it may concern:

Re: Sign Variance for 8772 & 8774 South Mayhew Drive

Azura received final approval from the Plan Commission for plans of a development for two memory care assisted living homes located on a single parcel located at 8772 & 8774 S Mayhew Drive on December 8, 2015. The development plans was subsequently approved by the Common Council on January 19, 2016.

The property is zoned RM-3 with an allowed Conditional Use for a community based residential facility. The most relevant section of the city's code relating to signage for this project appears to be Section 17.0705 (a) which refers to "On-premise signs permitted within all residential districts with a permit". *Please refer to Exhibit A for the exact language for Section 17.0705.*

This section does not state any limitation as to the number of signs allowed. The only regulations specified are for the height (6') and size (48 square feet per side or 96 square feet on all sides). Azura's has submitted an application for two signs, or one sign per building. Azura's intent is for one sign to be located at each entrance to the parcel, as indicated on the landscape plan that was previously approved by the Plan Commission *Please refer to Exhibit B for the approved landscape plan.*

Azura's two proposed signs are each two sided signs that are 26 inches by 36 inches signs attached to a single 6 foot tall post. Each of the signs are 6.5 square feet per side or 13 square feet in total. The cumulative total of all proposed signage for the site is 26 square feet, which is only 27% of the maximum allowed signage area per Section 17.0705 of the code. *Please refer to Exhibit C for renderings of the signs.*

It is Azura's view that the requested signage is not only in conformance with Section 17.0705 of the code, but is substantially less impactful than what is allowed complies with the intent of the section.

Thank you, in advance, for your review and consideration of our application.

Sincerely,

A handwritten signature in blue ink, appearing to read "Matthew Lyons", written over a horizontal line.

Matthew Lyons
Director of Development

CITY OF OAK CREEK

JUN 28 2017

RECEIVED

Exhibit A

CITY OF OAK CREEK

JUN 28 2017

RECEIVED

**SEC. 17.0705 ON-PREMISE SIGNS
PERMITTED IN ALL RESIDENTIAL
DISTRICTS WITH A PERMIT**

The following signs are permitted in any residential district and are subject to the following regulations:

- (a) Single family, two family and multifamily residential development signs, not to exceed six (6) feet in height and forty-eight (48) square feet in area on one side and ninety-six (96) square feet in area on all sides, placed at the entrance to a subdivision or development. Said sign shall be located no closer than ten (10) feet to any street right-of-way, nor closer than ten (10) feet to any side or rear lot line. If placed in an island within the City right-of-way the island shall be designated as an outlot owned and maintained by the developer and/or homeowner's association. The Plan Commission shall determine the appropriate size of the sign based on the design of the sign and its compatibility with adjacent land uses.

CITY OF OAK CREEK

JUN 28 2017

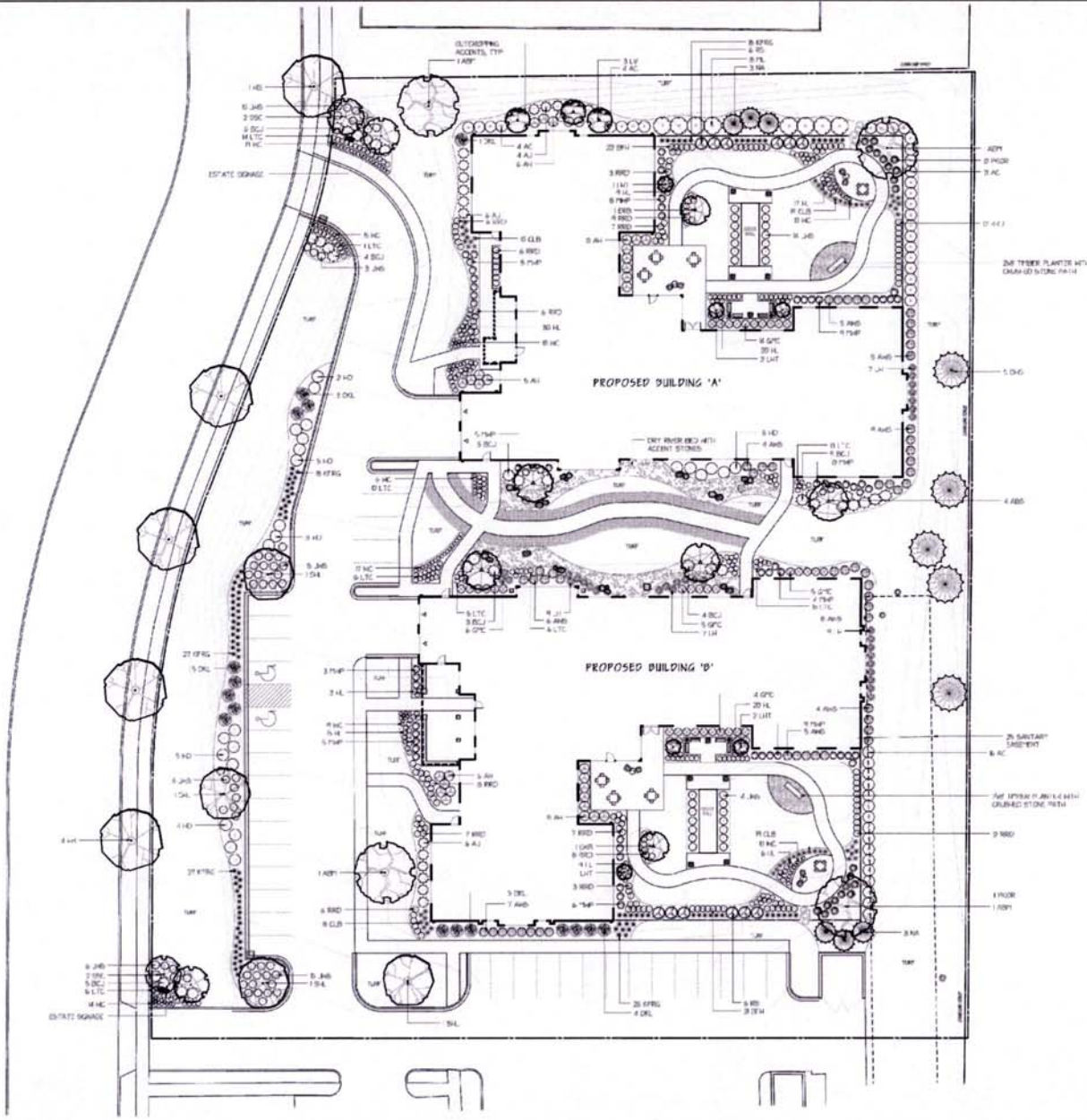
RECEIVED

Exhibit B

CITY OF OAK CREEK

JUN 28 2017

RECEIVED



NOTES

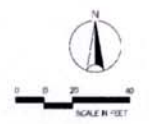

M.J.S.
 LANDSCAPING SERVICES, LLC
 PO BOX 344 | LANNON, WI 53046
 262-253-0967

REV	DATE	DESCRIPTION

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LANDSCAPE PLAN

AZURA OAK CREEK
ASSISTED LIVING
 SOUTH MAYHEW DRIVE
 OAK CREEK, WI 53154



DATE	1 - 27	PROJECT NO.	
DESIGNER		CLIENT NO.	
SCALE	1/2" = 1'-0"		
DATE	1/27/2016		
SCALE	1/4" = 1'-0"		

L-1

CITY OF OAK CREEK
 JUN 28 2017
 RECEIVED

Exhibit C



CITY OF OAK CREEK

JUN 26 2017

RECEIVED

GRAPHIC HOUSE

CLIENT:
AZURA MEMORY CARE
OAK CREEK, WI

9204 Packer Drive, Wausau, WI 54401 715-842-0402
www.graphichouseinc.com

SALES REP: JASPER H	DATE: 5-2-2017	QUOTE NUMBER: 12024D	JOB NUMBER: XX-XXX
SALES TITLE:		REVISION: 5-25-2017-C	

- D/F NON-LIT DIRECTIONAL**
- A ALUM. FORMED CABINET, PAINTED 2 COLORS
 - B 3/8" THICK ROUTED ALUM. LOGO, PAINTED & MOUNTED FLUSH TO CABINET
 - C VINYL PHONE & ADDRESS
 - D PAINTED ALUM. SUPPORTS w/ ROUTED ALUM. ACCENTS
- P1 - White
- P2 - MP10147 Impulse Blue
- P3 - Match 951-053 Light Blue Vinyl
- V2 - 7725-10 White Vinyl

Sign 1
(1) D/F SIGN
RQ'd



OPPOSITE SIDE

RECEIVED
 JUN 28 2017
 CITY OF OAK CREEK

CLIENT HAS IDENTIFIED THE LOCATION IN WHICH THE SIGNAGE IS TO BE INSTALLED. THE CLIENT HAS THE SOLE RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO SUPPORT THE SIGNAGE.

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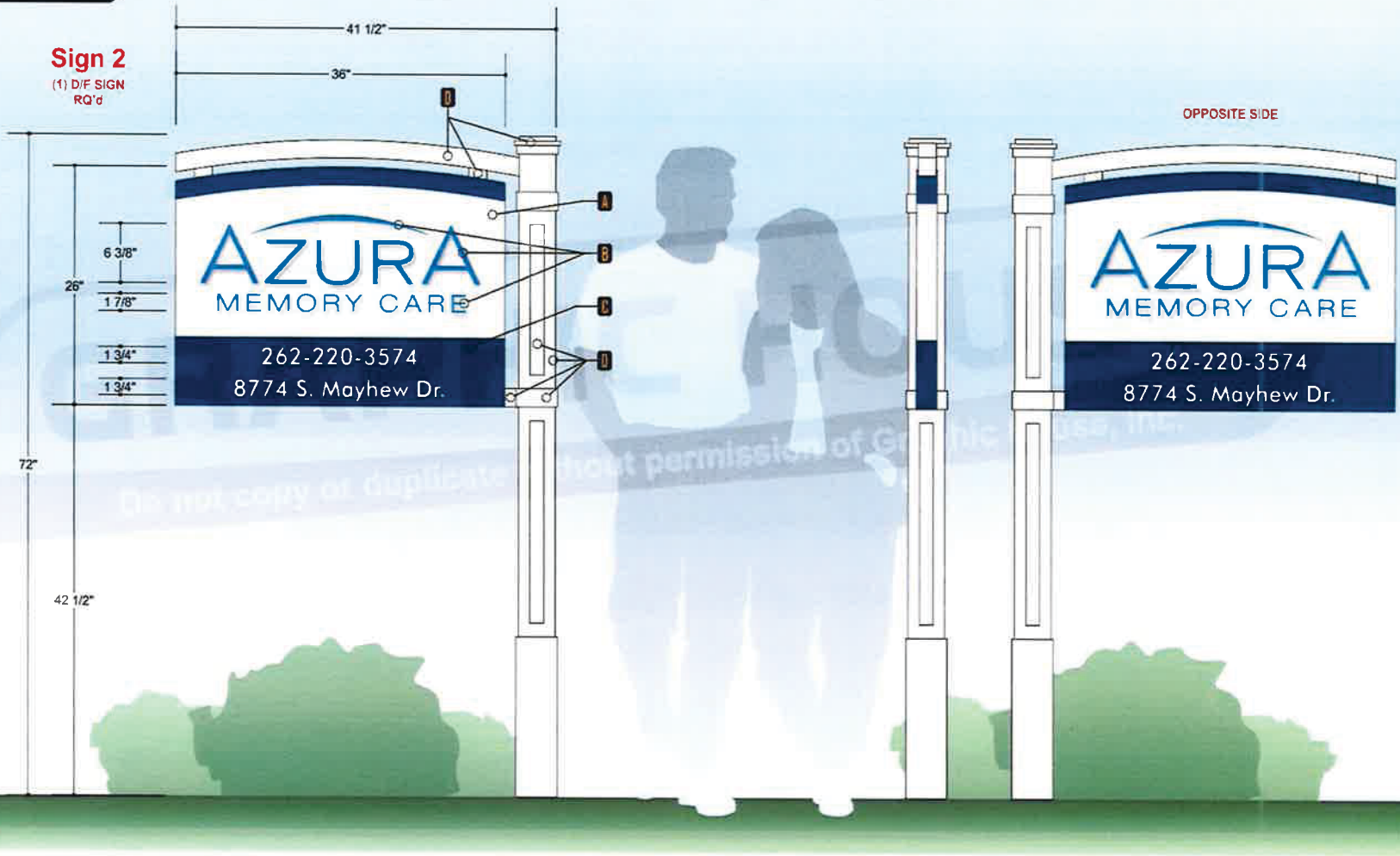
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SALES A/C#:		REVISION: 5-25-2017-C	

- D/F NON-LIT DIRECTIONAL**
- A ALUM. FORMED CABINET, PAINTED 2 COLORS
 - B 3/8" THICK ROUTED ALUM. LDGO, PAINTED & MOUNTED FLUSH TO CABINET
 - C VINYL PHONE & ADDRESS
 - D PAINTED ALUM. SUPPORTS w/ ROUTED ALUM. ACCENTS
- P1 - White
- P2 - MP10147 Impulse Blue
- P3 - Match 951-053 Light Blue Vinyl
- V2 - 7725-10 White Vinyl

Sign 2
(1) D/F SIGN
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Plan Commission Report

ITEM: 6b

DATE: July 25, 2017

PROJECT: Plan Review – Jerry Cousin, All Star Honda (All Star Buick/GMC)

ADDRESS: 7008 & 7018 S. 27th St. and 2500 W. Rawson Ave.

TAX KEY NO: 737-9989-001, 737-9988-001, 737-9037-001

STAFF RECOMMENDATION: That the Plan Commission approves the site and building plans submitted by Jerry Cousin, All Star Honda, for the properties at 7008 & 7018 S. 27th St. and 2500 W. Rawson Ave. with the following conditions:

1. That all building and fire codes are met.
2. Access to this property from 27th St. requires approval by the Wisconsin Department of Transportation. Copies of all approvals and/or permits shall be provided to the Department of Community Development and Engineering Department.
3. Access to this property from Rawson Avenue requires approval by Milwaukee County. Copies of all approvals and/or permits shall be provided to the Department of Community Development and Engineering Department.
4. That all final plans (site, building, landscaping, lighting, etc.) are submitted in digital format for review and approval by the Department of Community Development **prior to the submission of building permit applications.**
5. That all mechanical equipment (ground, building, and rooftop) is screened from view.
6. That final lighting plans indicating luminaire type, pole type, color, and height are submitted for final approval by the Electrical Inspector prior to submission of building permit applications.
7. That stormwater and grading plans are submitted for final approval by the Engineering Department prior to issuance of permits.
8. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.

Ownership: Boyland Properties Oak Creek, LLC, 606 SE 117TH Ave., Ste. 100, Vancouver, WA 78683

Size: 12.742 acres

Existing Zoning: B-4 (CU), Highway Business; RRO, Regional Retail Overlay District

Adjacent Zoning: North – B-2, Community Business; B-3, Office and Professional Business; Rs-4, Single Family Residential; Rd-1, Two-Family Residential; RR, Regional Retail Overlay District

East – 27th Street and City of Franklin

South – RRO, Regional Retail Overlay District; B-4, Highway Business; Rs-4, Single Family Residential; Rs-3, Single Family Residential

West – B-3, Office and Professional Business; Rs-4, Single Family Residential; Rd-1, Two-Family Residential; RR, Regional Retail Overlay District.

Comprehensive Plan: Planned Business, Two Family / Townhouse Residential.

Wetlands: Yes, see maps.

Floodplain: N/A.

Official Map: Yes, see map.

Commentary: This item was held at the May 23 meeting to allow the Applicant an opportunity to address concerns. Plan Commissioners will recall that there were extensive conversations regarding the architecture - especially the building materials – and site layout, landscaping, etc. A copy of the meeting minutes, as well as the original staff report, are included for reference.

Following several conversations and reviews with staff, the Applicant’s consultants have addressed many of the concerns. The following revisions have been submitted:

1. Site Plans

- a. Driveway width on 27th St. has been reduced to 35 feet. This must still receive WisDOT approval.
- b. Access on Rawson Ave. This must still receive Milwaukee County approval.
- c. Overall parking has been reconfigured.
- d. Parking/vehicle display area along Rawson Ave. reconfigured.
- e. Pedestrian crossing/connections noted on plans.
- f. Employee parking identified (52 stalls) separate from customer and merchandise parking (325 overall).
- g. Stormwater pond slightly reconfigured.
- h. Wetlands must be shown on the site plans (missing).
- i. Comments from the Water and Sewer Utility received July 6:
 - i. All utility easements should remain in tact and shown on both the plans and CSM.
 - ii. The developer is proposing that an existing hydrant be removed on 27th St. to accommodate a new entrance. This hydrant and lead must be removed to the main with a cap on the Tee. This will require a water shut down and coordination directly with the Utility no later than 48 hours before the planned shut down.
 - iii. All unused sanitary and water laterals should be abandoned at the main.
 - iv. The Applicant and/or their consultants should work with the Utility to ensure the above concerns are addressed.

2. Landscape Plan

- a. Landscaping and decorative planter walls added. We will need more details for the plantings within the planter walls.
- b. Additional revisions may be needed. Staff will continue to work with the Applicant and their consultants.

3. Elevations/Renderings

- a. Option 2 was chosen, showing a contrasting color for portions of the precast concrete on the north and south elevations.
- b. Black metal caps were also added as accents to some of the parapets/rooflines on the north and south elevations.
- c. Materials samples have been provided per Plan Commission request.

4. Modification Request Letter – dated July 19, 2017.

This proposed development falls within the 27th Street Regional Retail overlay district and is adjacent to the City's municipal border with the City of Franklin. As such, the City has received email correspondence from the City of Franklin (attached to this report) expressing their concern over some of the elements of the proposed site and architectural plans.

Based on the discussion at the May 23 meeting, the Plan Commission expressed no serious concerns for the proposed building provided the materials were durable and that the contrasting elements were included. Landscaping was also of concern, the directive being to maximize vegetation at every possibility and buffering the north. Drainage concerns will be addressed with the stormwater plans that must be approved by the Engineering Department. Finally, the access on Rawson Avenue has been reconfigured to a driveway. Ongoing conversations regarding the future roadway led to its removal for this proposal.

Staff recommends approval with the conditions recommended above.

May 23, 2017

The Applicant is requesting site, building, landscaping, and lighting plan approval of a proposed automobile sales and service (car dealership) with private car wash facility on the properties 7008 & 7018 S. 27th St. and 2500 W. Rawson Ave. (to become one property following approval of the CSM). A Conditional Use Permit was approved for automobile sales and service and a private car wash facility in July of 2016. The approved Conditions and Restrictions are included in your packets for reference. As the properties are also within the 27th Street and Regional Retail Overlay Districts, a copy of those Sections of Code are also included in your packets for reference.

Staff has been working for several months with the Applicant and their consultants on the plans for this development. Due to incomplete information or extensive required revisions, the plans have been held from agendas in an effort to provide the Commission with the most complete information and with the most Code-compliant plans possible. While the plans are being presented to the Plan Commission this evening, they are still being modified (as of drafting this report) and staff continues to have concerns with portions of the proposal.

Typically, staff reports are organized to review the proposed plans more-or-less in the same order as Chapter 17 is organized. However, since this proposal is within the aforementioned Overlay Districts, this report will cover the general requirements first and the Overlay District requirements second.

Standard Code Requirements (B-4, Highway Business)

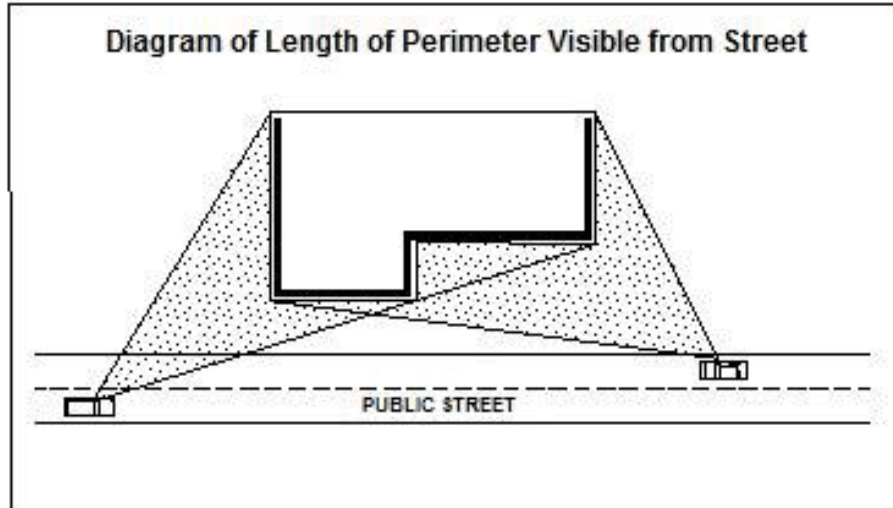
In the latest version of the plans received, it appears that the building does not exceed the height or floor area limits, and meets all setback requirements. Access to this property from S. 27th St. requires approval by the Wisconsin Department of Transportation, and access off of Rawson Avenue requires approval by Milwaukee County. Plan Commissioners should be aware that information previously provided by the State to the Engineering Department indicated that a maximum access drive width off of S. 27th Street would be 37 feet, although the plans show a 40-foot-wide driveway. Copies of all approvals and/or permits must be provided to the Department of Community Development and Engineering Department prior to issuance of building permits.

All required parking for the site was established in the Conditions and Restrictions, which references Sections 17.0403(j)(2)(m)-(n). Motor vehicle sales establishments require two (2) customer parking spaces per salesperson, plus one (1) space per employee at peak shift. Per information supplied by the Applicant and their consultant, an estimated 8-10 salespeople are anticipated with a peak shift of 37 employees onsite. This would equate to 16-20 customer parking stalls plus 37 employee parking stalls. Motor vehicle repair, maintenance, and service stations require a minimum of three (3) spaces per indoor service bay, plus one (1) space per employee at peak shift. Per the interior floor plan, it appears that there are 10 interior service bays programmed for the service center, which would equate to 30 stalls (plus 37 for employees at peak shift as previously mentioned). Although the plans are not entirely clear, it appears as though there are 32-40 stalls reserved for customer parking and 48 stalls for employee parking. Therefore, it appears that the minimum parking requirements are fulfilled.

Exterior lighting will be modified based on the final design for the public road and connecting drive. As with all developments, lighting plans and photometrics must receive final approval from the Electrical Inspector prior to permit issuance.

The proposed exterior building materials are primarily metal panel and painted precast concrete panels, with large windows on the west elevation that wrap around the showroom portion of the building on the north and south (30' 8 1/4"). Two sets of approximately 12' x 8' (96 square feet each) windows are shown on the north elevation of the service drive, and one set of approximately 14' x 11' (156 square feet) windows are also shown on a portion of the service area on the north elevation. Two overhead rollup doors appear on the north elevation: one for the service area and one for the car wash bay. Three overhead rollup doors are shown on the east elevation for the service area, five overhead rollup doors and 5 transom windows are shown on the south elevation, and two overhead rollup doors are shown on the west for the entrance to the service center. With the exception of the overhead rollup door on the south elevation for the car wash, which is a standard overhead door, all rollup doors incorporate glass panes to mimic the look of windows. Section 17.1009(a)(14)(a) states: "No loading dock or overhead doors shall face upon a street right-of-way in commercial or office and professional business zoning districts." This issue will be addressed later in this report.

Metal panels are not listed as acceptable primary exterior building materials, and can only be used as accent materials comprising a maximum of 25% of the visible perimeter of the building per Code. Additionally, Section 17.1009(a)(2)(ii) states: "The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material."



In the past, the Plan Commission has approved, with a $\frac{3}{4}$ majority vote, the use of alternate building materials in plans that have provided “supplemental design elements or improvements are incorporated into the project which compensate for the modifications of the particular standard,” or for those preexisting buildings that were constructed prior to the inclusion of building materials restrictions. The proposal for the dealership, however, must take into consideration the standards and requirements of the Overlay Districts, as will be described later in this report.

Plan Commissioners should be aware of the requirements of Section 17.1009(a)(15) of the Code, which states: “Each retail or service establishment in excess of 25,000 square feet gross floor area must contribute to the establishment or enhancement of community and public spaces by providing a community amenity on the premises such as a patio/seating area, water feature, clock tower, or pedestrian plaza with benches.” This requirement will be discussed later in this report in conjunction with the requirements of the Overlay Districts.

One 8-foot-tall CMU block dumpster enclosure with aluminum swing gates is provided on the south elevation. No color has been identified on the plans for the block or gates. Previous versions of the landscape plans showed vegetation surrounding the enclosure, which would be required in any revisions.

Due to the size of the parcel and the layout for the development, more than 30% of the overall 12.7 acres will be open/green space. It should be noted that this open space includes the stormwater infrastructure in the middle of the property, and wetlands east of the proposed public road. Wetlands will also be addressed with the review of the Overlay District requirements.

Landscape plans, as previously mentioned are currently being modified to incorporate the layout of the proposed road. Previous versions showed a significant portion of the property around the stormwater infrastructure to be designated as a natural area with native prairie seeding. The designation of a natural area requires approval by the Common Council and is a permanent designation. In other words, once a natural area has been established it cannot be developed in the future. Staff will continue to work with the Applicant’s consultants to ensure that landscape plans are developed in conformance with Code requirements.

Comments received from the Water and Sewer Utility, and provided to the Applicant and their consultants, state that the sanitary lateral cannot discharge into a manhole – it must discharge directly into the sanitary

sewer main. Two connections for fire are not allowed to the public main. One connection for fire and one for domestic service are required. These comments must be incorporated into the revised plans.

Comments were also received from the Engineering Department throughout the internal review of the plans. While the plans show a “frontage road” that ties into the proposed public road, Engineering would prefer to see the frontage road completely removed from Rawson Avenue. The Department also reiterates the requirement for WisDOT and Milwaukee County approvals for the access drives (the access permissions previously granted must be modified to allow for the proposed locations in the plans). Wetlands and the stormwater infrastructure locations are also missing on the site plan received May 18.

General 27th Street Overlay Districts Design Standards

Below are specific Sections from the Code that pertain to the proposed development. Staff comments follow each Section quote.

Section 17.0329(b)(2)(a) - Buildings must be, or appear to be at least two stories in height to give scale to the street. Buildings are located closer to the street to create a sense of enclosure for the public sidewalk. Building setbacks provide space for amenities that enhance pedestrian activity along the street.

- With the parapet raised to hide the rooftop mechanicals, the appearance from 27th Street that the building is 2 stories is strengthened (although the building is functionally 1 ½ stories). While this Section requires buildings to be located “closer to the street,” it will be noted in the Regional Retail Overlay District Standards that the setback to a street right-of-way is a minimum of 50 feet. Previous versions of the plans did not identify “amenities that enhance pedestrian activity along the street” (27th Street, particularly).

Section 17.0329(b)(6)(a) - Street trees must be provided to shade the sidewalk, provide a sense of enclosure for the street, and visually unify the blockface.

- No street trees along S. 27th Street were identified in previous versions of the landscape plan. Some trees were provided on the south side of the proposed “frontage road” and will be required along the proposed public street.

Section 17.0329(c)(1)(b)(2) - Commercial buildings shall incorporate pedestrian walkways and open spaces and encourage safe movement through their site and to the surrounding area. Such walkways shall be connected with public streets in an engaging and identifiable manner and conflicts between pedestrians and vehicles shall be minimized, to the extent possible.

- Although public sidewalks are provided in the S. 27th Street and Rawson Avenue rights-of-way, there are no direct public connections to those sidewalks provided in the proposal. Further, there are no dedicated pedestrian paths separate but adjacent to the vehicle display area along Rawson Avenue. Staff contends that there are viable options to provide better vehicular and pedestrian-friendly connections throughout the site.

Section 17.0329(c)(1)(b)(4) - Loading docks and other service requirements shall be placed at the rear of buildings and accessed from service driveways. Pedestrian areas and customer parking areas shall be separated from these areas.

- As mentioned in the review of the plans per the Standard Sections of Chapter 17 above, all but one of the overhead doors incorporate glass panes to mimic windows. This was a suggested

compromise discussed in one of the many conversations between staff and the Applicant. Should the Plan Commission determine that the overhead doors with glass panes is not acceptable, they must be relocated so that they are compliant with the requirements of this and other Sections of Code. Plan Commissioners and the Applicant should understand that the use of glass overhead doors in areas not expressly in conformance with Code requirements must be approved as part of a request for modification of the standard.

Section 17.0329(c)(2)(b)(1) - Multi-story buildings with quality architectural design shall be located on prominent sites, such as key intersections, corners, terminations of street vistas, and on high points to serve as landmarks.

- The point staff wishes to make with calling out this Section of Code is the previously-mentioned height of the proposed building. The location is on a major corner of the 27th Street corridor.

Section 17.0329(c)(2)(b)(2) - Exterior materials shall be durable, high-quality materials, true to form (such as stone below wood rather than the opposite), and appropriate for external use.

- Metal panels are becoming more frequently proposed in plans received for review by the City. Although not specifically discussed during the building material training at the April 25 meeting, information was provided regarding their durability, aesthetics, etc. Staff has noted in reviews of other GMC dealerships throughout the country that use metal panels that some of the panels clearly show rusting and deterioration. Information regarding the quality and durability of the proposed panels must be provided to staff and the Plan Commission.

Section 17.0329(c)(2)(b)(3) - Brick, stone and terra-cotta shall be the primary materials for new buildings or additions.

- As previously mentioned, the building does not use any of the materials required in this Section of Code, and the proposed materials do not meet the express requirements of other Sections of Code. Plan Commissioners will recall that a text amendment was recently passed by Council that would allow for a modification of standards as described below:

The Plan Commission may modify any of the above building design standards by a $\frac{3}{4}$ vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the modification of the particular standard. In support of the modification request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the modification is requested.

Plan Commissioners will note that a Modification Request was submitted for the building materials. However, staff would like to point out the following:

1. The request makes no mention of the Sections of the Code for which the modification is requested. As previously mentioned, several Sections of Code apply to the building materials requirements.
2. As previously mentioned, the request did not include the modifications to the rollup doors.

3. The justification for the request is that no modifications to the typical brand standards is allowed by General Motors. Staff notes, however, that other locations incorporate masonry or stone elements into the designs of the buildings.
4. While staff recognizes and appreciates the proposal to construct a “Welcome to Oak Creek” sign, as well as the Applicant’s offer to work with the City on the design, the sign is problematic for several reasons.
 - a. The Applicant is proposing a sign on property currently owned by WisDOT. While it is true that WisDOT could sell that property to the Applicant, there is no definitive timeframe nor written agreement between the two parties to ensure that this transaction would occur.
 - b. The proposed sign is actually a vehicle display platform with an integrated sign. Staff is very concerned about accepting such a design as justification for a modification to the building requirements. One issue is that a vehicle display area is not a sign, nor can a vehicle display area be approved as part of a sign plan review.
 - c. Several concerns regarding safety and sight distances have been raised internally. Such a proposal would also require review and approval from Milwaukee County and/or WisDOT. Further, the location is not feasible or practical given the recent installation of signage and site amenities at this intersection (see attached).
 - d. Section 17.1009(a)(15) of the Code requires the following as previously mentioned: “Each retail or service establishment in excess of 25,000 square feet gross floor area must contribute to the establishment or enhancement of community and public spaces by providing a community amenity on the premises such as a patio/seating area, water feature, clock tower, or pedestrian plaza with benches.” The criteria for the modification of standards is that “supplemental design elements or improvements are incorporated into the project (**over and above those which are otherwise required**) which compensate for the modification of the particular standard” (emphasis added). Since community amenities are required regardless of whether the proposal is within the Overlay District, it would appear that additional supplemental design elements or improvements are required before a modification could be approved.

Staff is willing to continue the discussions with the Applicant regarding the supplemental design elements or improvements to achieve compliance with Code.

Section 17.0329(c)(2)(b)(8) - All visible sides of the building shall be designed with details that complement the front façade. Side façades that are visible from the public street shall receive equal design attention.

- Staff notes that the west (front) façade features are only extended for approximately 30’ 8 ¼” on the north and south façades. It will be up to the Plan Commission to determine whether this Section of Code is satisfied by the proposed elevations.

Section 17.0329(c)(2)(c)(2), Building detail for buildings more than 20,000 square feet

- (a) Building Materials
 - (i) Building materials shall be unified throughout the building, and shall complement other buildings in the vicinity.
 - (ii) Exterior building materials shall be of high and comparable aesthetic quality on all sides.
 - (iii) Building materials such as glass, brick, decorative concrete block, or stucco shall be used.

- Staff notes that existing buildings in the area are not constructed with metal panels. As previously mentioned, the west elevation differs in terms of design and materials from the other elevations. No portion of the building incorporates brick, decorative concrete block, or stucco. Staff applauds the use of large clear windows on the west elevation, and the incorporation of clear glazing on the other elevations.
- (b) Building Design
- (i) The building exterior shall be unified in design throughout the structure, and shall complement other buildings in the vicinity.
- See previous staff comments above regarding elevation differences and building comparison.
- (d) Building Color
- (i) Building façade colors shall be non-reflective, subtle, neutral, or earth tone.
 - (ii) The use of high intensity colors, metallic colors, black, or fluorescent colors on façades shall be prohibited.
 - (iii) Building trim and architectural accent elements may feature brighter colors, but such colors shall be muted, not metallic, not fluorescent, and not specific to particular uses or tenants.
 - (iv) Standard corporate and trademark colors shall be permitted only on sign face and copy areas.
- Staff notes that the proposed colors for the metal panels are white (primary), black, and silver. The concrete panels will be painted white or gray, and any mechanical units not screened by the parapet will be screened with gray metal rib panels. As mentioned in the Applicant's submissions, these are the standard corporate colors and designs.
- (f) Screening
- (ii) Loading docks shall be completely screened from surrounding roads and properties. Said screening may be accomplished through loading areas internal to buildings, screen walls which match the building exterior in materials and design, fully opaque landscaping at time of planting, or combinations of the above.
- Staff has mentioned the overhead doors in previous sections of this report. None of the overhead doors are proposed to be specifically screened.
- (g) Traffic impact
- (iv) Prior to development approval, the Applicant's traffic engineer shall complete and present a traffic impact analysis following WisDOT guidelines. Where the project will cause off-site public roads, intersections, or interchanges to function below level of service C, as defined by the Institute of Transportation Engineers, the City may deny the application, require a size reduction in the proposed development, or require that the developer construct and/or pay for required off-site improvements.
- Although this listed as a requirement in the Overlay District, the Engineering Department has stated that a Traffic Impact Analysis is not required for the development.

Section 17.0329(c)(3)(a) – The general guidelines for how private property owners shall improve their sites include:

- (1) Locate buildings close to the street.
- (2) Connect entrances with public sidewalks.
- (3) Avoid parking in front yards.

- Staff has addressed these issues in previous sections of this report. However, Plan Commissioners should be aware that a modification to one Section does not relieve similar requirements elsewhere in the Code. It is imperative to know which Sections for which modifications are being requested.

Section 17.0329(c)(3)(c)(5) – Bicycle storage facilities shall be located near the building entrance.

- Staff notes that no bicycle storage/parking facilities are proposed with this development. Although it may seem counterintuitive on the surface to provide such facilities, one could argue that employees and/or local customers could benefit from their inclusion.

Section 17.0329(c)(3)(c)(6) – Screen fences and/or landscaped buffers shall be provided at property edges, particularly where commercial and light industrial properties adjoin residential properties.

- Although this is a requirement in Code, staff notes that the proposed car dealership and vehicle display areas are not located immediately adjacent to residential properties. Future development in areas adjacent to residential properties would be subject to this requirement.

Section 17.0329(c)(3)(c)(7) – New streets as proposed as part of new developments shall provide “pedestrian friendly” streetscape with on-street parking.

- Staff notes that the public street will be designed in conformance with City standards, and that the Applicant’s consultants are working very closely with the Engineering Department to ensure compliance.

Section 17.0329(c)(3)(d)

- (1) All environmentally sensitive areas such as wetlands and woodlands as designated by the City Engineer shall remain uninterrupted.
 - (2) All primary and secondary environmental corridors and isolated natural areas as recorded by the Southeastern Wisconsin Regional Planning Commission shall remain uninterrupted.
 - (3) Development shall not negatively impact any environmentally sensitive areas.
- Plan Commissioners will note that wetlands were identified in the vicinity of the proposed public road. Although the above Sections of Code require these areas to remain undisturbed, staff would like to caution the Commission that the proposed road has been designed in conjunction with Milwaukee County and WisDOT as part of an overall plan to connect to 27th Street at the existing Riverwood Blvd. intersection in Franklin. Permits and approvals will be required from the DNR and other reviewing agencies (e.g., Army Corps of Engineers, etc.) for filling of the wetlands required for the installation of the public infrastructure.

Regional Retail Overlay District Standards

Section 17.0330(e)(1) - Buildings greater than 25,000 square feet shall be at least two (2) stories in height.

- Staff has addressed this in previous sections of this report.

Section 17.0330(f) – Setbacks

- (1) There shall be a minimum front setback of fifty (50) feet from the right-of-way of all streets.

- (2) There shall be a side setback on each side of all principal buildings of not less than twenty (20) feet.
- (3) There shall be a rear setback of not less than thirty (30) feet.
- These setbacks are greater than what is required by the underlying B-4 zoning district. It appears from the submitted plans that these setbacks are met.

Section 17.0330(g) – Design Standards

- (2) Sidewalks and tree planting along the front of small commercial buildings shall be provided as they promote pedestrian activities and help define the streetscape.
- (4) Buildings on corners that have at least two (2) façades exposed to public streets shall be considered significant structures. These buildings shall be designated with additional height and architectural detail, such as corner towers to reinforce their location.
- (8) Corporate or franchise design elements and colors shall be incorporated only as secondary elements to the overall façade design or development and not as the dominant element. It is expected that franchise themes and colors will be altered to suit the development of the larger site and reflect the natural and cultural identity of the corridor.
- Although these issues have been addressed in other sections of this report, staff would like to reiterate that the repetition of these requirements throughout the Code were intended to ensure, perhaps ambitiously, that development in the 27th Street corridor met the then-current vision. That's not to say that these requirements should be discounted or dismissed. Rather, they and the requests for modifications from certain standards should be carefully considered as the Plan Commission reviews the proposal.

Summary

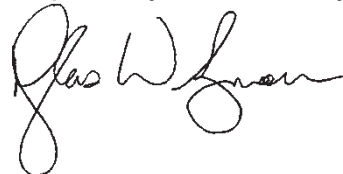
Staff has provided the comments above to provide the Plan Commission with a general idea of the proposal's progress to-date. Unfortunately, complete revised plans were not submitted prior to drafting this report, and therefore could not be adequately reviewed or recommended for approval. Considering the evaluation above, and recognizing that there is still work to be done, staff recommends that the Plan Commission holds their decision until such time as complete plans are submitted. That being said, it would be helpful if the Commission could provide clarification and direction to the applicant regarding the outstanding issues that have been identified.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

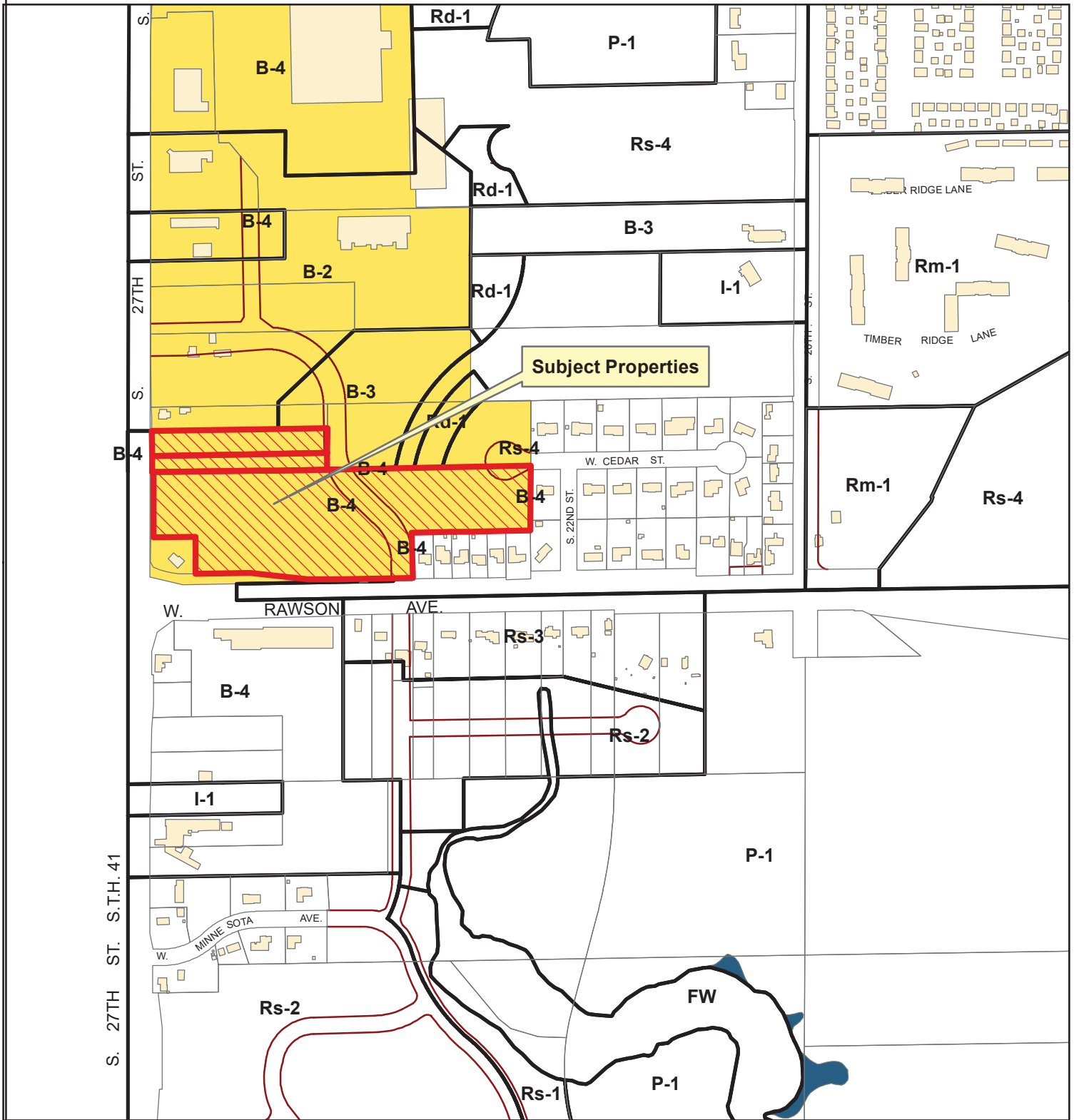
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

7008 & 7018 S. 27th St. 2500 W. Rawson Ave.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development





July 19, 2017

Kari Papelbon, CFM, AICP
Planner
City of Oak Creek
8040 S. 6th St.
Oak Creek, WI 53154

RE: All Star Buick, Oak Creek, WI – Updated Modification Request

Dear Ms. Papelbon

On behalf of Mr. Jerry Cousins, we are submitting to you this updated Modification Request Letter for the Oak Creek Planning Commission's review as requested.

The building materials currently indicated on the preferred option # 2 rendering as previously discussed and communicated with staff over the last two months (attached to this email) indicates a form lined or scored precast wall panel (painted) from top of finished floor to a height of around 16' +/- for the service/carwash area exterior walls. The precast wall panels above 16' +/- to the roof line will be a flat finish (painted). We believe that this added feature of the form lined precast at the lower elevation will provide a very "classy" appearance, blend in well with the special design district and would meet General Motors requirements for their branding.

The East elevation of the building, front entrances and areas that wrap around to the service/car wash areas will still receive the architectural metal wall panels as indicated on the preferred option # 2 rendering as discussed. We have provided samples of the colors for the architectural metal wall panel and metal roof coping to you for the commissions review and input. Again, we believe that these panels in conjunction with the architectural features will provide value to the surrounding areas.

In our meeting with your team on June 27th it was further discussed and agreed upon in the meeting that Mr. Cousins would add "Decorative Hardscape flower bed planting areas" to the design along the East side of the property (front entrance). The project would also replace the previous circular "Car Displays" with this "Decorative Hardscape". All this would go to a height of 30" from grade as to not require hand rails.



Page (2)

With these additional landscape features the project will certainly be attractive in every means and bring further value to the area.

The project is also still prepared to build the “Welcome to Oak Creek” gateway sign on 27th Street. We will work with Oak Creek Staff on final design.

All other building signage indicated on current renderings are subject to change with input from Oak Creek to ensure conformance of the current ordinances and special design district requirements.

Please let us know if you have any questions comments or wish to discuss this in further detail.

Thanks in advance,

Dave Stava

Dave Stava
Project Manager

CC: Mr. Jerry Cousins, All-Star Buick GMC
Mr. Brent Wampler, Custom Facilities Design Management, Inc.

Doug Seymour

From: Joel Dietl <JDietl@franklinwi.gov>
Sent: Friday, May 26, 2017 1:30 PM
To: Doug Seymour
Subject: All Star Honda CSM and Plan Review

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Doug,

I've been asked to provide you some comments on the proposed car dealership to be located at the northeast corner of 27th Street and Rawson Avenue. You are more than welcome to forward these comments to the Oak Creek Plan Commission for their consideration (assuming they did not already approve the project earlier this week). FYI, although the Public Meeting Notice was post-marked May 18th, our City Clerk did not receive it until the 22nd.

Department of City Development staff do not have any comments about the proposed Certified Survey Map, other than to note that combination of multiple parcels into one larger parcel is often beneficial as it would likely provide a greater range of development opportunities.

Department of City Development staff do have a few comments about the proposed Plan Review, primarily in regard to the development's relationship to the *South 27th Street Corridor Plan* guidelines and recommendations.

While Department of City Development staff understands that Oak Creek's zoning for the subject property allows car dealerships as a conditional use, and that a conditional use was approved for this project last year, that approval was subject to a number of conditions including Plan Commission approval of a detailed site plan including meeting "the requirements of Sections 17.0329 and 17.0330 (General 27th Street Overlay Districts Design Standards and Regional Retail Overlay District." Because of this area's prominent location, Department staff believes it is particularly important that this project be in full compliance with all pertinent Oak Creek standards.

From a more technical standpoint, Department of City Development staff would encourage the Oak Creek Plan Commission to consider: metal siding as an accent material only; removing overhead doors from the south and west elevations of the building, or at least fully screening them from public view; requiring a community amenity; increasing the building height and design to at least appear to be a full two stories; and provision of a fully functional, appealing, and safe pedestrian system for the entire site.

Because of the subject property's relatively large size and prominent location, Department of City Development staff believes it is also important that this project be in full compliance with the guidelines and recommendations contained within the *South 27th Street Corridor Plan*. In particular:

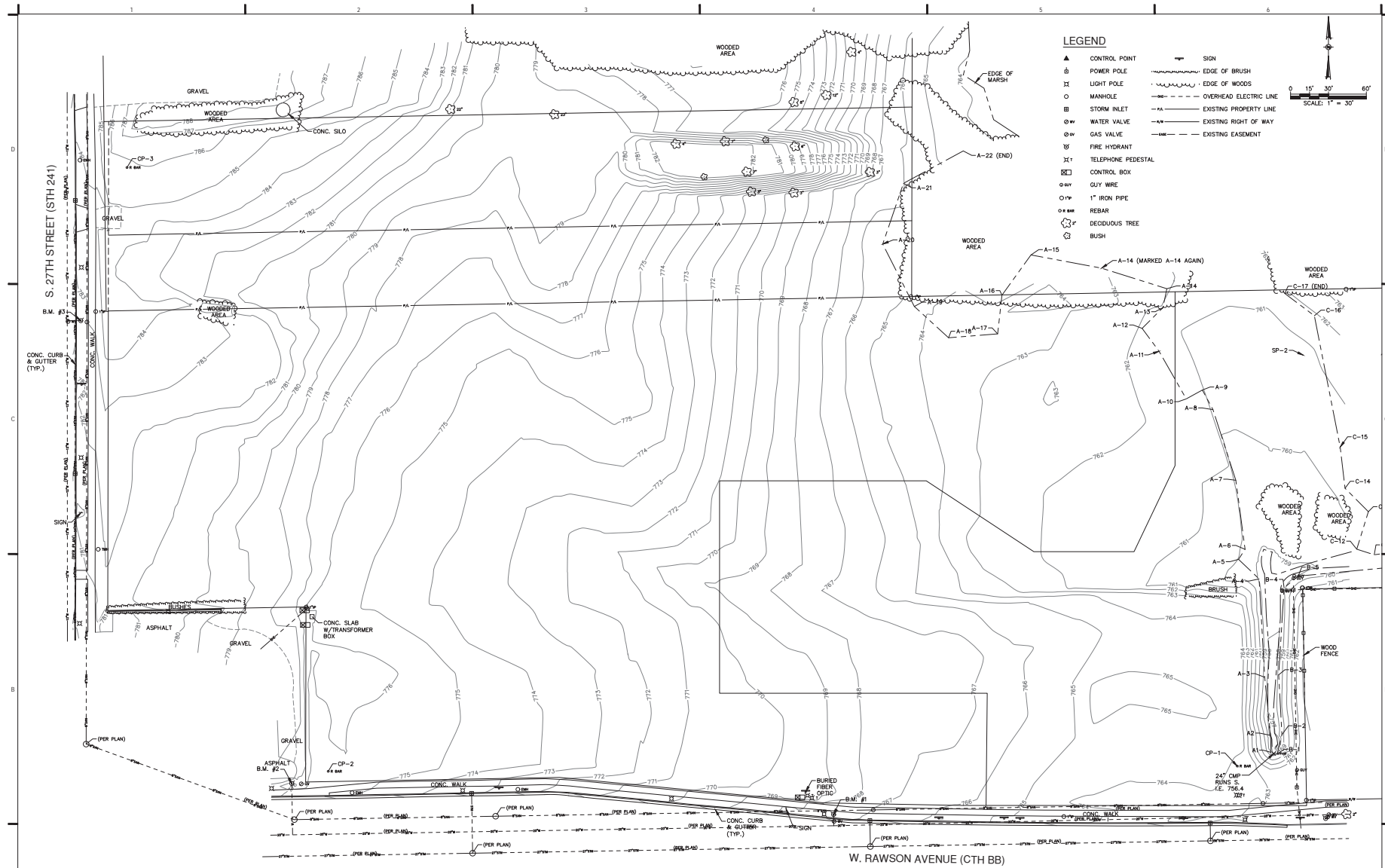
--per Chapter 2, Section 5.2, the development should include a multi-story building with quality architectural design with details on all visible sides that complement the front façade.

--per Chapter 2, Section 6.1, the building should be considered a significant structure, should be designated with additional height and architectural details, and that corporate or franchise design elements be incorporated only as secondary elements to the overall façade.

Thank you for the opportunity to provide comment on this proposed development. The Department of City Development recognizes that both Oak Creek and Franklin take very seriously their roles in ensuring that the best possible development occurs within their communities, particularly within important districts and prominent locations

such as the intersection of 27th Street and Rawson Avenue. Should you have any questions, please do not hesitate to contact me.

Joel Dietl, AICP
Planning Manager
Department of City Development
City of Franklin
9229 W. Loomis Road
Franklin, Wisconsin 53132
Phone: 414-425-4024
Email: jdietl@franklinwi.gov



LEGEND

▲	CONTROL POINT	—	SIGN
⊕	POWER POLE	—	EDGE OF BRUSH
⊕	LIGHT POLE	—	EDGE OF WOODS
○	MANHOLE	—	OVERHEAD ELECTRIC LINE
⊕	STORM INLET	—	EXISTING PROPERTY LINE
⊕	WATER VALVE	—	EXISTING RIGHT OF WAY
⊕	GAS VALVE	—	EXISTING EASEMENT
⊕	FIRE HYDRANT		
⊕	TELEPHONE PEDESTAL		
⊕	CONTROL BOX		
—	GUY WIRE		
—	1" IRON PIPE		
—	REBAR		
⊕	DECIDUOUS TREE		
⊕	BUSH		

BENCH MARKS

- B.M. #1 - NORTHWEST BOLT ON TOP FLANGE OF FIRE HYDRANT SECOND HYDRANT EAST OF S. 27TH ST. ON THE NORTH SIDE OF W. RAWSON AVE. ELEVATION = 769.56
- B.M. #2 - NORTHWEST BOLT ON TOP FLANGE OF FIRE HYDRANT FIRST HYDRANT EAST OF S. 27TH ST. ON THE NORTH SIDE OF W. RAWSON AVE. ELEVATION = 778.74
- B.M. #3 - NORTHWEST BOLT ON TOP FLANGE OF FIRE HYDRANT FIRST HYDRANT NORTH OF W. RAWSON AVE. ON THE EAST SIDE OF S. 27TH ST. ELEVATION = 784.98

CONTROL POINTS

- CP-1 REBAR W/GRAEF YELLOW CAP N. 340,873.54 E. 2,550,307.04 EL. 765.13
- CP-2 REBAR W/GRAEF YELLOW CAP N. 340,869.38 E. 2,549,987.37 EL. 775.75
- CP-3 REBAR W/GRAEF YELLOW CAP N. 341,247.46 E. 2,548,428.05 EL. 765.79

GENERAL NOTES









1. THE BASE SURVEY WAS PREPARED BY GRAEF IN 2016. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. COORDINATES ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, WISCONSIN, SOUTH ZONE, NORTH AMERICAN DATUM OF 1927 (NAD27), NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

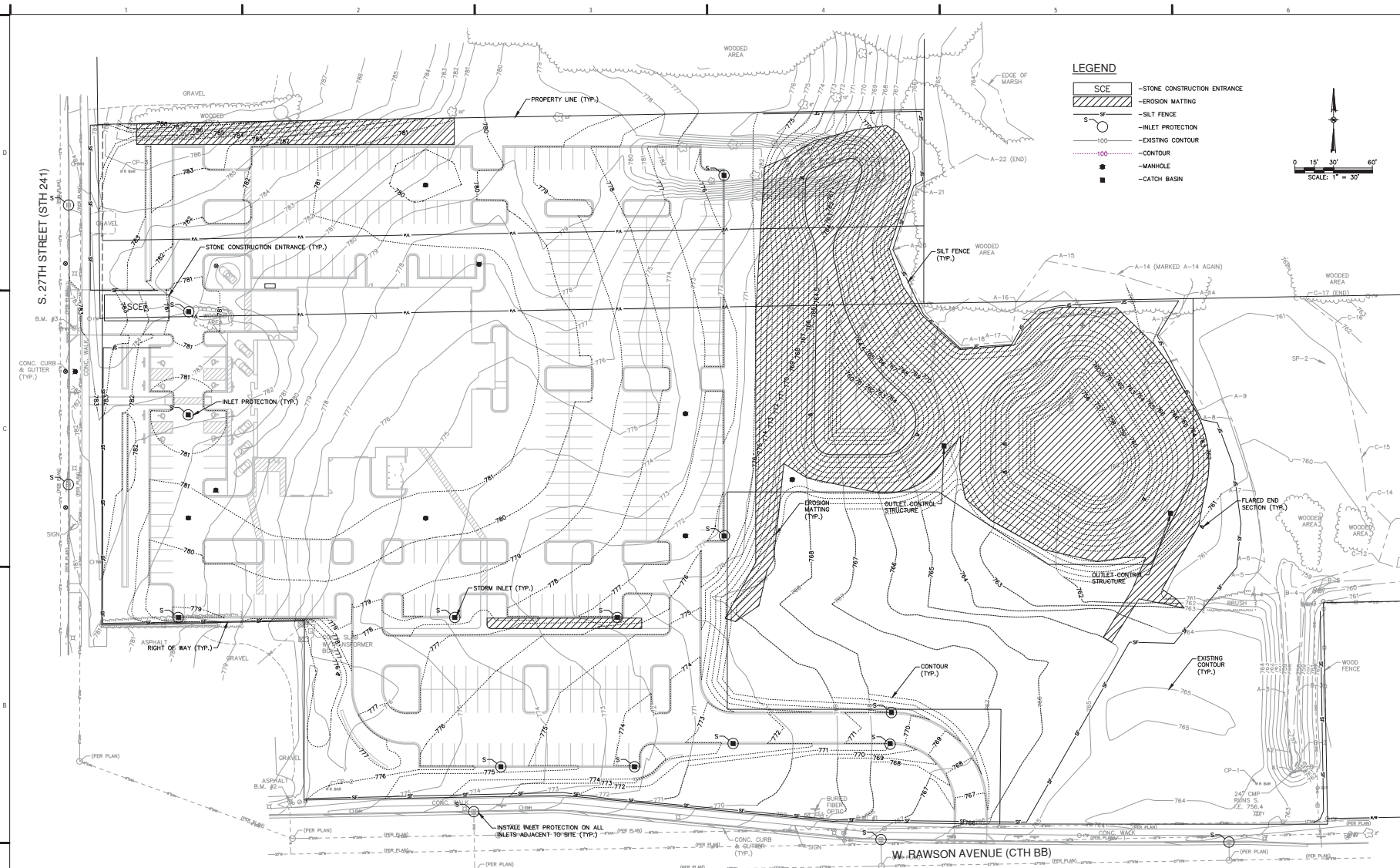
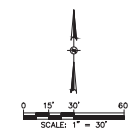
NOTICE:
In accordance with Wisconsin statute 182.07(5), Graef & Associates, Inc. (Graef) is not responsible for the accuracy of the information shown on this drawing. The user of this drawing is responsible for the accuracy of the information shown on this drawing. The user of this drawing is responsible for the accuracy of the information shown on this drawing. The user of this drawing is responsible for the accuracy of the information shown on this drawing.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are the exact locations indicated although the user certifies that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

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LEGEND

-  -STONE CONSTRUCTION ENTRANCE
-  -EROSION MATTING
-  -SILT FENCE
-  -INLET PROTECTION
-  -EXISTING CONTOUR
-  -CONTOUR
-  -MANHOLE
-  -CATCH BASIN



EROSION CONTROL NOTES

1. CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF OAK CREEK, AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WNDR) "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS".
2. ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. REPAIRS AND MAINTENANCE SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY.
4. SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE WILL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
5. FILTER FABRIC SHALL BE INSTALLED BENEATH INLET COVERS TO TRAP SEDIMENT AND PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
6. CRUSHED STONE ENTRANCE SHALL BE MAINTAINED BY TURNING OVER THE STONE OR BY PLACING NEW STONE ONCE THE SURFACE BECOMES CLOGGED WITH SEDIMENT.
7. EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
8. PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN THE PUBLIC STREET FREE OF DUST AND DIRT.
9. SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPGAL AND FULL STOOPFILES. NOTIFY CITY OF OAK CREEK OF ANY NEW STOOPFILE LOCATIONS.
10. CONSTRUCTION SEQUENCE FOR EROSION CONTROL INCLUDES:
 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 2. INSTALL SILT FENCE AND INLET PROTECTION.
 3. STRIP TOPSOIL IN TEMPORARY SEDIMENT BASIN AREA.
 4. INSTALL SEDIMENT BASIN AND OUTLET CONTROL STRUCTURE. STABILIZE IMMEDIATELY AFTER INSTALLATION.
 5. STRIP TOPSOIL AND INSTALL TEMPORARY DIVERSIONS TO DIRECT RUNOFF TO SEDIMENT BASIN.
 6. STRIP TOPSOIL FROM REMAINDER OF SITE.
 7. PERFORM MOUDY GRADING AND BUILDING EXCAVATION. ADJUST DIVERSION DITCHES AS NEEDED TO MAINTAIN DRAINAGE TO SEDIMENT BASIN.
 8. INSTALL UTILITIES. INSTALL INLET PROTECTION ON NEW UTILITIES. INSTALL RIPRAP AT NEW OUTFALLS.
 9. CONSTRUCT BUILDING.
 10. INSTALL LANDSCAPING.
 11. INSTALL LANDSCAPING ON COMPLETED SITE WITHIN 7 DAYS OF COMPLETING CONSTRUCTION.
 12. REMOVE TEMPORARY SEDIMENTATION BASIN.
 13. REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
11. SITE Dewatering. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WNDR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
12. WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
13. TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING TO THE SATISFACTION OF THE CITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES SPECIFIED IN THE WNDR "CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS". NOTIFY CITY OF OAK CREEK FOR CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
14. SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
15. ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, AND MULCHING SOODING, COVERING WITH TAPPS, OR EQUIVALENT BEST MANAGEMENT PRACTICES. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION. SEEDING OR SOODING SHALL BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
16. PERMANENT SEEDING SHALL BE ESTABLISHED NO LATER THAN SEPTEMBER 15TH. IF PERMANENT SEEDING IS NOT ESTABLISHED, TEMPORARY SEEDING SHALL BE ESTABLISHED NO LATER THAN OCTOBER 15TH. ALL SEEDED AREAS MUST BE MULCHED AT A RATE OF 1.5 TO 2 TONS PER ACRE AND ANCHORED BY OTHER CORROPING OR BY APPLYING A TACKLER.
17. PERMANENT SEED MIX SHALL BE WISDOT SEED MIX NO. 40 AT 7 POUNDS PER 1000 SQUARE FEET.
18. USE ANNUAL RYE SEED MIX AT 100 POUNDS PER ACRE AS A TEMPORARY SEED MIX. PERMANENT SEEDING SHALL FOLLOW WITHIN ONE YEAR. IF TEMPORARY SEEDING IS NOT ESTABLISHED BY OCTOBER 15TH, USE CLASS 1 TYPE B MATTING ON ALL SLOPES 4:1 OR STEEPER.
19. SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALES OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILE. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TAPPS, OR OTHER MEANS.
20. WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY BEST MANAGEMENT PRACTICES SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS SHALL BE REMOVED.
21. NOTIFY THE CITY WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
22. NOTIFY THE CITY OF COMPLETION OF ANY BEST MANAGEMENT PRACTICES WITHIN THE NEXT WORKING DAY AFTER THEIR INSTALLATION.
23. OBTAIN PERMISSION IN WRITING FROM THE CITY OF OAK CREEK ENGINEERING DEPARTMENT PRIOR TO MODIFYING THE EROSION CONTROL PLAN. NOTIFY WORK AT LEAST FIVE WORKING DAYS PRIOR TO IMPLEMENTING CHANGES TO THE EROSION CONTROL PLAN.
24. REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
25. KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE. INTERSECTING DIRECTIONS.

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN 2016. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
2. REFER TO SHEET C001 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEVATIONS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

PROJECT INFORMATION

PROJECT NUMBER: 20160055.00
DATE: 06/23/17
DRAWN BY: MAC
CHECKED BY: JPH
APPROVED BY: JPH
SCALE: AS NOTED

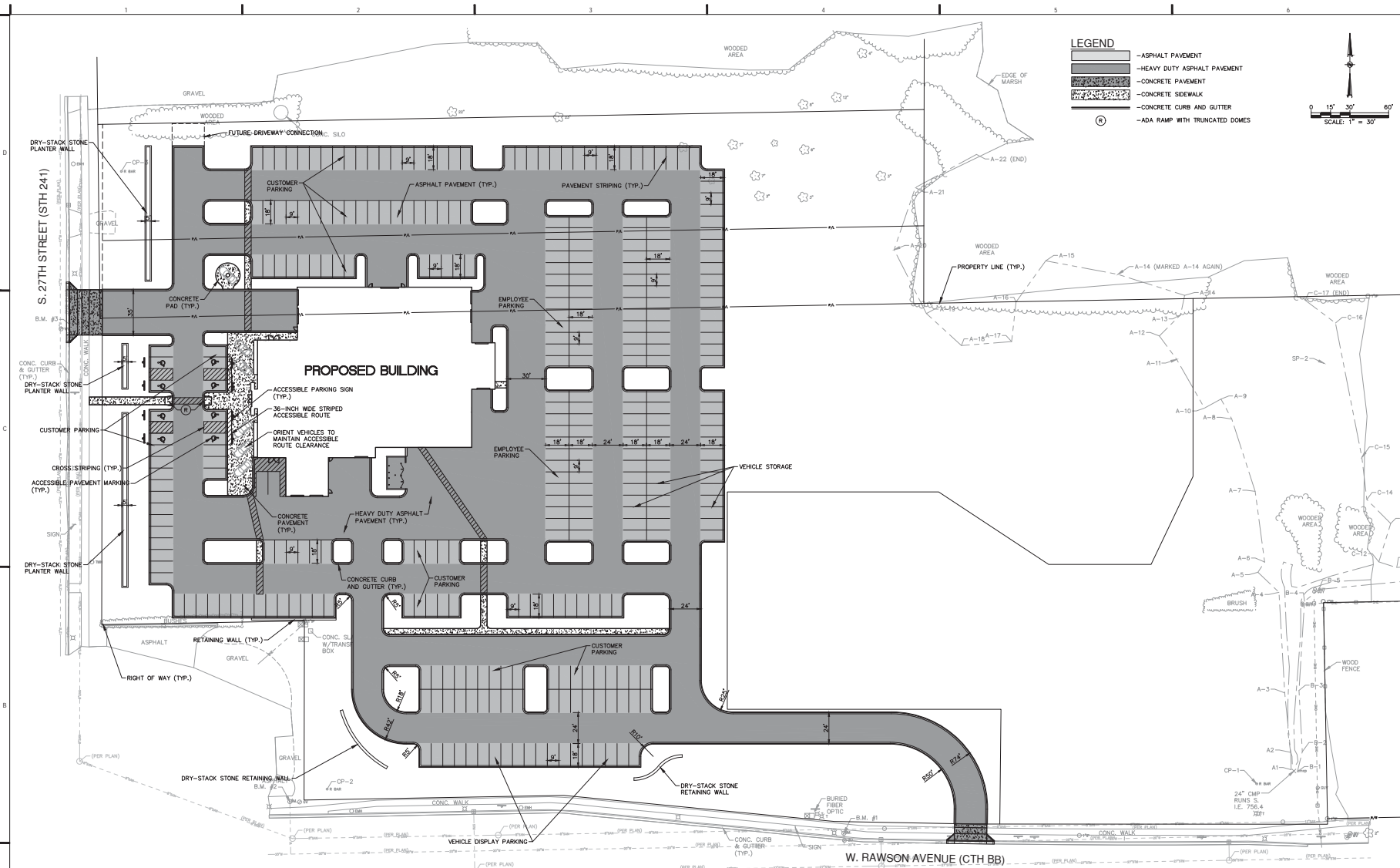
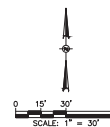
SHEET TITLE

SITE EROSION CONTROL PLAN

SHEET NUMBER

C100

LEGEND	
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE CURB AND GUTTER
	ADA RAMP WITH TRUNCATED DOMES



SITE AREAS

TOTAL SITE AREA = 335,509.4 SF
TOTAL BUILDING = 31,096.5 SF
BUILDING FOOTPRINT = 21,724.8 SF
PARKING LOT
PARKING LOT PAVEMENT = 150,121.2 SF
INTERIOR PARKING LOT LANDSCAPE = 16,801.8 SF
TOTAL PARKING LOT AREA = 167,023 SF
PARKING LOT PERCENT GREEN SPACE = 10.12%
SITE DRIVEWAYS = 7,564.7 SF
PERIMETER LANDSCAPE/OPEN AREA
PERIMETER PARKING LOT LANDSCAPE
+ STORMWATER POND + OPEN AREA = 139,196.9 SF

PARKING COUNT

NUMBER OF EMPLOYEES PER SHIFT = 37
REGULAR STALLS = 315
HANDICAP STALLS = 8
TOTAL STALLS = 323

GENERAL NOTES

1. THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
2. ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
3. ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.
4. REFER TO LANDSCAPING PLANS FOR SITE RESTORATION INFORMATION AND DETAILS.
5. HANDICAP PARKING STALLS SHALL BE FURNISHED WITH A CONCRETE WHEEL STOP WHEN ADJACENT TO FLUSH CONCRETE CURB AND GUTTER.
6. CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION. JOINTING PLAN SHALL INDICATE POUR SEQUENCE, LOCATION OF CONSTRUCTION, ISOLATION, CONTRACTION JOINTS, AND TYPE OF REINFORCEMENT.

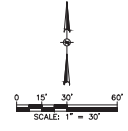
LAYOUT NOTES

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NOTICE:
In accordance with Wisconsin Statute 182.07(2), damage to construction facilities, excavator shall be solely responsible to provide advance notice to the undersigned. This shall constitute not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

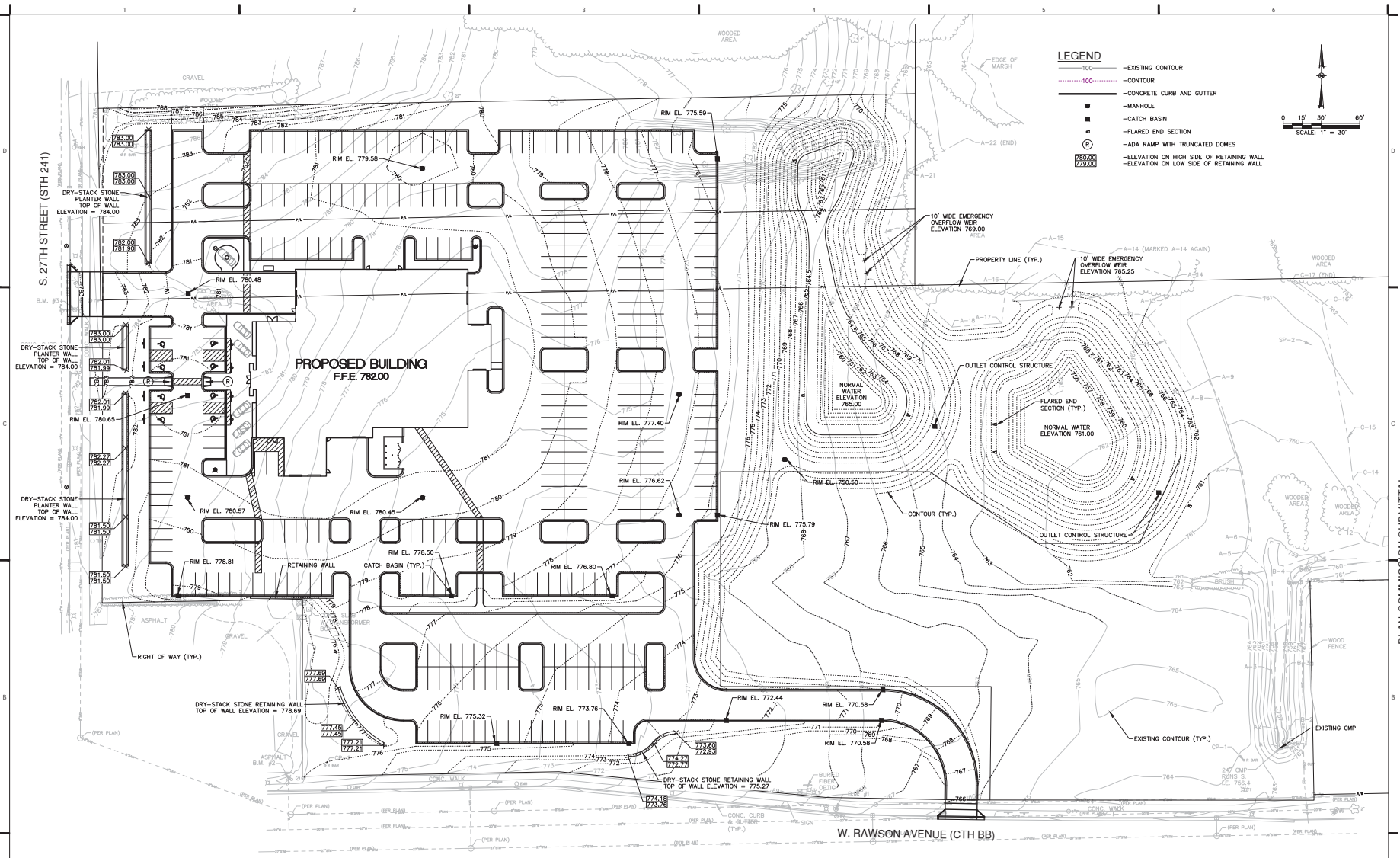
DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are certified that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

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LEGEND

- 100- EXISTING CONTOUR
- 100- CONTOUR
- CONCRETE CURB AND GUTTER
- MANHOLE
- CATCH BASIN
- ▭ FLARED END SECTION
- ⊙ ADA RAMP WITH TRUNCATED DOMES
- 775.20 ELEVATION ON HIGH SIDE OF RETAINING WALL
- 775.00 ELEVATION ON LOW SIDE OF RETAINING WALL



GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN 2016. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THEREOF.
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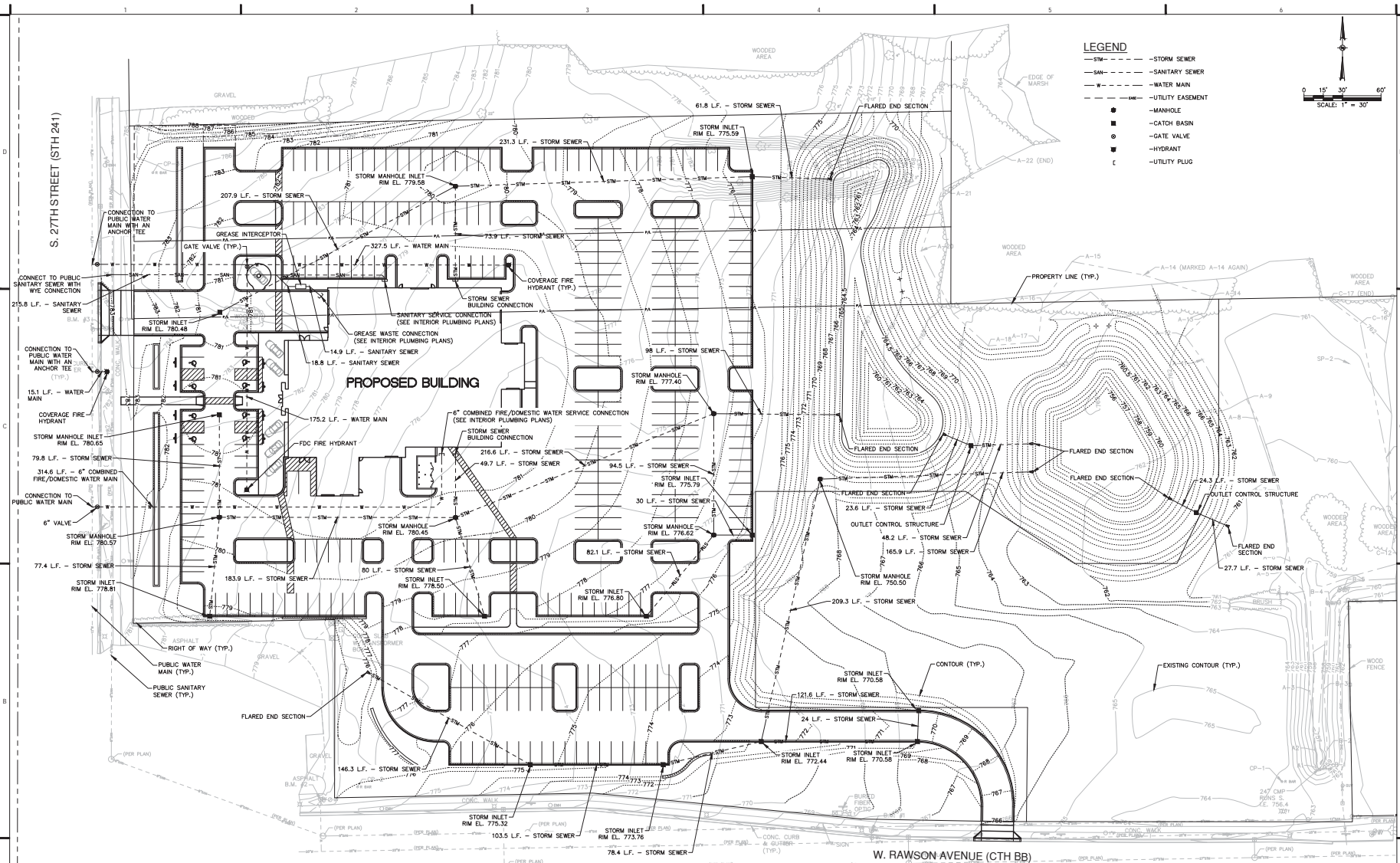
GRADING NOTES

1. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:20 (5%) ALONG THE LENGTH OF THE ACCESSIBLE ROUTE AND A MAXIMUM SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE. ADA REGULATIONS REQUIRE A MAXIMUM SLOPE OF 1:50 (2%) IN ALL DIRECTIONS WITHIN AN ADA PARKING STALL AND ADJACENT UNLOADING ZONE.
2. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.

NOTICE:
In accordance with Wisconsin statute 182.07(5), damage to communication facilities, excavator shall be solely responsible to provide advance notice to the appropriate "TIE CALL SERVICE" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

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LEGEND

- STW --- STORM SEWER
- SAN --- SANITARY SEWER
- WM --- WATER MAIN
- UE --- UTILITY EASEMENT
- M --- MANHOLE
- CB --- CATCH BASIN
- GV --- GATE VALVE
- H --- HYDRANT
- U --- UTILITY PLUG

GENERAL NOTES

1. THE BASE SURVEY WAS PREPARED BY GRAEF IN 2016. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THEREOF.
2. REFER TO SHEET C001 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
3. CONTRACTOR SHALL VERIFY LOCATION OF WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

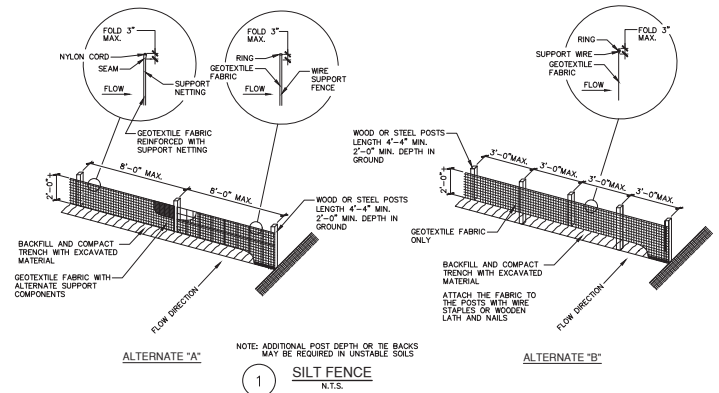
UTILITY NOTES

1. CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
2. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
3. CONTRACTOR SHALL CENTER ONE FULL LENGTH OF WATER PIPE ON SEWER AT WATER MAIN CROSSINGS, THAT BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
4. SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
5. WATER MAIN SHALL BE ANWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.
6. ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WITH ECCENTRIC CONE TYPE PRECAST TOPS AND SHALL BE FITTED WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF THE VILLAGE ENGINEER.
7. CONTRACTOR SHALL PROVIDE DRAIN TILE AT ALL PROPOSED CATCH BASINS. SEE PLAN VIEW FOR DETAIL DESIGN INFORMATION.
8. BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
9. RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
10. PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
11. CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.

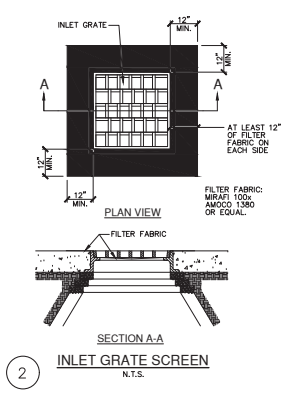
NOTICE:
In accordance with Wisconsin statute BS20176, Graef & Associates, Inc. ("Graef") shall be responsible for the accuracy of the information shown on this drawing. The user of this drawing shall be responsible for the accuracy of the information shown on this drawing. Graef & Associates, Inc. does not warrant that the information shown on this drawing is accurate or that the information shown on this drawing is complete. The user of this drawing shall be responsible for the accuracy of the information shown on this drawing. The user of this drawing shall be responsible for the accuracy of the information shown on this drawing.

DISCLAIMER:
Underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are the most accurate information available. The user of this drawing shall be responsible for the accuracy of the information shown on this drawing. The surveyor has not physically located the underground utilities.

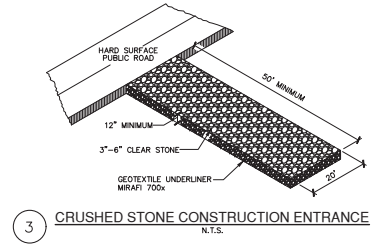
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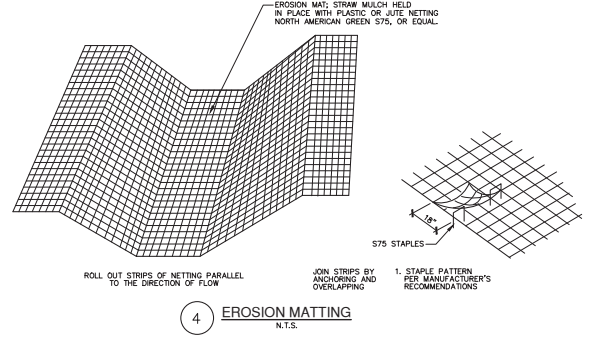
1 **SILT FENCE**
N.T.S.



2 **INLET GRATE SCREEN**
N.T.S.



3 **CRUSHED STONE CONSTRUCTION ENTRANCE**
N.T.S.

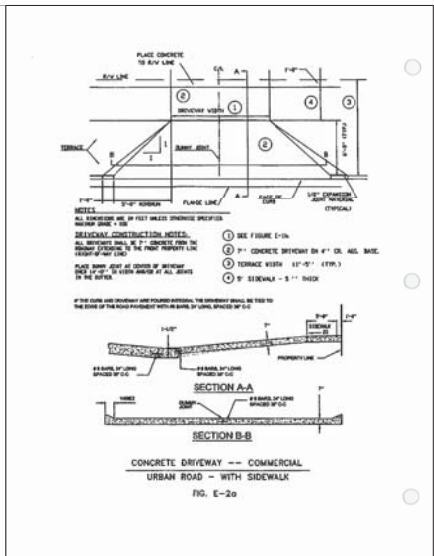
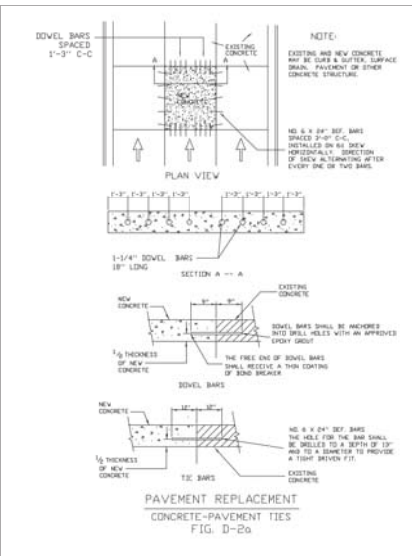
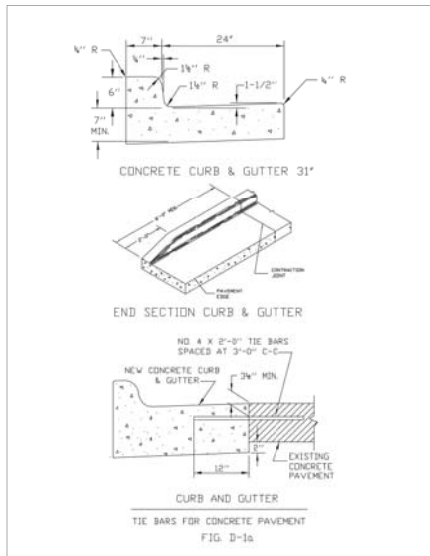


4 **EROSION MATTING**
N.T.S.

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to an excavation facility, excavator shall be solely responsible to provide advance notice to the designer. THE CONTRACTOR shall not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

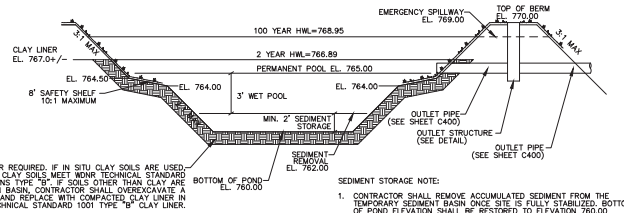
DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

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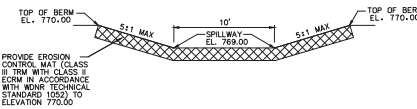


NOTICE:
In accordance with Wisconsin statute 182.07(7), damage to reconstruction facilities, excavator shall be solely responsible to provide advance notice to the appropriate "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

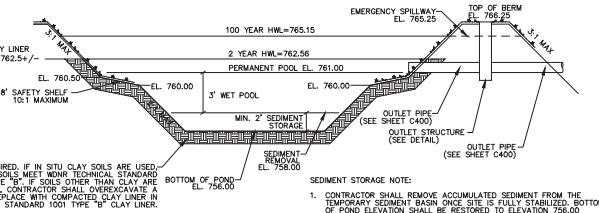
DISCLAIMER:
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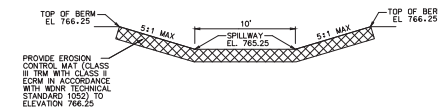
2 TEMPORARY SEDIMENT BASIN / WEST STORMWATER POND
N.T.S.



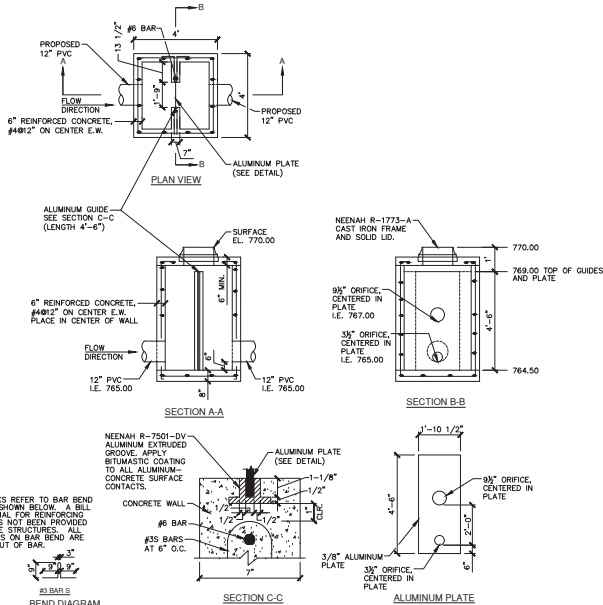
3 EMERGENCY OVERFLOW SPILLWAY - WEST POND
N.T.S.



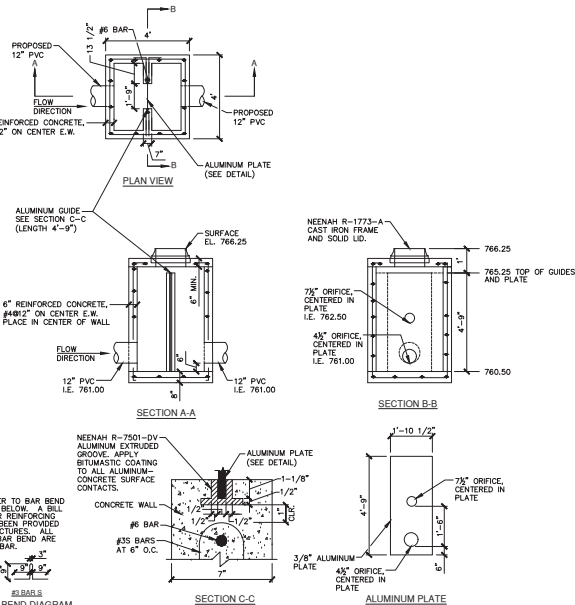
5 TEMPORARY SEDIMENT BASIN / EAST STORMWATER POND
N.T.S.



6 EMERGENCY OVERFLOW SPILLWAY - EAST POND
N.T.S.



1 OUTLET CONTROL STRUCTURE - WEST POND
N.T.S.



4 OUTLET CONTROL STRUCTURE - EAST POND
N.T.S.

NOTE: BAR MARKS REFER TO BAR BEND DIAGRAM SHOWN BELOW. A BILL OF MATERIAL FOR REINFORCING STEEL HAS NOT BEEN PROVIDED FOR THESE STRUCTURES. ALL DIMENSIONS ON BAR BEND ARE OUT TO OUT OF BAR.



NOTICE: In accordance with Wisconsin statute 182.07(1), damage to construction facilities, structures that will be responsible to provide advance notice to the contractor. The contractor shall not see them three working days prior to commencement of any excavation required to perform work controlled by this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER: The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor certifies that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

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LANDSCAPE REQUIREMENTS:

- PARKING LOT SCREENING REQUIREMENTS**
- SCREENING FOR PARKING AREAS ADJACENT TO PUBLIC RIGHT-OF-WAYS SHALL PROVIDE PLANTINGS WITH AN AVERAGE HEIGHT OF THREE FEET.
 - PARKING LOT SCREENING REQUIRES ONE ORNAMENTAL DECIDUOUS TREE FOR EVERY 35 LINEAR FEET OF PUBLIC STREET FRONTAGE.
 - 11 TREES REQUIRED ALONG SOUTH 27TH STREET / 11 PROVIDED
 - 18 TREES REQUIRED ALONG WEST RAWSON AVENUE / 18 PROVIDED

- TOTAL GREEN SPACE AREA REQUIREMENTS**
- AT LEAST 25% OF THE TOTAL GREEN SPACE AREA SHALL BE LANDSCAPED UTILIZING PLANT MATERIALS, OTHER THAN MAINTAINED TURF, THAT CONTRIBUTE TO GROUND COVERAGE.
 - TOTAL GREEN SPACE AREA: 156,098.7 S.F.
 - AREA OF COVERAGE OTHER THAN MAINTAINED TURF = 76,756 S.F.
 - 40% LANDSCAPE AREA PROVIDED (UTILIZING PLANT MATERIALS OTHER THAN MAINTAINED TURF).

- PLANT MATERIAL REQUIREMENTS**
- PLANT DIVERSITY REQUIREMENT: PLANT MATERIAL SHALL CONTAIN A MINIMUM OF 24% AND MAXIMUM OF 75% EVERGREEN PLANTINGS. LANDSCAPE PLAN PROVIDES 40% EVERGREEN PLANTINGS.

- INTERIOR LANDSCAPE AREA REQUIREMENTS**
- PARKING AREAS GREATER THAN 50,000 S.F. REQUIRE MIN. 10% INTERIOR LANDSCAPE AREAS.
 - PARKING LOT PAVEMENT = 150,121 S.F.
 - INTERIOR PARKING LOT LANDSCAPE AREA = 16,901.8 S.F. (10.12%)
 - ONE SHADE TREE IS REQUIRED FOR EVERY 300 S.F. OF INTERIOR LANDSCAPE.
 - INTERIOR PARKING LOT LANDSCAPE AREA = 16,901.8 S.F.
 - 56 SHADE TREES REQUIRED / 56 TREES PROVIDED

- PERIMETER LANDSCAPE AREA REQUIREMENTS**
- ONE TREE AND 5 SHRUBS TO BE PROVIDED FOR EVERY 35 LINEAR FEET OF PERIMETER PARKING. MINIMUM 5' WIDTH.
 - NORTH PERIMETER: 12 TREES & 60 SHRUBS REQUIRED / 12 TREES & 107 SHRUBS PROVIDED
 - NOTE: AT THE REQUEST OF THE PLAN COMMISSION, AN ADDITIONAL ROW OF EVERGREEN PLANTINGS HAS BEEN PROVIDED AS A LANDSCAPE BUFFER ALONG THE ADJACENT RESIDENTIAL DEVELOPMENT.
 - SOUTH PERIMETER: 11 TREES & 55 SHRUBS REQUIRED / 11 TREES & 70 SHRUBS PROVIDED
 - EAST PERIMETER: 9 TREES & 45 SHRUBS REQUIRED / 10 TREES & 47 SHRUBS PROVIDED
 - WEST PERIMETER: 11 TREES & 55 SHRUBS REQUIRED / 11 TREES PROVIDED TO MEET CODE. DRY-STACKED STONE PLANTER WALL AND PLANTINGS (BY OWNER) TO BE PROVIDED IN LIEU OF REQUIRED SHRUBS AS AGREED UPON BY CITY STAFF.

LANDSCAPING NOTES:

- PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, ABBREVIATIONS, BOTANICAL/Common NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
- PLANT MATERIALS ARE TO BE FURNISHED FREE OF PESTS OR PLANT DISEASES. PLANTS ARE SUBJECT TO OWNER'S ACCEPTANCE PRIOR TO INSTALLATION.
- PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3" DEEP LAYER OF SHREDED HARDWOOD BARK MULCH.
- FORM 72-INCH, OR AS OTHERWISE INDICATED, WATERING BASKIN AROUND ALL TREES NOT INSTALLED IN PAVED AREAS.
- MAINTAIN 72-INCH DIAMETER MINIMUM CLEAR SOLI AREA AROUND TREES IN MANICURED TURF AREAS. MULCH TREE RINGS WITH SPECIFIED DEPTH OF HARDWOOD BARK MULCH. SEE PLANTING DETAILS.
- UNLESS OTHERWISE INDICATED, PLACE SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES IN STRAIGHT ROW, EQUALLY SPACED.
- PLANTING AREAS, INCLUDING PREPARED BEDS, SHALL RECEIVE AMENDED PLANTING SOIL.
- SEPARATE PLANTING BEDS FROM ADJACENT TURF AREAS WITH ALUMINUM EDGING.
- PLANT MATERIAL SOURCE REQUIREMENT: FOR ALL BAB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 60 MILES OF OAK CREEK TO THE NORTH OR WEST OR, 90 MILES TO THE SOUTH. A ZONE COMPARED WITH USDA HARDNESS ZONE 5b. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS THE LANDSCAPE CONTRACTOR CAN DEMONSTRATE THE PLANTS ARE NOT AVAILABLE FROM NURSERY SOURCES LOCATED WITHIN THESE SPECIFIED DISTANCES FROM THE PROJECT SITE. ANY PROPOSED PLANT SUBSTITUTION WILL REQUIRE PRIOR REVIEW AND WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
- PROVIDE TREE STAKING FOR ALL SHADE TREES.
- MAINTAIN 30" CLEAR BARK MULCH AREA ALONG ALL PARKING LOT PERIMETER AREAS.

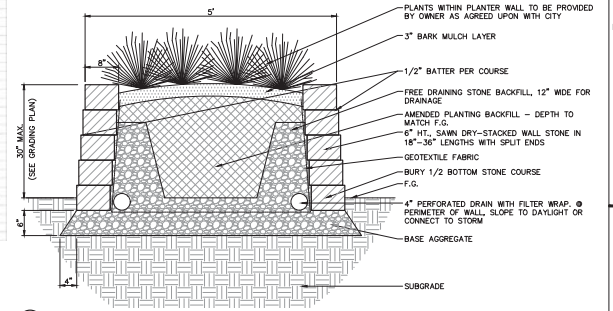
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE
SHADE TREES					
AF/S	Acer x nemoralis 'Spartan'	Spartan Elm	2 1/2" DB	as shown	40' DBH x 30' HGT
CCG	Carlinus canadensis 'Chicagoan'	Chicagoan Hackberry	2 1/2" DB	as shown	50' DBH x 40' HGT
GOE	Gymnocladia dioica 'Eryonoid'	Eryonoid Kentucky Coffeetree	2 1/2" DB	as shown	50' x 50'
GRK	Quercus macrocarpa 'varies Skyline'	Skyline Whiteoak	2 1/2" DB	as shown	40' x 50'
GOE	Quercus bicolor	Swamp White Oak	2 1/2" DB	as shown	40' x 50'
GRK	Quercus macrocarpa	Bar Oak	2 1/2" DB	as shown	40' x 50'
GOE	Quercus rubra x Quercus alba 'Contractor'	Contractor Spine English Oak	2 1/2" DB	as shown	40' x 50'
LRU	Liriodendron 'Rapid'	Rapid Elm	2 1/2" DB	as shown	50' DBH x 40' HGT
LRU	Liriodendron 'Gateway'	Gateway Elm	2 1/2" DB	as shown	50' x 40'
ORNAMENTAL TREES					
COM	Comptosia maia	Comptosia Dogwood	8" clump DB	as shown	30' DBH x 10' HGT
OWW	Opuntia wislizenii 'Winter King'	Winter King Cholla	8" clump DB	as shown	20' H x 20' W
MRU	Morus 'Red Jewel'	Red Jewel Mulberry	6" clump DB	as shown	10' DBH x 15' HGT
DECIDUOUS SHRUBS					
AMR	Azalea mollis 'Mollis'	White Beauty Black Chokeberry	24" W	5'	2' DBH x 4' HGT
JCB	Juncus communis 'Stellar'	Happy Gardeners Forsythia	18" W	2'	3' x 1.5'
FRG	Forsythia x 'Sunset'	Sunset Forsythia	36" W	2'	5' x 4' x 1.5'
RAJ	Rosa 'American Red Leaf'	Red Leaf Rose	24" spread	2'	3' x 1.5'
SJA	Spiraea japonica 'Anthony Waterer'	Anthony Waterer Spirea	18" W	2'	2' DBH x 3' HGT
VCR	Viburnum aceratum 'Nash Spire'	Aurum Ice Viburnum	24" W	2'	10' x 8'
EVERGREEN SHRUBS					
JCB	Juncus communis 'Stellar'	Stellar Juniper	36" W	2'	4' DBH x 9' HGT
JCB	Juncus communis 'Stellar'	Icee Juniper	48" W	2'	10' DBH x 4' HGT
JCB	Juncus communis 'Stellar'	Katja's Compact Fibre Juniper	18" W	2'	2' DBH x 5' HGT
TMT	Taxus x media 'Tautouren'	Tautouren Spreading Yew	18" W	2'	3' DBH x 4' HGT
PERENNIALS					
HRK	Heuchera purpurea 'Kara's Knee High'	Kara's Knee High Heuchera	1" plant	18"	18" x 18"
HRK	Heuchera 'Royal Romance'	Royal Romance Heuchera	1" plant	18"	18" x 18" x 30"
ORNAMENTAL GRASSES & SEDGES					
PVS	Panicum argatum 'Sheraton'	Sheraton Soft Grass	1" plant	30"	30" x 30"
CCC	Cortaderia 'Cortado'	Cortado Grass	1" plant	30"	30" x 30" x 30"
SPT	Sporobolus tenuis 'Tara'	Tara Dwarf Prairie Dogwood	1" plant	24"	18" x 24"

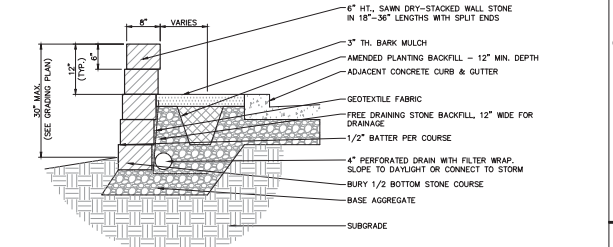
Wisconsin Department of Transportation Highway Seed Mix #10

SPECIES	PURITY (minimum %)	GERMINATION (minimum %)	MIXTURE PROPORTIONS (in %)
Barberry	50	50	40
Field Horsetail	MT	50	5
Red Top	MT	50	5
Practical Phacelia	MT	50	5
White Clover	MT	50	5

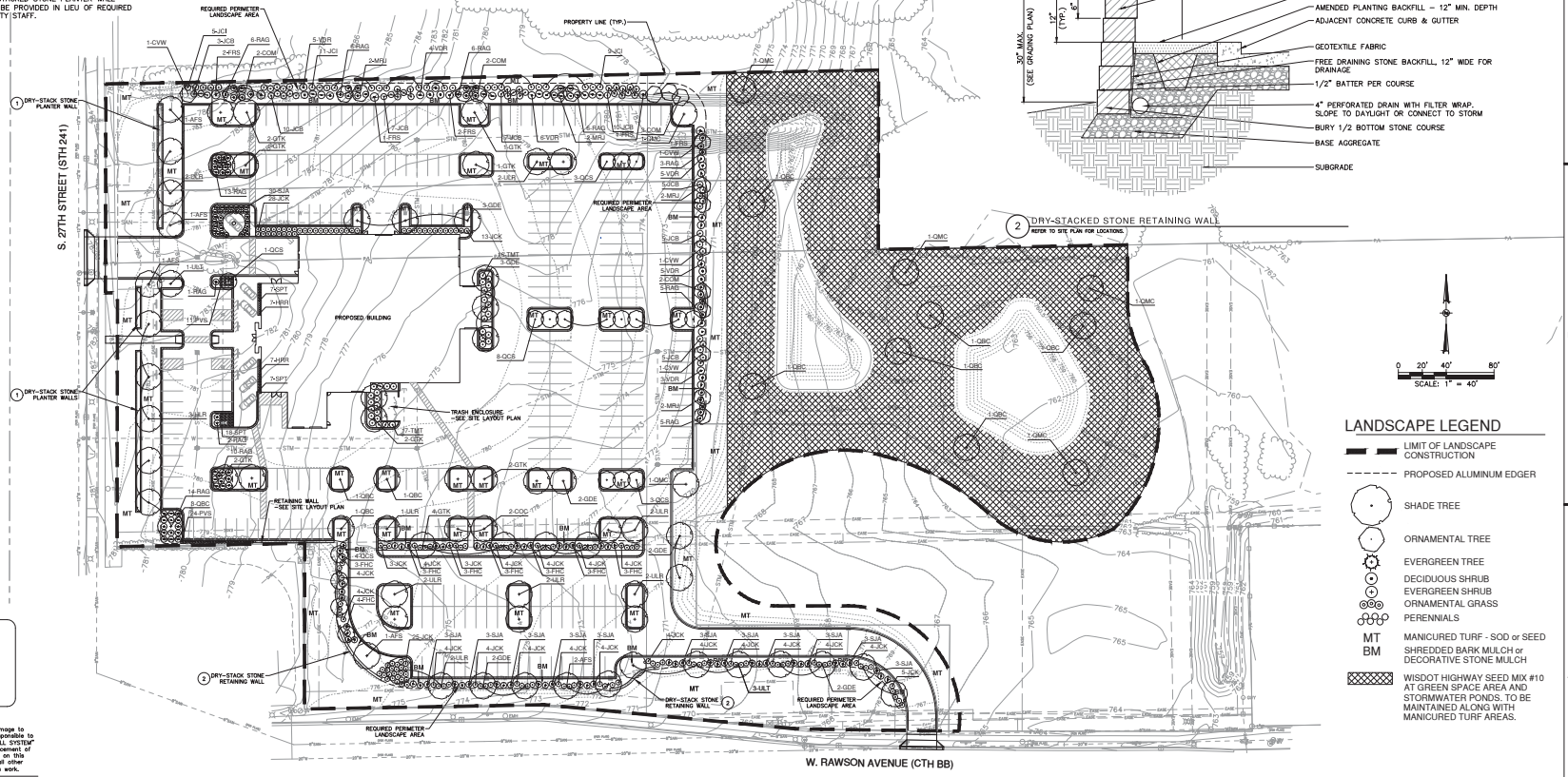
Note: Provide 1.5 lbs of #10 seed mix per 1000 square feet of planting area. See current edition of Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction for further planting detail.



1 DRY-STACKED STONE PLANTER WALL
REFER TO SITE LAYOUT PLAN FOR LOCATIONS.



2 DRY-STACKED STONE RETAINING WALL
REFER TO SITE PLAN FOR LOCATIONS.



LANDSCAPE LEGEND

- LIMIT OF LANDSCAPE CONSTRUCTION
- - - - - PROPOSED ALUMINUM EDGER
- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIALS
- MANICURED TURF - SOO or SEED
- SHREDED BARK MULCH or DECORATIVE STONE MULCH
- WISDOT HIGHWAY SEED MIX #10 AT GREEN SPACE AREA AND STORMWATER PONDS. TO BE MAINTAINED ALONG WITH MANICURED TURF AREAS.
- MT MT MANICURED TURF
- BM BM SHREDED BARK MULCH OR DECORATIVE STONE MULCH

CALL BEFORE YOU DIG
HAVE LAW ENFORCEMENT TO NOTIFY
IF YOU ARE NOT SURE OF THE LOCATION
OF ANY UTILITIES AT LEAST 3 BUSINESS
DAYS BEFORE YOU DIG
1-800-242-8511

NOTICE:
In accordance with Wisconsin Statute 182.07(5), designee to construction facilities, excavator shall be solely responsible to provide utility location information. The contractor shall not see less than three working days prior to commencement of any excavation work. The contractor shall be responsible for the design, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
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One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1469
414 / 259 1500
414 / 259 0037 Fax

www.graef-usa.com

CONSULTANTS

PROJECT TITLE
OAK CREEK BUICK GMC

OAK CREEK, WISCONSIN

ISSUE
NO. DATE REVISIONS BY

PLAN COMMISSION SUBMITTAL

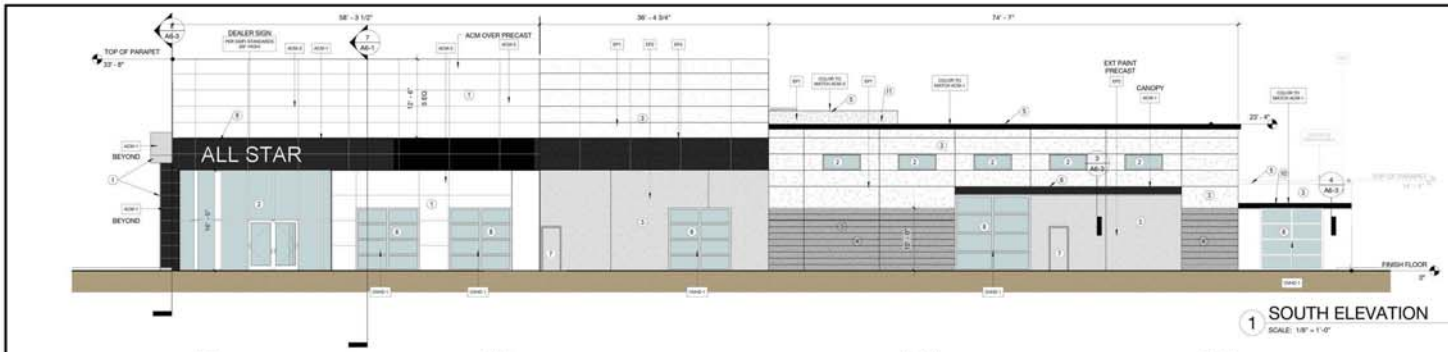
PROJECT INFORMATION
PROJECT NUMBER: 20160053.00
DATE: 06/23/17
DRAWN BY: MAC
CHECKED BY: JPH
APPROVED BY: JPH
SCALE: AS NOTED

SHEET TITLE
LANDSCAPE PLAN

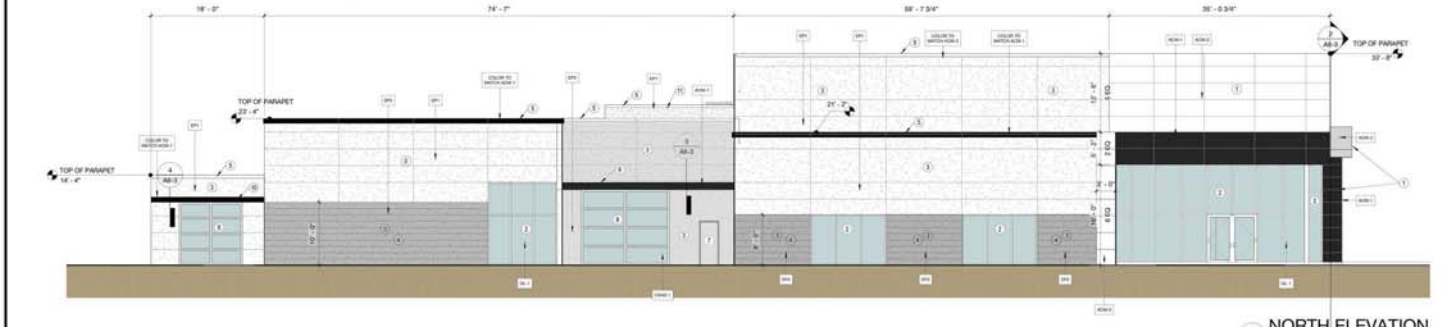
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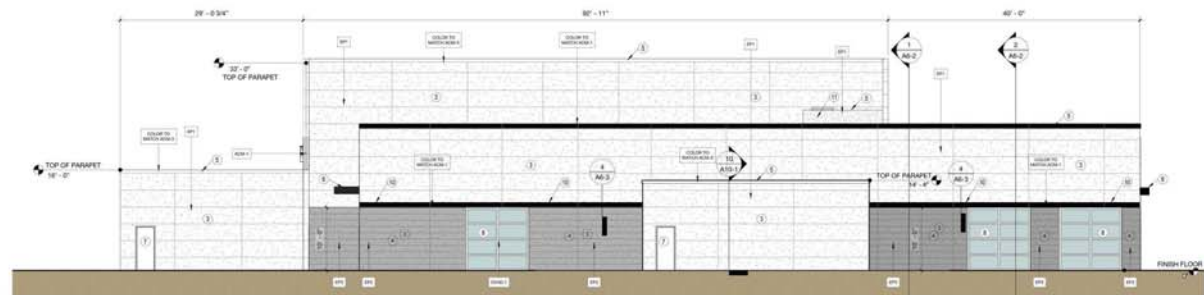
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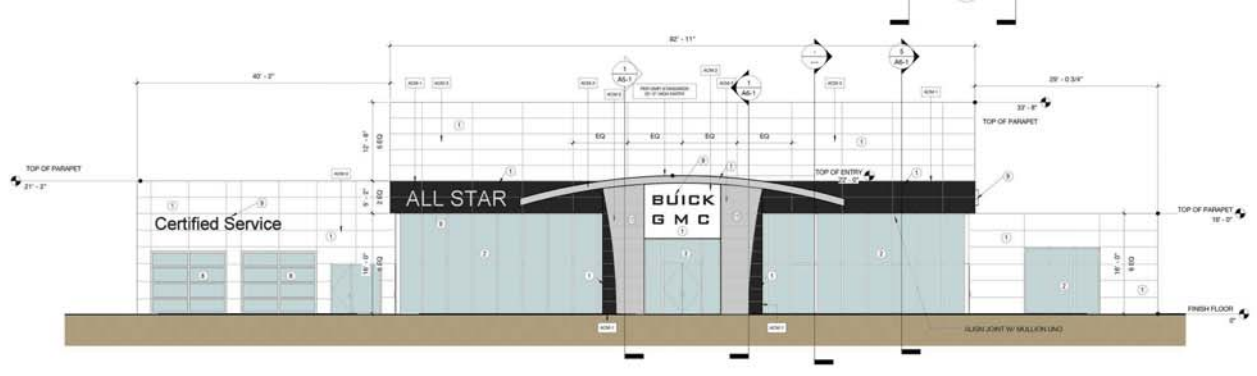
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

- 1 ACM-1 - APPLIC ACM, SEE FINISH LABEL FOR COLOR. TOP OF ACM WALLS TO HAVE INTERIOR RETURN COPING AS SINGLE PIECE WITH TOP PANELS.
- 2 ALUMINUM CURTAIN WALL OR STOREFRONT GLASS SYSTEM WITH INSULATED GLASS, ALL FRAMED TO BE CLEAR ANODIZED. SEE FRAME ELEVATIONS FOR MORE INFO.
- 3 PRECAST PANELS 18" x 36" REVEALS, ALUM REVEALS WITH ACM PANEL JOINTS UNO. FINAL PANEL LAYOUT BY PRECAST MANUFACTURE, SEE FINISH LABEL FOR COLOR.
- 4 HORIZONTAL REVEALS AT 12" O.C.
- 5 18 GA STEEL COPING W/ 8" FASCIA. SEE FINISH LABEL.
- 6 SERVICE CANOPY WITH ACM SMOOTH AND FASCIA.
- 7 STEEL MAIN DOOR - MATCH WALL COLOR.
- 8 GLASS OVERHEAD DOOR, EQUAL TO AREA FLUTE. ELECTRA FULLY WELDED, ALUM. DOOR CLEAR ANODIZED FINISH.
- 9 SIGNAGE - SIGNS TO FOLLOW ALL GMC GUIDELINES
- 10 SERVICE ALUM. ACCENT BAND. SEE DETAIL.
- 11 3" EPS INSTALLED OVER CHAU STAR'S SHIRT WALLS

- ACM1 ACM RAINSCREEN METAL PANEL #1 - BLACK
- ACM2 ACM RAINSCREEN METAL PANEL #2 - SILVER
- ACM3 ACM RAINSCREEN METAL PANEL #3 - WHITE
- EP1 EXTERIOR PAINT - WHITE, SEE FINISH SCHEDULE
- EP2 EXTERIOR PAINT - LIGHT GRAY, SEE FINISH SCHEDULE
- EP3 EXTERIOR PAINT - DARK GRAY, SEE FINISH SCHEDULE
- EP4 EXTERIOR PAINT - BLACK, SEE FINISH SCHEDULE

**ALL-STAR
BUICK GMC**



Custom Facilities
6096 Rucker Rd, Suite C
Indianapolis, IN 46200
www.customfacilities.com
tel: (317) 259-0030
fax: (317) 259-4765



1020 Jackson Street
Anderson, Indiana
tel: 765-649-8477
fax: 765-649-8484
www.krMarchitecture.com

REVISIONS

All-Star Buick GMC
Custom Facilities
700B/0101 S. 27th Street, Oak Creek, WI 53154
PROJECT DOCUMENTS

EXTERIOR ELEVATIONS



PROJECT DOCUMENTS
07.13.17

VERSION: 3042
JOB NO: 01240
DRAWN BY: MY
CHECKED BY: KM
SHEET NO: **A4-1**

UPDATE - OPTION 2



NORTHEAST



NORTHWEST



SOUTHEAST



SOUTHWEST

Custom Facilities
 6206 Rucker Rd, Suite C
 Indianapolis, IN 46220
 www.customfacilities.com
 tel: (317) 259-0038
 fax: (317) 259-4785

krM
 Architecture
 1020 Jackson Street
 Anderson, Indiana
 tel: 765-649-8477
 fax: 765-649-8484
 www.krMarchitecture.com

REVISIONS

All-Star Buick GMC
 Custom Facilities
 7006/0101 S. 27th Street, Oak Creek, WI 53154
 SCHEMATIC DRAWINGS
Renderings



SCHEMATIC DRAWINGS
 05.10.17
 VERSION: 3042
 DRAWN BY: Author
 CHECKED BY: Designer
 SHEET NO:

A1000





Certified Service

ALL STAR

BUICK
G M C



Plan Commission Report

ITEM: 6c

DATE: July 25, 2017

PROJECT: Certified Survey Map – Jerry Cousin, All Star Honda (All Star Buick/GMC)

ADDRESS: 7008 & 7018 S. 27th St. and 2500 W. Rawson Ave.

TAX KEY NO: 737-9989-001, 737-9988-001, 737-9037-001

STAFF RECOMMENDATION: That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by Jerry Cousin, All Star Honda, for the properties at 7008 & 7018 S. 27th St. and 2500 W. Rawson Ave. be approved with the following conditions:

1. That all easements and wetlands are shown and clearly labeled on all pages of the CSM prior to recording.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Ownership: Boyland Properties Oak Creek, LLC, 606 SE 117TH Ave., Ste. 100, Vancouver, WA 78683

Size: 12.742 acres

Existing Zoning: B-4 (CU), Highway Business; RRO, Regional Retail Overlay District

Adjacent Zoning: North – B-2, Community Business; B-3, Office and Professional Business; Rs-4, Single Family Residential; Rd-1, Two-Family Residential; RR, Regional Retail Overlay District
East – 27th Street and City of Franklin
South – RRO, Regional Retail Overlay District; B-4, Highway Business; Rs-4, Single Family Residential; Rs-3, Single Family Residential
West – B-3, Office and Professional Business; Rs-4, Single Family Residential; Rd-1, Two-Family Residential; RR, Regional Retail Overlay District.

Comprehensive Plan: Planned Business, Two Family / Townhouse Residential.

Wetlands: Yes, see maps.

Floodplain: N/A.

Official Map: Yes, see map and commentary below.

Commentary: Following continued conversations with staff regarding the proposed access to the lot, it was recommended that the future road through the center of the property be removed from the previously-approved CSM. There are concerns that the configuration of this future road could change due to the presence of wetlands. Corrections recommended in the conditions of approval from the May 23 meeting (the report for which is included for reference below), with the exception of the missing “J.” in Mayor Bukiewicz’s name, have been incorporated. The revised map is being presented to the Plan Commission for consideration.

Staff recommends approval with the conditions above.

May 23, 2017

The Applicant is requesting approval of a Certified Survey Map (CSM) to combine the properties 7008 & 7018 S. 27th St. and 2500 W. Rawson Ave. in anticipation of developing a car dealership. A Conditional Use Permit was approved for automobile sales and service and a private car wash facility in July of 2016.

Once joined, the lot will meet all size and dimensional requirements. Plan Commissioners should note that there are several changes required before the CSM may be recorded:

1. The Official Map shows a future public street through the property, which is not reflected on the CSM. Staff has been working with the applicant and their consultants for several months to verify the location and requirements for that road.
2. Easements only appear on Page 2 of the CSM, and not Page 1. For consistency and clarity, easements should appear on both pages.
3. The signature page must be updated to reflect Mayor Daniel J. Bukiewicz's name.
4. No dedication or acceptance language appears on the signature pages. These must appear in order for the public road to be both dedicated to the City and for the City's acceptance of said public road.
5. No signature or stamp of the surveyor appears on any page of the submitted CSM.

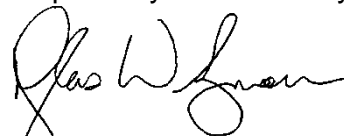
Access from Rawson Avenue is controlled by Milwaukee County, and access from S. 27th Street is controlled by WisDOT. Copies of any/all access approvals and/or permits shall be provided to the Department of Community Development and Engineering Department prior to submission of building permit applications.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

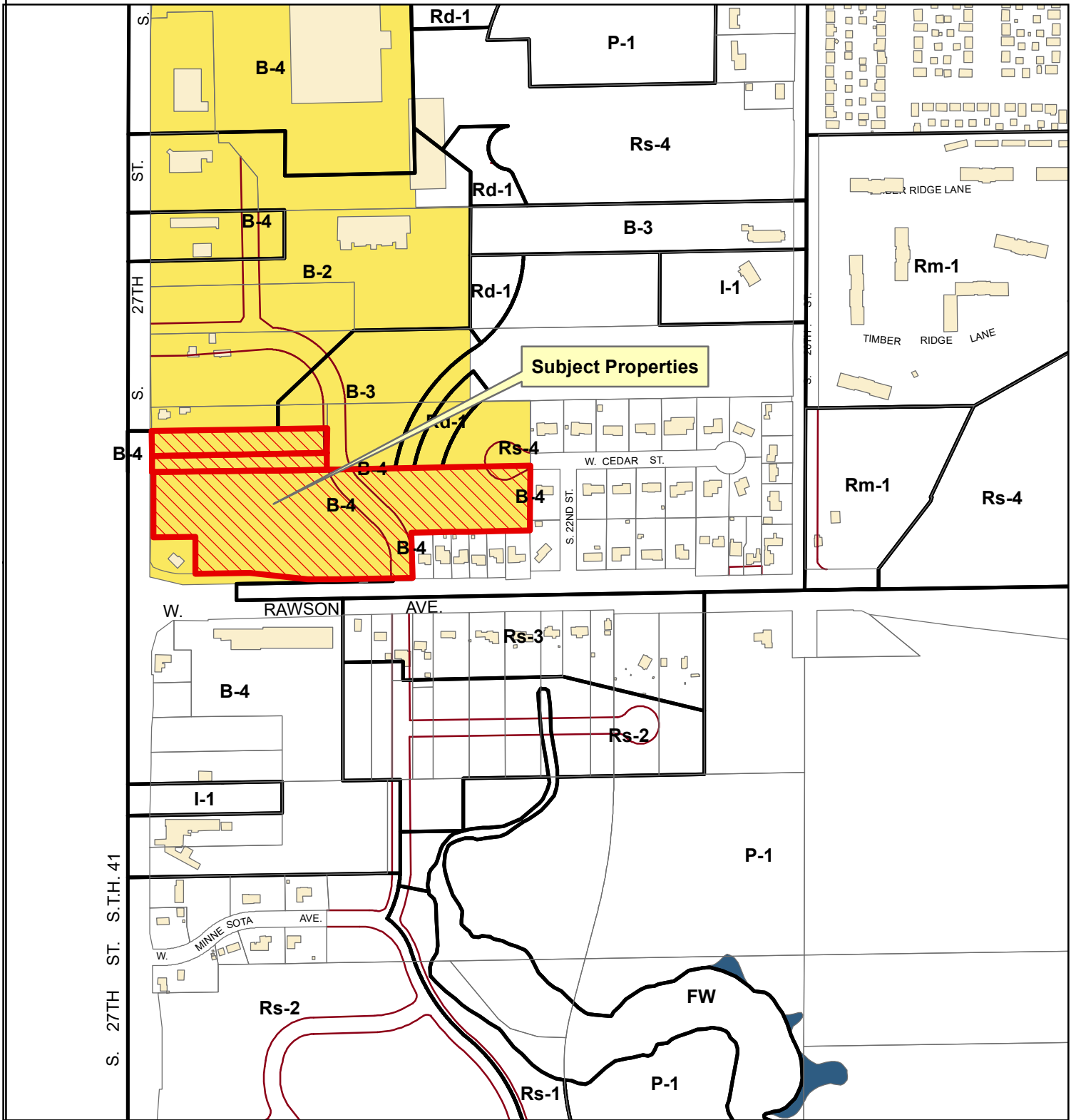
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

7008 & 7018 S. 27th St. 2500 W. Rawson Ave.

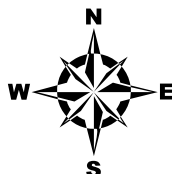


This map is not a survey of the actual boundary of any property this map depicts.



OAKCREEK
— WISCONSIN —

Department of Community Development



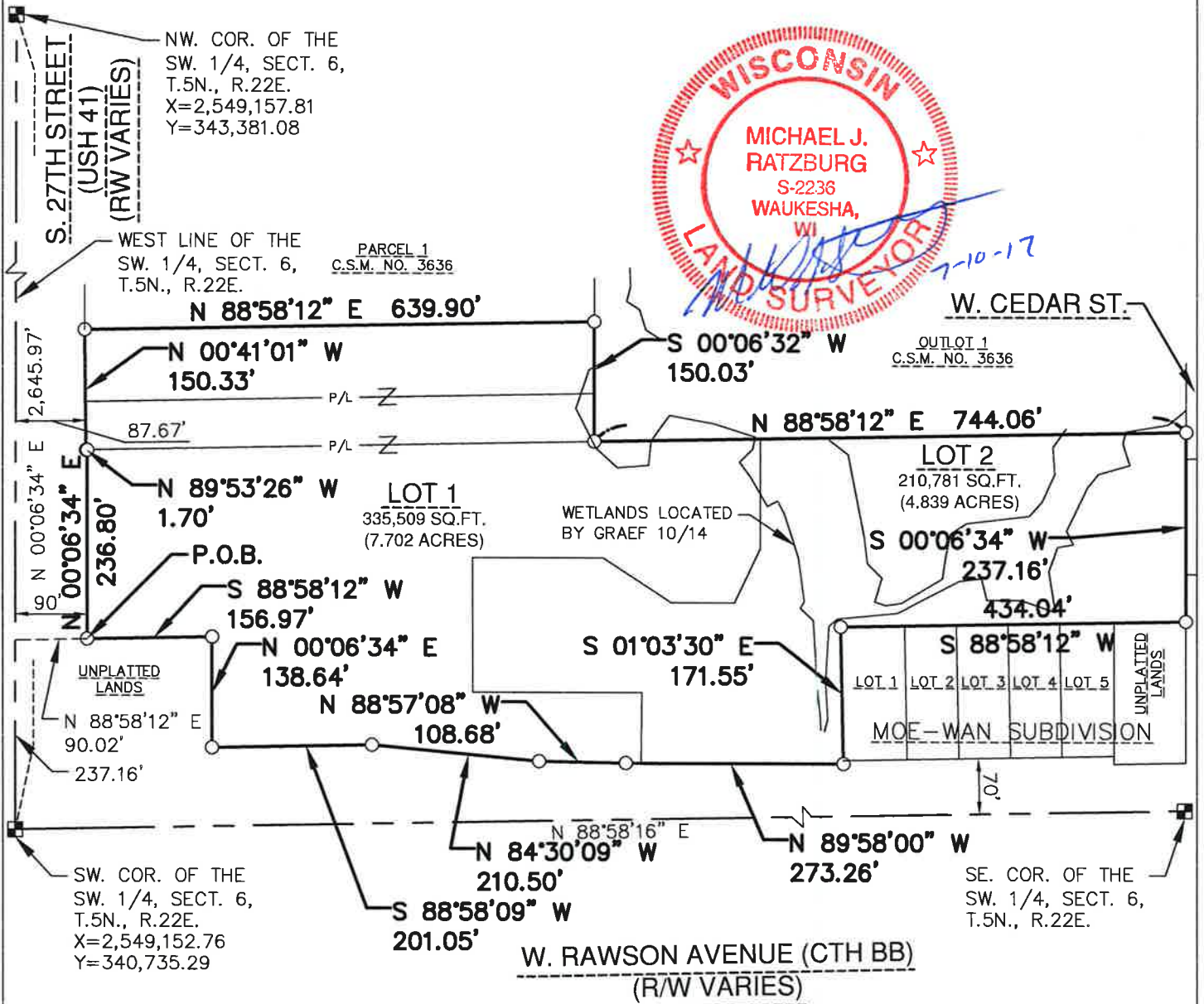
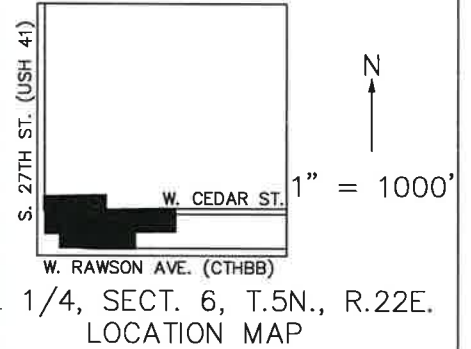
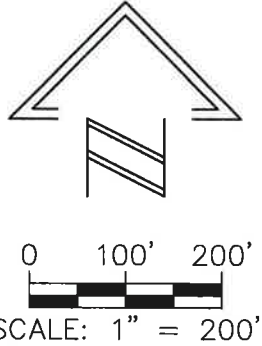
Legend	
	2500 W Rawson Ave.
	7018 S 27th St.
	7008 S 27th St.
	C-1-Shoreland Wetland
	FF-Flood Fringe
	Lakefront Overlay
	NO-Mixed Use Neighborhood
	OO-Mixed Use Office
	RR-Regional Retail

CERTIFIED SURVEY MAP NO. _____

Lot 1 of Certified Survey Map 7626 and that part of the Southeast 1/4 and the Southwest 1/4 of the Southwest 1/4 of Section 6, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

GRÄEF

One Honey Creek Corporate Center
 125 South 84th Street, Suite 401
 Milwaukee, WI 53214-1469
 414 / 259 1500
 414 / 259 0037 fax
www.graef-usa.com



REFERENCE BEARING

All bearings are referenced to the west line of the SW. 1/4 of Sect. 6, T.5N. R.22E. which bears N.00°06'34"E. and is referenced to Grid North of the Wisconsin State Plane Coordinate System, South Zone. (NAD27)

OWNER

Boylard Properties Oak Creek, LLC.
 Oak Creek, Wisconsin

LEGEND

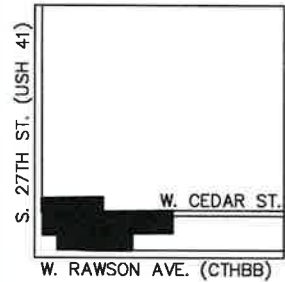
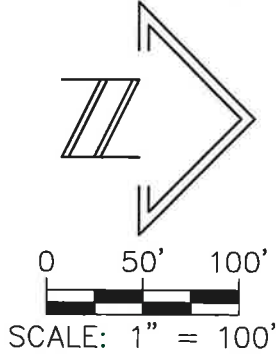
- FOUND 1" IRON PIPE
- 3/4" REBAR SET, MINIMUM WEIGHT 1.13 LBS/FT.
- FOUND CONC. MONUMENT W/BRASS CAP

CERTIFIED SURVEY MAP NO. _____

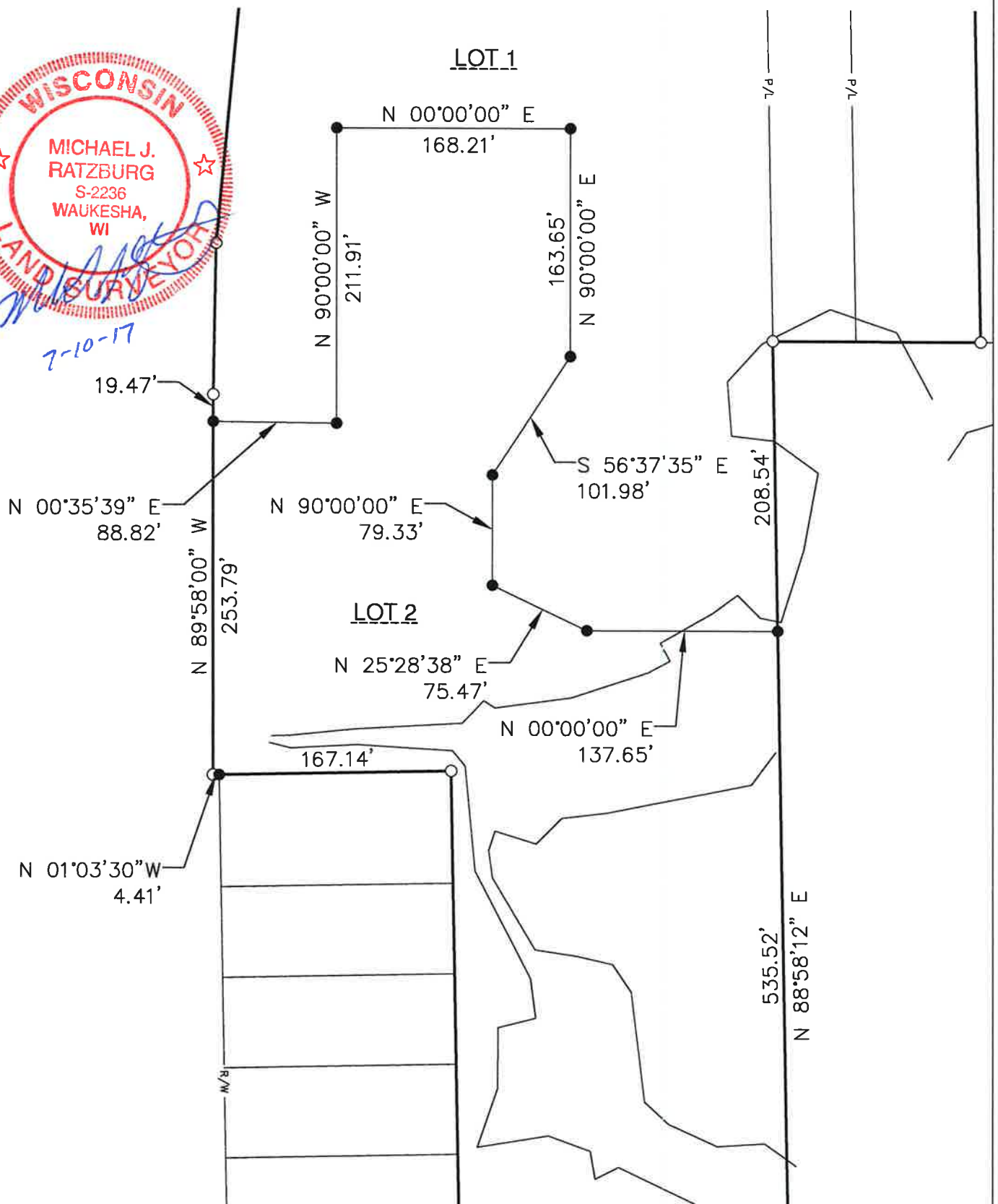
Lot 1 of Certified Survey Map 7626 and that part of the Southeast 1/4 and the Southwest 1/4 of the Southwest 1/4 of Section 6, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

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SW. 1/4, SECT. 6, T.5N., R.22E.
 LOCATION MAP

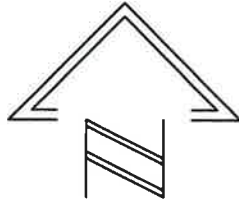


CERTIFIED SURVEY MAP NO. _____

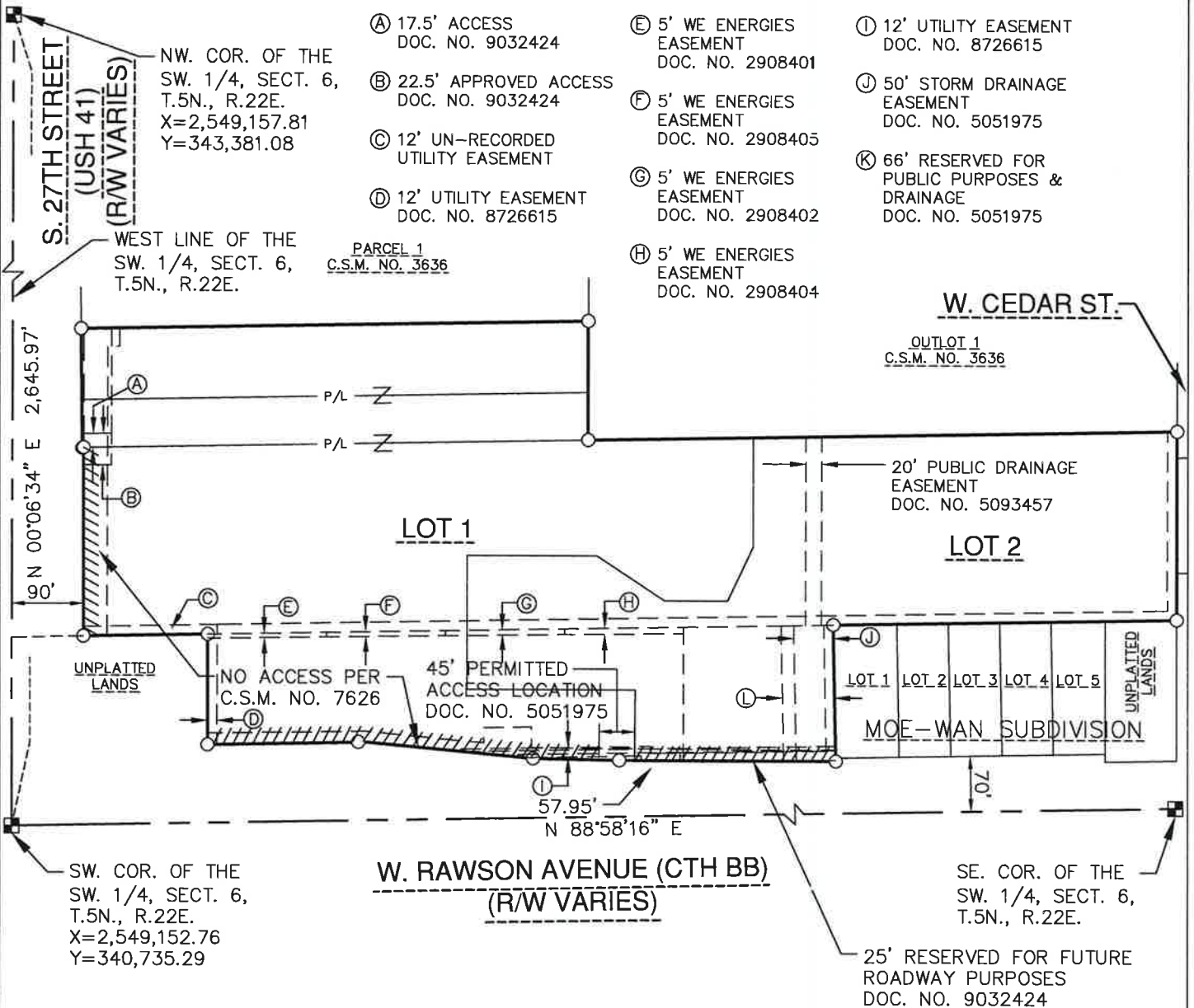
Lot 1 of Certified Survey Map 7626 and that part of the Southeast 1/4 and the Southwest 1/4 of the Southwest 1/4 of Section 6, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

GRAEF

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 Milwaukee, WI 53214-1469
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 www.graef-usa.com



SCALE: 1" = 200'



- Ⓐ 17.5' ACCESS
DOC. NO. 9032424
- Ⓑ 22.5' APPROVED ACCESS
DOC. NO. 9032424
- Ⓒ 12' UN-RECORDED
UTILITY EASEMENT
- Ⓓ 12' UTILITY EASEMENT
DOC. NO. 8726615
- Ⓔ 5' WE ENERGIES
EASEMENT
DOC. NO. 2908401
- Ⓕ 5' WE ENERGIES
EASEMENT
DOC. NO. 2908405
- Ⓖ 5' WE ENERGIES
EASEMENT
DOC. NO. 2908402
- Ⓗ 5' WE ENERGIES
EASEMENT
DOC. NO. 2908404
- Ⓜ 12' UTILITY EASEMENT
DOC. NO. 8726615
- Ⓝ 50' STORM DRAINAGE
EASEMENT
DOC. NO. 5051975
- Ⓚ 66' RESERVED FOR
PUBLIC PURPOSES &
DRAINAGE
DOC. NO. 5051975



CERTIFIED SURVEY MAP NO. _____

Lot 1 of Certified Survey Map 7626 and that part of Southeast 1/4 and the Southwest 1/4 of the Southwest 1/4, Section 6, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
) SS
MILWAUKEE COUNTY)

I, Michael J. Ratzburg, a professional land surveyor, do hereby certify:

That I have surveyed and mapped Lot 1 of Certified Survey Map 7626 and that part of Southeast 1/4 and the Southwest 1/4 of the Southwest 1/4, Section 6, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin, more particularly described as follows:

Commencing at the southwest corner of said Southwest 1/4; thence North 00°06'34" East, on and along the west line of said Southwest 1/4, 237.16 feet; thence North 88°58'12" East, 90.02 feet to the east right of way line of South 27th Street and the point of beginning; thence North 00°06'34" East, on and along said east right of way line, 236.80 feet; thence North 89°53'26" West, on and along said east right of way line, 1.70 feet; thence North 00°41'01" East, on and along said east right of way line, 150.03 feet to the south line of Parcel 1 of CSM No. 3636; thence North 88°58'12" East, on and along said south line, 639.90 feet to the west line of Outlot 1 of CSM No. 3636; thence South 00°06'32" West, on and along said west line, 150.03 feet to the south line of said Outlot 1; thence North 88°58'12" East, on and along said south line, 744.06 feet; thence South 00°06'34" West, 237.16 feet to the north line of Moe-Wan Subdivision; thence South 88°58'12" West, on and along said north line, 434.04 feet to the west line of said Subdivision; thence South 01°03'30" East, on and along said west line, 171.55 feet to the north right of way line of West Rawson Ave; thence North 88°58'00" West, on and along said north right of way line, 273.26 feet; thence North 88°57'08" West, on and along said north right of way line, 108.68 feet; thence North 84°30'09" West, on and along said north right of way line, 210.50 feet; thence South 88°58'09" West, on and along said north right of way line, 201.05 feet; thence North 00°06'34" East, 138.64 feet; thence South 88°58'12" West, 156.97 feet to the point of beginning.

Containing 546,290 square feet (12.541 acres), more or less.

That I have made such survey, land division, and map by the direction of the, Jerry Cousins owner of said land. That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with Chapter 236 of the Wisconsin Statutes and Chapter 14 of the City of Oak Creek Municipal Code in surveying, dividing and mapping the same.



Michael J. Ratzburg, S-2236
Professional Wisconsin Land Surveyor

Date: 7-10-17
 Rev. 7-19-17



CERTIFIED SURVEY MAP NO. _____

Lot 1 of Certified Survey Map 7626 and that part of Southeast 1/4 and the Southwest 1/4 of the Southwest 1/4, Section 6, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

OWNER'S CERTIFICATE

Boyland Properties Oak Creek, LLC, a corporation duly organized and existing under and by virtue of the laws of the State of _____, as owner, certify that said corporation caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin Statutes and Chapter 14 of the City of Oak Creek Municipal Code.

This agreement shall be binding on the undersigned and assigns. In Witness Where of, Boyland Properties Oak Creek, LLC has caused these presents to be signed by _____, its _____, this _____ day of _____, 2017.

In the presence of:

(Witness)

STATE OF WISCONSIN)
) SS
_____ COUNTY)

Personally came before me this _____ day of _____, 2017, _____, Officer of the above named corporation, to me known as the person who executed the foregoing instrument, and to me known to be the _____ of the corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of the corporation, by its authority.

NOTARY PUBLIC, STATE OF WISCONSIN

My Commission Expires: _____

PLANNING COMMISSION APPROVAL

Certified Survey Map accepted by the Planning Commission of the City of Oak Creek on this _____ day of _____, 2017

Mayor Daniel Bukiewicz, Chairman

Douglas Seymour, Secretary

COMMON COUNCIL APPROVAL

Certified Survey Map approved by the Common Council of the City of Oak Creek on this _____ day of _____, 2017, by Resolution No. _____.

Daniel Bukiewicz, Mayor

Catherine Roeske, City Clerk





Plan Commission Report

ITEM: 6d

DATE: July 25, 2017

PROJECT: Sign Plan Review – Bentley’s Pet Stuff

ADDRESS: 7940 S. 6th St. Suite 103

TAX KEY NO: 813-9054-000

STAFF RECOMMENDATION: That the Plan Commission approves the Sign Plan submitted by Bentley’s Pet Stuff for Suite 103 of the building located at 7940 S. 6th St.

Ownership: DTS B5, LLC, P.O. Box 731, Milwaukee, WI 53201

Size: 1.489 acres

Existing Zoning: DTSMUPDD (CU), Drexel Town Square Mixed Use Development District

Adjacent Zoning: North – M-1, Manufacturing District
East – DTSMUPDD, Drexel Town Square Mixed Use Development District
South – DTSMUPDD, Drexel Town Square Mixed Use Development District
West – DTSMUPDD, Drexel Town Square Mixed Use Development District

Comprehensive Plan: Planned Mixed Use.

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The applicant is requesting approval of the sign plan for Bentley’s Pet Stuff located in a tenant space for the building located at 7940 S. 6th St. All signage within Drexel Town Square zoning district requires Plan Commission approval prior to submitting building permits.

Per Appendix B, Section B of the Plan, the following signs are allowed:

- One primary sign per entry facade per tenant.
- 1 - 2 flag signs per entry facade (max. size fabric = 10’, max. size solid = 36” x 36”).
- 1 eye-level sign / graphic per 12 linear feet of entry facade.
- Maximum height of primary signage = 15% of retail floor height.
- Tenants located along Drexel or Howell, an additional wall sign facing either street is permitted.
- Primary signs are permitted on special condition facades for perimeter buildings.

The tenant space for this building is located in the middle of the multitenant building. The applicant is proposing to install a total of two wall signs. No eye level signs on the building are being proposed at this time. If the tenant wishes to display eye-level signs on the building in the future, they will need

to come before the Plan Commission for approval. The signs, as proposed, comply with the approved master sign plan for the building and with the DTSMUPDD sign regulations.

The applicant is proposing two identical wall signs on north and south elevations of the tenant space. The sign will be internally illuminated channel letters with a logo sign on the left hand side. The letters will have white faces and be internally lit with LEDs. The logo sign will be a routed aluminum cabinet with a green paw logo and also be internally lit with LEDs.

The height of the sign will be 32 inches, which complies with the 32-inch height limit for all signs installed on this building. The sign will be 23.5-foot by 2.7-foot for an overall size of 60.63 square feet. Included with this report is a graphic illustrating how the signs will look on the building.

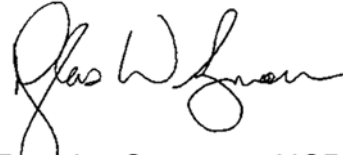
As identified in the DTSMUPDD Regulating Plan, wall signs are allowed on entry and special condition facades. The north elevation is considered a special condition facade and the south elevation an entrance façade. Therefore the two proposed signs comply with code.

Prepared by:



Peter Wagner, AICP
Zoning Administrator/Planner

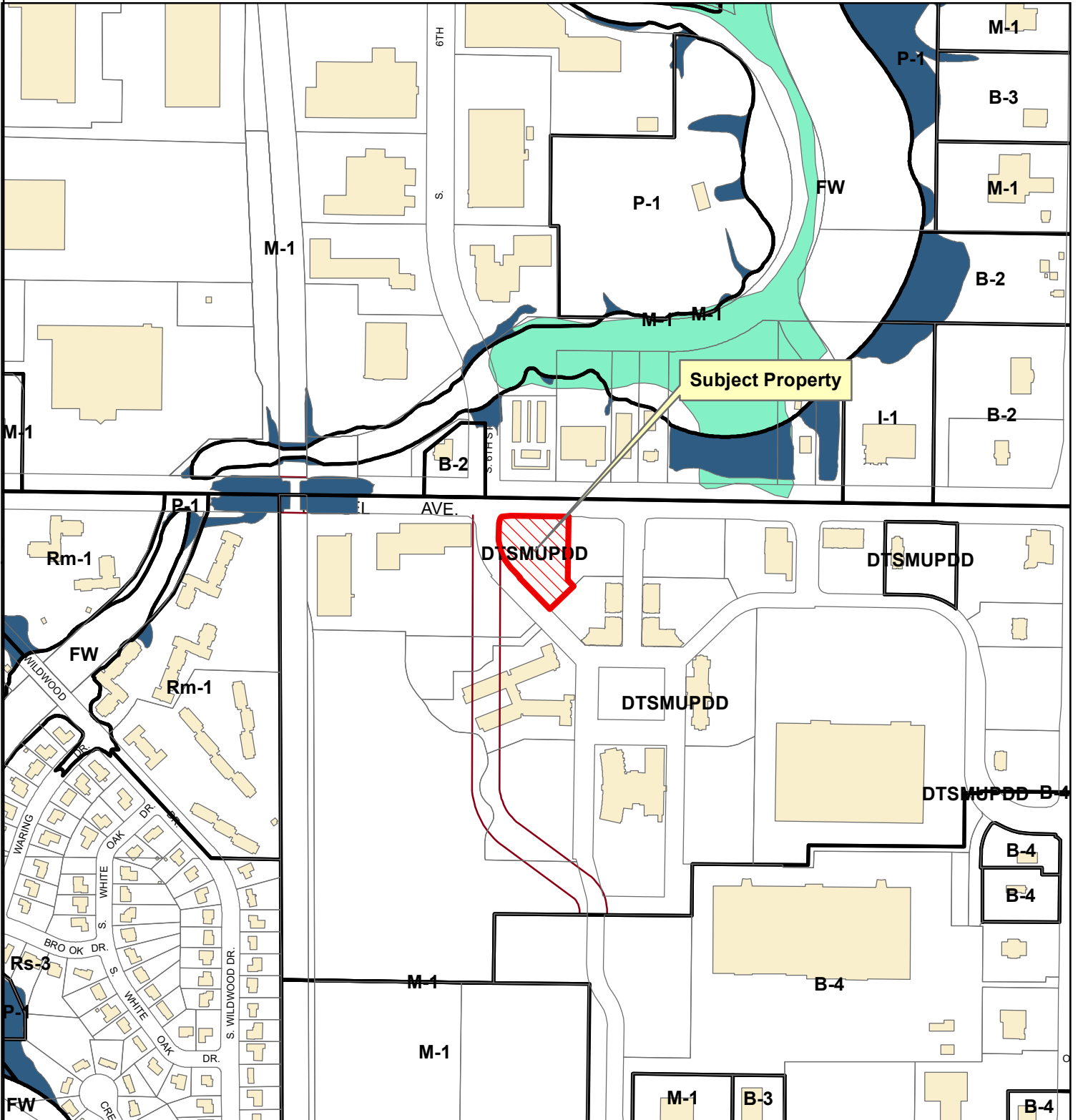
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

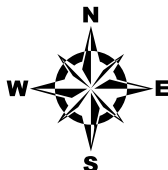
7940 S. 6th St.



This map is not a survey of the actual boundary of any property this map depicts.



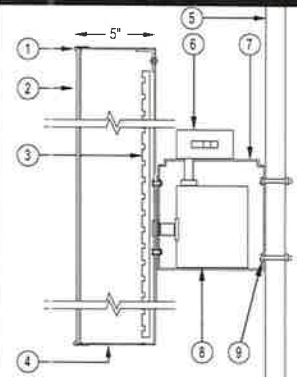
Department of Community Development



Legend		Zoning Overlays	
	7940 S. 6th St.		C-1-Shoreland Wetland
			FF-Flood Fringe
			Lakefront Overlay
			NO-Mixed Use Neighborhood
			OO-Mixed Use Office
			RR-Regional Retail



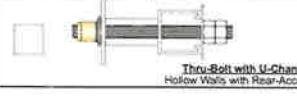
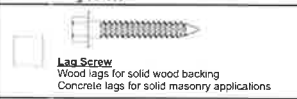
**RACEWAY-MOUNTED CHANNEL LETTERS
L.E.D. ILLUMINATION**



1. TRIM CAP WITH RETAINING SCREW
2. .1875 PLEX FACE
3. AGLIGHT / SLOAN / SYLVANIA WHITE LED LIGHTING
4. ALUMINUM .063" BACKS / .040" RETURN
5. WALL
6. DISCONNECT SWITCH
7. EXTRUDED ALUMINUM RACEWAY
8. OSRAM PS / GENERAL LED / ADVANCE LED PS
9. FASTENERS AS REQUIRED



General Notes -
120V/277V Class 2 Self Adjusting Power Supply
60W 12V Single Phase, installed per NEC code book
All bonded and grounded



Colors to match

- TBD
- PMS Green 377C
- Returns/Trimcap Standard Black
- Standard White

32" Stacked Letterset
60.63 SQFT.

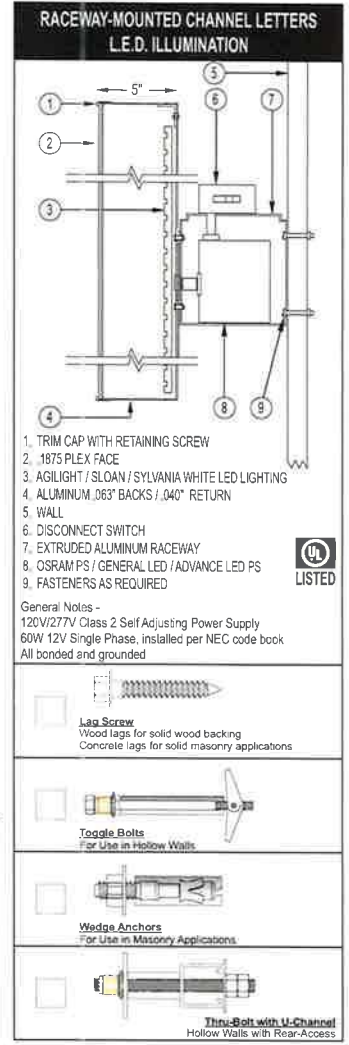


CLIENT Bentley's PET Stuff	PROJECT NAME 171 W Town Square Lane Oak Creek, WI	DATE 05.11.17	REVISIONS: REV: 05.23.17
CUSTOMER APPROVAL CITY OF OAK CREEK	TRACKER NUMBER 7022487	DRAWN BY mkr	

THIS DRAWING IS THE PROPERTY
OF SOUTH WATER SIGNS, L.L.C.
ALL RIGHTS OF REPRODUCTION
ARE RESERVED BY
SOUTH WATER SIGNS, INC

JUN 06 2017
RECEIVED

RECOMMENDED



Colors to match

- TBD
- PMS Green 377C
- Returns/Trimcap Standard Black
- Standard White



CLIENT Bentley's PET Stuff	PROJECT NAME 171 W Town Square Lane Oak Creek, WI	DATE 05.11.17	REVISIONS: REV1: 05.23.17
CUSTOMER APPROVAL	TRACKER NUMBER 7022487 CITY OF OAK CREEK	DRAWN BY nkr	

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JUN 08 2017
RECEIVED



Plan Commission Report

ITEM: 6e

DATE: July 25, 2017

PROJECT: Rezone – Daniel Ziesemer

ADDRESS: 9838 S. Chicago Rd.

TAX KEY NO: 912-9930-000

STAFF RECOMMENDATION: That the Plan Commission recommends to the Common Council that the property at 9838 S. Chicago Rd. be rezoned from Rs-3, Single Family Residential and A-1, Limited Agricultural to A-1, Limited Agricultural after a public hearing.

Ownership: Ann & Daniel Ziesemer, 9838 S. Chicago Rd., Oak Creek, WI 53154

Size: 5.058 acres

Existing Zoning: Rs-3, Single Family Residential; A-1, Limited Agricultural

Adjacent Zoning: North – Rs-3, Single Family Residential; A-1, Limited Agricultural
East – A-1, Limited Agricultural; Rs-4, Single Family Residential
South – Rs-3, Single Family Residential; A-1, Limited Agricultural
West – Rs-3, Single Family Residential; B, Highway Business

Comprehensive Plan: Planned Mixed Use.

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting that the property at 9838 S. Chicago Rd. be rezoned from Rs-3, Single Family Residential and A-1, Limited Agricultural to A-1, Limited Agricultural district. Minimum requirements for lot size – 5 acres – are met with the existing configuration of the property.

A majority of the property is currently in the A-1 district; the former single family dwelling, which has been removed, and just under an acre of the lot were located within the Rs-3, Single Family zoning district (see map). The Applicant wishes to construct a new single-family dwelling with accessory agricultural outbuilding per the submitted Plat of Survey, and to utilize the property for agricultural purposes. Surrounding properties are zoned residential, agricultural, and commercial. Per the Comprehensive Plan, the area is identified for Planned Mixed Use, which allows for multiple zoning designations.

Should the Plan Commission determine that the proposed request to rezone the property to A-1, Limited Agricultural is appropriate, a motion recommending Council approval is provided above.

Prepared by:

Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

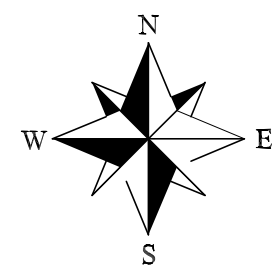
RESCHEDULED TO AUGUST 8, 2017

PLAT OF SURVEY

That part of the Northeast 1/4 of Section 26, Town 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin, bounded and described as follows, to wit: Commencing at a point in the East line and 283.08' North of the Southeast corner of the Northeast 1/4 of said Section 26, Town 5, Range 22 East, aforesaid; thence West on a line which is 283.08' North and parallel with the South line of said 1/4 Section 673.00' to the center line of Chicago Road; thence North 13' 20' West along the center line of Chicago Road 130.11' to a point, which is 409.70' North of the South line of said 1/4 Section; thence East on a line which is 409.70' North of and parallel with the South line of said 1/4 Section 702.91' to the East line of said 1/4 Section; thence South along the East line of said 1/4 Section 126.62' to the place of beginning, containing 2 acres of land.

A piece of land in the South 1/2 in the Northeast 1/4 of Section 26, Town 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin, bounded and described as follows: Commencing at a point in the East line of said 1/4 Section 409.70' North of the Southeast corner of said 1/4 Section; thence West and parallel with the South line of said 1/4 Section 702.91' to the center line of South Chicago Road; thence North 14' 54' West along the center line of said Road 200.46' to a point; thence Easterly on a line parallel and 722.61' South of the 1/8 line 758.20' to the East line of said 1/4 Section; thence Southerly along the East line of said 1/4 Section 193.49' to the place of beginning, containing 3.30 acres of land.

Address: 9838 S. Chicago Road



GRAPHIC SCALE



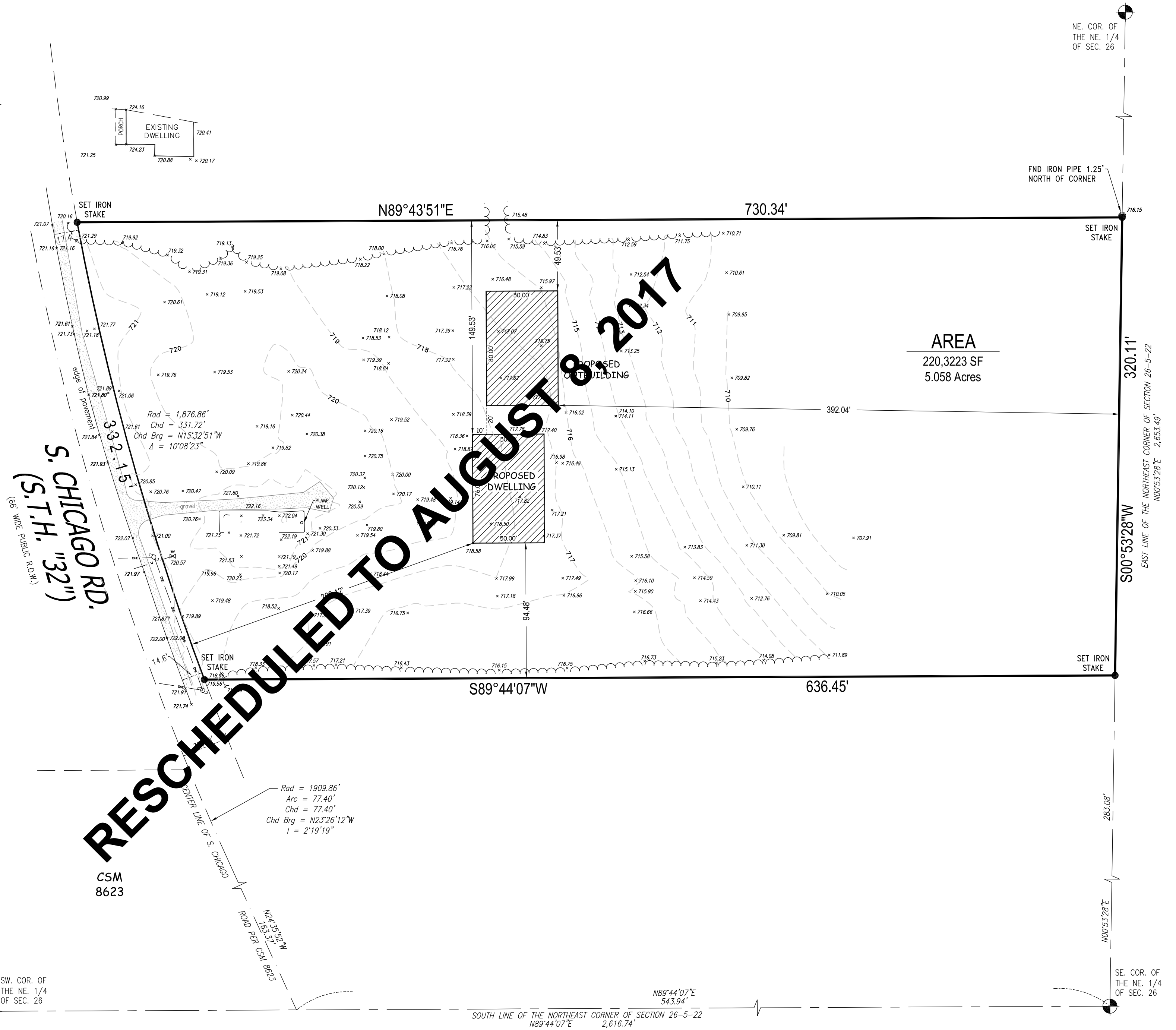
(IN FEET)
1 inch = 50 ft.

LEGEND

- - SET IRON STAKE
- - FOUND IRON PIPE
- P/L - PROPERTY LINE
- ⊕ - UTILITY POLE
- GM - GAS METER
- EM - ELECTRIC METER
- WV - WATER VALVE
- OHE — OVERHEAD ELECTRIC
- UGW — UNDERGROUND WATER
- ~~~~~ - TREE LINE

NOTES:

- BENCHMARK FOR ELEVATIONS
SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF SECTION 26-5-22, FOUND CONC. MONUMENT WITH BRASS CAP
ELEV: 715.37' NGVD 1929
- EXISTING DWELLING AND SHEDS TO BE RAZED



SW. COR. OF THE NE. 1/4 OF SEC. 26

SOUTH LINE OF THE NORTHEAST CORNER OF SECTION 26-5-22
N89°44'07"E 2,616.74'

NE. COR. OF THE NE. 1/4 OF SEC. 26

SE. COR. OF THE NE. 1/4 OF SEC. 26

RESCHEDULED TO AUGUST 8, 2017

AREA
220,3223 SF
5.058 Acres

<p>SURVEYING SOCIATES INC. WISCONSIN REGISTERED SOCIETY OF LAND SURVEYORS AND ASSOCIATION OF LAND SURVEYORS AND MAPPERS 2554 North 100th Street, Wauwatosa, WI Tel: (414) 257-2322 Fax: (414) 257-2443 SURVING@SCS.COM</p>	<p>I hereby certify that I have surveyed the above described property and that the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and encroachments, if any.</p> <p>"This survey is made for the use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one year from date hereof."</p> <p>WISCONSIN REGISTERED LAND SURVEYOR</p>		<p>Scale: 1"=50'</p>	<p>Date: 7/11/16</p>	<p>7/16/17 ZONING DIV. 1/23/17 RAZED/PROP 7/22/16 TOPO</p>
	<p>Project Number 34821</p>	<p>Field Work: MFS</p>	<p>Drafted By: JTY</p>	<p>Project Completed For: DAN ZIESEMER</p>	



Plan Commission Report

ITEM: 6f

DATE: July 25, 2017

PROJECT: Sign Plan Review – Barre District (Mary Koll)

ADDRESS: 7978 S. Main Street

TAX KEY NO: 813-9050-000

STAFF RECOMMENDATION: That the Plan Commission approve the sign plan for one wall sign on the west elevation for the tenant space at 7966 S. Main Street.

Ownership: DTS Mixed Use LLC

Size: 1.168 acres

Existing Zoning: DTSMUPDD, Drexel Town Square Mixed Use Planned Development

Adjacent Zoning: North – DTSMUPDD, Drexel Town Square Mixed Use Planned Development
East – DTSMUPDD, Drexel Town Square Mixed Use Planned Development
South – DTSMUPDD, Drexel Town Square Mixed Use Planned Development
West – DTSMUPDD, Drexel Town Square Mixed Use Planned Development

Comprehensive Plan: Planned Mix Use

Wetlands: N/A

Floodplain: N/A

Official Map: N/A.

Commentary: The applicant is requesting approval of the sign plan for Barre District located in a tenant space for the building located at 7978 S. Main St. All signage within Drexel Town Square zoning district requires Plan Commission approval prior to submitting building permits.

Per Appendix B, Section B of the Plan, the following signs are allowed:

- One primary sign per entry facade per tenant.
- 1 - 2 flag signs per entry façade (max. size fabric = 10', max. size solid = 36" x 36").
- 1 eye-level sign / graphic per 12 linear feet of entry facade.
- Maximum height of primary signage = 15% of retail floor height.
- Tenants located along Drexel or Howell, an additional wall sign facing either street is permitted.
- Primary signs are permitted on special condition facades for perimeter buildings.

The applicant is requesting approval for one primary sign and one eye-level sign on the west elevation (entry façade) and two eye level signs on the east elevation (non-entry façade) at the tenant space located at 7966 S. Main Street. According to DTSMUPDD sign regulations and master sign plan, the applicant is permitted to install one wall sign and one eye-level sign for every twelve linear feet on an entry façade.

The applicant is proposing to install a 1'4" by 7'8" channel letter sign on the west elevation (entry façade) of the tenant space. The sign will be internally illuminated with LEDs. The height and size of the sign complies with both the DTSMUPDD and master sign plan for the development. In addition, the applicant is proposing to install one eye-level sign on the entry door that will be 12"x18" and complies with eye-level sign regulations.

The applicant is proposing to eye-level signs on the east elevation (non-entry façade) of the tenant space. The proposed signs comply with size, number, and percentage of covered glazing. However, DTSMUPDD code states that signs are not permitted on non-entry facades. If the applicant wishes to pursue these sign, they will need to pursue a sign appeal.

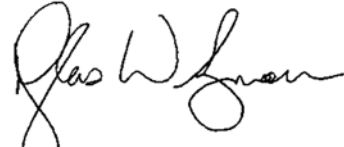
Without being granted a variance to the sign code, the Plan Commission can only approve the signs that are to be installed on the west elevation of the building. The applicant will need to come back to the Plan Commission at a later date for approval of the non-entry signs.

Prepared by:



Peter Wagner, AICP
Zoning Administrator/Planner

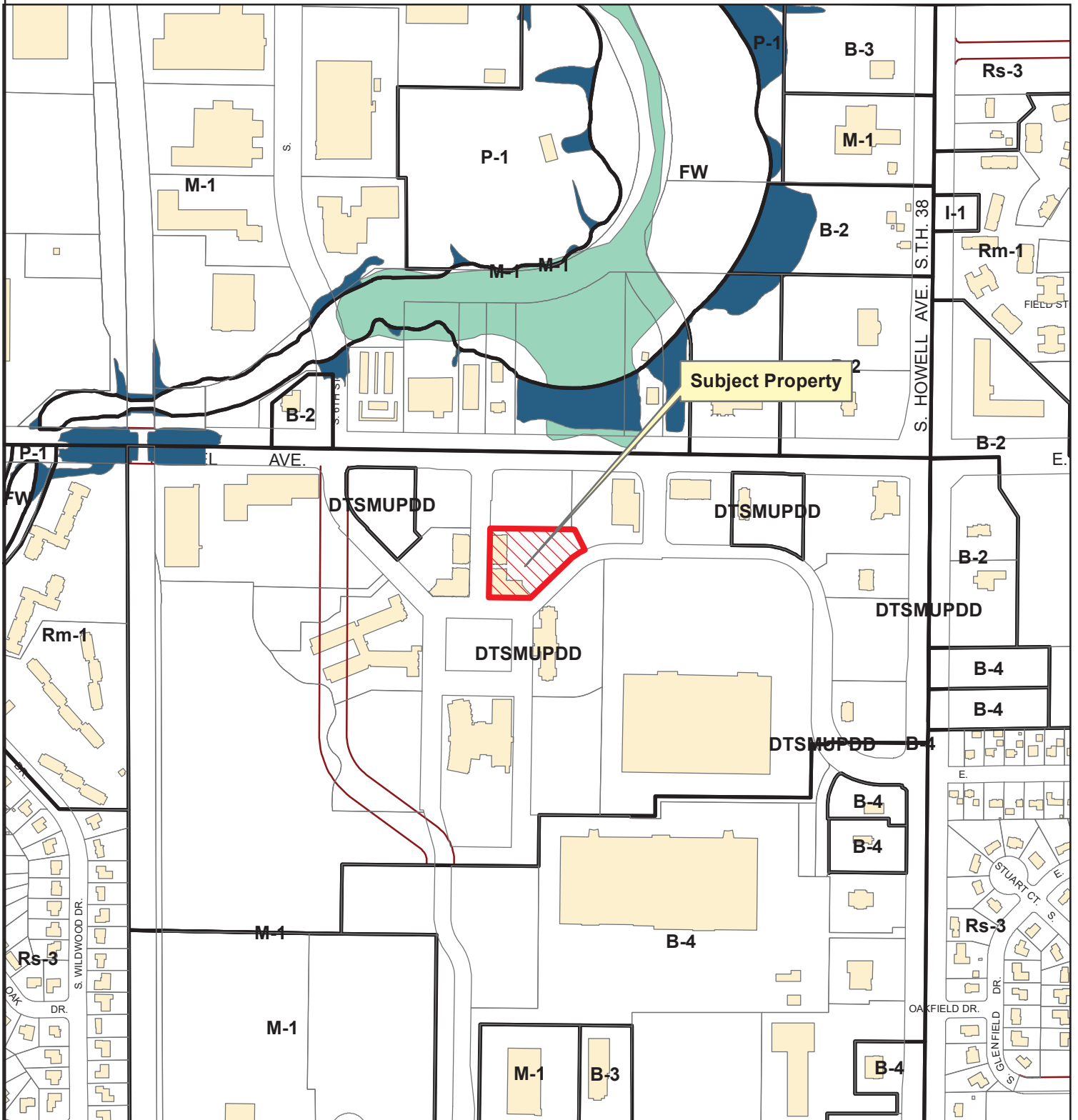
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

7966 S. Main St.



This map is not a survey of the actual boundary of any property this map depicts.



Legend	
	7966 S. Main St.
	C-1-Shoreland Wetland
	FF-Flood Fringe
	Lakefront Overlay
	NO-Mixed Use Neighborhood
	OO-Mixed Use Office
	RR-Regional Retail

Barre District - East Elevation Facade Lettering



DOOR GLASS

Opaque Vinyl Films
Royal Purple
and Pyrite Metallic

Translucent
backer Dusted Crystal

Please use West
Entrance 
www.barredistrict.com



Window Area: 26 sq.ft. (75.5" x 49.5" wide)
10% per DTS Criteria is 2.6 sq.ft.
Window Logo Area: 2.5 sq.ft.

19" Opaque Vinyl Films
White, Komatsu Gray,
and Pyrite Metallic

Door Glass Area - 14 square feet (80.5" x 24.5" wide)
10% per DTS Criteria is 1.4 square feet
Web / Phone - 1.4 sq.ft.

Please use West
Entrance 
www.barredistrict.com

8" h x 24.5" w (overall)

Approved by:

Date

Changes

Client Barre District - 7966 S. Main Street Oak Creek, WI 53154		Scale 1/40	Sign Specifications 2nd Surface Application - Interior Oracal Series 751 High Performance Opaque Vinyl Film 3M Series 7725 Opaque Vinyl Film 3M Dusted Crystal	Colors - Dusted Crystal 7725SE-314 - 720 Komatsu Gray Oracal - 926 Pyrite Metallic - 7725-38 Royal Purple 3M	 <p>1405 16th Street, Suite 4272 Racine, WI 53403 262-770-4861 www.digitalsigns.com</p> <p><small>NOTICE: The ideas and designs contained in this original and unpublished drawing are the sole property of Dig-It All Sign Company, LLC, and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.</small></p>
Date: 04-07-2017	Rev # 2	Date of Rev # 04 - 22 - 2017	Drawing # 1		
Electrical Requirements 120 <input type="checkbox"/> 277 <input type="checkbox"/>	Designer JP	Salesman CS			

NOTE: DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK INVOLVED IN THIS PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH TO THE ACTUAL FINISH PAINTED PRODUCT.

CITY OF OAK CREEK

JUN 22 2017

RECEIVED

Barre District - Raceway Mounted Facade Channel Letters

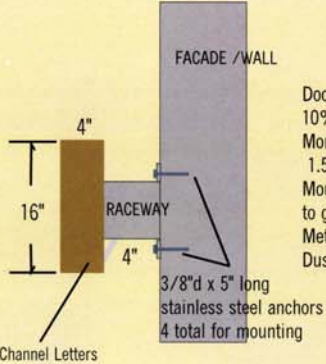
Two piece construction with raceway. BARRE, DISTRICT face lit Pan Channel Lettering fixed to raceway; mounted to wall with 4 penetrations. Letters populated with GE mini White LEDs. Optical Eye and Service Switch.

DAYTIME
BARREDISTRICT

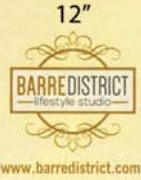
NIGHT
BARREDISTRICT



SIDE VIEW



Door glass area is 15 sq.ft., 10% allows 1.5 sq.ft. for graphics. Monogram logo is 12" x 18" overall 1.5 sq.ft. with website. Mounted 2nd surface to glass interior, Pyrite Metallic, Komatsu Gray, Dusted Crystal.



Lot Frontage - 38 feet / Max Sign Area per City of Milwaukee Ordinance - 38 sq.ft.
 Max Sign Area per Drexel Town Square Business Complex: 35 sq.ft.
 Copy Size: 16" x 93" wide / Sign Area - 10.3 square feet

16" **BARRE**DISTRICT
 93"

Approved by:

Date

Changes

Client Barre District - 7966 S. Main Street Oak Creek, WI 53154	Scale 1/80	Sign Specifications Face Lit Channel Letters Fully Contained White LED internal illumination Raceway mounted with 4 penetrations 3/8" d x 5" long Stainless Steel Anchor Mounting	Colors - 3M Gold Nugget Translucent (BARRE) - Black Perforated Translucent Day/Night Glow (DISTRICT) *glows white at night - Raceway painted Sherwin Williams 7526 Maison Blanche - Dusted Crystal, Pyrite Metallic, Komatsu Gray
Date: 04-06-2017	Rev # 3	Date of Rev # 06-14-2017	
Electrical Requirements 120 <input type="checkbox"/> 277 <input type="checkbox"/>	Designer JP	Salesman CS	

DIG-IT ALL
 SIGNS Providing Architectural and Commercial Signs in the Greater Milwaukee Area and SE Wisconsin
 1405 16th Street, Suite 4272
 Racine, WI 53403
 262-770-4861 www.digitalsigns.com

NOTICE: The ideas and designs contained in this original and unpublished drawing are the sole property of Dig-it all Sign Company, LLC, and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.

NOTE: DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK INVOLVED IN THIS PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH TO THE ACTUAL FINISH PAINTED PRODUCT.

CITY OF OAK CREEK
 JUN 22 2017
 RECEIVED



Plan Commission Report

ITEM: 6g
DATE: July 25, 2017

PROJECT: Certified Survey Map – St. Matthew’s Congregation

ADDRESSES: 9261, 9303, 9329, and 9348R S. Chicago Rd.

TAX KEY NOS: 869-9973-000, 869-9972-002, 869-9971-000, and 870-9978-002

STAFF RECOMMENDATION: That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by St. Matthew Congregation for the properties at 9261, 9303, 9329, and 9348R S. Chicago Rd. be approved, with the following conditions:

1. That all easements are shown and clearly labeled on the map prior to recording.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Ownership: St. Matthew’s Congregation, 9303 S. Chicago Rd., Oak Creek, WI 53154

Size: Lot 1 = 11.55 acres; Lot 2 = 0.378 ac (16,468 sf)

Existing Zoning: Rs-3, Single Family Residential; I-1, Institutional; Rs-2, Single Family Residential

Adjacent Zoning:

North – Rs-3, Single Family Residential; I-1, Institutional

East – Rs-4, Single Family Residential; P-1, Park District; B-2 (CCU), Community Business; Rs-3, Single Family Residential; I-1, Institutional

South – I-1, Institutional; Rs-3, Single Family Residential; Rs-2, Single Family Residential

West – Rs-3, Single Family Residential; Rs-2, Single Family Residential

Comprehensive Plan: Single Family Residential; Institutional

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting approval of a Certified Survey Map (CSM) for the properties at 9261, 9303, 9329, and 9348R S. Chicago Rd. Two actions are being accomplished in the proposal:

1. Divide a portion of the existing single-family residential property to the west of the existing home to be combined with the larger church property to the south.
2. Consolidate all institutional uses (church, cemetery, school) on one lot.

Both lots will be of conforming size once reconfigured. The existing utility easement along Chicago Road must be shown on the map prior to recording (the Applicant has been made aware of the requirement).

Prepared by:

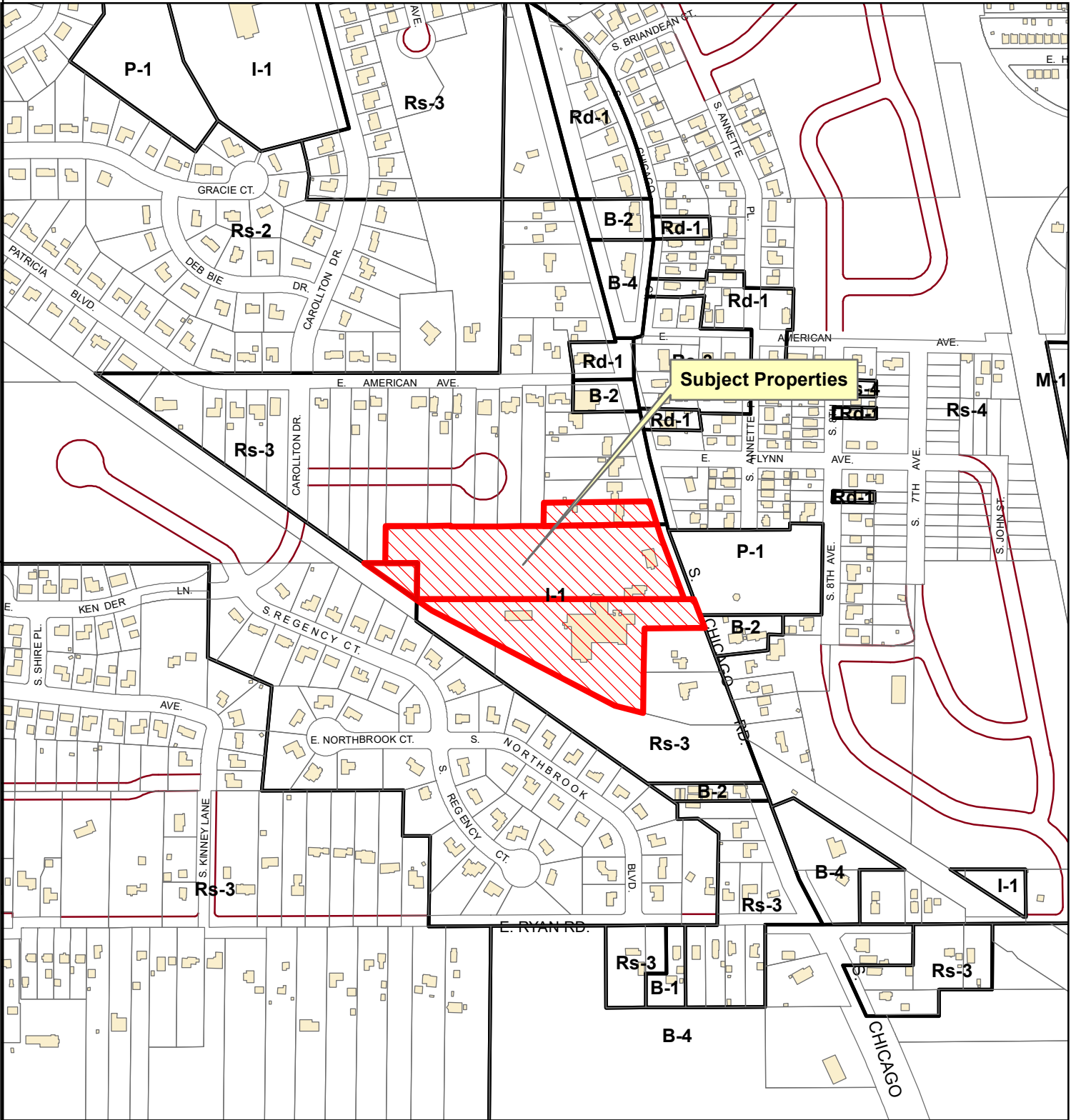
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

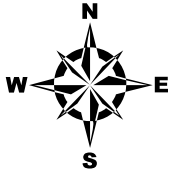
Location Map

9303, 9261, 9329, 9348R S. Chicago Dr.



This map is not a survey of the actual boundary of any property this map depicts.

OAKCREEK
— WISCONSIN —
Department of Community Development



Legend				Zoning Overlays	
	9348R Regency Dr.		9329 S. Chicago Rd.		C-1-Shoreland Wetland
	9261 S. Chicago Rd.		9261 S. Chicago Rd.		FF-Flood Fringe
	9303 S. Chicago Rd.				Lakefront Overlay
					NO-Mixed Use Neighborhood
					OO-Mixed Use Office
					RR-Regional Retail

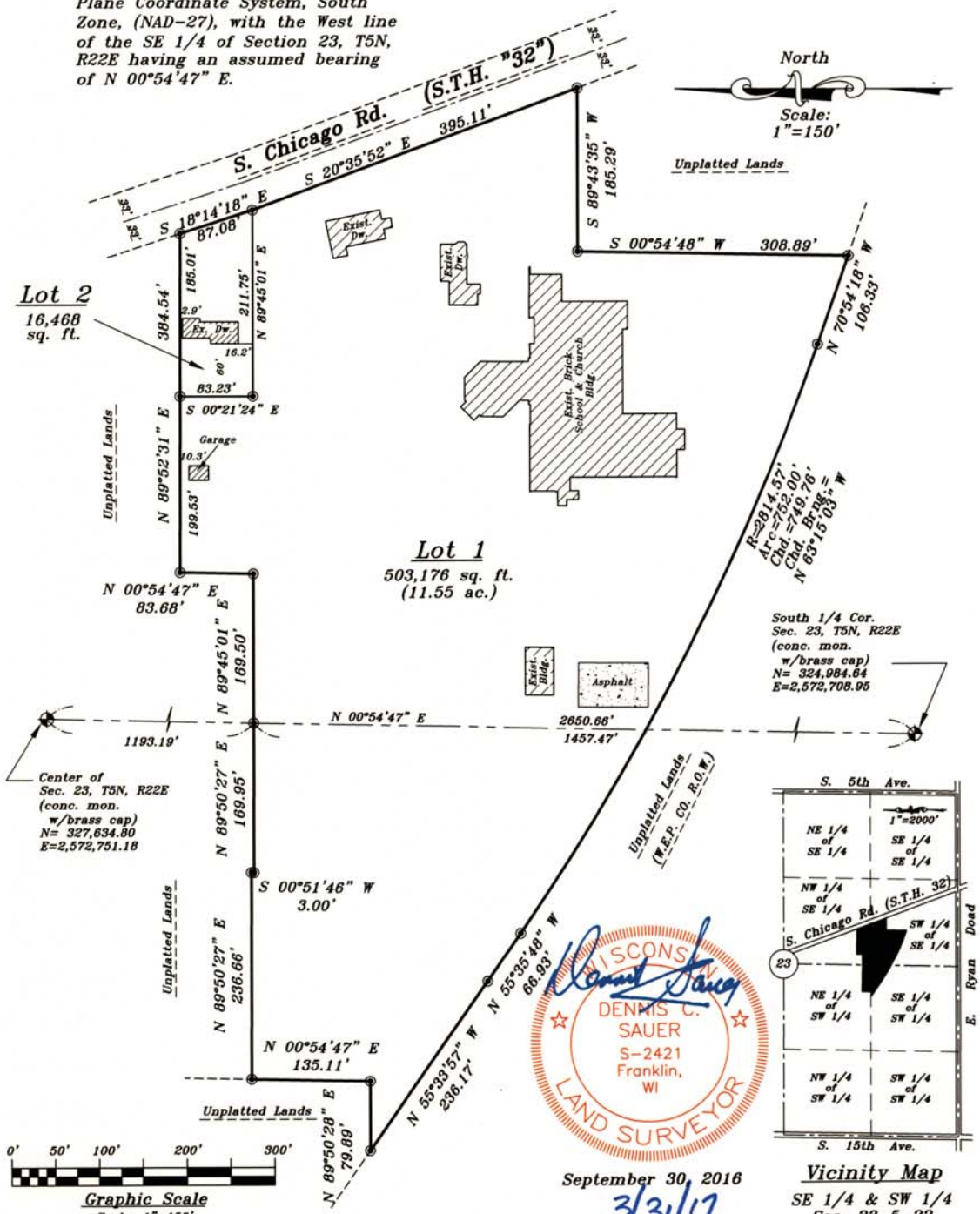
CERTIFIED SURVEY MAP NO. _____

Being a part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 23, Town 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

Notes:

⊙ - Denotes 1"x24" iron pipe set, 1.13 lbs. per lin. ft.

Map bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone, (NAD-27), with the West line of the SE 1/4 of Section 23, T5N, R22E having an assumed bearing of N 00°54'47" E.



September 30, 2016



September 30, 2016
3/31/17
6/12/17

CERTIFIED SURVEY MAP NO. _____

Being a part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 23, Town 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

I, Dennis C. Sauer, Professional Land Surveyor, do hereby certify:


That I have surveyed, divided and mapped a part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 23, Town 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin; bounded & described as follows: Commencing at the South 1/4 corner of said Section 23; thence N 00°54'47" E along the North-South 1/4 line of said Section 23, 1,457.47 feet to the point of beginning of the lands to be described; thence N 89°45'01" E, 169.50 feet to a point; thence N 00°54'47" E, 83.68 feet to a point; thence N 89°52'31" E, 384.54 feet to a point on the West line of South Chicago Road, (S.T.H. 32); thence S 18°14'18" E along said West line, 87.08 feet to a point; thence S 20°35'52" E along said West line, 395.11 feet to a point; thence S 89°43'35" W, 185.29 feet to a point; thence S 00°54'48" W, 308.89 feet to a point; thence N 70°54'18" W, 106.33 feet to a point; thence Northwesterly 752.00 feet along the arc of a curve whose center is to the Northeast, whose radius is 2,814.57 feet, and whose chord bears N 63°15'03" W, 749.76 feet; thence N 55°35'48" W, 66.93 feet to a point; thence N 55°33'57" W, 236.17 feet to a point; thence N 89°50'28" E, 79.89 feet to a point; thence N 00°54'47" E, 135.11 feet to a point; thence N 89°50'27" E, 236.66 feet to a point; thence S 00°51'46" W, 3.00 feet to a point; thence N 89°50'27" E, 169.95 feet to the point of beginning. Said lands containing 519,644 square feet. (11.93 acres)

That I have made such survey, land division and map by the direction of St Matthews Parish, owner of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and Chapter 14 of the Municipal Code of the City of Oak Creek in surveying, dividing and mapping the same.

SEPTEMBER 30, 2016
Date 3/31/17
6/12/17


Dennis C. Sauer
Professional Land Surveyor S-2421



PREPARED FOR:
St Matthews Parish
9303 S Chicago Rd
Oak Creek, WI 53154

PREPARED BY: Dennis C Sauer
Metropolitan Survey Service
9415 W Forest Home Ave, #202
Hales Corners, WI 53130

CERTIFIED SURVEY MAP NO. _____

Being a part of the Northwest 1/4 and Southwest 1/4 of the Southeast 1/4 and Northeast 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 23, Town 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE OF DEDICATION

We, St Matthews Parish, as owner, do hereby certify that we have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the provisions of Chapter 236.34 of the Wisconsin State Statutes and Chapter 14 of the Municipal Code of the City of Oak Creek.

WITNESS the hand and seal of said owners this 27 day of June, 2017.

Michael Knick Trustee Treasurer

, Managing Member

STATE OF WISCONSIN)
MILWAUKEE COUNTY) SS

PERSONALLY came before me this 27 day of June, 2017,
Managing Member, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Nicholas B Jacobs
Notary Public-State of Wisconsin
My Commission Expires: 2/21/2020

PLAN COMMISSION APPROVAL

APPROVED by the Plan Commission of the City of Oak Creek on this _____ day of _____, 20__.

Stephen Scaffidi, Chairman
City of Oak Creek

Douglas W. Seymour, Secretary
City of Oak Creek

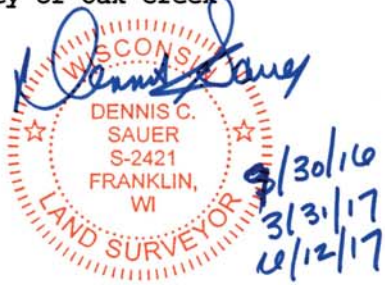
COMMON COUNCIL APPROVAL

APPROVED and Dedication Accepted by the Common Council of the City of Oak Creek on this _____ day of _____, 20__, by Resolution No. _____.

Stephen Scaffidi, Mayor
City of Oak Creek

Catherine A. Roeske, City Clerk
City of Oak Creek

THIS INSTRUMENT WAS DRAFTED BY:
Dennis C. Sauer, P.L.S. S-2421





Plan Commission Report

ITEM: 6h

DATE: July 25, 2017

PROJECT: Rezone – St. Matthew’s Congregation

ADDRESSES: 9261 (portion) and 9348R S. Chicago Rd.

TAX KEY NOS: 869-9973-000 and 870-9978-002

STAFF RECOMMENDATION: That the Plan Commission recommends to the Common Council that a portion of the property at 9261 and 9348R S. Chicago Rd. be rezoned from Rs-3, Single Family Residential and Rs-2, Single Family Residential to I-1, Institutional after a public hearing.

Ownership: St. Matthew’s Congregation, 9303 S. Chicago Rd., Oak Creek, WI 53154

Size: Lot 1 = 11.55 acres; Lot 2 = 0.378 ac (16,468 sf)

Existing Zoning: Rs-3, Single Family Residential; I-1, Institutional; Rs-2, Single Family Residential

Adjacent Zoning:
North – Rs-3, Single Family Residential; I-1, Institutional
East – Rs-4, Single Family Residential; P-1, Park District; B-2 (CCU), Community Business; Rs-3, Single Family Residential; I-1, Institutional
South – I-1, Institutional; Rs-3, Single Family Residential; Rs-2, Single Family Residential
West – Rs-3, Single Family Residential; Rs-2, Single Family Residential

Comprehensive Plan: Single Family Residential; Institutional

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting that a portion of the property at 9261 and 9348R S. Chicago Rd. be rezoned from Rs-3, Single Family Residential and Rs-2, Single Family Residential to I-1, Institutional district. As reviewed in the previous agenda item, these properties are currently owned by St. Matthew and were proposed to be combined via the CSM process. Future use of the property will be related to the existing religious and educational uses, including a possible expansion of the parking lot and/or cemetery. Rezoning the properties to I-1 recognizes the existing and continued use for institutional purposes.

Should the Plan Commission determine that the proposed request to rezone the properties to I-1, Institutional is appropriate, a motion recommending Council approval is provided above.

Prepared by:

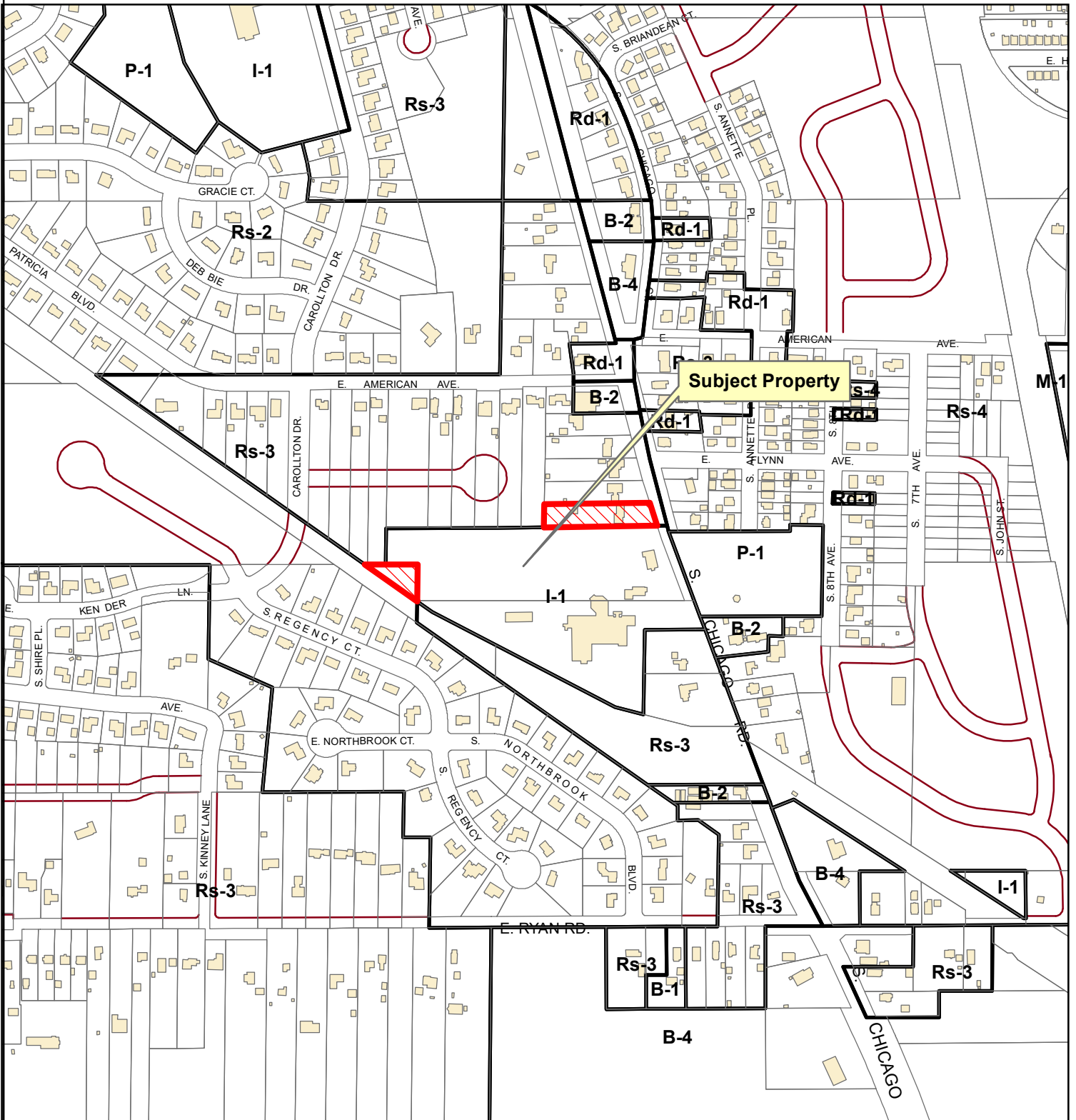
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

Location Map

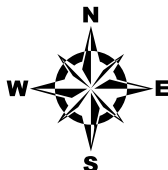
9261 & 9348R S. Chicago Rd.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend		Zoning Overlays	
	9348R S. Chicago Rd.		9261 S. Chicago Rd.
	C-1-Shoreland Wetland		FF-Flood Fringe
	Lakefront Overlay		NO-Mixed Use Neighborhood
	OO-Mixed Use Office		RR-Regional Retail



Plan Commission Report

ITEM: 6i
DATE: July 25, 2017

PROJECT: Plan Review – Katherine Kawczynski, VJS Construction Services

ADDRESS: 1321 E. Drexel Ave.

TAX KEY NO: 815-9997-000

STAFF RECOMMENDATION: That the Plan Commission approves the site and building plans submitted by Katherine Kawczynski, VJS Construction Services, for the property at 1321 E. Drexel Ave. with the following conditions:

1. That all building and fire codes are met.
2. Masonry material shall be installed on the exterior of the first floor. All masonry/stone shall be installed in conformance with the minimum 4-inch thick requirement per Code.
3. That all final plans (site, building, lighting, etc.) are submitted in digital format for review and approval by the Department of Community Development **prior to the submission of building permit applications.**
4. No structure shall be constructed on top of or near the sanitary sewer without indemnifying the Oak Creek Water and Sewer Utility and MMSD from damage caused by routine maintenance and repair operations. Siting and agreements shall be coordinated with the Oak Creek Water and Sewer Utility.
5. That all mechanical equipment (ground, building, and rooftop) is screened from view.
6. The cost for any extensions of electric or other utilities shall be borne by the Applicant.
7. That final lighting plans, if applicable, are submitted for final approval by the Electrical Inspector prior to submission of building permit applications.
8. A facility maintenance agreement between the City of Oak Creek and the Oak Creek-Franklin School District shall be executed prior to issuance of building permits. The agreement shall incorporate and clearly address City ownership, public usage, and storage allowances.

Ownership: City of Oak Creek (Abendschein Park)

Size: 40.000 ac

Existing Zoning: P-1, Park District; FW, Floodway; FF, Flood Fringe

Adjacent Zoning: North – Rs-3, Single Family Residential; A-1, Limited Agricultural; FF, Flood Fringe
 East – P-1, Park District; FW, Floodway; FF, Flood Fringe
 South – P-1, Park District; FW, Floodway; FF, Flood Fringe; Rs-3, Single Family Residential
 West – FW, Floodway; FF, Flood Fringe; Rs-3, Single Family Residential

Comprehensive Plan: Active Recreation.

Wetlands: N/A.

Floodplain: Yes (see map).

Official Map: Yes (see map).

Commentary: The Applicant is requesting site and building plan approval for a proposed 2-story scorers tower on the Abendschein Park property at 1321 E. Drexel Ave. As proposed, the location on the northeast portion of the existing ball diamond meets all setback requirements. The first floor of the scores tower will be enclosed

storage for the baseball equipment. Exterior building materials include Hardieplank (fiber cement) siding in blue, white vinyl sliding windows on all but the south elevation (non-sliding), and stone veneer on the base. Per Section 17.1009(a), stone veneer must be a minimum of 4 inches thick. Thin stone, as proposed in the plans, is not an acceptable building material. A condition of approval specifying the required thickness is recommended above consistent with all other plan reviews that propose utilizing brick or stone veneer. Additionally, Section 17.1009(a)(ii) states: "The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter...shall be finished with an acceptable glass, brick or decorative masonry material." It will be up to the Plan Commission to determine whether the use of fiber cement siding in conjunction with glass and the condition for 4-inch stone veneer fulfills this requirement.

No signage has been included in this request. Any future signage will require additional Plan Commission review and approval per Section 17.0708.

Comments from the Water and Sewer Utility were provided, stating that MMSD and Oak Creek sanitary sewer traverse the baseball field in different locations. Applicant shall not build any structure on top of or near the sanitary sewer without indemnifying the Oak Creek Water and Sewer Utility and MMSD from damage caused by routine maintenance and repair operations.

Finally, a question was raised regarding electricity for the proposed tower. No power currently exists on this side of the ball diamond. Any extension of utilities will be borne by the Applicant, and all mechanical units and utility boxes must be screened per Code.

The Parks, Recreation, and Forestry Commission has reviewed the proposal and recommended that the Plan Commission approve the baseball scorer's tower at Abendschein Community Park with the following conditions:

1. Masonry material be installed on the exterior of the first floor.
2. Maintenance agreement with the Oak Creek-Franklin School District prior to building permits being issued. The agreement should also spell out any storage concerns.

It must also be clarified and included in any approvals and agreements that, once complete, the scorers tower is owned by the City of Oak Creek and is for public use.

Staff recommends approval with the proposed conditions above.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

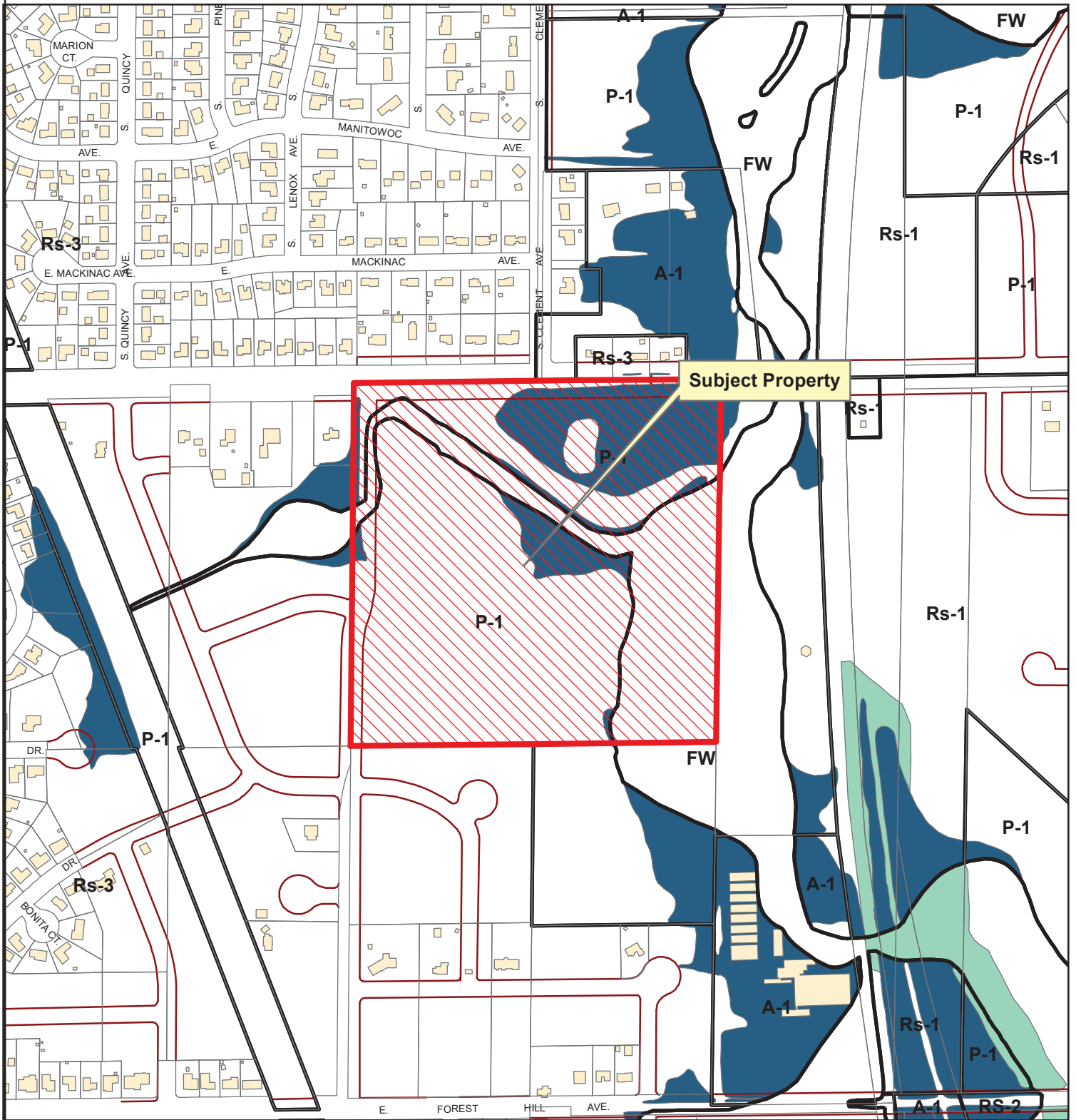
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

1321 E. Drexel Ave.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend	
	1321 E. Drexel Ave.
Zoning Overlays	
	C-1-Shoreland Wetland
	FF-Flood Fringe
	Lakefront Overlay
	NO-Mixed Use Neighborhood
	OO-Mixed Use Office
	RR-Regional Retail



Subject Property

PROPOSED FACILITY FOR:

OAK CREEK BASEBALL SCORE TOWER

ABENDSCHEIN COMMUNITY PARK
OAK CREEK, WI 53154

OWNER

OAK CREEK KNIGHTS BASEBALL

GENERAL CONTRACTOR

VJS CONSTRUCTION SERVICES
W233 N2847 ROUNDY CIRCLE WEST
PEWAUKEE, WI 53072
P: 262.542.9000
VJSCS.COM

PROJECT ARCHITECT

KATHERINE KAWCZYNSKI
VJS CONSTRUCTION SERVICES
W233 N2847 ROUNDY CIRCLE WEST
PEWAUKEE, WI 53072
P: 262.412.4269
VJSCS.COM

STRUCTURAL ENGINEER

SPIRE ENGINEERING
600 W VIRGINIA ST #102
MILWAUKEE, WI 53204
P: 414.278.9200

GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE WITH THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODES AS AMENDED BY THE APPLICABLE STATE AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE CODES.
2. GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS, ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY CONTRACTOR AND SUBCONTRACTORS.
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. THE GENERAL CONTRACTOR IS TO VERIFY EXISTENCE OF ASBESTOS-CONTAINING MATERIAL (ACM) AND IS RESPONSIBLE FOR REMOVAL OF SUBSTANCE. GENERAL CONTRACTOR REPRESENTS THAT CONTRACTOR AND ITS EMPLOYEES ARE QUALIFIED IN ASBESTOS REMOVAL WITH FULL KNOWLEDGE OF AND COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL RULES, REGULATIONS, AND GUIDELINES GOVERNING ASBESTOS REMOVAL. CONTRACTOR MUST FURNISH ALL PERMITS, LABOR, MATERIAL, SERVICES, INSURANCE, TOOLS, EQUIPMENT AND NOTIFICATIONS IN ACCORDANCE WITH EPA, OSHA, STATE, AND ALL OTHER APPLICABLE AGENCIES TO COMPLETE REMOVAL OF ACM.
4. BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS. DISCREPANCIES IN THE EXISTING FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID. FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.
5. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION/DEVELOPMENT RELATED FEES, INCLUDING BUT NOT LIMITED TO BUILDING PERMIT FEES, HEALTH DEPARTMENT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SUBJECT GUARANTEED BIDDOR WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW HE ARRIVED AT THOSE AMOUNTS.
6. GENERAL CONTRACTOR SHALL PAY FOR ALL UTILITIES, INCLUDING TELEPHONE, FAX, AND MODERN LINES USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE TENANT/FRANCHISEE TAKES OCCUPANCY.
7. GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR HIS AND HER SUBCONTRACTOR USE.
8. GENERAL CONTRACTOR SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
9. GENERAL CONTRACTORS EMPLOYEES AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.
10. OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STORED OR DAMAGED ON SITE.
11. UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY TENANT/FRANCHISEE. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS LEFT FROM CONSTRUCTION.
12. GENERAL CONTRACTOR SHALL WARRANT ALL LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
13. NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.
14. SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.
15. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.

14. MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.
17. ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.
18. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO FIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.
19. ALL WOOD TRIM OR OTHER FINE FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.
20. ALL DIMENSIONS ARE TO THE FACE OF FINISHED MATERIAL OR CENTER LINE OF THE OBJECT AS SPECIFICALLY NOTED.
21. ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.
22. ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.
23. GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF F.O.C. ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.
24. UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.
25. ALL FINISH MATERIALS TO BE PER FINISH SCHEDULE.
26. GIVE ALL SURPLUS PAINT MATERIALS TO TENANT/FRANCHISEE. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN LANDSCAPING.
27. ALL GYPSUM WALL BOARD TO BE MIN. OF 1/2" THICK AND SHALL BE SCREWED TO MIN. 2 1/2" METAL STUDS OR 1 1/2" METAL FURRING @ 24" O.C.. ALL GWS SURFACES TO BE PAINTED SHALL BE TARED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWS SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.
28. APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.
29. FIRE RESISTULATION BY WALLS (A.O.). ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRED BY CODES, OCCUPANCY AND CONDITION TYPE. ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS REQUIRED.
30. PROVIDE DRAFT FIRE STOPS AS REQUIRED BY GOVERNING CODES AND LOCAL OFFICIALS.
31. GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS BUILTS, ALL WARRANTIES AND OPERATIONAL MANUALS TO OWNER AND TENANT/FRANCHISEE WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.
32. MECHANICAL, ELECTRICAL, AND HVAC SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.
33. PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEM, AND FIRE EXTINGUISHERS FOR LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.
34. PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.
35. ALL FURNITURE, FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE TENANT/FRANCHISEE UNLESS NOTED.
36. PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS REQUIRED PER APPLICABLE CODES AND LAWS.
37. GENERAL CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL CONTROL JOINTS AS REQUIRED TO PREVENT CRACKING AND FALLURE.



PROJECT LOCATION
N.T.S.



PROPOSED FACILITY FOR:

OAK CREEK BASEBALL SCORE TOWER

OAK CREEK, WI 53154

DATE	REV	ISSUE

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF VJS CONSTRUCTION SERVICES. THE ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR THE USE OF THESE DRAWINGS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND SIGNED AND SEALED FOR SUCH PROJECT, LOCATION IN THE STATE, PROVINCE, OR TERRITORY SHOWN ON THE SEAL.

PROJECT NUMBER: ---
DATE: 05/16/2017
DRAWN BY: BDG
CHECKED BY: KAK
SCALE: N.T.S.

SHEET INDEX	
T1.01	TITLE SHEET
C1.01	SITE PLAN
A1.01	FLOOR PLAN
K&E1	EXTERIOR ELEVATIONS
6	

TITLE SHEET

T1.01



② KEY PLAN
N.T.S.



① SITE PLAN
1/16" = 1'-0"

PROPOSED FACILITY FOR:

**OAK CREEK
 BASEBALL
 SCORE TOWER**

OAK CREEK, WI 53154

DATE	REV	ISSUE

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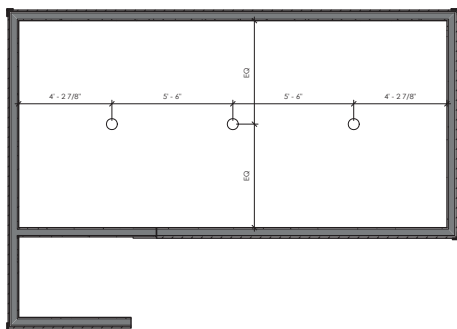
PROJECT NUMBER: ---
 DATE: 05/16/2017
 DRAWN BY: BDC
 CHECKED BY: KAK
 SCALE: As indicated

SITE PLAN
C1.01

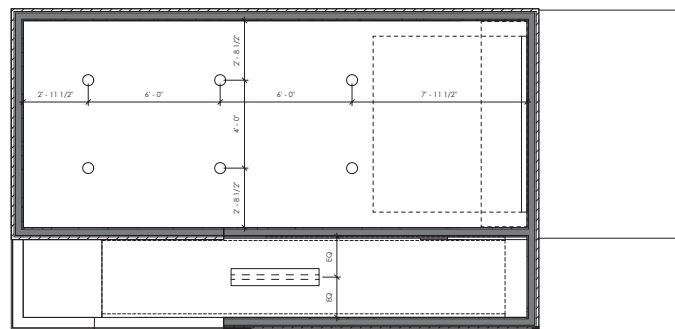
PROPOSED FACILITY FOR:

**OAK CREEK
BASEBALL
SCORE TOWER**

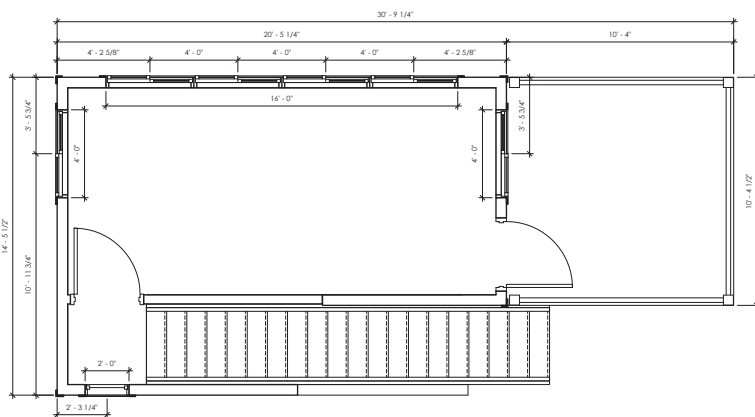
OAK CREEK, WI 53154



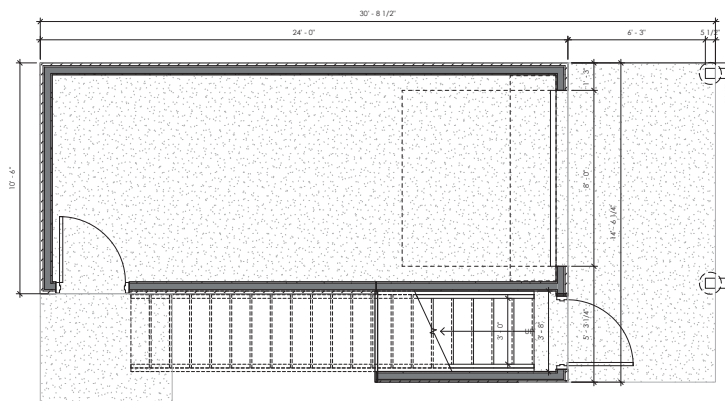
4 SECOND FLOOR REFLECTED CEILING PLAN
3/8" = 1'-0"



3 FIRST FLOOR REFLECTED CEILING PLAN
3/8" = 1'-0"



2 SECOND FLOOR PLAN
3/8" = 1'-0"



1 FLOOR PLAN
3/8" = 1'-0"

DATE	REV	ISSUE

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PROJECT NUMBER: —
DATE: 05/16/2017
DRAWN BY: BDG
CHECKED BY: KAK
SCALE: 3/8" = 1'-0"

FLOOR PLAN

A1.01

PROPOSED FACILITY FOR:

**OAK CREEK
 BASEBALL
 SCORE TOWER**

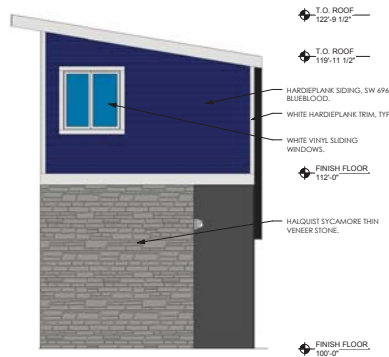
OAK CREEK, WI 53154



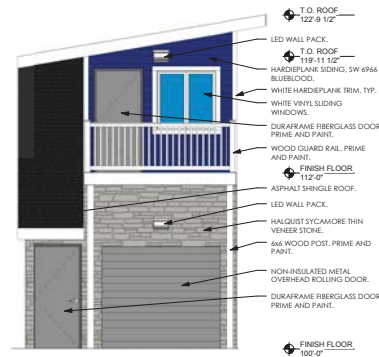
② PERSPECTIVE 02



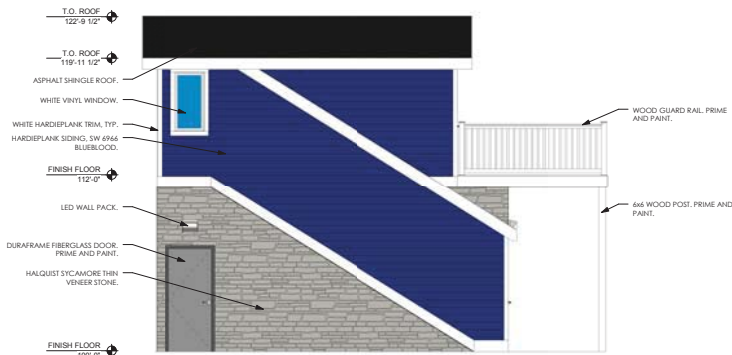
③ PERSPECTIVE 01



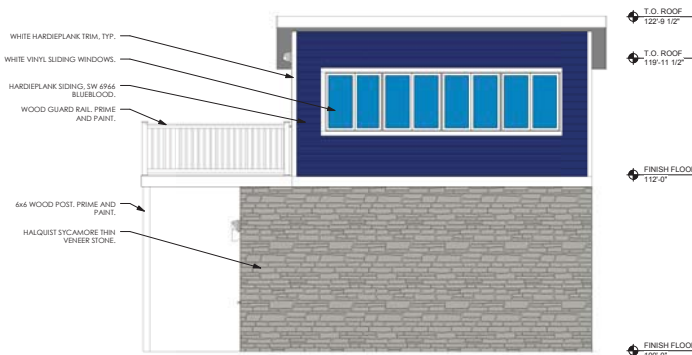
④ WEST ELEVATION
 1/4" = 1'-0"



③ EAST ELEVATION
 1/4" = 1'-0"



② SOUTH ELEVATION
 1/4" = 1'-0"



① NORTH ELEVATION
 1/4" = 1'-0"

DATE	REV	ISSUE

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PROJECT NUMBER: ---
 DATE: 05/16/2017
 DRAWN BY: BDC
 CHECKED BY: KAK
 SCALE: 1/4" = 1'-0"

**EXTERIOR
 ELEVATIONS**

A4.01



Plan Commission Report

ITEM: 6j

DATE: July 25, 2017

PROJECT: Preliminary Plat – Creekside Meadows (to be renamed East Brooke Village) – Mike Kaerek, The Orchard of Mukwonago, LLC

ADDRESS: 9349 S. Nicholson Rd. & 1200 E. Ryan Rd.

TAX KEY NO: 873-9998-002 & 873-9006-006

STAFF RECOMMENDATION: That the Plan Commission approves the Preliminary Plat for the Creekside Meadows (to be renamed East Brooke Village) submitted by Mike Kaerek, The Orchard of Mukwonago, LLC, for the properties at 9349 S. Nicholson Rd. & 1200 E. Ryan Rd., with the following conditions:

1. That all revisions to the plat – subdivision name, street names, easement widths, notations, etc. – are submitted to the Department of Community Development prior to submission of permit applications and commencement of work.
2. That all required Development and Stormwater Agreements and Land Use Permits are coordinated with the Engineering Department.
3. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.
4. That all reviewing agency comments, if any, are incorporated as required.

Ownership: Mark Verhalen / Kim Verhalen, 1200 E. Ryan Rd., Oak Creek, WI 53154

Size: 37.527 acres & 22.432 acres

Existing Zoning: Rs-3, Single Family Residential; FW, Floodway; FF, Flood Fringe

Adjacent Zoning: North – Rs-3, Single Family Residential; FW, Floodway; FF, Flood Fringe; P-1, Park District
 East – Rs-3, Single Family Residential; FF, Flood Fringe; A-1, Limited Agricultural; C-1, Shoreland Wetland Conservancy
 South – Rs-3, Single Family Residential; FW, Floodway; FF, Flood Fringe; P-1, Park District; C-1, Shoreland Wetland Conservancy
 West – FW, Floodway; FF, Flood Fringe; I-1, Institutional; P-1, Park District; Rs-3, Single Family Residential

Comprehensive Plan: Single Family Residential; Limited Development Area; Resource Protection Area.

Wetlands: Yes, see map.

Floodplain: Yes, see map.

Official Map: Yes, throughout properties (all roads).

Commentary: The Applicant is requesting approval of a Preliminary Subdivision Plat for the properties at 9349 S. Nicholson Rd. & 1200 E. Ryan Rd. It should be noted that while the Preliminary Plat shows a subdivision name of Creekside Meadows, the final name has been changed to East Brooke Village per input from City staff. This will be reflected on the Final Plat.

The subdivision will be developed in phases as shown on the plat. Phase 1 contains 32 single-family residential lots ranging in size from 12,150 square feet to 21,297 square feet (with the existing house); Phase 2 contains 37 new single-family residential lots ranging in size from 12,000 square feet to 25,000 square feet. A note will be added to the plat clarifying the buildings to be removed (all except the home on Lot 13).

Outlot 1 contains the larger stormwater infrastructure, wetlands, and floodway/floodplain areas. Outlots 5 and 7 in Phase 1 and Outlot 6 in Phase 2 may be converted to building lots in the future following FEMA approval. Outlot 3 currently contains wetlands. Outlots 2 and 4 in Phase 2 will provide additional stormwater infrastructure.

Drainage easements between lots are shown throughout the subdivision, all of which will be 25-foot wide (not 75 feet as labeled). The drainage easement on the north side of Lots 48-51 will be private, rather than dedicated to the City.

New internal public road connections are proposed to be named in coordination with staff at a later date. Sidewalks are required on the east side and south side of Road "B" south side of Road "A," and on the north side of Golden Lane. Staff has recommend landscape planter islands in cul-de-sacs to be Outlots maintained by the Homeowners Association. Development and stormwater agreements, as well as a Land Use Permit, will be required. The Applicant is aware of such requirements.

Per the Water and Sewer Utility, the sanitary sewer at the northwest portion of the site does not appear to be sufficiently deep to head east to the sanitary main in Nicholson without hung sewers. Staff has suggested standard depth gravity flow pipe from the northwest side heading south to the MIS connection in Ryan Road. The Applicant's consultant has been made aware of this and will work with the Water and Sewer Utility to address the issue.

The City Forester has provided the following comments:

1. If curb and gutter are installed, street trees will be required. Forestry security deposit roughly calculated at every 55 feet once hardscapes are considered.
2. Concerns regarding wooded segments of creek in close proximity to homes. Easement vs. right of way designation will determine the liability for upkeep of vegetation. Households that border streams with backyards that begin to join or encroach into natural areas will be a risk for dead Ash and Elm trees growing in creekside environs. We should have a discussion about this difficult to access terrain and whether Ash/Elm trees could be removed by developer, prior to development.
3. Grass islands in cul-de-sacs, while providing a place for snow in winter, can be an enhancing attribute to the neighborhood landscape, especially when a tree or trees are the focal point.

The properties are affected by future streets as indicated on the Official Map for this area. Typically, the recording of a plat would serve to amend the Official Map with the new street pattern, provided that the proposed changes would not affect any external properties. In this case, there are two different property owners that are provided access (and potentially the ability to subdivide) under the existing Official Map. This future access would be eliminated under the proposed subdivision plat. Unless there is written concurrence from these property owners that they do not object to this new proposed street pattern, an amendment to the Official Map will be required.

This preliminary plat is adjacent to the main branch of the Oak Creek. The current Official Map actually illustrates a portion of these (private) properties as future park land. Chapter 14.40(a) of the Municipal Code (dealing with Subdivision and Platting) states:

No person shall divide any land located within the jurisdictional limits of these regulations which results in a subdivision, land division, land conveyance, consolidation, or a replat as defined herein; no such subdivision, land division, land conveyance, consolidation, or replat shall be entitled to recording; and no street shall be laid out, nor improvements made to land, nor building permits issued for any land division without compliance with all requirements of this Chapter and the following:

- (7) *The City of Oak Creek Comprehensive Plan and Official Map, or components thereof:*
- a. *Whenever a parcel to be subdivided embraces any part of a street, highway or greenway designated in said Comprehensive Plan or Official Map, such part of such proposed public way shall be platted and dedicated by the subdivider in the location and at a width indicated along with all other streets in the subdivision.*

Pursuant to the Municipal Code, the City has the ability to require that the portion of the Oak Creek within the boundaries of this preliminary plat be dedicated, rather than being placed in an easement as currently illustrated. Past practice for subdivision plats under similar circumstances has varied. The plat for the Glen Crossing subdivision dedicated the lands adjacent to the Oak Creek. The subdivision plat for Riverview Estates placed it within an outlot owned by the Homeowners Association, as is the proposal in this instance.

It will be up to the Plan Commission to determine whether there will be any conditions incorporating the above items.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

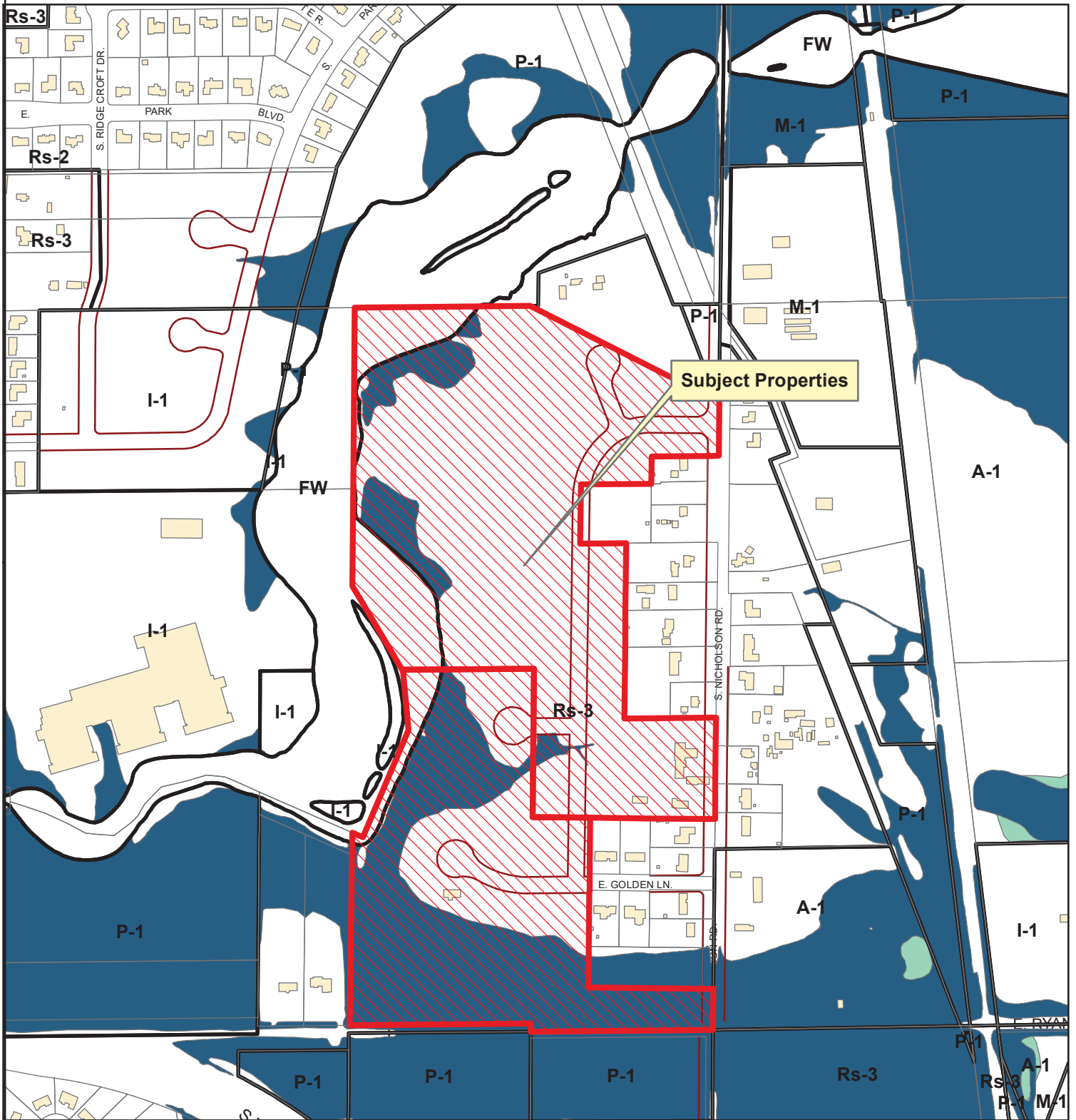
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

9349 S. Nicholson Rd. & 1200 E. Ryan Rd.



This map is not a survey of the actual boundary of any property this map depicts.

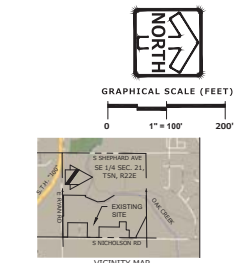
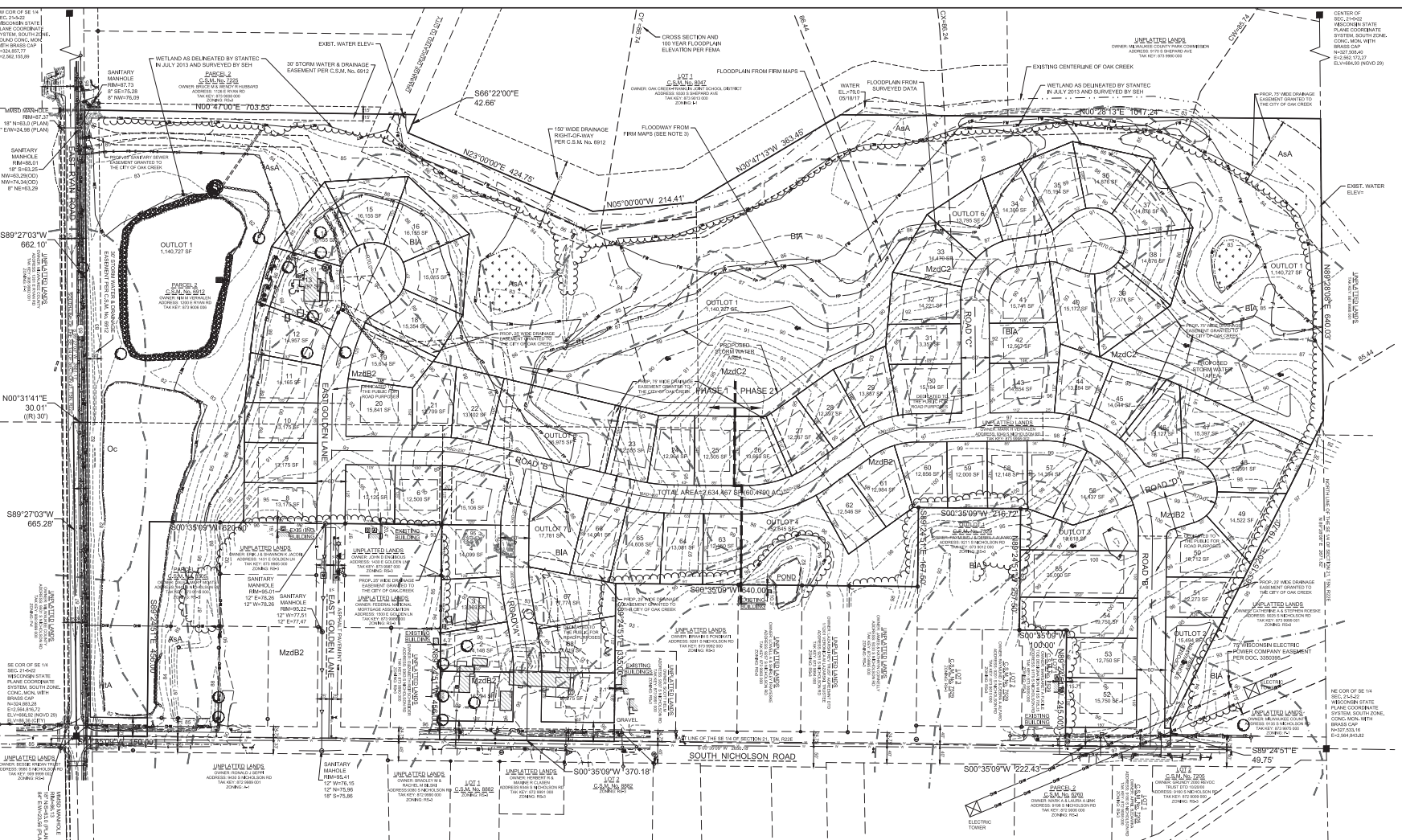


Department of Community Development



Legend	
	9349 S. Nicholson Rd. & 1200 E. Ryan Rd.
Zoning Overlays	
	C-1-Shoreland Wetland
	FF-Flood Fringe
	Lakefront Overlay
	NO-Mixed Use Neighborhood
	OO-Mixed Use Office
	RR-Regional Retail

THESE PLANS AND DESIGN ARE THE PROPERTY OF PINNACLE ENGINEERING GROUP, LLC AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC.



REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 21, T5N, R22E, WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF SOUTH 89°27'03" WEST PER THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

REFERENCE BENCHMARK: 86.36 (CITY DATUM) TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 21, T5N, R22E (ADD 880.56 TO NGVD 29).

SOIL TYPES:
 A5A - Ashum silty clay loam (C/D - hydric)
 B1A - Bloom silty loam (C/D - hydric inclusions)
 H1A - Houghton muck (C/D - hydric)
 MzB2 - Morley silt loam (C)
 MzC2 - Morley silt loam (C)
 Oc - Ogden muck (C/D - hydric)

APPLICANT/DEVELOPER:
 THE ORCHARD OF MIKOWONO LLC
 ATTN: MIKE KAEREK / WOLF KORNDORFER
 11600 W. LINCOLN AVE
 WEST ALLIS, WI. 53227
 (414) 321-8622

PROJECT ENGINEER/SURVEYOR:
 ANTHONY S. ZANON, P.E.
 JOHN P. KONOPACKI, P.L.S.
 PINNACLE ENGINEERING GROUP
 15850 W. BLUEMOUND ROAD, SUITE 210
 BROOKFIELD, WI 53005
 (262) 754-8888
 tony.zanon@pinnacle-engr.com

Land Description (Per First American Title Insurance Co. File No. 77517-1993 with an effective date of April 3, 2017).
 Parcel 1:
 That part of the Southeast 1/4 of Section 21, Township 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin, described as follows: Commencing at the Southeast corner of the Southeast 1/4 of Section 21, Township 5 North, Range 22 East, thence West, 665.24 feet, thence North, 1325.98 feet, thence West, 400.86 feet, thence Northwesterly, 300 feet, thence North, 1017.20 feet, thence East along the North 1/4 Section line, 640.03 feet, thence Southeastwly, 720 feet East to railroad right-of-way, thence Southeastwly to the East 1/4 Section line, thence South, 185.03 feet, thence West, 245 feet, thence South, 100 feet, thence West, 252.50 feet, thence South, 216.72 feet, thence East, 187.53 feet, thence South, 640 feet, thence East, 335 feet, thence South, 303.90 feet, thence West, 466 feet, thence South, 470 feet, thence East, 466 feet, thence South, 300 feet to the beginning. EXCEPTING THEREFROM that portion contained in Out Claim Deed recorded on October 30, 2008 as Document No. 988602 and as corrected in Out Claim Deed recorded on July 19, 2010 as Document No. 1031851. FURTHER EXCEPTING THEREFROM Certified Survey Map No. 8488 and Certified Survey Map No. 8552. Address: 9349 South Nicholson Road. Tax Key No. 873-9988-002.

Parcel 2:
 Certified Survey Map No. 6912, being a part of the Northeast, Southeast and Southwest 1/4 of the Southeast 1/4 of Section 21, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, State of Wisconsin, recorded on January 5, 2007 as Document No. 8007497. EXCEPTING THEREFROM that portion conveyed to Oak Creek - Franklin Joint School District recorded on May 30, 2007 as Document No. 9433958 which is now known as Certified Survey Map No. 8647. ALSO, all part of the Southeast 1/4 of Section 21, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, State of Wisconsin, bounded and described as follows: Commencing at the Southeast corner of said Southeast 1/4, thence South 87° 27' 03" West along the South line of said 1/4 Section, 156.29 feet, thence East, 80' 31" 41" East along the East line of Certified Survey Map No. 6912, 783.18 feet, thence South 89° 24' 51" East, 209.94 feet, thence South 00° 30' 00" West, 470.00 feet, thence South 89° 24' 51" East, 458.00 feet, thence East of said Southeast 1/4 Section, thence South 00° 30' 00" West along said East line, 300.00 feet to the point of beginning. EXCEPTING THEREFROM THOSE PORTIONS known as Certified Survey Map No. 8552 and Certified Survey Map No. 8488. Address: 1200 East Ryan Road. Tax Key No. 873-9908-000.

I, John P. Konopacki, Professional Land Surveyor, hereby certify that this survey map is correct to the best of my knowledge and belief with the information provided and complies with requirements of Chapter A-E 7 s. 35.93 of the Wisconsin State Statutes.

SIGNED: *John P. Konopacki*
 JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461
 DATED THIS 27th DAY OF JUNE, 2017



SITE AREA	
Single Family Residential =	23.33 acres
Wetland =	18.70 acres
Storm Water =	1.00 acres
Area in R22E =	7.89 acres
Total Area =	49.92 acres
Proposed number of units (800) =	88
Site density =	1.14 units/acre
Total proposed street length =	4,303.17 feet
1. Corridor Lane =	632.17 feet
Road A =	2,013.01 feet
Road B =	668.19 feet
Road C =	133.17 feet
Complete/Partial Plan Land Use Designations =	12,000 sq ft
Minimum Lot Size =	84,100 sq ft and 80 parking
Average lot size =	15,718 sq ft

- NOTES:
- WETLAND AS DELINEATED BY STANTEC IN JULY 2013 AND SURVEYED BY SEH. PRELIMINARY JURISDICTIONAL DETERMINATION BY THE US ARMY CORPS OF ENGINEERS ON OCTOBER 29, 2013.
 - FLOODPLAIN LOCATION SURVEYED BY PINNACLE ENGINEERING GROUP, LLC IN APRIL 2017. THE PROPERTY IS WITHIN ZONE AE AND 1 PER FEMA FIRM MAP COMMUNITY PANELS 55079C0169E AND 55079C0232E WITH EFFECTIVE DATES OF SEPTEMBER 26, 2008.
 - PROPERTY IS TAX KEY NUMBERS 873-9905-006 AND 873-9998-002.
 - PROPERTY IS ZONED RS-3 (FW AND FF OVERLAY). RS-3 ZONING REQUIREMENTS:
 - MIN LOT SIZE = 12,000 SF
 - MIN LOT WIDTH = 80 FEET (90 FEET CORNER LOTS)
 - MIN DEPTH = 115 FEET (90 FEET CORNER LOTS)
 - MIN FRONT STREET SETBACK = 30 FEET
 - MIN SIDE SETBACK = 10 FEET
 - MIN REAR YARD = 30 FEET

NOTE: The location and size of the underground utilities and other shown herein have been located to the best of our knowledge, but the Engineer and/or Surveyor does not guarantee that the location or the position of other not shown. Contact Diggers Hotline, Inc., etc.

CALL DIGGERS HOTLINE
 1-800-248-9033
 TOLL FREE

M.V. AREA 259-18E

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 15850 W. BLUEMOUND ROAD
 BROOKFIELD, WI 53005
 (262) 754-8888

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CITY OF OAK CREEK, MILWAUKEE CO.

PRELIMINARY PLAT		REVISIONS		SHEET	
REVISED BY	DATE	NO.	DESCRIPTION	C-1	
REVISED BY	DATE	NO.	DESCRIPTION	C-1	



GRAPHICAL SCALE (FEET)
0 1" = 100' 200'



REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 21, T5N, R22E, WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF SOUTH 89°27'03" WEST PER THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

REFERENCE BENCHMARK: 86.36 (CITY DATUM) TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 21, T5N, R22E (ADD 880.56 TO NGVD 29).

conflicts with official map

conflicts with official map

SOIL TYPES:
A/A - Ashum silty clay loam (C/D - hydric)
B/A - Bloom silty loam (C/D - hydric inductions)
H/A - Houghton muck (C/D - hydric)
MzB2 - Morley silt loam (C)
MzC2 - Morley silt loam (C)
Oc - Ogen muck (C/D - hydric)

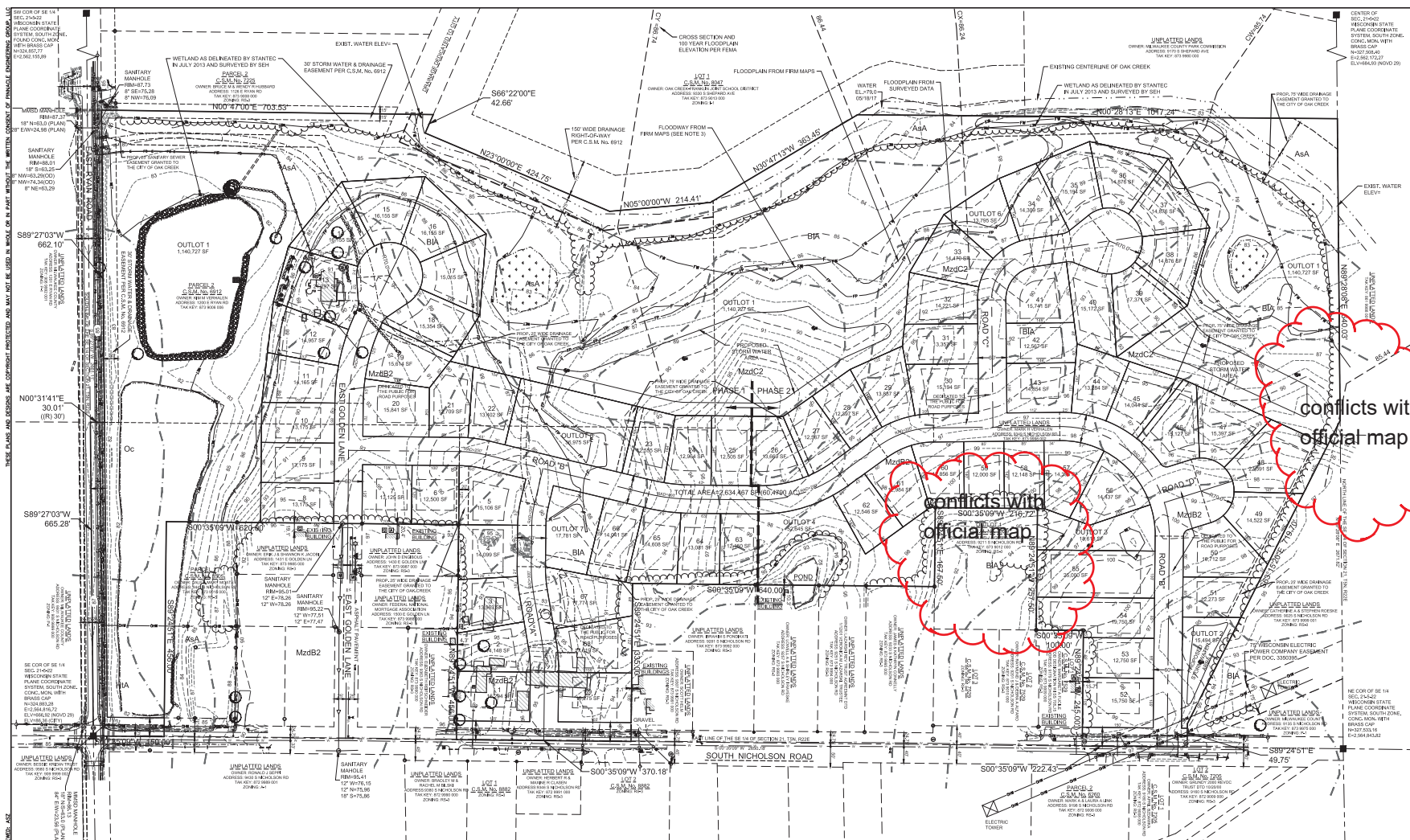
APPLICANT/DEVELOPER:
THE ORCHARD OF MIKOWONO LLC
ATTN: MIKE KAEREK / WOLF KORNDORFER
11600 W. LINCOLN AVE
WEST ALLIS, WI. 53227
(414) 321-8622

PROJECT ENGINEER/SURVEYOR:
ANTHONY S. ZANON, P.E.
JOHN P. KONOPACKI, P.L.S.
PINNACLE ENGINEERING GROUP
15850 W. BLUEMOUND ROAD, SUITE 210
BROOKFIELD, WI 53005
(262) 754-8888
tony.zanon@pinnacle-engr.com



NOTE: The position and size of the underground utilities and other shown herein have been located to the best of our knowledge and belief, but the Engineer and/or Surveyor does not guarantee their location or the position of others not shown.

CALL DIGGERS HOTLINE
1-800-246-9031
TOLL FREE
M.V. AREA 859-1818



I, John P. Konopacki, Professional Land Surveyor, hereby certify that this survey map is correct to the best of my knowledge and belief with the information provided and complies with requirements of Chapter A-E 7 s. 35.93 of the Wisconsin State Statutes.

SIGNED: *John P. Konopacki*
JOHN P. KONOPACKI, PROFESSIONAL LAND SURVEYOR S-2461
DATED THIS 27th DAY OF JUNE, 2017



SITE DATA	
Single Family Residential	23.93 acres
Wetland	18.70 acres
Storm Water	1.50 acres
Area in R22E	7.89 acres
Area in R22E	68.68 acres
Proposed number of units (MzB2)	68
Lot area (average)	1.14 acres/lot
Total proposed street length	4,300.17
1. Center Line	632.17
2. Right of Way	881.17
3. Right of Way	2,011.83
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99. Right of Way	133.17
100. Right of Way	133.17

- NOTES:
- WETLAND AS DELINEATED BY STANTEC IN JULY 2013 AND SURVEYED BY SEH. PRELIMINARY JURISDICTIONAL DETERMINATION BY THE US ARMY CORPS OF ENGINEERS ON OCTOBER 29, 2013.
 - FLOODPLAIN LOCATION SURVEYED BY PINNACLE ENGINEERING GROUP, LLC IN APRIL 2017. THE PROPERTY IS WITHIN ZONE AE AND 1 PER FEMA FIRM MAP COMMUNITY PANELS 55079C0169E AND 55079C0232E WITH EFFECTIVE DATES OF SEPTEMBER 26, 2008.
 - PROPERTY IS TAX KEY NUMBERS 873-9005-006 AND 873-9998-002. TOTAL SITE AREA = 2,634,473 SF (60,479.24 AC)
 - PROPERTY IS ZONED RS-3 FW AND FF OVERLAY. RS-3 ZONING REQUIREMENTS:
 - a. MIN LOT SIZE = 12,000 SF
 - b. MIN LOT WIDTH = 80 FEET (90 FEET CORNER LOTS)
 - c. MIN DEPTH = 115 FEET (90 FEET CORNER LOTS)
 - d. MIN FRONT STREET SETBACK = 30 FEET
 - e. MIN SIDE SETBACK = 10 FEET
 - f. MIN REAR YARD = 30 FEET

Parcel 1: That part of the Southeast 1/4 of Section 21, Township 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin, described as follows: Commencing at the Southeast corner of the Southeast 1/4 of Section 21, Township 5 North, Range 22 East, thence West, 665.24 feet, thence North, 1325.98 feet, thence West, 400.86 feet, thence Northwesterly, 300 feet, thence North, 1017.20 feet, thence East along the North 1/4 Section line, 640.03 feet, thence Southeastwly, 720 feet East to railroad right-of-way, thence Southeastwly to the East 1/4 Section line, thence South, 185.03 feet, thence West, 245 feet, thence South, 100 feet, thence West, 252.50 feet, thence South, 278.72 feet, thence East, 187.53 feet, thence South, 640 feet, thence East, 335 feet, thence South, 383.80 feet, thence West, 468 feet, thence South, 470 feet, thence East, 466 feet, thence South, 300 feet to the beginning, EXCEPTING THEREFROM that portion contained in Out Claim Deed recorded on October 30, 2008 as Document No. 888602 and as corrected in Out Claim Deed recorded on July 19, 2010 as Document No. 1031881. FURTHER EXCEPTING THEREFROM Certified Survey Map No. 8486 and Certified Survey Map No. 8552. Address: 9349 South Nicholson Road Tax Key No. 873-9998-002

Parcel 2: Certified Survey Map No. 6912, being a part of the Northeast, Southeast and Southwest 1/4 of the Southeast 1/4 of Section 21, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, State of Wisconsin, recorded on January 5, 2007 as Document No. 8007497. EXCEPTING THEREFROM that portion contained to Oak Creek - Franklin Joint School District recorded on May 30, 2007 as Document No. 8433969 which is now known as Certified Survey Map No. 8647.

ALSO, all that part of the Southeast 1/4 of Section 21, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, State of Wisconsin, bounded and described as follows: Commencing at the Southeast corner of said Southeast 1/4, thence South 87° 27' 03" West along the South line of said 1/4 Section, 156.29 feet, thence North 89° 27' 03" East along the East line of said Southeast 1/4, 466 feet, 783.18 feet, thence South 89° 24' 51" East, 209.94 feet, thence South 00° 30' 00" West, 470.00 feet, thence South 89° 24' 51" East, 458.00 feet, thence South 00° 30' 00" West along said East line, 300.00 feet to the point of beginning, EXCEPTING THEREFROM THOSE PORTIONS known as Certified Survey Map No. 8585 and Certified Survey Map No. 8488. Address: 1200 East Ryan Road Tax Key No. 873-9005-006

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CITY OF OAK CREEK, MILWAUKEE CO.

PRELIMINARY PLAT		REVISIONS		SHEET	
NO. 1	DATE: 6/27/17	1	DATE: 6/27/17	C-1	1
NO. 2	DATE: 6/27/17	2	DATE: 6/27/17	C-1	1