



PLAN COMMISSION MEETING AGENDA

**TUESDAY, November 8, 2016
AT 6:00 PM**

- 1) ROLL CALL
- 2) Minutes of the October 25, 2016 meeting
- 3) Significant Common Council Actions
- 4) 6:00 PM SIGN APPEAL HEARINGS
 - a) Hold a public hearing on a proposed sign appeal for the property at 7878 S. Main St. (tenant address: 330 W. Town Square Way) submitted by Christina Haase, Gigi's Cupcakes, that would allow one (1) 31.5 square-foot wall sign on the southwest elevation (non-entry façade) of the building for the Gigi's Cupcakes tenant space (Tax Key No. 813-9050-000). Follow this item on Twitter **@OakCreekPC#OCPCGigi's**.
- 5) NEW BUSINESS
 - a) SIGN APPEAL - Consider a request for a sign appeal for the property at 7878 S. Main St. (tenant address: 330 W. Town Square Way) submitted by Christina Haase, Gigi's Cupcakes, that would allow one (1) 31.5 square-foot wall sign on the southwest elevation (non-entry façade) of the building for the Gigi's Cupcakes tenant space (Tax Key No. 813-9050-000). Follow this item on Twitter **@OakCreekPC#OCPCGigi's**.
 - b) PLAN REVIEW – Review site, building, landscaping, and lighting plans submitted by The Waters Senior Living Management, LLC, for a senior living facility at 8000 S. Market St. (Tax Key No. 813-9065-000). Follow this item on Twitter **@OakCreekPC#OCPCTheWaters**.
 - c) PLAN REVIEW - Review site and landscaping plans submitted by Russell Legg, Aurora Health Care, for a parking lot expansion on the properties at 9444 & 9454 S. Howell Ave., and 200 & 228 E. Ryan Rd. (Tax Key Nos. 874-9995-000, 874-9000-001, 874-9994-001, 874-9993-001). Follow this item on Twitter **@OakCreekPC#OCPCAurora**.
 - d) PRELIMINARY PLAT - Review a preliminary subdivision plat submitted by Michael Kaerek, Kaerek Homes, Inc., for the proposed Carrollville Crossing Addition #1 subdivision located at 8781 S. 5th Ave. (Tax Key No. 865-0114-000). Follow this item on Twitter **@OakCreekPC#OCPCCarrollville**.

- e) PLAN REVIEW – Review site, building, landscaping, and lighting plans submitted by Terry Martinez, JTP Properties, LLC, for an addition to the existing building at 7373 S. 6th St. (Tax Key No. 764-9031-000). Follow this item on Twitter **@OakCreekPC#OCPCA-1Services**.
 - f) PLAN REVIEW – Review site and building plans submitted by Neil Borkan, Arbor Restaurant Group, for exterior modification to the existing building at 8261 S. Howell Ave. (Tax Key No. 813-9017-001). Follow this item on Twitter **@OakCreekPC#OCPCTacoBell**.
 - g) CANCELLATION OF MEETING - the Plan Commission will vote on a motion to confirm cancellation of the December 27 meeting.
- 6) ADJOURN

PLEASE NOTE

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, or in writing to the ADA Coordinator at the Health Department, City Hall, 8040 South 6th Street, Oak Creek, Wisconsin 53154. There is the potential that a quorum of the Committee of the Whole will be present at this meeting. Copies of staff reports and other supporting documentation are available for review at Oak Creek City Hall, 8040 South 6th Street, during operating hours (7:30 am-4 pm weekdays).

MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, OCTOBER 25, 2016

Mayor Scaffidi called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Dickmann, Commissioner Carrillo, Commissioner Johnston, Alderman Bukiewicz, Alderman Guzikowski, Commissioner Correll and Commissioner Chandler. Commissioner Siepert was excused. Also present: Kari Papelbon, Planner; Peter Wagner, Planner/Zoning Administrator; Douglas Seymour, Director of Community Development; Andrew Vickers, City Administrator; and Michael Kressuk, Assistant Fire Chief.

Minutes of the October 11, 2016 meeting

Commissioner Dickmann moved that the Plan Commission approve the minutes from the October 11, 2016 meeting. Alderman Guzikowski seconded. On roll call: all voted aye, except Commissioner Chandler, who abstained as she was not present at the October 11, 2016 meeting. Motion carried.

**PUBLIC HEARING
SIGN APPEAL
BURGER KING
8081 S. HOWELL AVE.
TAX KEY NO. 813-9022**

Zoning Administrator/Planner Pete Wagner read the public hearing notice and opened the hearing.

Mayor Scaffidi made first, second, third, and final calls for public comment. Seeing none, the public hearing was closed.

**PUBLIC HEARING
SIGN APPEAL
PIZZA MAN
7878 S. MAIN ST (tenant address: 7974 S. MAIN ST.)
TAX KEY NO. 813-9050**

Zoning Administrator/Planner Pete Wagner read the public hearing notice and opened the hearing.

Mayor Scaffidi made first, second, third, and final calls for public comment. Seeing none, the public hearing was closed.

**SIGN APPEAL
SIGN APPEAL
BURGER KING
8081 S. HOWELL AVE.
TAX KEY NO. 813-9022**

Zoning Administrator/Planner Pete Wagner provided an overview of the proposal, a request for one (1) 6-foot diameter round LED cabinet sign on the north elevation, one (1) 6-foot diameter round LED cabinet sign on the south elevation, and one 27.8 square-foot raceway-mounted channel letter sign on the north elevation of the Burger King building.

Mayor Scaffidi asked if this is identical signage to the Burger King location on 13th and Rawson. Mr. Wagner responded that the 13th and Rawson location has additional wall signs than what is being proposed for this location.

Mayor Scaffidi mentioned that he stated last time when the other location was being renovated, that the signage improved the look of the building, as does this considering the previous use and their aesthetics.

Commissioner Dickmann stated that the restaurant on 13th and Rawson looks pretty good. He stated this signage will enhance the look of this building and he is all for this.

Commissioner Bukiewicz stated that he concurred with this signage and that it is much needed.

Commissioner Bukiewicz made a motion to grant a sign appeal for the property at 8081 S. Howell Avenue submitted by Cave Enterprises that would allow one 6-foot round diameter LED cabinet sign on the north elevation, one 6-foot round diameter LED cabinet sign on the south elevation and one 27.8 square foot raceway mounted channel letter sign on the north elevation. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**SIGN APPEAL
PIZZA MAN
7878 S. MAIN ST (tenant address: 7974 S. MAIN ST.)
TAX KEY NO. 813-9050**

Zoning Administrator/Planner Pete Wagner provided an overview of the proposal, a request for one (1) 7'6" x 2'7" vertical illuminated blade sign on the southwest corner of the building for the Pizza Man tenant space.

Commissioner Correll stated the blade signs are important from a directional aspect. He thinks they look good.

Mayor Scaffidi stated that the scale of the sign fits in nicely with the scale of the building. He does not have any problem with it. This is going to be a popular corner, and people need to know where this restaurant is and how to get into the building.

Commissioner Bukiewicz stated that this sign is also serving both sides of the building.

Commissioner Dickmann concurred with all of the previous comments. Even though this sign is larger than the normally allowed 9 square feet of sign (this one is 15 square feet), because of where it is located, you can see it from a couple of directions. He is all for it.

Commissioner Chandler asked if this was only for the vertical sign. Bob Hacker, Bauer Sign and Lighting, 2500 S. 170th Street, New Berlin, WI responded yes. Commissioner Chandler asked if the entrance is directly below the sign. Mr. Hacker responded yes.

Commissioner Chandler asked why the sign is so large. Mr. Hacker responded that it has already been downsized significantly in order to get it below the canopy for the second floor balcony. This is consistent with Pizza Man's other identity signs in other locations as well. Actually this is slightly smaller.

Commissioner Dickmann made a motion that the Plan Commission recommend approval of a sign variance allowing for the installation of the 7-foot, 6-inch tall by 2-foot, 2.5-inch blade sign located on the corner of the tenant space located at 7974 S. Main Street (Pizza Man location.) Commissioner Correll seconded. On roll call: all voted aye. Motion carried.

**SIGN PLAN REVIEW
PERFORMANCE RUNNING OUTFITTERS
7978 S. MAIN ST.
TAX KEY NO. 813-9050**

Planner Kari Papelbon provided an overview of the proposal for one (1) two-sided, circular cabinet sign measuring 2'1" tall x 2'1" wide (excluding bracket) on the west elevation just south of the tenant entrance.

Mayor Scaffidi stated this looks good. It is a good looking sign.

Commissioner Bukiewicz moved that the Plan Commission approves the sign plan submitted by Robert Hacker, Bauer Sign & Lighting Co., for the Performance Running Outfitters commercial tenant portion of the property at 7978 S. Main St. with the following conditions:

1. That all revised plans be submitted for review and approval by the Department of Community Development prior to the submission of sign permit applications.
2. That a permit application for the sign is submitted to the Inspection Department.

Alderman Guzikowski seconded. On roll call: all voted aye.

**CERTIFIED SURVEY MAP
AURORA HEALTH CARE
9444 & 9454 S. HOWELL AVE.
200 & 228 E. RYAN RD.
TAX KEY NOS. 874-9995, 847-9000-001, 874-9994-001, 874-9993-001**

Planner Kari Papelbon provided an overview of the proposal to combine the four (4) parcels into one in anticipation of remodeling the existing building and parking lot for an Aurora health clinic.

Mayor Scaffidi stated that this is a long overdue and eagerly-anticipated update of a troublesome corner in Oak Creek, which people ask about all the time. Mayor Scaffidi stated this is spectacular, especially given the user. He has no problem with this.

Commissioner Correll moved that the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by Russell Legg, Aurora Health Care for the properties at 200 & 228 E. Ryan Rd., and 9444 & 9454 S. Howell Ave. be approved with the following conditions:

1. That all easements are shown and clearly labeled on the map prior to recording.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**REZONE
CITY OF OAK CREEK
PORTIONS OF PROPERTIES AT 9180 S. 5TH AVE. & 4240 E. RYAN RD.
A-1, LIMITED AGRICULTURAL AND RM-1, MULTIFAMILY RESIDENTIAL TO
P-1, PARK DISTRICT, EXCLUDING THE LOD, LAKEFRONT OVERLAY DISTRICT
TAX KEY NOS. 868-9996-002 AND 868-9993-001**

Planner Kari Papelbon provided an overview of the proposal to rezone the Lake Vista Park portions of the properties to P-1, Park District. The proposed district boundary excludes changes to the existing overlay district, and is intended to include all elements of the park.

Mr. Degner asked how this affects the TIF district that the City is going to have to use to defray the cost of this. Does this increase the problems in getting the cash needed to accomplish this or is all this zoning of no consequence? Doug Seymour, Director of Community Development, responded that the TIF district (which has not been presented to the Council) would potentially include the park property. It is not unheard of to have parkland in TIF districts. While it is part of that, some of the infrastructure that will be servicing some of the private development sites will be included as part of that. There will be multiple zonings within the TIF district.

Commissioner Dickmann made a motion that the Plan Commission recommends that the Common Council approves the rezoning of portions of the properties at 9180 S. 5th Ave. and 4240 E. Ryan Rd. from A-1, Limited Agricultural, and Rm-1, Multifamily Residential, to P-1, Park District, EXCLUDING the LOD, Lakefront Overlay District, after a public hearing. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**STAFF PRESENTATION TO THE PLAN COMMISSION
FINAL PLANS FOR LAKE VISTA PARK**

Ms. Papelbon gave a presentation of the final plans for Lake Vista Park.

Commissioner Carrillo moved to adjourn. Alderman Guzikowski seconded. On roll call: all voted aye. The meeting was adjourned at 6:48 p.m.

ATTEST:

Douglas Seymour, Plan Commission Secretary

10/26/16

Date

Summary of Significant Common Council Actions

1. **APPROVED** Resolution No. 11764-110116, approving a certified survey map for the properties at 200 & 228 E. Ryan road and 9444 & 9454 S. Howell Avenue.
2. **APPROVED** Resolution No. 11763-110116 designating the Tourism Commission as the tourism entity for the City of Oak Creek and approving an action plan for the use of hotel room tax revenue.



Kari Papelbon, CFM, AICP
Planner



Plan Commission Report

ITEM: 4a & 5a

DATE: November 8, 2016

PROJECT: Sign Appeal – Gigi’s Cupcakes (Christina Haase)

ADDRESS: 7978 S. Main Street

TAX KEY NO: 813-9050-000

STAFF RECOMMENDATION: Staff does not make recommendations for sign appeals.

Ownership: DTS Mixed Use LLC

Size: 1.168 acres

Existing Zoning: DTSMUPDD, Drexel Town Square Mixed Use Planned Development

Adjacent Zoning:

North –	DTSMUPDD, Drexel Town Square Mixed Use Planned Development
East –	DTSMUPDD, Drexel Town Square Mixed Use Planned Development
South –	DTSMUPDD, Drexel Town Square Mixed Use Planned Development
West –	DTSMUPDD, Drexel Town Square Mixed Use Planned Development

Comprehensive Plan: Planned Mix Use

Wetlands: N/A

Floodplain: N/A

Official Map: N/A.

Commentary: The applicant is requesting a variance from Section 17.0334, part of the General Development Plan and Regulating Plan, which states that wall mounted signs are only permitted on entry facades. If granted, the variance would allow the applicant to install 31.5 square-foot wall sign on the south elevation (non-entry façade) of the tenant space located at 330 W. Town Square Way.

As illustrated in your packet, the proposed sign will be channel letters and a cupcake graphic. The sign will be internally illuminated with LEDs. The sign will be 25.2” in height and 31.5 square feet in area, which complies with both the DTSMUPDD General Development Plan and Regulating Plan, and the building master plan.

If the variance is granted, the applicant will have a total of four signs. Two exact wall signs will be installed, one on the north elevation and one on the south elevation of the tenant space and there will be two blade signs on the corner elevation of the building.

When considering a variance, the Plan Commission must make the final decision on appeals using the following criteria:

- a. There shall be no public harm and there shall be a public benefit.
- b. Variance considerations shall include enhancement of the overall character of a neighborhood or mitigation of unusual site conditions.
- c. The sign will not result in an undue concentration of signage which renders it difficult or confusing to read existing signs.
- d. The effect a proposed sign may have on depreciating property values of a neighborhood.
- e. The Plan Commission in its deliberation of an adjustment may consider the location of the proposed sign, the height, the size, the appearance, number, and location of other signs in the vicinity of the proposed sign, and any other factor as the Plan Commission deems appropriate.

Prepared by:

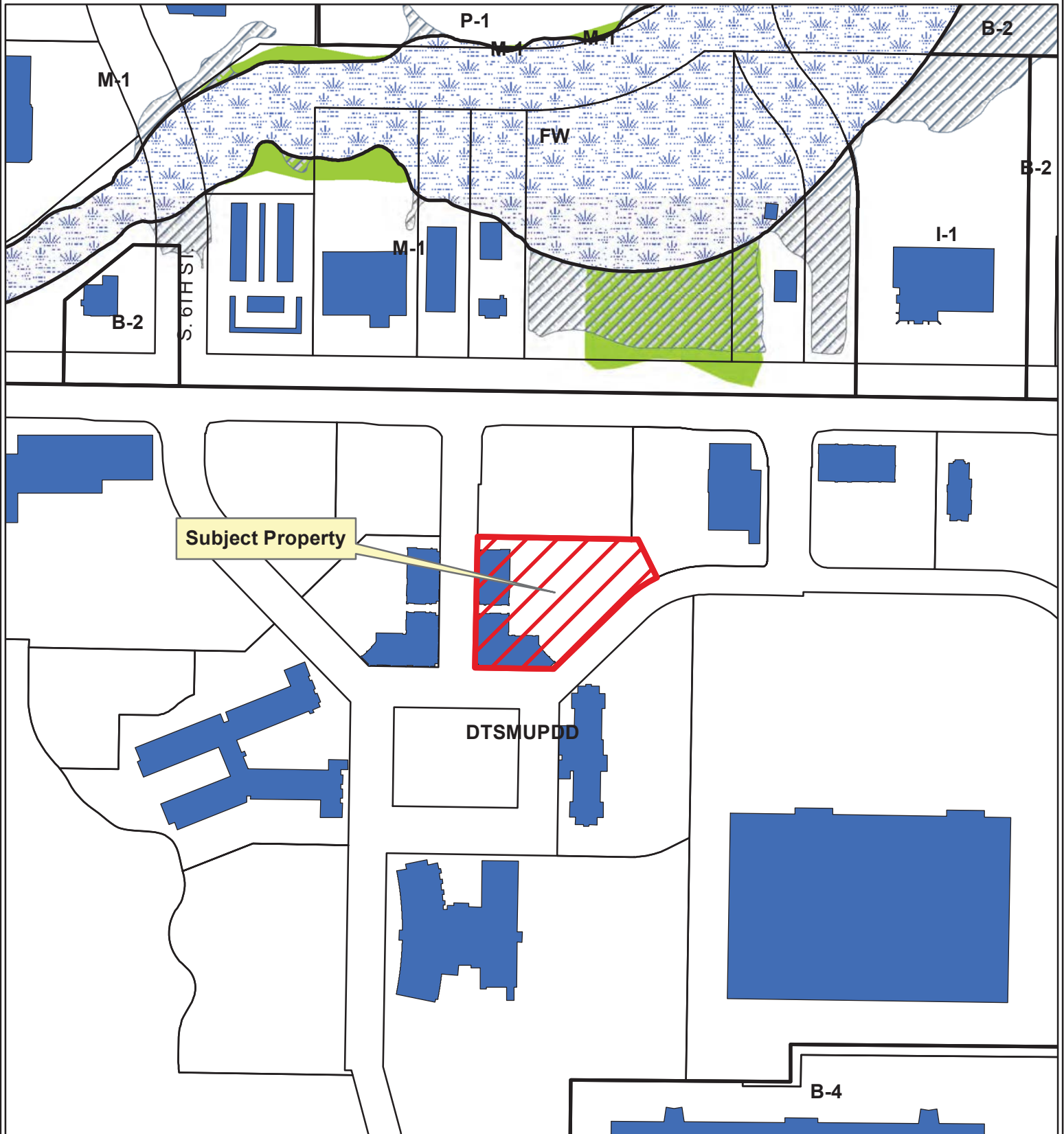
Peter Wagner, AICP
Zoning Administrator/Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

Location Map

7978 S. Main St.







This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



-  7956 S. Main St.
-  Floodway
-  Flood Fringe (FF)
-  Shoreland Wetland Conservancy (C-1)

Publish October 27, 2016

**CITY OF OAK CREEK
NOTICE OF PUBLIC HEARING
BEFORE THE PLAN COMMISSION**

A public hearing for a sign appeal will be held:

Date: Tuesday, November 8, 2016

Time: 6:00 p.m.

Place: Oak Creek City Hall
COMMON COUNCIL CHAMBERS
8040 S. 6th Street
Oak Creek, WI 53154

Appellant: Christina Haase (Gigi's Cupcakes)

Tax Key No. 813-9050-000

Property location: 7978 S. Main Street

To Request: A variance from Section 17.0334, part of the General Development Plan and Regulating Plan, which states that wall mounted signs are only permitted on entry facades.

If granted, the variance would allow the applicant to install 31.5 square-foot wall sign on the south elevation (non-entry façade) of the tenant space located at 330 W. Town Square Way.

Zoning of Property: DTSMUPDD, Drexel Town Square Mixed Use Development District

All interested persons wishing to be heard are invited to be present.

Dated this 20th Day of October, 2016

PLAN COMMISSION
CITY OF OAK CREEK, WISCONSIN

/s/ Mayor Steve Scaffidi, Chairman

Public Notice

PLEASE NOTE: Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferable a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 414-766-7000, or by writing to the ADA Coordinator at the Health Department, City Hall, and 8040 South 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

October 19, 2016

City of Oak Creek
Plan Commission
8040 S. 6th Street
Oak Creek, WI 53154

Dear Plan Commission Members:

We are requesting a variance to allow a sign on a non-entry façade for Gigi's Cupcakes in Drexel Town Square. The sign would be on the south facing side of the building and would be identical to the already approved sign on the north side of the building. With the unique shape of our location, a sign on the south side provides the greatest visibility to those traveling through Drexel Town Square.

The variance requested is not contrary to the public interest and will not endanger public safety or welfare. It will be in accord with the spirit of the zoning ordinance as it meets all other sign requirements and will clearly identify Gigi's Cupcakes to those in and around the Town Square.

We appreciate your consideration in this matter.

Sincerely,



Christina Haase
Gigi's Cupcakes

ILLUMINATED CHANNEL LETTERS ON RACEWAY
GIGI'S CUPCAKES
 @ Drexel Town Square
 Oak Creek, WI 53154

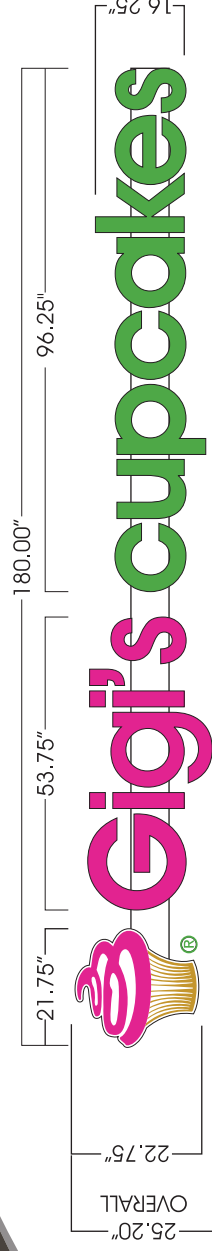
INITIAL LAYOUT: August 11, 2016

- REVISIONS:
 I 083116
 II 090616
 III 090916
 IV 091316



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PROOF - EAST

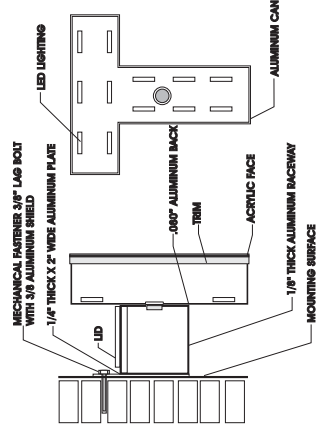


IMPOSED IMAGERY



Sq. Ft. Signage: 31.50
 Drexel Town Square Restriction: 35.00 Sq. Ft.
 25.20" Maximum Letter Height

DETAIL



SPECIFICATIONS
ILLUMINATED CHANNEL LETTERS ON RACEWAY

- Size:** As in drawing
- Trim:** 3/4" Gemtrim
- Trim Color:** Black
- Return Color:** Black
- Face Color:** White
- Vinyl Colors:** As Indicated
- Face:** 1/8" Acrylic
- Letter Interior:** Gloss White
- Raceway Size:** 7" x 4" 0.125" Extruded Aluminum
- Raceway Color:** To Match Fascia
- Illumination:** LED
- Mounting:** Hanging Bars Flush to Fascia



Owner/Landlord Approval
607 Ellis Rd Ste 51-A Durham, NC 27703 • (P) 919-552-8689 • (F) 919-557-1322

ILLUMINATED PROJECTING CABINET
GIGI'S CUPCAKES
 @ Drexel Town Square
 Oak Creek, WI 53154

INITIAL LAYOUT: August 11, 2016

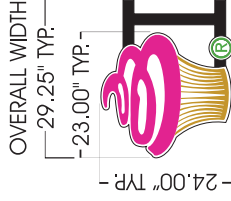
- REVISIONS:
- I
 - II
 - III
 - IV
 - V

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(2) 4.00" x 4.00" Bracket Plate



PROOF - ENTRANCE

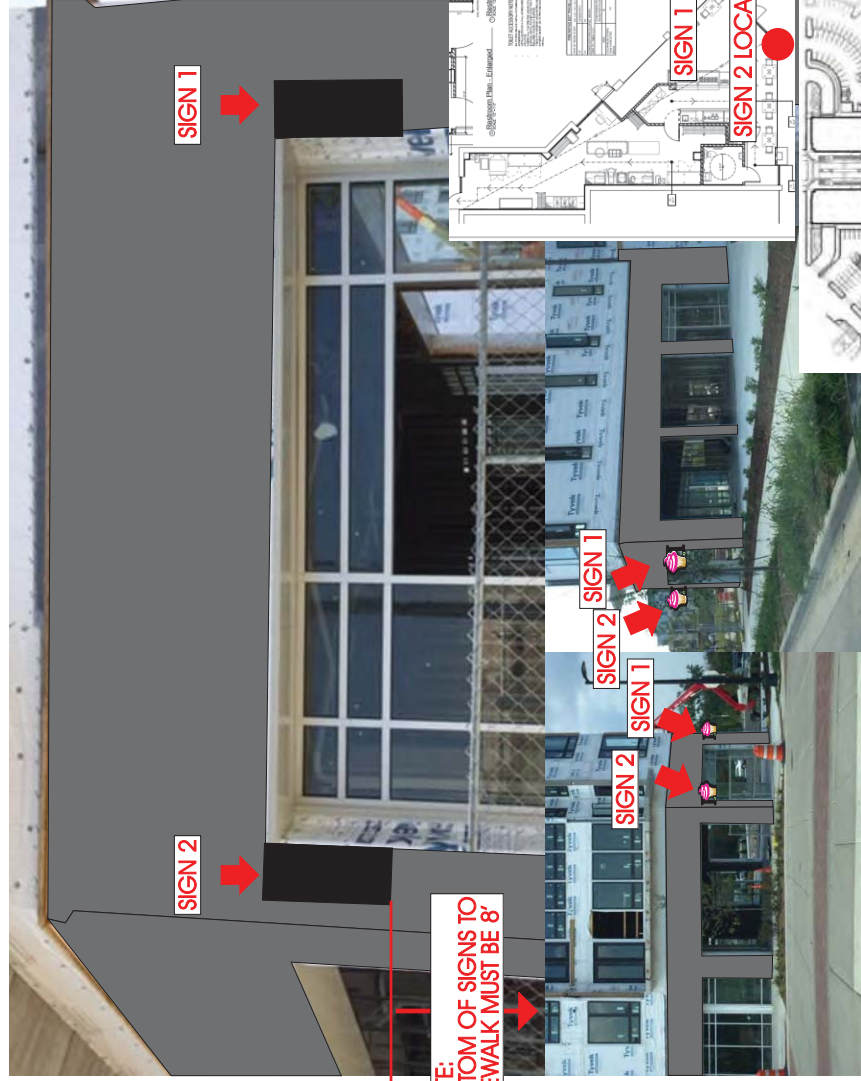


SIDE

SIGN 1

SIGN 2

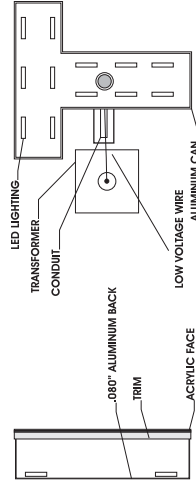
IMPOSED IMAGERY



Sq. Ft. Signage:
 3.83 Each
Drexel Town Square Restriction:
 25.20" Maximum Height
 8' Clearance

NOTE:
 BOTTOM OF SIGNS TO
 SIDEWALK MUST BE 8'

DETAIL



- Quantity:** 2
- Size:** As in drawing
- Trim:** 3/4" Gemtrim
- Trim Color:** Black
- Return Color:** Black
- Face Color:** White
- Vinyl Colors:** As Indicated
- Face:** 1/8" Acrylic
- Letter Interior:** Gloss White
- Illumination:** LED
- Mounting:** Bracket - Flush to Fascia

SPECIFICATIONS
ILLUMINATED
PROJECTING CABINET



Owner/Landlord Approval
607 Ellis Rd Ste 51-A Durham, NC 27703 • (P) 919-552-8689 • (F) 919-557-1322



Plan Commission Report

ITEM: 5b
DATE: November 8, 2016

PROJECT: Plan Review – The Waters Senior Living

ADDRESS: 8000 S. Market St.

TAX KEY NO: 813-9065-000

STAFF RECOMMENDATION: That the Plan Commission approves the site and building plans submitted by The Waters Senior Living, for the property located at 8000 S. Market St. with the following conditions:

1. That all building and fire codes are met.
2. That a copy of any agreement regarding shared landscaping, snow storage, etc. with Meijer is provided to the Department of Community Development prior to issuance of building permits.
3. That the dumpster(s)/trash receptacle(s) be located within the garage except for trash pickup days. Once empty, the dumpster(s)/trash receptacle(s) must be returned to the garage.
4. That any proposed signs are reviewed and approved by the Plan Commission prior to submission of permit applications.
5. That final photometric and lighting plans indicating the approved luminaire type, pole type, color, and height for Drexel Town Square are submitted for final approval by the Director of Community Development, upon written recommendation of the Electrical Inspector, prior to the issuance of building permits.
6. That all revised plans (site, building, landscaping, etc.) are submitted in digital and paper formats for review and approval by the Department of Community Development prior to the submission of building permit applications.
7. That the exterior brick veneer meets the minimum 4-inch thick requirement per Code.
8. That all mechanical equipment and transformers (ground, building, and rooftop) are screened from view.
9. That plans addressing grading, drainage, and stormwater quality (including the use of stormwater best management practices) be approved by the City Engineer prior to the issuance of building permits.
10. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.

Ownership: City of Oak Creek

Size: 2.5456 acres

Existing Zoning: DTSMUPDD (CU), Drexel Town Square Mixed Use Planned Development District

Adjacent Zoning: North – DTSMUPDD, Drexel Town Square Mixed Use Planned Development District
 East – DTSMUPDD, Drexel Town Square Mixed Use Planned Development District.
 South – B-4, Highway Business
 West – DTSMUPDD, Drexel Town Square Mixed Use Planned Development District

Comprehensive Plan: Planned Mixed Use.

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting site, building, landscaping, and lighting plan approval for the proposed senior independent living and memory care apartment building on the property at 8000 S. Market St. Plan Commissioner will recall that this property was granted a Conditional Use Permit for a senior living development in September of this year. The review of these site, building, landscaping, and lighting plans is governed by the general development plan and regulating plan for the Drexel Town Square Mixed Use Planned Development (DTSMUPDD).

Under the terms of the adopted regulating plan, the Oak Creek Plan Commission is charged with interpreting and assuring compliance with the DTSMUPDD. Building permits will not be issued without Plan Commission approval. The review process should:

- Allow for the successful implementation of the general urban design patterns as in the DTSMUPDD.
- Allow designers and developers reasonable flexibility in the creation of specific designs to meet current and future market and economic realities.
- Generate and sustain economic and social value as subareas develop and redevelop over time.
- Ensure high quality development that creates a vibrant, diverse, clean, safe, destination.
- Create meaningful community places for current and future users through the integration of buildings, site, and landscape features.
- Ensure that building and site designs create an attractive, interactive environment for pedestrians, cyclists, and motorists.

The plans as presented generally conform to the general development plan and regulating plan.

The proposed building is located within the Mixed Use Sub-district, which is described in the regulating plan as the portion of Drexel Town Square that

... is conceived as an urban mixed-use sub-district with a variety of residential, commercial, and mixed-use buildings. The vision for the area is to create a vertically and/or horizontally integrated mixed-use concept where the interaction of housing types and commercial uses provide the opportunity for an interesting urban experience and economically viable commercial enterprises. The southern portion of this area is occupied by a town square that will attract pedestrian traffic from all across the site. Hospitality buildings or a larger commercial office building may fit the northwest portion of this area. The southeast corner (between the city Hall and large format-retail) has the opportunity to accommodate additional development consistent with the character of the Mixed-Use Subarea.

This review will be segmented into sections corresponding with the sections of the DTSMUPDD.

Active Streets and Sustainability/Walkability

According to the regulating plan, the most critical requirement for active pedestrian streets is a sense of enclosure. As such, the plan establishes build-to-zones (BTZ), landscape zones (LZ), and a mixed building and landscape zone (MLZ). A **Build-to Zone (BTZ)** is required along the Market Street frontage. This zone is defined as

... the space extending between (a) the property line defining the edge of a public right-of-way (or the line defining the edge of the public easement on a private road, or the functional equivalent of such lines) and (b) a predetermined maximum setback line (shown in the diagrams for each block). For the BTZ:

- *At least 60%-90% of the linear edge shall be building facade.*

- *The BTZ must include the building's front facade.*
- *Architectural elements such as porches, decks, stoops, bay or oriel windows, balconies, awnings, roof eaves, pergolas, covered walkways, ornamental features, chimneys, and lights should also fall within the BTZ range.*
- *In no case shall BTZs extend into a utility easement, beyond a property line, or interfere with required vision triangles.*
- *Within a public right-of-way some encroachments should be allowed for temporary uses such as tables, planters, heaters, sidewalk signage, and similar elements that extend past the property line. All encroachments must take out a permit and be approved by the City of Oak Creek.*

A Mixed Building and Landscape Zone (MLZ) extends along the north property line adjacent to the public pedestrian path. MLZs are identified where

it is difficult to prescribe the precise locations of building on the lot. In such case, such as the Perimeter Commercial Sub-district, a new building might occupy the edge of the lot along one side or, in some case, just be located in the middle of the lot. In such circumstances the zone along the outer perimeter of the lot, abutting the public right of way should be a combinations of a build-to-zone and a landscape zone.

Extensive landscaping, coordinated with the Towne Place Suites landscape plan, is proposed along the BTZ. One 4-story senior independent living and memory care apartment building is proposed on the property, parallel to Market Street. Therefore, BTZ and MLZ requirements appear to be fulfilled in the proposed plans.

Although no LZ or MLZ exists on the east or south, staff has encouraged landscaping treatments particularly on the east elevation for the benefit of those residential units facing the Meijer site. The Applicant has indicated that they are in talks with Meijer to establish an agreement similar to the agreement with the hotel as it relates to shared landscaping in the area. A condition of approval is listed above for a copy of that agreement to be provided to the Department of Community Development.

One 4-story senior independent living and memory care apartment building is proposed on the property, parallel to Market Street. In addition to the 119 independent living and 16 memory care apartment units, the building will include café/pub/restaurant areas, community rooms, wellness rooms, salons, and lounge areas. Staff offices and facilities are located on the first floor. A bistro café and pub activate the northwest corner along the Market Street frontage with large windows and doors to exterior patio areas. The main lobby is also accessed on the west elevation.

Access & Parking

Access to this site is via one driveway on the southwestern portion of the site, across from the Market Street entrance to the Civic Center. The DTSMUPDD general development plan and regulating plan identifies the approximate parking demand for senior housing as 0.5 - 1 space per unit. Based on the total number of units, 68 - 135 parking stalls would be required. This number, however, does not take employees into consideration. Information supplied by the Applicant indicates that approximately 20 employees, including one (1) 24/7 RN, are anticipated onsite during regular business hours. Up to 40 employees are anticipated at 90% occupancy.

Parking is provided in the central courtyard area and within an underground garage. The garage is striped for 85 stalls. Surface parking for staff and visitors is located in the center portion of the property. A total of 21 stalls are shown on the plans, bringing the overall capacity to 106.

As has been presented with similar facilities in the City, memory care residents typically do not drive. Therefore, it can be reasonably assumed that 16 units will not utilize the parking facilities. Taking into

consideration the total independent living units and 20 employees anticipated onsite initially, at least 33 units will not have a parking stall available to them. Visitor parking in that scenario would then be relegated to the Market Street parallel parking. While staff recognizes that some residents of the senior independent living apartments may not own a vehicle, and that the minimum parking requirement for the apartments is met, we encourage the Applicant to consider adding a few extra on-site stalls (preferably in the garage) to reduce the perceived parking gap.

Service, Maintenance, and Operation

Deliveries will be made through the doors provided on the first floor of the west wing. Trash receptacles will be located in the underground garage. On trash pickup days, the containers will be moved to a concrete pad at the entrance to the garage, which is proposed to be screened with landscaping. Staff has recommended a condition of approval above that the dumpster(s) be located within the garage except for trash pickup days in order to prevent confusion as dumpsters are not allowed in the street yard.

Landscape, Streetscape, Community Places, Signage & Lighting

No signs have been proposed at this time. Should the Applicant wish to have a ground sign in the future, Plan Commission review will be required.

Lighting photometrics have been provided; however, they currently do not incorporate the correct light pole and fixture as required for Drexel Town Square. The Applicant and their consultants are aware of the requirement, and have been in contact with staff regarding forthcoming revisions that incorporate the Cyclone fixtures and residential-height poles throughout the parking lot. Final plans and lighting details must be approved by the Director of Community Development and Electrical Inspector prior to the submission of building permit applications (see conditions above).

Landscape plans have been submitted showing significant vegetation throughout the site. Staff has provided the Applicant with a copy of the approved landscape plan for the Towne Place Suites hotel to the north for a coordinated landscape treatment along the pedestrian path. Some minor modifications to the landscape plans will be required to incorporate comments received from the City Forester and staff. Unless the Commission directs otherwise, the final landscape plans will be approved by the Director of Community Development prior to the submission of building permit applications.

Building Design Guidelines

The building design incorporates many recesses and projections, providing depth and visual interest to all elevations. Parapets of varying heights break up the roof as well as provide the top portion of articulated wall elements. Corners and the central portion of the west elevation are held by the tallest of these projections/tower elements. Rhythmic elements in the form of smaller towers or pillars can be seen on the courtyard and east elevations as well to add visual interest and break up the walls.

Primary exterior building materials include a mix of masonry (ashlar pattern Spec-Brik veneer), fiber cement lap siding, and fiber cement panel siding. Masonry appears to be maximized on the west elevation, with wall sections on the north and south elevations as well. While masonry exists at the base of all portions of the building and some corners, fiber cement lap siding and fiber cement panels appear to be the primary exterior building materials on the north, east, south, and courtyard elevations. All proposed materials are acceptable primary building materials in the DTSMUPDD. Staff has included a condition of approval regarding the required brick width in order to maintain consistency with conditions of approval for architectural review.

Glazing percentages have been provided by the Applicant's consultant and included with this staff report. As mentioned in previous sections, significant glazing appears on the west elevation (20.0% of the total wall

area). However, the north elevation and courtyard elevations contain similar significant glazing percentages (ranging from 15.5% up to 23.6%). Canvas awnings are shown over the street-level windows on the west and the pub/restaurant and kitchen windows on the north. Prefinished metal canopies are shown over the lobby vestibules on the west (street and courtyard), on the east courtyard elevation, and over the vestibule on the south elevation. Apartments on the 2-4th floors and some on the first floor will have prefinished aluminum balconies.

Rooftop mechanicals proposed for the building are to be screened behind the parapets. Any rooftop mechanical unit that is not fully screened by the parapets will be required to be screened with a material to be approved by the Department of Community Development. All other building or ground-mounted mechanicals and transformers must also be screened.

Miscellaneous

Comments were solicited from departments regarding the proposed plans. Fire Department comments were submitted with regard to ensuring that the cul-de-sac allows for the proper movement of their apparatus. They will work directly with the Applicant to ensure that Fire Department needs are addressed.

Engineering concerns were primarily surrounding grading along the east and south property lines, as well as a drainage concern with the water flow down the ramp to the underground parking. A suggestion was made and provided to the Applicant to add a ridge to break the flow from the driveway.

Both Engineering and the Inspection Departments noted that the building, footings, and garden fence on the south appear to extend into the WE Energies easement. Additionally, it was identified that the private storm sewer on the plans is shown through the utility easement on the south. Coordination with City departments and WE Energies will be required to ensure compliance with easement requirements.

Finally, the Water and Sewer Utility noted that unused sewer and water laterals on the south end need to be abandoned. All comments were provided to the Applicant for their incorporation into revised plans.

Summary

Based on the submitted information, and with the conditions of approval above, staff feels that the plans meet the intent and spirit of the requirements in the General Development Plan and Regulating Plan. Staff recommends approval of the plans with the proposed conditions of approval above.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

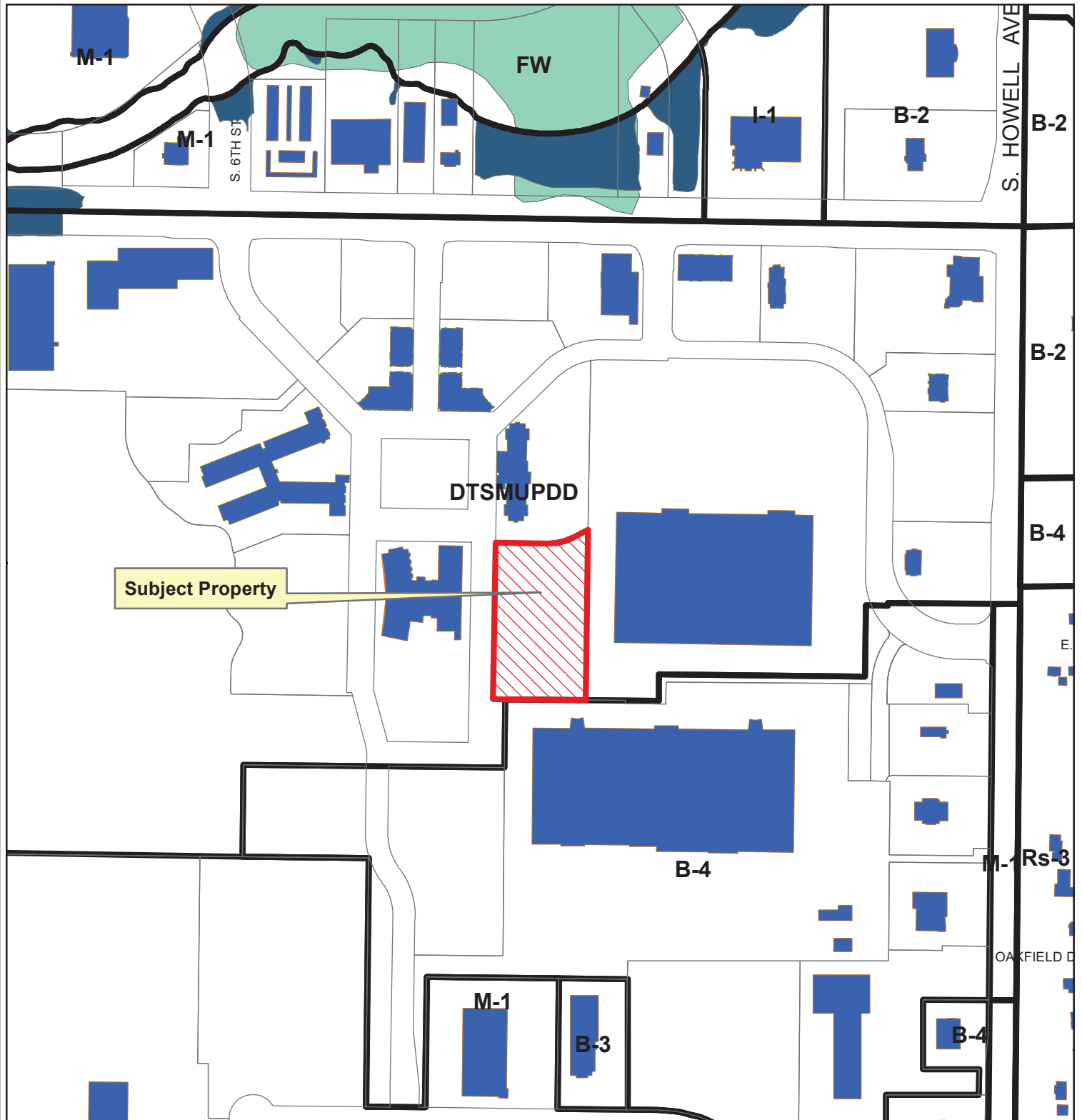
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

8000 S. Market St.



This map is not a survey of the actual boundary of any property this map depicts.









Legend



8000 S. Market St.

Zoning Overlays

-  C-1-Shoreland Wetland
-  FF-Flood Fringe
-  Lakefront Overlay
-  NO-Mixed Use Neighborhood
-  OO-Mixed Use Office
-  RR-Regional Retail

Waters of Oak Creek

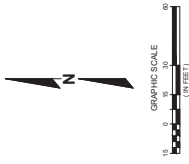
	Façade	Overall SF	SF Glazing	% of Glazing
1	West (S. Market St.)	11,776	2,356	20.0%
2	South (End)	2,931	429	14.6%
3	West (Courtyard)	8,405	1,647	19.6%
4	North (Courtyard)	4,936	1,166	23.6%
5	East (Courtyard)	9,956	1,908	19.2%
6	South (End)	2,931	455	15.5%
7	East (facing Meijer)	13,090	1,166	8.9%
8	North (Main)	10,896	1,933	17.7%

DATE	DESCRIPTION
10-24-16	QTY COMMENTS

R.A. Smith National
Beyond Surveying and Engineering
 www.ra-smithnational.com

SITE PLAN
 THE WATERS OF OAK CREEK
 CITY OF OAK CREEK, WI

CONSULTANT: R.A. Smith National, Inc.
 DATE: 09/19/2016
 SCALE: 1" = 30'
 JOB NO. 1180118
 PROJECT MANAGER: MATT P. KOCUREK, P.E.
 DESIGNED BY: RJM
 CHECKED BY: MPK
SHEET NUMBER
C200



- LEGEND**
- PROPERTY LINE
 - PROPOSED BUILDING
 - EXISTING CURB & GUTTER
 - PROPOSED 18" CONC. CURB & GUTTER
 - PROPOSED 18" CONC. CURB & GUTTER (RAMP SLOPE)
 - PROPOSED TRANSFER BUTYRMASS PAVER
 - PROPOSED TRANSFER BUTYRMASS PAVER WITH 1/2" SAND
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONCRETE PAVEMENT
 - PARKING SPACES

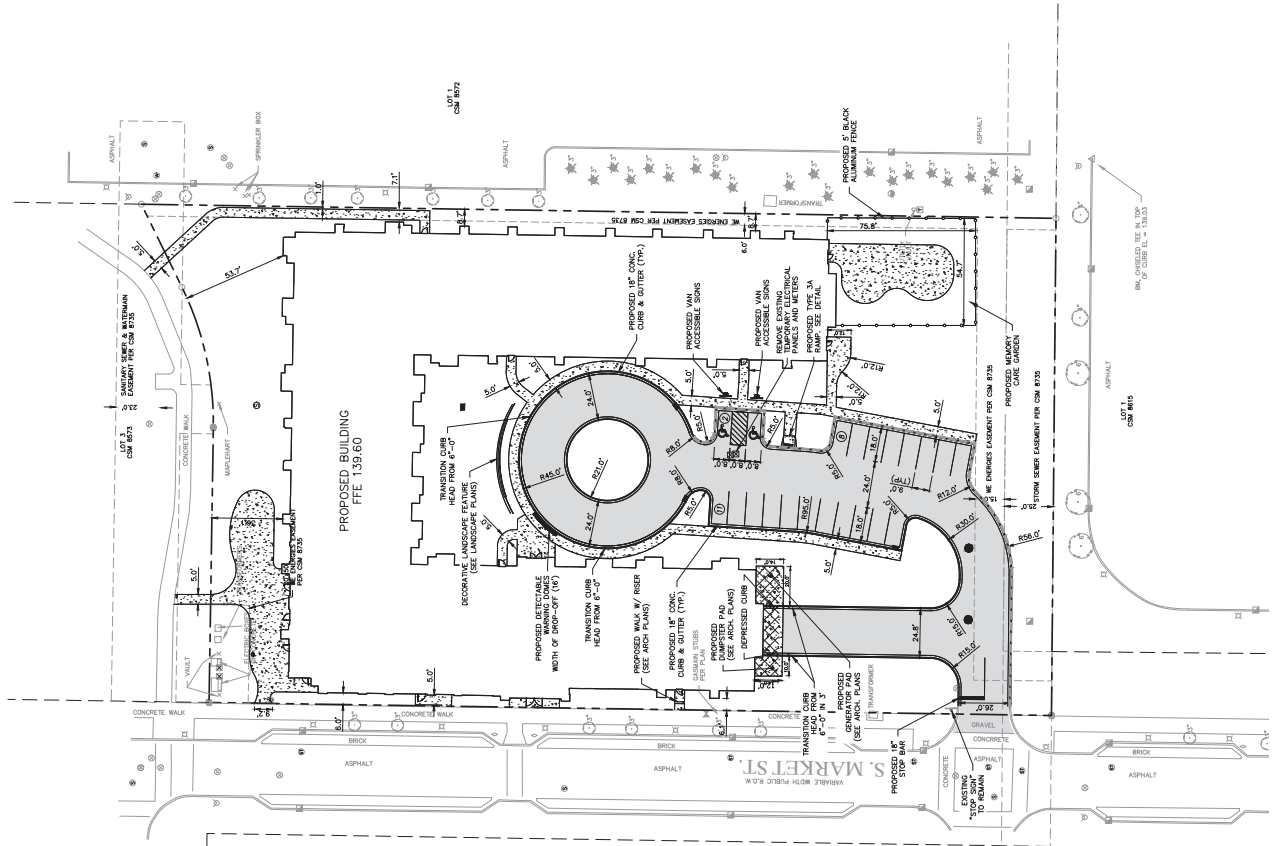
PARKING STATISTICS

SURFACE PARKING STALLS	21
UNDERGROUND PARKING	85
ACCESSIBLE PARKING STALLS	2
TOTAL PARKING SPACES	106
PARKING RATIO: 2.61 SPACES/1000 S.F.	

SITE STATISTICS

GREEN SPACE	45,473 SF (1,032.80)
IMPERVIOUS SURFACE	101,000 SF (2,300.00)
TOTAL SITE AREA	146,473 SF (3,332.80)
BUILDING	40,378 SF (926.80)

GENERAL NOTES:
 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF OAK CREEK ORDINANCES AND THE CITY ENGINEER'S EXEMPTION FOR CSM 8735.
 2. THE CITY ENGINEER'S EXEMPTION FOR CSM 8735 IS VALID FOR THE PERIOD OF 180 DAYS FROM THE DATE OF ISSUANCE OF THESE DOCUMENTS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OAK CREEK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OAK CREEK.
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 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OAK CREEK.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF OAK CREEK.



WEST CLOCK TOWER PLACE
 97' PUBLIC R.O.W.



R.A. Smith National, Inc.
 10000 W. WISCONSIN AVE. SUITE 100
 WISCONSIN, WI 53190
 WWW.RA-SMITH.COM

10-24-16	DATE
	CITY COMMENTS
	DESCRIPTION

R.A. Smith National
Beyond Surveying and Engineering
 www.ra-smithnational.com

UTILITY PLAN
CITY OF OAK CREEK, WI
THE WATERS OF OAK CREEK

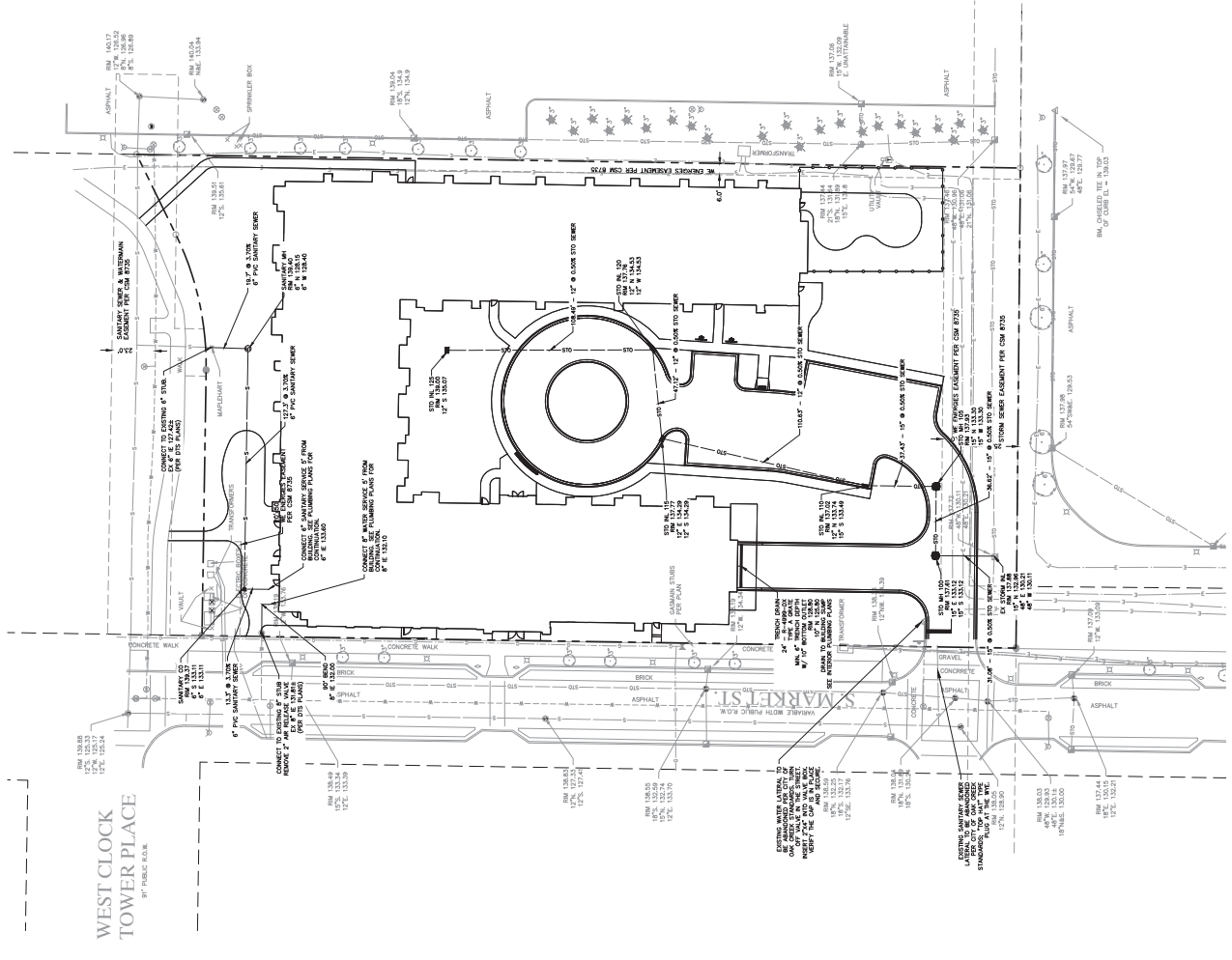
© UNIVERSITY PARK R.A. Smith National, Inc. DATE: 09/19/2016 SCALE: 1" = 30' JOB NO. 1180118 PROJECT MANAGER: MATT P. KOCIOUREK, P.E. DESIGNED BY: RJY CHECKED BY: MPK SHEET NUMBER C500



- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING SANITARY MANHOLE
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING TELEPHONE LINE
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING STORM SEWER
 - EXISTING WATER MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED WATER MAIN
 - PROPOSED STORM SEWER INLET WITH GRATE
 - PROPOSED STORM SEWER MANHOLE
 - PROPOSED FLANGED END SECTION
 - PROPOSED SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER CLEANOUT
 - PROPOSED HYDRANT
 - PROPOSED GATE VALVE WITH WALK-BY BOX

GENERAL NOTES:

1. ALL UTILITIES AND TITLE PROVIDED BY R.A. SMITH NATIONAL DATED 12/15/15.
2. THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.
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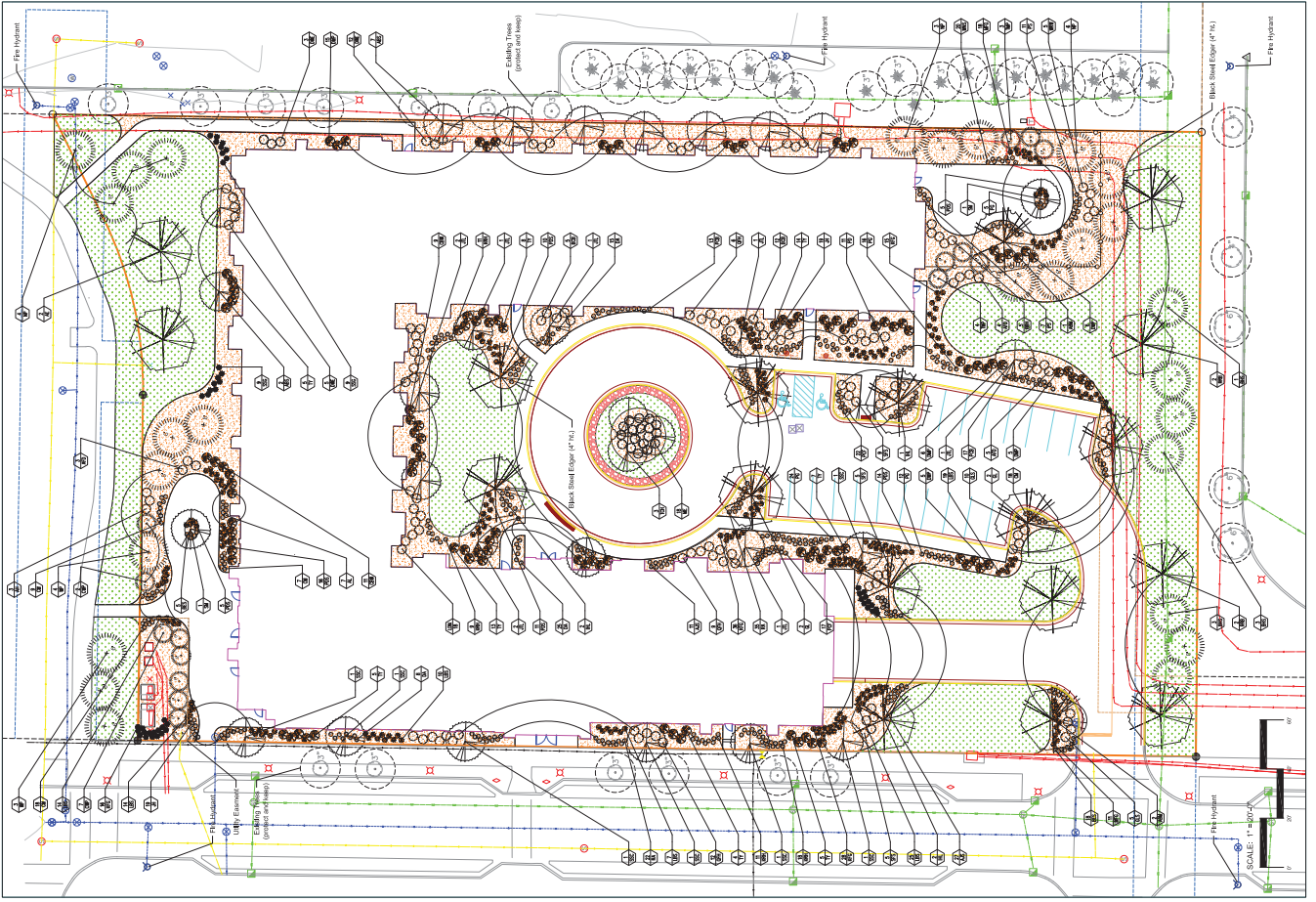


WEST CLOCK TOWER PLAZA
 117 PUBLIC ROAD

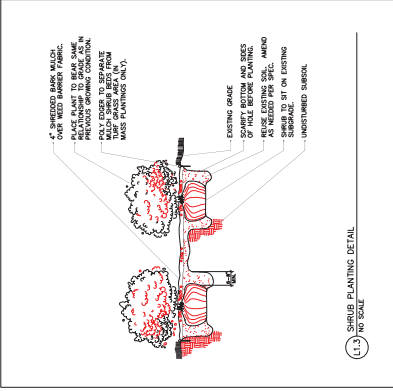
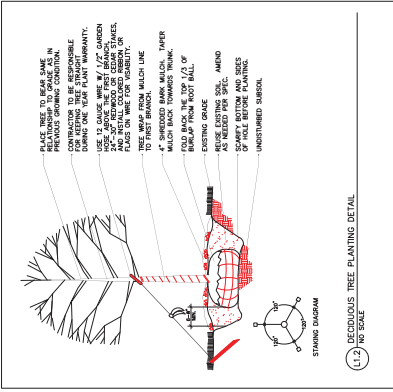


UNIVERSITY PARK
 R.A. Smith National, Inc.
 DATE: 09/19/2016
 SCALE: 1" = 30'
 JOB NO. 1180118
 PROJECT MANAGER:
 MATT P. KOCIOUREK, P.E.
 DESIGNED BY: RJY
 CHECKED BY: MPK
 SHEET NUMBER
C500

OVERALL LANDSCAPE PLAN L1.1:



PLANTING DETAILS:



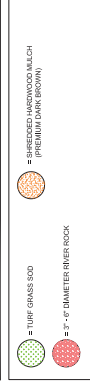
PLANT LIST:

TRAFFIC	Qty	Common Name	Species Name	Size (Height)	Planting Rate
T1	1	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	2	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	3	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	4	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	5	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	6	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	7	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	8	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	9	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	10	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
T2	1	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	2	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	3	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	4	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	5	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	6	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	7	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	8	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	9	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	10	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
T3	1	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	2	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	3	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	4	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	5	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	6	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	7	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	8	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	9	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	10	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
T4	1	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	2	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	3	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	4	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	5	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	6	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	7	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft
	8	Medium Tree	Medium Tree	12' - 18'	1 per 200 sq ft
	9	Large Tree	Large Tree	20' - 30'	1 per 400 sq ft
	10	Small Tree	Small Tree	8' - 10'	1 per 100 sq ft

LANDSCAPE NOTES:

1. Landscape Contractor shall verify the site prior to submitting bid to become familiar with site conditions.
2. It is the responsibility of the contractor to identify all underground cables, conduits, wires, etc. on the property.
3. No planting shall be installed until all grading and construction has been completed in immediate areas.
4. If there is a discrepancy between the number of plants shown on the plan and the number of plants shown in the plant list, the number of plants shown on the plan will prevail.
5. All plants shall be of specimen quality. Plants shall have normal, well-developed branch systems, a deep taproot, no stem defects, no stem or branch breakage, no stem or branch diseases, no stem or branch damage, and all stems shall be free of insect damage. All plants shall be nursery grown.
6. Repair all damage to property from planting operations at no cost to owner.
7. The Landscape Contractor shall replace all no change, any tree, exception, or groundcover which fails to live through the first calendar year from the time of final acceptance by the owner. All plants shall be free and in normal satisfactory growing condition at the end of the guarantee period.
8. Three inch deep shredded hardwood bark mulch will be installed under all trees and shrubs that are installed from ground maintenance areas.
9. A three inch layer of shredded hardwood mulch over weed barrier shall be installed in all tree and shrub areas around the planting installation dates.
10. All perennial plantings shall be mulched with a 2" layer of shredded hardwood mulch with no mulch under the plants.
11. Trees for the fall season shall be installed. The Landscape Contractor shall be responsible for maintaining trees in a straight upright condition for a period of twelve months following installation.

GROUND SURFACE LEGEND:



PRELIMINARY PLAN - NOT FOR CONSTRUCTION

ARTEKA
Companies

Landscape Development
Landscape Maintenance
Design - Build

8110 15th Street, Suite 100
Northridge, CA 91329
Phone: 818.222.2400 Fax: 818.222.2427

Project Name:
THE WATERS OF OAK CREEK

Drawn By: 15-04-16

Check: 15-04-16

Date: 15-04-16

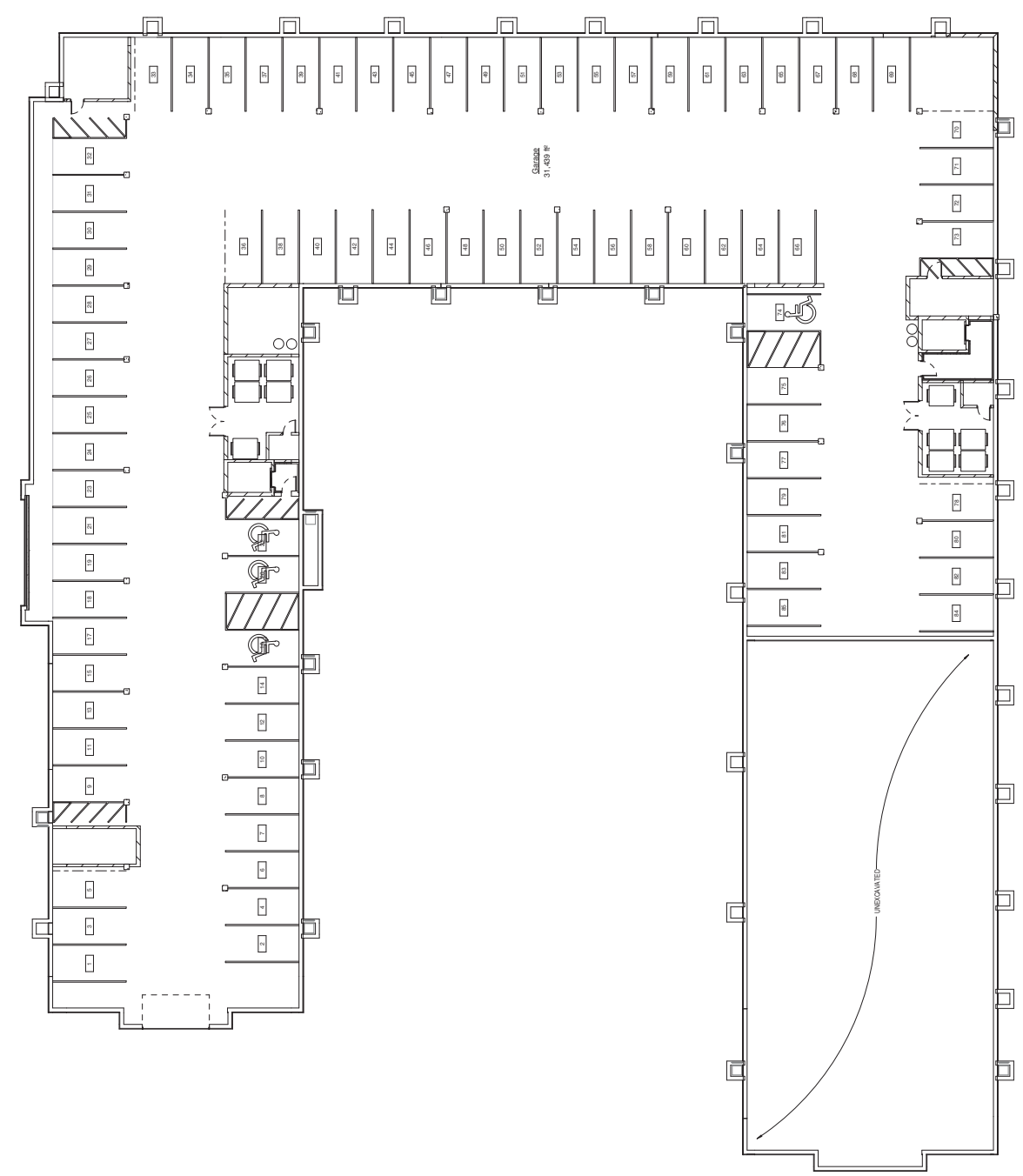
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Project Location:
OAK CREEK #14

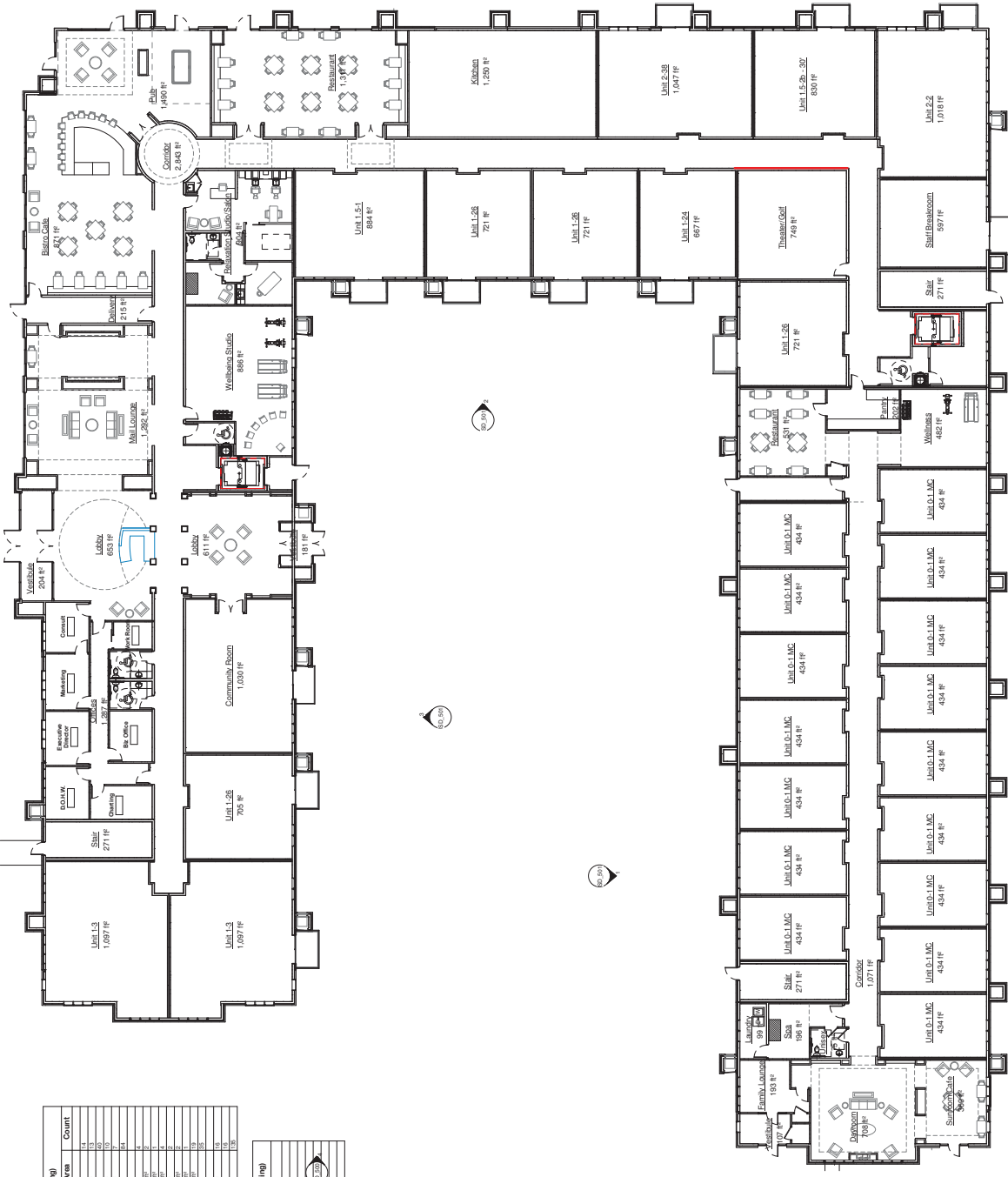
Sheet No:
PRELIMINARY LANDSCAPE PLAN

Scale:
1" = 20'-0"

Sheet No:
L1.0



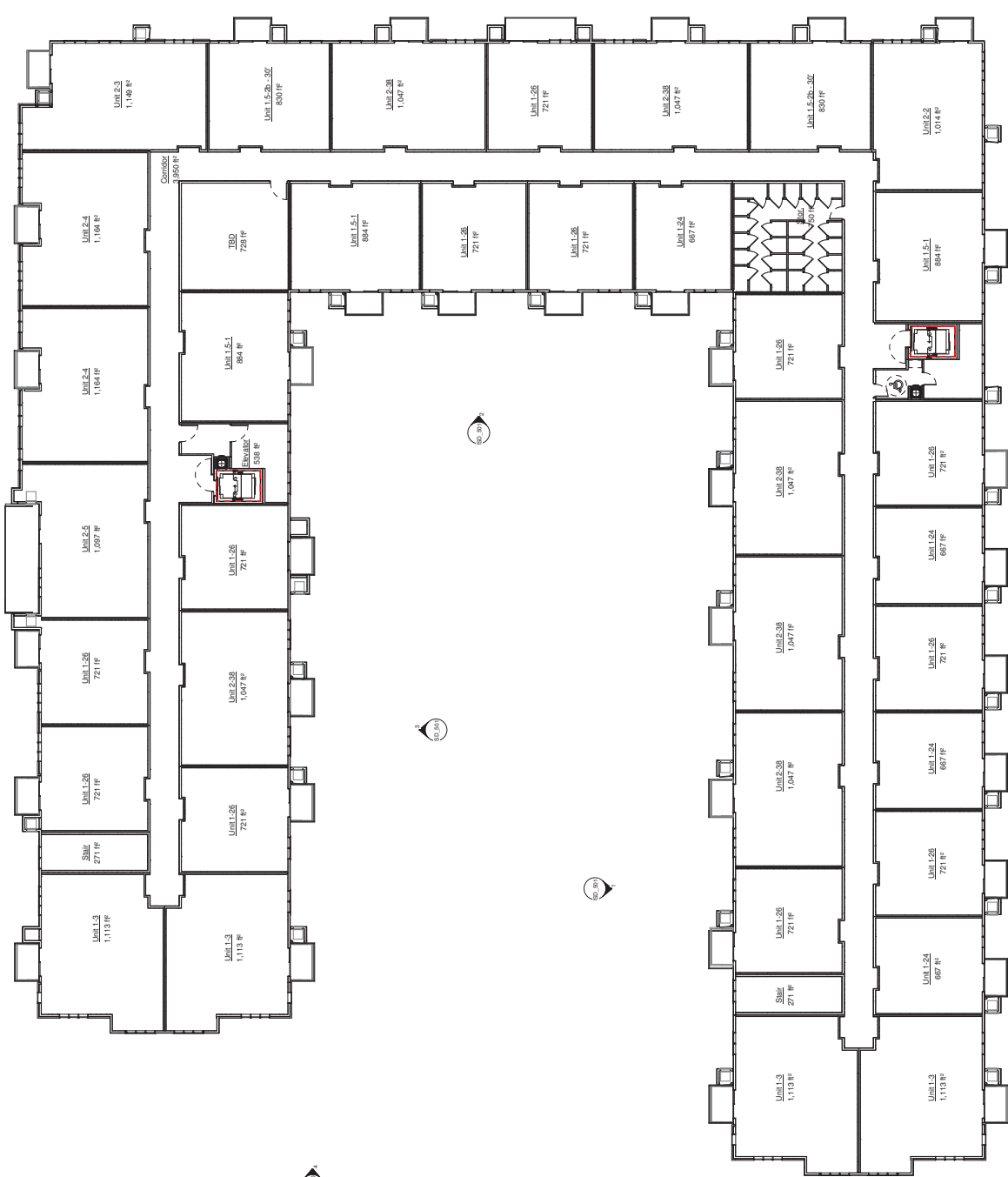
Ⓞ Garage Plan
 3/32" = 1'-0"



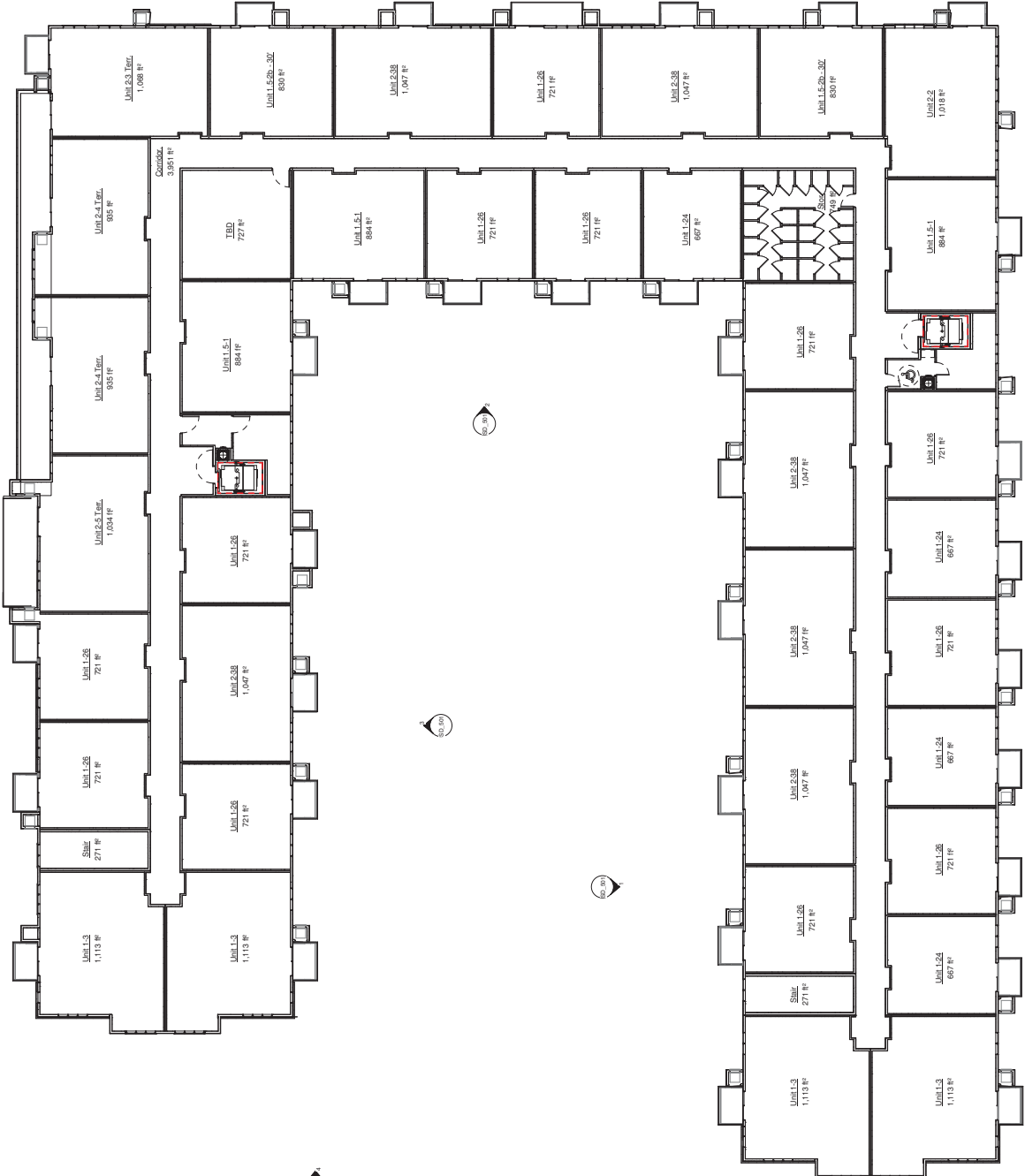
Unit Area (Gross Building)			
Name	Unit Type	Comments	Area
Unit L1.1	1BR	Apartment	697 SF
Unit L1.2	1BR	Apartment	697 SF
Unit L1.3	1BR	Apartment	697 SF
Unit L1.4	1BR	Apartment	697 SF
Unit L1.5	1BR	Apartment	697 SF
Unit L1.6	1BR	Apartment	697 SF
Unit L1.7	1BR	Apartment	697 SF
Unit L1.8	1BR	Apartment	697 SF
Unit L1.9	1BR	Apartment	697 SF
Unit L1.10	1BR	Apartment	697 SF
Unit L1.11	1BR	Apartment	697 SF
Unit L1.12	1BR	Apartment	697 SF
Unit L1.13	1BR	Apartment	697 SF
Unit L1.14	1BR	Apartment	697 SF
Unit L1.15	1BR	Apartment	697 SF
Unit L1.16	1BR	Apartment	697 SF
Unit L1.17	1BR	Apartment	697 SF
Unit L1.18	1BR	Apartment	697 SF
Unit L1.19	1BR	Apartment	697 SF
Unit L1.20	1BR	Apartment	697 SF
Unit L1.21	1BR	Apartment	697 SF
Unit L1.22	1BR	Apartment	697 SF
Unit L1.23	1BR	Apartment	697 SF
Unit L1.24	1BR	Apartment	697 SF
Unit L1.25	1BR	Apartment	697 SF
Unit L1.26	1BR	Apartment	697 SF
Unit L1.27	1BR	Apartment	697 SF
Unit L1.28	1BR	Apartment	697 SF
Unit L1.29	1BR	Apartment	697 SF
Unit L1.30	1BR	Apartment	697 SF
Unit L1.31	1BR	Apartment	697 SF
Unit L1.32	1BR	Apartment	697 SF
Unit L1.33	1BR	Apartment	697 SF
Unit L1.34	1BR	Apartment	697 SF
Unit L1.35	1BR	Apartment	697 SF
Unit L1.36	1BR	Apartment	697 SF
Unit L1.37	1BR	Apartment	697 SF
Unit L1.38	1BR	Apartment	697 SF
Unit L1.39	1BR	Apartment	697 SF
Unit L1.40	1BR	Apartment	697 SF
Unit L1.41	1BR	Apartment	697 SF
Unit L1.42	1BR	Apartment	697 SF
Unit L1.43	1BR	Apartment	697 SF
Unit L1.44	1BR	Apartment	697 SF
Unit L1.45	1BR	Apartment	697 SF
Unit L1.46	1BR	Apartment	697 SF
Unit L1.47	1BR	Apartment	697 SF
Unit L1.48	1BR	Apartment	697 SF
Unit L1.49	1BR	Apartment	697 SF
Unit L1.50	1BR	Apartment	697 SF
Unit L1.51	1BR	Apartment	697 SF
Unit L1.52	1BR	Apartment	697 SF
Unit L1.53	1BR	Apartment	697 SF
Unit L1.54	1BR	Apartment	697 SF
Unit L1.55	1BR	Apartment	697 SF
Unit L1.56	1BR	Apartment	697 SF
Unit L1.57	1BR	Apartment	697 SF
Unit L1.58	1BR	Apartment	697 SF
Unit L1.59	1BR	Apartment	697 SF
Unit L1.60	1BR	Apartment	697 SF
Unit L1.61	1BR	Apartment	697 SF
Unit L1.62	1BR	Apartment	697 SF
Unit L1.63	1BR	Apartment	697 SF
Unit L1.64	1BR	Apartment	697 SF
Unit L1.65	1BR	Apartment	697 SF
Unit L1.66	1BR	Apartment	697 SF
Unit L1.67	1BR	Apartment	697 SF
Unit L1.68	1BR	Apartment	697 SF
Unit L1.69	1BR	Apartment	697 SF
Unit L1.70	1BR	Apartment	697 SF
Unit L1.71	1BR	Apartment	697 SF
Unit L1.72	1BR	Apartment	697 SF
Unit L1.73	1BR	Apartment	697 SF
Unit L1.74	1BR	Apartment	697 SF
Unit L1.75	1BR	Apartment	697 SF
Unit L1.76	1BR	Apartment	697 SF
Unit L1.77	1BR	Apartment	697 SF
Unit L1.78	1BR	Apartment	697 SF
Unit L1.79	1BR	Apartment	697 SF
Unit L1.80	1BR	Apartment	697 SF
Unit L1.81	1BR	Apartment	697 SF
Unit L1.82	1BR	Apartment	697 SF
Unit L1.83	1BR	Apartment	697 SF
Unit L1.84	1BR	Apartment	697 SF
Unit L1.85	1BR	Apartment	697 SF
Unit L1.86	1BR	Apartment	697 SF
Unit L1.87	1BR	Apartment	697 SF
Unit L1.88	1BR	Apartment	697 SF
Unit L1.89	1BR	Apartment	697 SF
Unit L1.90	1BR	Apartment	697 SF
Unit L1.91	1BR	Apartment	697 SF
Unit L1.92	1BR	Apartment	697 SF
Unit L1.93	1BR	Apartment	697 SF
Unit L1.94	1BR	Apartment	697 SF
Unit L1.95	1BR	Apartment	697 SF
Unit L1.96	1BR	Apartment	697 SF
Unit L1.97	1BR	Apartment	697 SF
Unit L1.98	1BR	Apartment	697 SF
Unit L1.99	1BR	Apartment	697 SF
Unit L1.100	1BR	Apartment	697 SF

Area Schedule (Gross Building)	
Level	Area
1st Floor	15,420 SF
2nd Floor	15,420 SF
3rd Floor	15,420 SF
4th Floor	15,420 SF
5th Floor	15,420 SF
6th Floor	15,420 SF
7th Floor	15,420 SF
8th Floor	15,420 SF
9th Floor	15,420 SF
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91st Floor	15,420 SF
92nd Floor	15,420 SF
93rd Floor	15,420 SF
94th Floor	15,420 SF
95th Floor	15,420 SF
96th Floor	15,420 SF
97th Floor	15,420 SF
98th Floor	15,420 SF
99th Floor	15,420 SF
100th Floor	15,420 SF

First Floor Plan
3/32" = 1'-0"



Level 3
 3/32" = 1'-0"



① Fourth Floor Plan
 3/32" = 1'-0"

RECEIVED
By: Karl Papadimitriou at 11:09 am, Nov 01, 2016



① Elevation - West
3/32" = 1'-0"



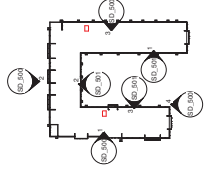
② Elevation - North
3/32" = 1'-0"



③ Elevation - East
3/32" = 1'-0"



④ Elevation - South
3/32" = 1'-0"



⑤ Elevation Key - 1
1" = 100'-0"

Exterior Elevations As Indicated

SD_500

NOT FOR CONSTRUCTION

Date: 10/24/2016
Project Number: 1546
Owner: The Waters Senior Living

1000 Hopkins Crossroad Minneapolis, MN 55305
Oak Creek, Wisconsin

The Waters of Oak Creek
Project:

1301 American Blvd E
Suite 100
Bloomington, MN 55425
Tel: (612) 875-6666
www.wilsonwilson.com



The Waters of Oak Creek

Oak Creek, Wisconsin

KW KAS WILSON
1301 American Blvd E
Suite 100
Bloomington, MN 55425
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Fax: (612) 879-6001
www.kaswilson.com



ARTIST'S CONCEPTUAL RENDERING

Project:
The Waters of Oak Creek
Oak Creek, Wisconsin

Owner:
The Waters Senior Living
1800 Hopkins Crossroad Minneapolis, MN 55305

Project Number: 1546
Date: 10/24/2016

NOT FOR CONSTRUCTION

Date:

Revision:

Rev. No.:

Exterior
Rendering

SD_000



Plan Commission Report

ITEM: 5c

DATE: November 8, 2016

PROJECT: Site and Monument Sign Plan Review – Russell Legg, Aurora Health Care

ADDRESSES: 200 & 228 E. Ryan Rd. and 9444 & 9454 S. Howell Ave.

TAX KEY NOS: 874-9994-001, 874-9993-001, 874-9995, 874-9000-001

STAFF RECOMMENDATION: That the Plan Commission approves the site plans submitted by Russell Legg, Aurora Health Care, for the properties at 200 & 228 E. Ryan Rd. and 9444 & 9454 S. Howell Ave., with the following conditions:

1. That all building and fire codes are met.
2. That the applicant provide all required reviews and approvals from the Wisconsin Department of Transportation for the proposed access drives to the Department of Community Development and the Engineering Department prior to submission of permit applications.
3. That all mechanical equipment (ground, building, and rooftop) is screened from view.
4. That all proposed sign plans are revised to meet all requirements of Sections 17.0706, 17.0711, and 17.0714.
5. That all revised plans (site, landscaping, signage, etc.) are submitted in digital and paper formats for review and approval by the Department of Community Development prior to the submission of building permit applications.
6. That final lighting plans indicating luminaire type, pole type, color, and height are submitted for final approval by the Director of Community Development, upon written recommendation of the Electrical Inspector prior to submission of building permit applications.
7. That stormwater and grading plans are submitted for final approval by the Engineering Department prior to issuance of permits.
8. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.

Ownership: Aurora Medical Group, P.O. Box 341880, Milwaukee, WI 53215

Size: 4.7170 ac (combined)

Existing Zoning: B-4, Highway Business

Adjacent Zoning: North – Rs-3, Single Family Residential
East – Rs-3, Single Family Residential
South – B-4, Highway Business; B-4 (CCU), Highway Business
West – B-4 (CU), Highway Business

Comprehensive Plan: Planned Business.

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting site, landscaping, and monument sign plan approval for site modifications, signage, and an expansion to the existing parking lot at 200 & 228 E. Ryan Rd. and 9444 & 9454 S. Howell Ave. The proposal is related to the CSM reviewed by the Plan Commission at the meeting on October 25, and proposed interior modifications to the existing building for an Aurora Health Care facility.

As mentioned during the review of the CSM to combine the properties, the structures on the two Howell Ave. properties will be demolished. Parking is proposed to be expanded west and north, bringing the total onsite parking count to 220. Section 17.0403(j)(3)(a) requires 5 patron spaces per doctor plus one stall per employee during peak shift. Per the information supplied by the Applicant, approximately 8 physicians and 30 caregivers are anticipated at the new clinic at various times within the proposed hours of operation. Hours for various operations within the facility would be between 7:00 AM and 8:00 PM, with no more than five small deliveries anticipated per day. Based on this information, it appears that parking stall requirements are met. Setbacks also appear to be met in the proposed plans.

Access to the site will require approval from WisDOT as Howell Ave. and Ryan Rd. are state highways. Therefore, the proposed driveway locations may change. A condition of approval that all state approvals for access are obtained and copies submitted to the City prior to issuance of permits.

While no modifications to the exterior building façade are proposed other than paint and repairs, the programmatic needs of the clinic now include the addition of three rooftop mechanical units. All ground, building, and rooftop mechanicals and utility boxes must be screened. One split-face CMU dumpster enclosure with prefinished metal siding gates is proposed on the northeast side of the building. A 6-foot-tall wood fence is proposed to replace the existing fence on the property, beginning at the landscape island on the north side of the west driveway, extending along the north side of the property (set back from the property line), and wrapping around the parking on the east side before terminating at the landscape island by the southeast access drive.

Three (3) directional signs and two (2) monument signs are shown on the site plans. No details for the directional signs have been provided; however, directional signs are limited to a height of 5 feet above grade and no more than 6 square feet in area per side. One design for a monument sign was contained within the submitted plans, but details for the sign itself (materials, illumination, etc.) are missing. Per Section 17.0706(d), ground signs may not exceed 8 feet in height nor 100 square feet per side (max. 200 square feet total), must include address numbers on all sides, must be located a minimum of 10 feet from all property lines and street rights-of-way, and must be located outside of required vision triangles. Electronic message boards are limited to a maximum of 50 square feet. As proposed, the monument sign exceeds the height (16 feet), may exceed the maximum square footage allowance (width dimensions are missing), and the location on Ryan Rd. does not meet required setbacks to the right-of-way. Revised plans are required to be submitted to the Department of Community Development in the conditions of approval above.

Landscaping and stormwater management plans have been submitted; however, additional information is required prior to complete reviews. Comments received from the Water and Sewer Utility and provided to the Applicant's consultants are below:

1. Abandon two water and two sewer laterals at the main in Howell Avenue.
2. Abandon one unused sanitary sewer lateral at the main in Ryan Road.
3. Move existing fire hydrant in proposed driveway on Ryan road to the east to mitigate the conflict.
4. No trees planted above the water main.

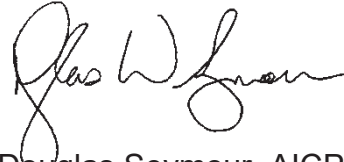
Lighting plans submitted for the expanded parking areas will require approval by the Electrical Inspector prior to issuance of permits.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

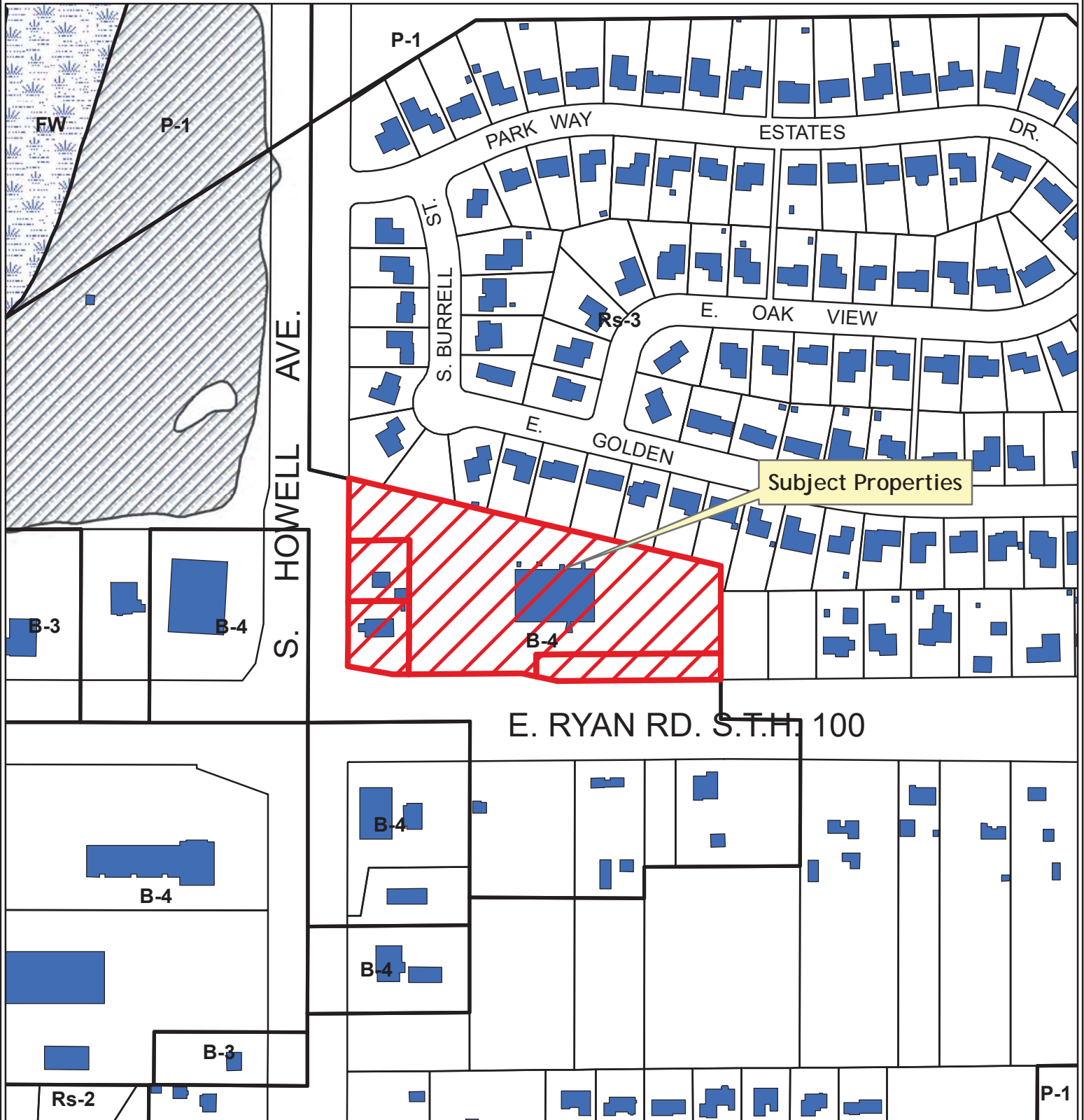


Douglas Seymour, AICP
Director of Community Development

Location Map

9444, 9454 S. Howell Ave.

200, 228 E. Ryan Rd.






This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



-  Subject Parcels
-  Floodway
-  Floodfringe



**Oak Creek Health Center
Plan Commission
Narrative**

October 10, 2016



Project Overview

Aurora Health Care has proudly served residents of the Oak Creek community at the Aurora Lakeshore Medical Clinic since 1995. Aurora is committed to continuing to deliver high-quality, cost-efficient health care to our patients residing in Oak Creek and surrounding communities for many years to come.

With this in mind, and in order to meet the growing and changing health care needs of our community, Aurora is proposing to open a new clinic at a vacant building site located at 200 E. Ryan Road. If approved, this \$17 million investment would serve as a replacement facility for the Aurora Lakeshore Medical Clinic located at 331 E. Puetz Road and provide additional square footage needed to increase health care access and support our growing patient demand.

The new Ryan Road site would provide more space (20,000 additional square feet more than our existing 10,000). The site currently houses an existing three-story building and two smaller adjacent structures. Our plan seeks to demolish the two smaller buildings along Howell Avenue and renovate the larger three-story existing building to suit the needs of the future clinic. The third floor of this building will be set aside for future growth.

The detailed operational plans for this new site are still being completed, but at this point we know that the new location will offer several new and expanded services, including urgent care, primary care, and varied specialties; along with supporting radiology, lab and pharmacy areas.

Site Considerations

It is Aurora's intent that the existing three-story structure would look much as it does today, with the vast majority of the renovations taking place inside the facility. Some minor renovations to the exterior could be considered standard maintenance, including painting and soffit replacement. Colors would be similar to what exists today.

The more noticeable improvements would be done to the site as a whole. The two smaller structures along Howell would be razed to allow for better visibility and access to the facility, as well as increased parking and handicap accessibility. The landscaping and storm water management would be improved upon to align with current standards, and the dumpsters would be enclosed in a structure for safety purposes and to screen them from view. The details of the signage for the building and the site are still being developed.

Please refer to the attached drawings showing the details of the project.

Requested Details

Hours of operation:

- The medical clinic would have standard hours from 8:00 a.m. to 5:00 p.m. Monday through Friday, with extended convenience hours from 7:00 a.m. to 6:00 p.m. on select days.



which are yet to be determined. Caregivers typically arrive one hour early and depart one hour after the clinic closes in the evening.

- The urgent care clinic, lab, imaging and pharmacy would be open from 8:00 a.m. to 8:00 p.m., daily. Caregivers typically arrive one hour early and depart an hour after close in the evening.

Frequency of deliveries to the site: Five or fewer deliveries would be anticipated per day, primarily by small panel trucks and courier vans.

Number of employees: Approximately 38 individuals, including 30 caregivers and eight physicians, are estimated to be employed at this clinic site.

Number of employees per shift:

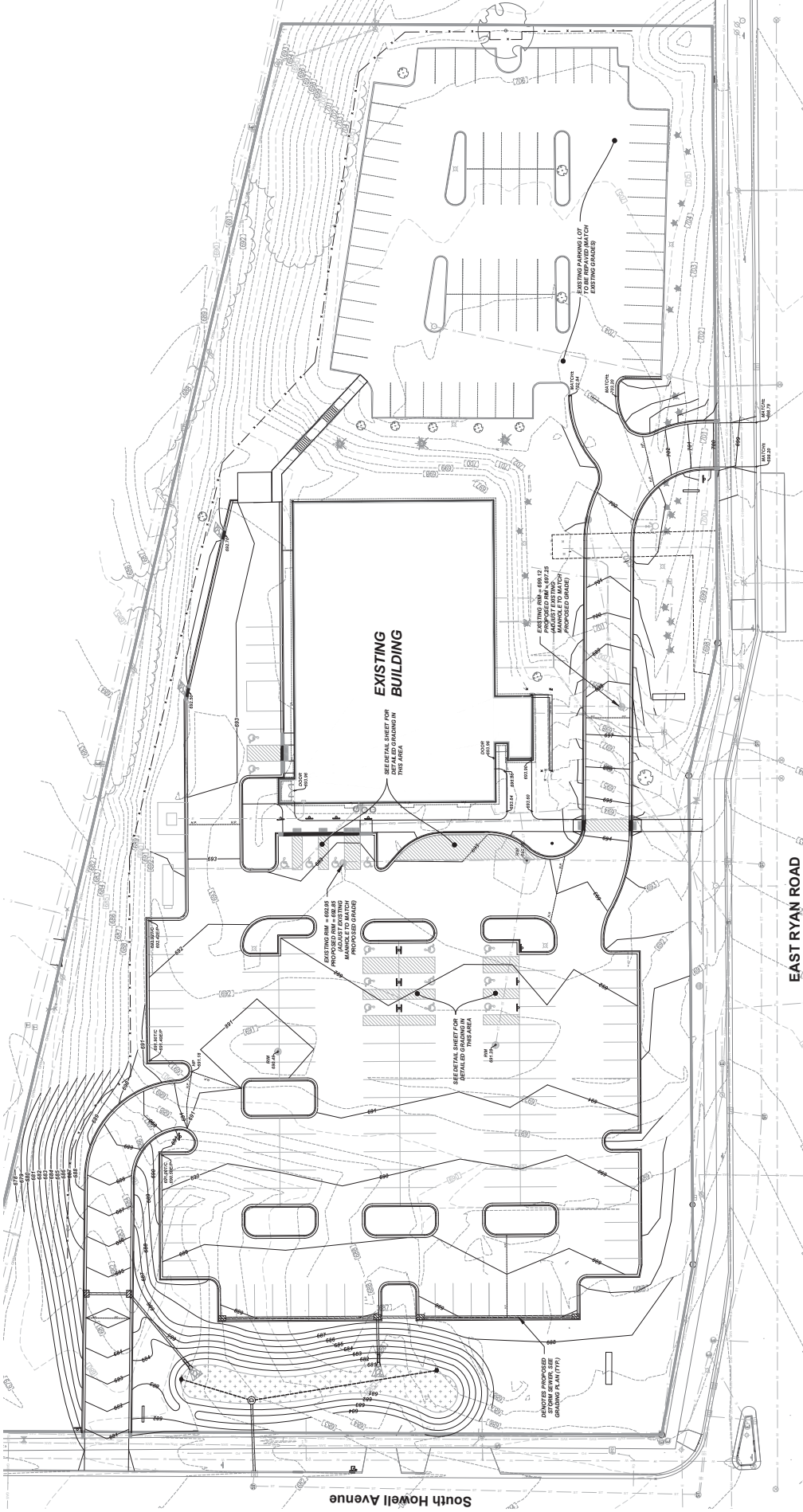
- The medical clinic would have one shift per day, from 8:00 a.m. to 5:00 p.m. or on extended business days from 7:00 a.m. to 6:00 p.m. Approximately 20 caregivers and seven physicians would be on site per shift.
- The urgent care clinic, imaging, lab and pharmacy would have two shifts per day that run from 8:00 a.m. to 5:00 p.m. and from 5:00 p.m. to 8:00 p.m. We anticipate five caregivers, including medical assistants advance practiced providers and support staff, and one physician will be on site per shift. Additionally, we estimate there would be one per shift in imaging, two in lab and two in pharmacy.

Number of parking spaces: Approximately 220 parking spaces would be provided on site, conforming with national guidelines of 4.5 spaces per 1,000 square feet of space. Approximately 2/3 of these spaces will serve the patients visiting the site, and the other 1/3 is for staff (located more remote from the main entry). The parking lot would be sized to meet the needs of the clinic today, as well as provide ample parking when / if the third floor is renovated.

Conclusion

As a longtime member of the Oak Creek community, Aurora looks forward to the opportunity to expand services and improve health care access to residents of the City of Oak Creek and surrounding communities. Thank you in advance for your consideration of this proposal.





Storm Structure Table

Structure Number	Structure Details
100	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
101	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
102	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
103	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
104	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
105	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
106	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
107	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
108	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
109	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
110	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
111	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
112	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
113	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
114	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
115	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
116	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
117	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
118	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
119	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
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121	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
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128	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
129	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
130	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE

Storm Pipe Table

Pipe Name	Size	Material	Length	Slope	Description
PIP-101	12"	PVC	37'	4.40%	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
PIP-102	12"	PVC	27'	8.00%	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
PIP-103	12"	PVC	47'	4.40%	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
PIP-104	12"	PVC	21'	1.00%	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
PIP-105	12"	PVC	25'	4.40%	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
PIP-106	12"	PVC	27'	2.20%	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
PIP-107	12"	PVC	27'	1.00%	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
PIP-108	12"	PVC	17'	1.00%	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE
PIP-109	12"	PVC	17'	1.00%	EXISTING 12" DIA. 15' DEEP MANHOLE WITH 12" DIA. 15' DEEP CONCRETE STRUCTURE

Utility Legend

SYMBOL	DESCRIPTION
[Symbol]	PROPOSED WATER SERVICE
[Symbol]	EXISTING ELECTRICAL LINE
[Symbol]	PROPOSED ELECTRICAL LINE
[Symbol]	PROPOSED GAS MAIN
[Symbol]	PROPOSED SANITARY MAIN
[Symbol]	EXISTING 12" DIA. STORM SEWER
[Symbol]	PROPOSED STORM SEWER
[Symbol]	EXISTING POWER POLES
[Symbol]	EXISTING LIGHT POLES
[Symbol]	SANITARY MANHOLE
[Symbol]	FIRE HYDRANT
[Symbol]	EXISTING WATER VALVE
[Symbol]	PROPOSED WATER VALVE
[Symbol]	EXISTING STORM STRUCTURE
[Symbol]	PROPOSED STORM STRUCTURE
[Symbol]	EXISTING STORM STRUCTURE PATH
[Symbol]	PROPOSED STORM STRUCTURE PATH
[Symbol]	PROPOSED EXISTING SPOT GRADE

IN ACCORDANCE WITH WISCONSIN STATUTE, ANY AND ALL GRADING TO BE PERFORMED SHALL BE SUBJECT TO THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR). THE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR). THE STATUTE RELATIVE TO EXCAVATION'S WORK.

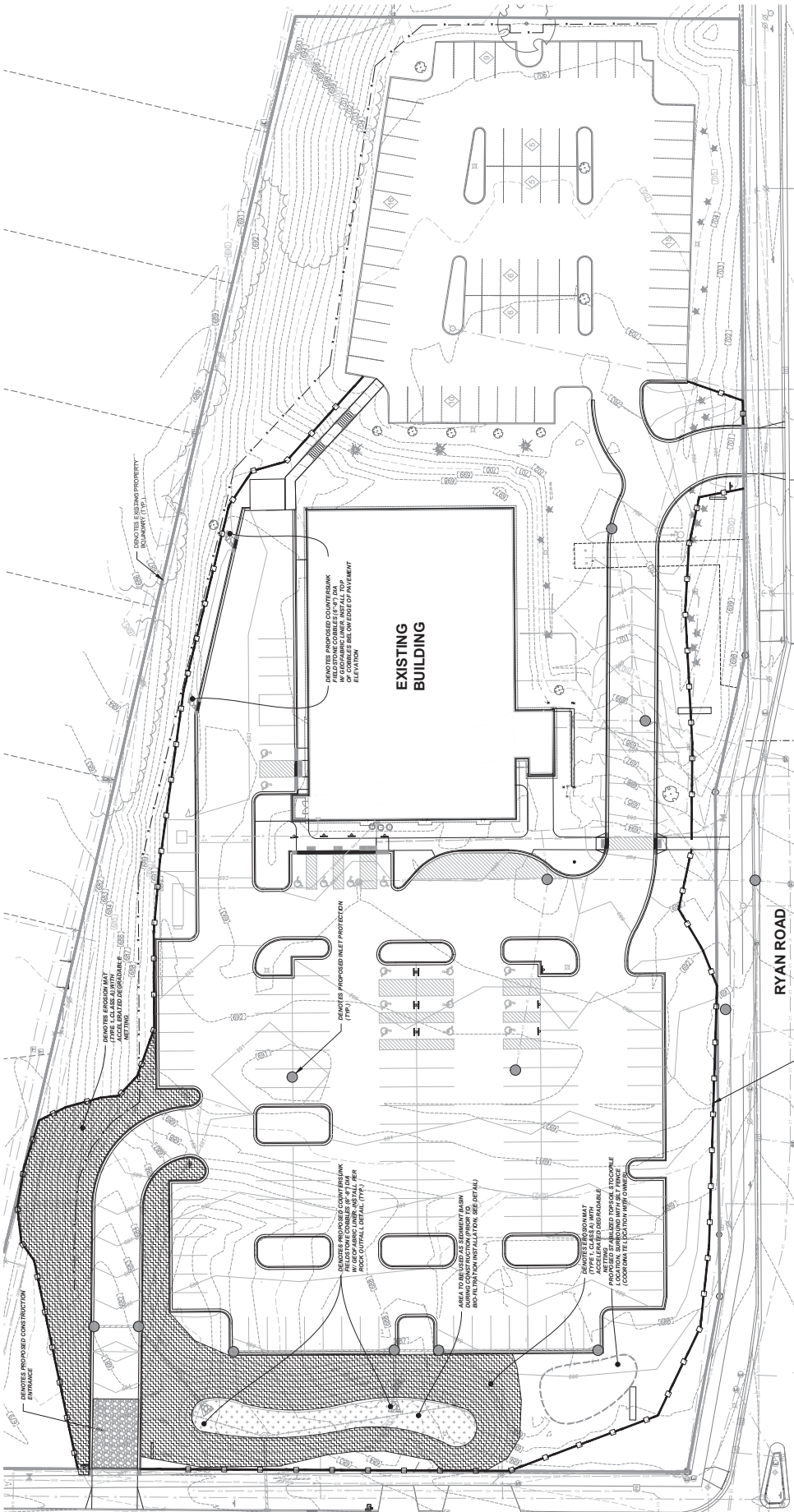


PLAN COMMISSION SET NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	10/18/16	ISSUED FOR PERMIT
2	10/18/16	ISSUED FOR PERMIT
3	10/18/16	ISSUED FOR PERMIT
4	10/18/16	ISSUED FOR PERMIT
5	10/18/16	ISSUED FOR PERMIT
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29	10/18/16	ISSUED FOR PERMIT
30	10/18/16	ISSUED FOR PERMIT

DATE: OCTOBER 18, 2016

Project No: 16078.00
 SHEET NO: C1.02



UTILITY LEGEND

SYMBOL	DESCRIPTION
(Symbol: Solid line with dots)	EXISTING WATER SERVICE
(Symbol: Solid line with triangles)	PROPOSED WATER SERVICE
(Symbol: Dashed line)	EXISTING ELECTRICAL LINE
(Symbol: Dashed line with dots)	PROPOSED ELECTRICAL LINE
(Symbol: Dashed line with squares)	PROPOSED GAS MAIN
(Symbol: Dashed line with circles)	PROPOSED SANITARY SEWER
(Symbol: Dashed line with diamonds)	PROPOSED STORM SEWER
(Symbol: Dashed line with crosses)	EXISTING POWER POLES
(Symbol: Dashed line with asterisks)	EXISTING LIGHT POLES
(Symbol: Dashed line with squares)	EXISTING SANITARY MANHOLE
(Symbol: Dashed line with circles)	EXISTING FIRE HYDRANT
(Symbol: Dashed line with triangles)	PROPOSED WATER VALVE
(Symbol: Dashed line with diamonds)	PROPOSED STORM STRUCTURE
(Symbol: Dashed line with crosses)	PROPOSED ELECTRICAL OVERHEAD AND TEL. CABLE ROUTE
(Symbol: Dashed line with asterisks)	PROPOSED EXISTING SPOT GRADE

EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
(Symbol: Dashed line)	SILT FILTER FENCE
(Symbol: Dashed line with dots)	CONSTRUCTION ENTRANCE
(Symbol: Dashed line with triangles)	EROSION MAT
(Symbol: Dashed line with squares)	DITCH CHECK
(Symbol: Dashed line with circles)	STABILIZED TOPSOIL PILE
(Symbol: Dashed line with diamonds)	INLET SEDIMENT GUARD

- INSTALL OTHER UTILITIES
- BEFORE BUILDING CONSTRUCTION
- RESERVE TOPSOIL FROM STOCKPILES TO A DEPTH OF 6 INCHES
- CONTRACTOR COORDINATE WITH OWNER FINAL GRADE, SEDIMENT CONTROL PLAN, AND MATERIALS LIST TO CONFORM WITH APPROVED FINAL SEED AND SOIL SPEC. EROSION CONTROL MATTING TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- INSTALL APPROPRIATE BASE COURSE IN AREAS TO BE ASPHALT AND/OR CONCRETE
- INSTALL ASPHALT AND CONCRETE SECTIONS
- REMOVE ACCUMULATED SEDIMENT IN ROADWAY FROM AREA AND INSTALLED TOPSOIL AND STORM WATER AND CONSTRUCT TEMPORARY SEEDING MATS. ALSO, PROTECT THE SOIL FROM EROSION IN THIS AREA AS THIS AREA WILL BE USED FOR A SEDIMENT CONTROL TRAP IN THIS AREA. THIS AREA WILL BE USED FOR A SEDIMENT CONTROL TRAP IN THIS AREA. THIS AREA WILL BE USED FOR A SEDIMENT CONTROL TRAP IN THIS AREA. THIS AREA WILL BE USED FOR A SEDIMENT CONTROL TRAP IN THIS AREA.
- ON SITE STABILIZATION, REMOVE TEMPORARY EROSION CONTROL STRUCTURES FROM SITE AND REMOVE CONSTRUCTION DEBRIS AND ACCUMULATED SEDIMENT FROM BUFFER ZONE STRUCTURES
- CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS FROM THE SITE AND TRUCKED TO OTHER APPROVED METHOD. ANY TOPSOIL STOCKPILES WITHIN 25' OF A BUFFER ZONE SHALL BE COVERED WITH ERASER MATTING OR OTHER APPROVED METHOD. ALL SLOPES SHALL BE REVEGETATED WITH SEED SOIL, MULCH, OR OTHER APPROVED METHOD.
- TRUCK OFF EXCESS MATTING

EROSION CONTROL NOTES AND FINISHES

- INSTALL EROSION CONTROL MATTING ON APRIL 2016
- FINAL SEEDING AND RESTORATION: JULY 2016
- BEFORE FINAL INSTALLATION BEGINNING, AND RESTORATION: AUGUST 2016
- ALL CHANGES TO THE ABOVE SCHEDULE SHALL BE REVIEWED AND APPROVED BY THE MUNICIPALITY
- CONTRACTOR SHALL INSPECT ALL EROSION CONTROL PRACTICES DURING CONSTRUCTION AND REPORT ANY DEFICIENCIES TO THE MUNICIPALITY. THE CONTRACTOR SHALL PERFORM ALL INSPECTOR AND OTHER REQUIRED REPAIRS WITHIN 24 HOURS
- ALL REPAIRS TO EROSION CONTROL MATTING SHALL BE MADE WITHIN 24 HOURS
- PLACE ALL APPROPRIATE EROSION CONTROL MATTING WITHIN 24 HOURS OF CONSTRUCTION ENTRANCES, SEDIMENT TRAPPING PADS, AND OTHER EROSION CONTROL STRUCTURES. EROSION CONTROL MATTING SHALL BE REMOVED AS SOON AS THE AREA IS READY FOR FINAL CONSTRUCTION
- BEFORE FINAL GRADING, BOARD WALKWAY MARKING, AND INSTALLING STORM WATER UTILITIES, INCLUDING STORM WATER AND CONSTRUCTION TEMPORARY SEEDING MATS, ALSO, PROTECT THE SOIL FROM EROSION IN THIS AREA AS THIS AREA WILL BE USED FOR A SEDIMENT CONTROL TRAP IN THIS AREA. THIS AREA WILL BE USED FOR A SEDIMENT CONTROL TRAP IN THIS AREA. THIS AREA WILL BE USED FOR A SEDIMENT CONTROL TRAP IN THIS AREA.
- PLACE GEO FABRIC AND ROCK AT CUTSILLS AS INDICATED ON PLANS
- REMOVE ALL CONSTRUCTION DEBRIS AND ACCUMULATED SEDIMENT FROM BUFFER ZONE STRUCTURES
- CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS FROM THE SITE AND TRUCKED TO OTHER APPROVED METHOD. ANY TOPSOIL STOCKPILES WITHIN 25' OF A BUFFER ZONE SHALL BE COVERED WITH ERASER MATTING OR OTHER APPROVED METHOD. ALL SLOPES SHALL BE REVEGETATED WITH SEED SOIL, MULCH, OR OTHER APPROVED METHOD.

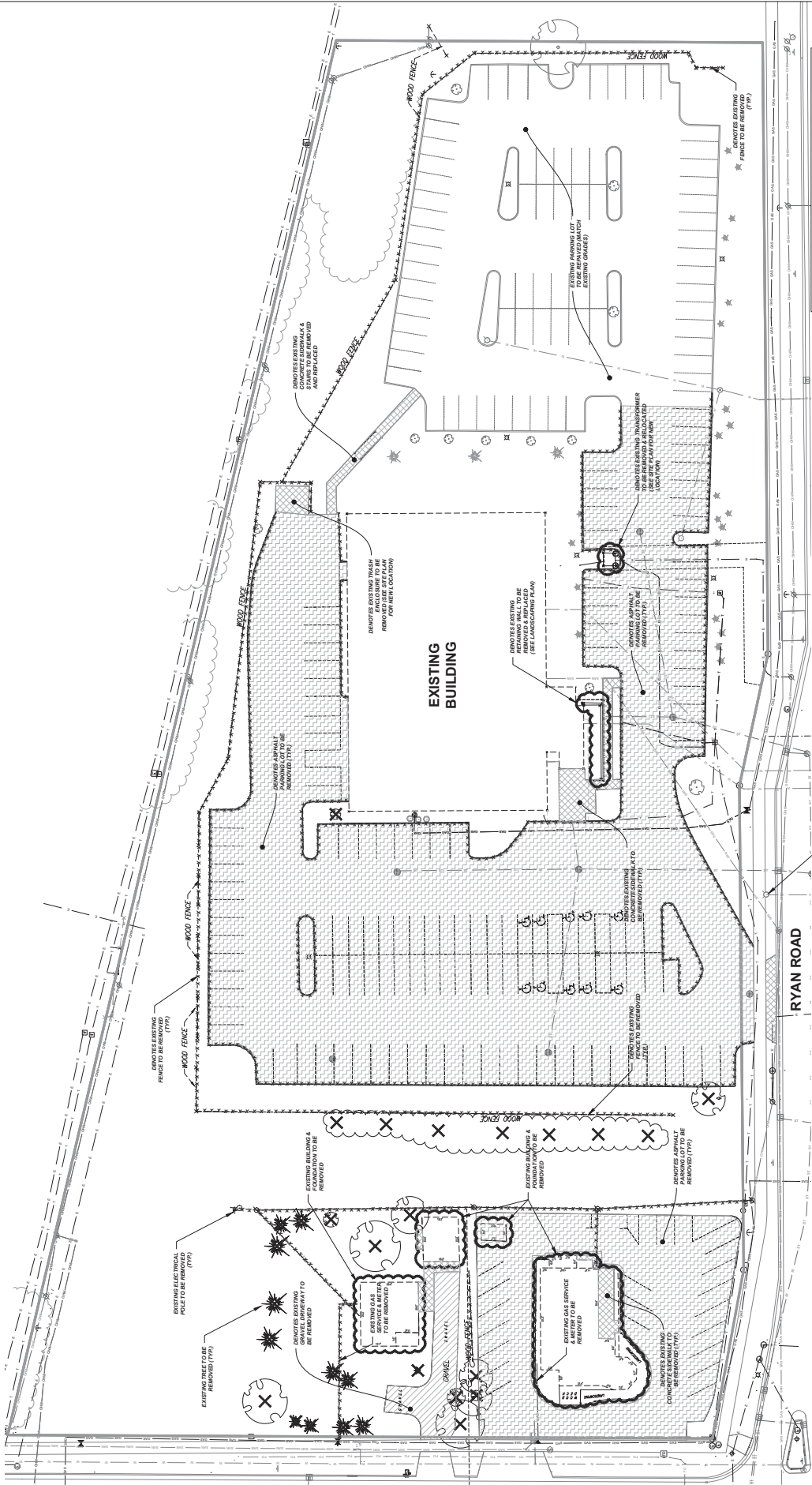


IN ACCORDANCE WITH WISCONSIN STATUTE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND STATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND STATE AGENCIES.

**PLAN COMMISSION
 SET NOT FOR
 CONSTRUCTION**

Scale: 1" = 20'
 Date: OCTOBER 18, 2016
 Project No: 16078.00
 Sheet No: C1.03

IN ACCORDANCE WITH WISCONSIN STATUTE CHAPTERS 19.02 AND 19.03, THE ENGINEER IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER SERVICES OR PRODUCTS PROVIDED BY THE ENGINEER OR ANY OTHER PARTY. THE ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



DEMOLITION LEGEND

- DEMOTES ITEM TO BE REMOVED OR DEMOLISHED
- DEMOTES PAVEMENT REMOVAL AREA
- DEMOTES CONCRETE SUBGRADE REMOVAL AREA
- DEMOTES GRAVEL DRIVEWAY REMOVAL AREA
- DEMOTES ITEM TO BE AMORPHOUS OR REMOVED
- DEMOTES TREE TO BE REMOVED

UTILITY LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING WATER SERVICE
(Symbol)	PROPOSED WATER SERVICE
(Symbol)	EXISTING ELECTRICAL LINE
(Symbol)	PROPOSED ELECTRICAL LINE
(Symbol)	EXISTING GAS MAIN
(Symbol)	PROPOSED GAS MAIN
(Symbol)	EXISTING SANITARY SEWER
(Symbol)	PROPOSED SANITARY SEWER
(Symbol)	EXISTING STORM SEWER
(Symbol)	PROPOSED STORM SEWER
(Symbol)	EXISTING POWER POLES
(Symbol)	PROPOSED POWER POLES
(Symbol)	EXISTING LIGHT POLES
(Symbol)	PROPOSED LIGHT POLES
(Symbol)	SANITARY MANHOLE
(Symbol)	EXISTING WATER VALVE
(Symbol)	PROPOSED WATER VALVE
(Symbol)	EXISTING STORM STRUCTURE
(Symbol)	PROPOSED STORM STRUCTURE
(Symbol)	EXISTING UTILITY ROUTE / CHANGING PATH
(Symbol)	PROPOSED UTILITY ROUTE / CHANGING PATH
(Symbol)	PROPOSED EXISTING SPOT GRACE



PLAT OF SURVEY
 WITH TOPOGRAPHIC INFORMATION

CLIENT: Aurora Health Center
 PROJECT: Existing Survey

SITE ADDRESS: 2005 East Ryan Road, City of Oak Creek, Milwaukee County, Wisconsin.

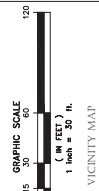
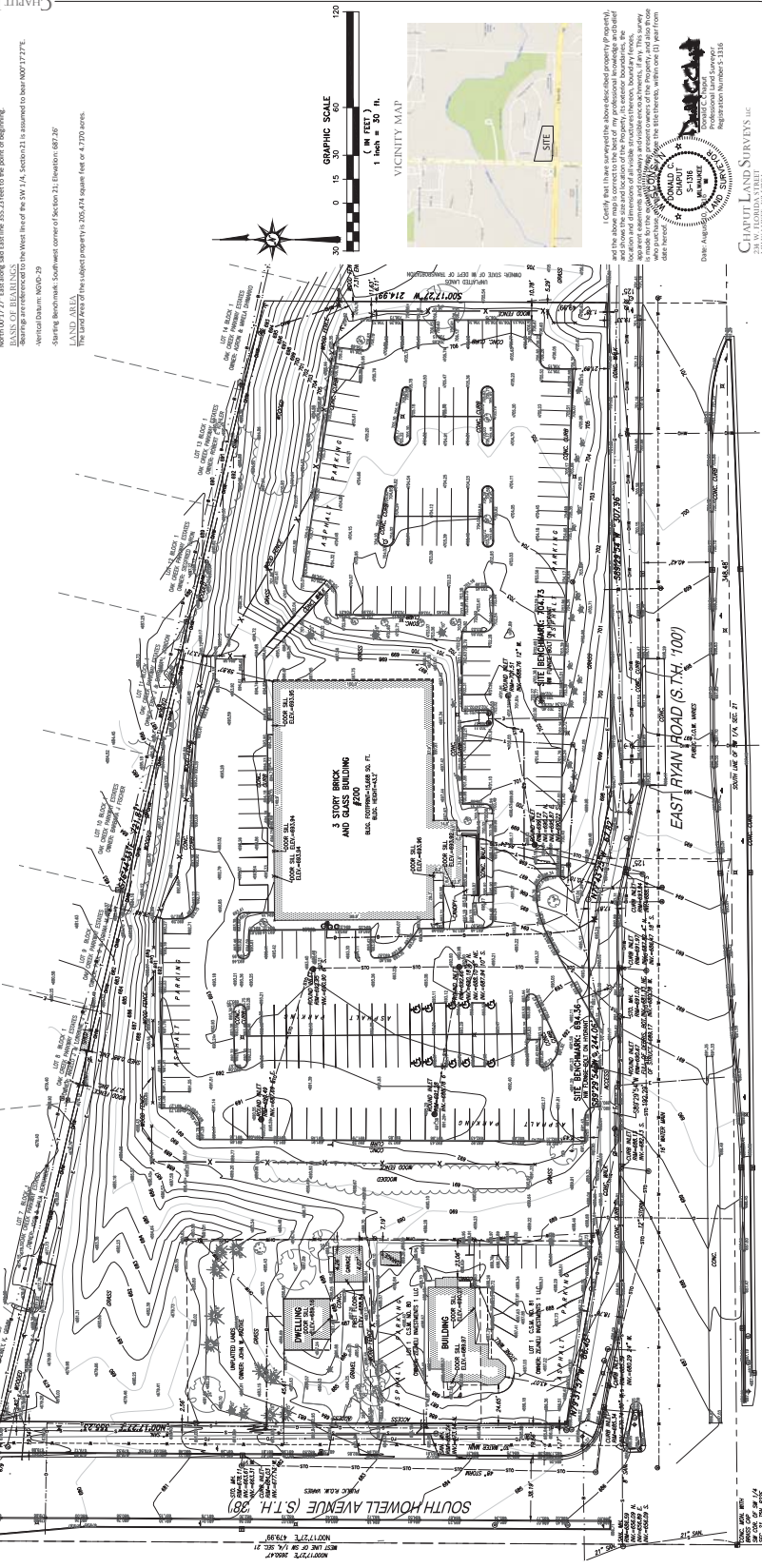
LEGAL DESCRIPTION: Lot 14, Subdivision 1, Section 21, Township 5 North, Range 22 East, 4th Meridian, Milwaukee County, Wisconsin, bounded on the north by the Southwest corner of said S1/4, Section 21, Township 5 North, Range 22 East, 4th Meridian, Milwaukee County, Wisconsin, bounded on the east by the West line of said S1/4, Section 21, Township 5 North, Range 22 East, 4th Meridian, Milwaukee County, Wisconsin, bounded on the south by the East line of said S1/4, Section 21, Township 5 North, Range 22 East, 4th Meridian, Milwaukee County, Wisconsin, bounded on the west by the West line of said S1/4, Section 21, Township 5 North, Range 22 East, 4th Meridian, Milwaukee County, Wisconsin, bounded on the north by the Southwest corner of said S1/4, Section 21, Township 5 North, Range 22 East, 4th Meridian, Milwaukee County, Wisconsin, bounded on the east by the West line of said S1/4, Section 21, Township 5 North, Range 22 East, 4th Meridian, Milwaukee County, Wisconsin, bounded on the south by the East line of said S1/4, Section 21, Township 5 North, Range 22 East, 4th Meridian, Milwaukee County, Wisconsin, bounded on the west by the West line of said S1/4, Section 21, Township 5 North, Range 22 East, 4th Meridian, Milwaukee County, Wisconsin.

LAND AREA: The Land Area of the subject property is 305,674 square feet or 4.700 acres.

Vertical Datum: NAVD83
Starting Benchmark: Southwest corner of Section 21, Elevation: 687.26'

LEGEND

INDICATES FOUND 1" DIA. PIPE	INDICATES FOUND 2" DIA. PIPE	INDICATES FOUND 4" DIA. PIPE	INDICATES FOUND 6" DIA. PIPE	INDICATES FOUND 8" DIA. PIPE	INDICATES FOUND 10" DIA. PIPE	INDICATES FOUND 12" DIA. PIPE	INDICATES FOUND 14" DIA. PIPE	INDICATES FOUND 16" DIA. PIPE	INDICATES FOUND 18" DIA. PIPE	INDICATES FOUND 20" DIA. PIPE	INDICATES FOUND 24" DIA. PIPE	INDICATES FOUND 30" DIA. PIPE	INDICATES FOUND 36" DIA. PIPE	INDICATES FOUND 42" DIA. PIPE	INDICATES FOUND 48" DIA. PIPE	INDICATES FOUND 54" DIA. PIPE	INDICATES FOUND 60" DIA. PIPE	INDICATES FOUND 66" DIA. PIPE	INDICATES FOUND 72" DIA. PIPE	INDICATES FOUND 78" DIA. PIPE	INDICATES FOUND 84" DIA. PIPE	INDICATES FOUND 90" DIA. PIPE	INDICATES FOUND 96" DIA. PIPE	INDICATES FOUND 102" DIA. PIPE	INDICATES FOUND 108" DIA. PIPE	INDICATES FOUND 114" DIA. PIPE	INDICATES FOUND 120" DIA. PIPE	INDICATES FOUND 126" DIA. PIPE	INDICATES FOUND 132" DIA. PIPE	INDICATES FOUND 138" DIA. PIPE	INDICATES FOUND 144" DIA. PIPE	INDICATES FOUND 150" DIA. PIPE	INDICATES FOUND 156" DIA. PIPE	INDICATES FOUND 162" DIA. PIPE	INDICATES FOUND 168" DIA. PIPE	INDICATES FOUND 174" DIA. PIPE	INDICATES FOUND 180" DIA. PIPE	INDICATES FOUND 186" DIA. PIPE	INDICATES FOUND 192" DIA. PIPE	INDICATES FOUND 198" DIA. PIPE	INDICATES FOUND 204" DIA. PIPE	INDICATES FOUND 210" DIA. PIPE	INDICATES FOUND 216" DIA. PIPE	INDICATES FOUND 222" DIA. PIPE	INDICATES FOUND 228" DIA. PIPE	INDICATES FOUND 234" DIA. PIPE	INDICATES FOUND 240" DIA. PIPE	INDICATES FOUND 246" DIA. PIPE	INDICATES FOUND 252" DIA. PIPE	INDICATES FOUND 258" DIA. PIPE	INDICATES FOUND 264" DIA. PIPE	INDICATES FOUND 270" DIA. PIPE	INDICATES FOUND 276" DIA. PIPE	INDICATES FOUND 282" DIA. PIPE	INDICATES FOUND 288" DIA. PIPE	INDICATES FOUND 294" DIA. PIPE	INDICATES FOUND 300" DIA. PIPE
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I, Charles L. Lewis, State of Wisconsin Licensed Professional Surveyor, do hereby certify that these surveys were made by me or under my direct supervision and that the same were made in accordance with the laws of this State and the rules and regulations of the Board of Surveying, Mapping and Boundary Surveying. I am duly sworn and my commission expires on 10/18/2018. My registration number is 100818.00. My registration number is 100818.00. My registration number is 100818.00. My registration number is 100818.00.

CHARLES LEWIS SURVEYS, LLC
 251 W. HIGHLAND AVENUE
 MILWAUKEE, WI 53212
 TEL: 414.333.8888 FAX: 414.333.8889
 www.charleslewis.com

Drawing No. 2116-016

AEI Affiliated Engineers
2001 Ryan Road
Oak Creek, WI 53154
TEL: 414.476.9500
FAX: 414.476.9500
WWW.AEI-ENGINEERS.COM

PROJECT: **OAK CREEK MEDICAL CENTER**

LOCATION: **2001 EAST RYAN ROAD
OAK CREEK, WI 53154**
KEY PLAN

75% DESIGN
DEVELOPMENT SET (NOT
FOR CONSTRUCTION)

SHEET: **ELECTRICAL SITE PLAN**

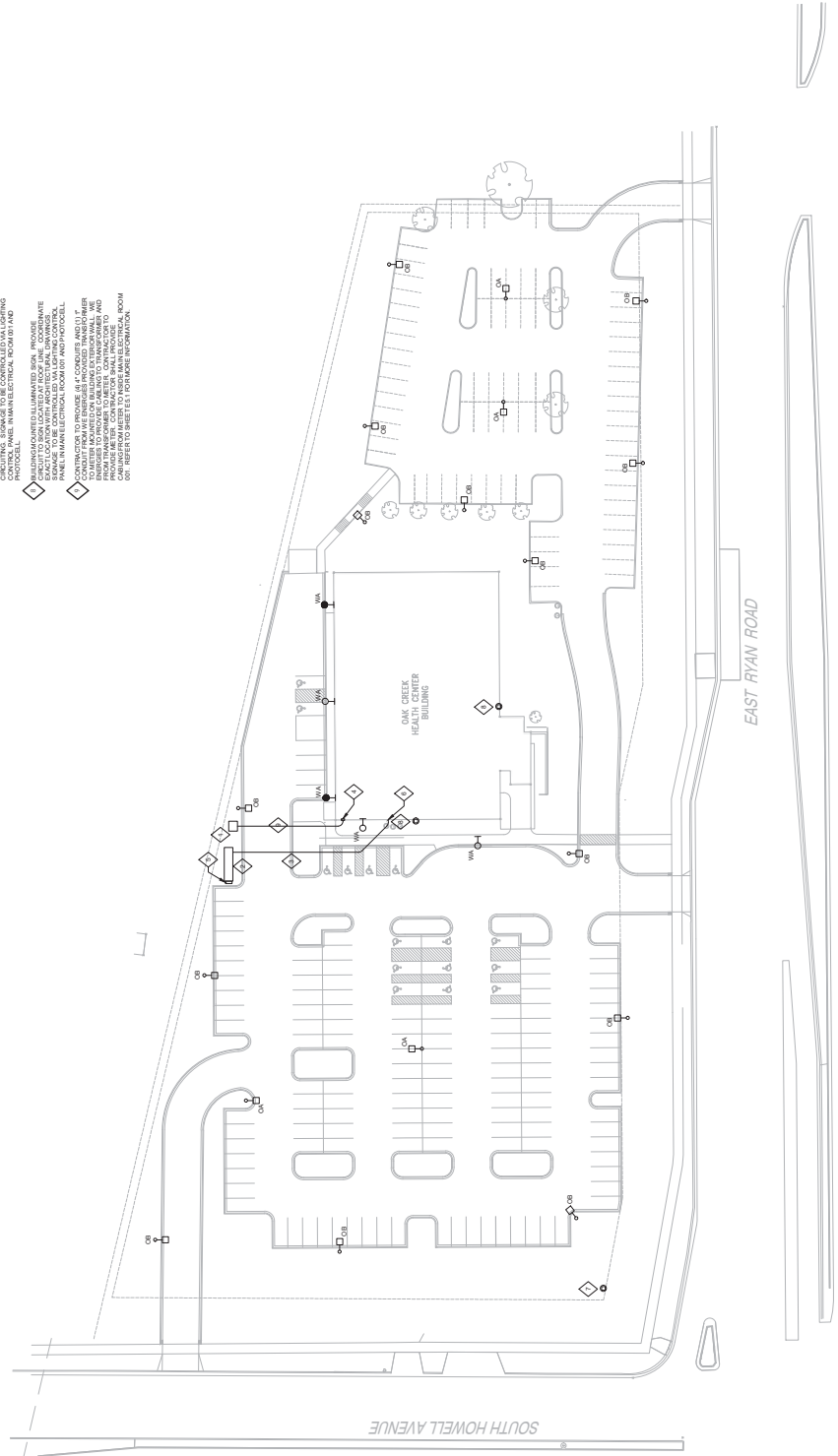
SCALE: 1" = 30' 0"	DATE: OCTOBER 10, 2016
DRAWN BY: [REDACTED]	PROJECT NO: 160818-00
CHECKED BY: [REDACTED]	SHEET NO: E1.0

GENERAL NOTES

1. REFER TO SHEET ES-1 FOR FINISHES AND ABREVIATIONS
2. 27/24 SEE LIGHTING BRINGS FROM PANELBOARDS IN MAIN ELECTRICAL CONTROL PANEL IN SAME ROOM
3. REFER TO SHEET ES-1 FOR POLE SERVICE TYP.
4. REFER TO SHEET ES-1 FOR POLE SERVICE TYP.
5. LIGHTING CONTROL PANEL IN MAIN ELECTRICAL ROOM IS TO BE INSTALLED ON CANTILEVERED WALL. THE PANEL SHALL BE INSTALLED ON THE SOUTH SIDE OF THE WALL.

SHEET KEYNOTES

- ◇ WE ENERGIES PROVIDED TRANSFORMER. WE ENERGIES PROVIDED TO BE SUPPLIED TO THE SITE BY THE LOCAL UTILITY PROVIDER.
- ◇ EXTERIOR WALL
- ◇ LANDSCAPE DRAWINGS
- ◇ PROVIDE CONCRETE REINFORCED CONCRETE CURB CONSISTING OF ELECTRICAL ROOMS. REFER TO SHEET ES-1 FOR MORE DETAILS.
- ◇ THE TYPE LOCATION COURSE OF MAIN ELECTRICAL ROOM IS TO BE LOCATED AS SHOWN. THE MAIN ELECTRICAL ROOM SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR IN ACCORDANCE WITH THE MAIN ELECTRICAL ROOM 01 AND THE MAIN ELECTRICAL ROOM 02.
- ◇ LOAD BANK SHALL BE INSTALLED ON GENERATOR ROOM. REFER TO SHEET ES-1 AND ES-2 FOR MORE DETAILS.
- ◇ PROVIDE GENERATOR FEEDER FROM GENERATOR TO MAIN ELECTRICAL ROOM. REFER TO SHEET ES-2 AND ES-3 FOR MORE DETAILS.
- ◇ PROVIDE CABLE TRAY AND CONDUIT FROM MAIN ELECTRICAL ROOM TO MAIN ELECTRICAL ROOM 01 AND MAIN ELECTRICAL ROOM 02.
- ◇ PROVIDE GENERATOR FEEDER FROM GENERATOR TO MAIN ELECTRICAL ROOM. REFER TO SHEET ES-2 AND ES-3 FOR MORE DETAILS.
- ◇ PROVIDE CONDUIT AND CABLE TRAY FROM MAIN ELECTRICAL ROOM TO MAIN ELECTRICAL ROOM 01 AND MAIN ELECTRICAL ROOM 02.
- ◇ PROVIDE CONDUIT AND CABLE TRAY FROM MAIN ELECTRICAL ROOM TO MAIN ELECTRICAL ROOM 01 AND MAIN ELECTRICAL ROOM 02.
- ◇ PROVIDE CONDUIT AND CABLE TRAY FROM MAIN ELECTRICAL ROOM TO MAIN ELECTRICAL ROOM 01 AND MAIN ELECTRICAL ROOM 02.



CONTRACT

Project: OAK CREEK - MEDICAL CENTER

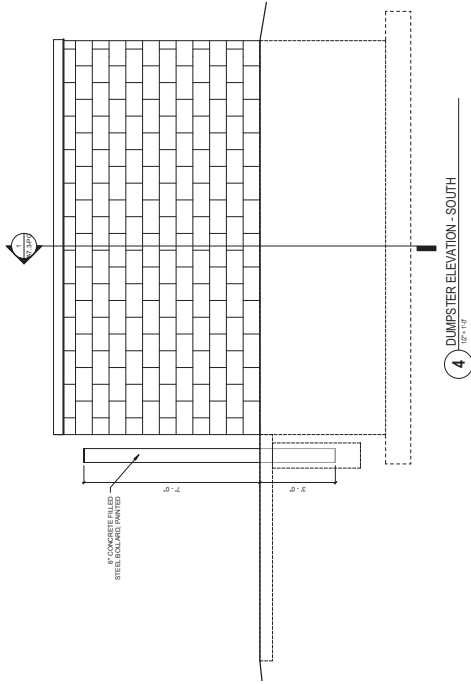
Location: 200 EAST RYAN ROAD OAK CREEK, WI 53154
 My Plan:

PLAN COMMISSION SUBMITTAL

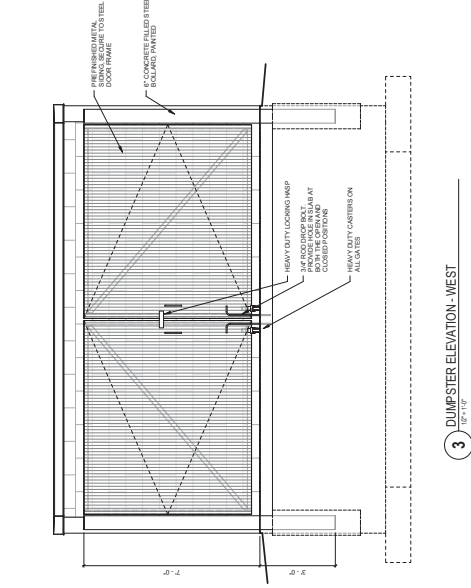
Sheet: MONUMENT SIGN & DUMPSTER ENCLOSURE DETAILS

Scale: 1/2" = 1'-0"
 Date: OCTOBER 10, 2016
 Project No: 80078.00
 Sheet No:

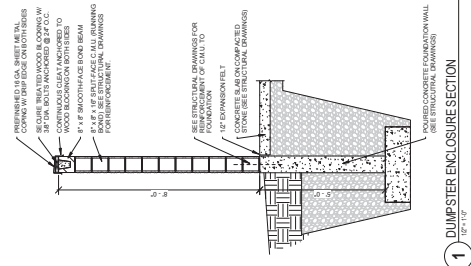
A7.3-PC



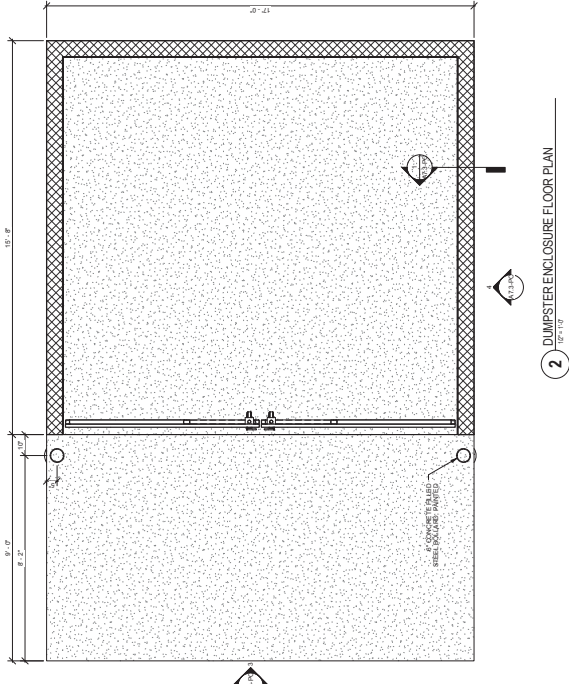
4 DUMPSTER ELEVATION - SOUTH
 1/2" = 1'-0"



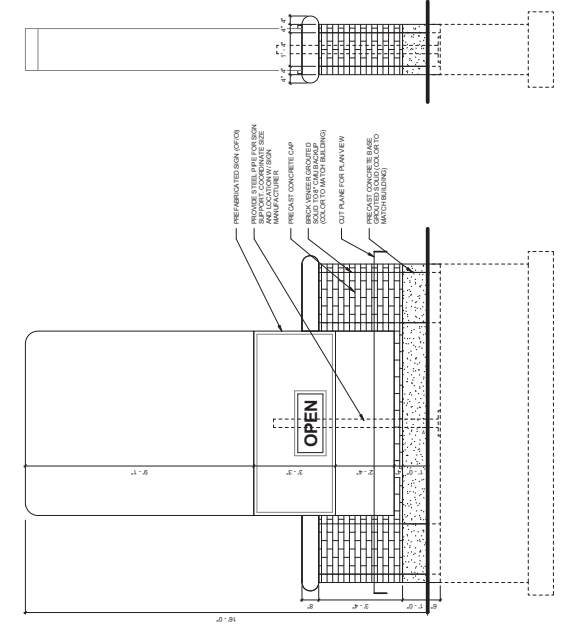
3 DUMPSTER ELEVATION - WEST
 1/2" = 1'-0"



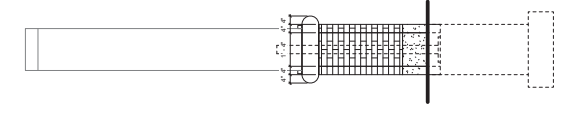
1 DUMPSTER ENCLOSURE SECTION
 1/2" = 1'-0"



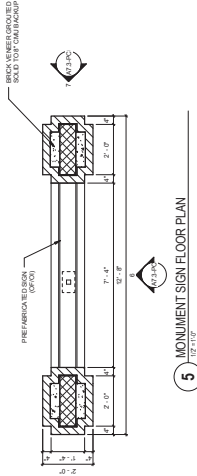
2 DUMPSTER ENCLOSURE FLOOR PLAN
 1/2" = 1'-0"



6 MONUMENT SIGN ELEVATION - FRONT
 1/2" = 1'-0"



7 MONUMENT SIGN - SIDE
 1/2" = 1'-0"



5 MONUMENT SIGN FLOOR PLAN
 1/2" = 1'-0"

Consultant

Project:
OAK CREEK - MEDICAL
CENTER

Location:
200 EAST RYAN ROAD
OAK CREEK, WI 53154
Key Plan:

PLAN COMMISSION
SUBMITTAL

Sheet:
BASEMENT FLOOR PLAN

Scale:
3/16" = 1'-0"
REVISIONS

DATE: OCTOBER 10, 2016

PROJECT NO.: 00078.00

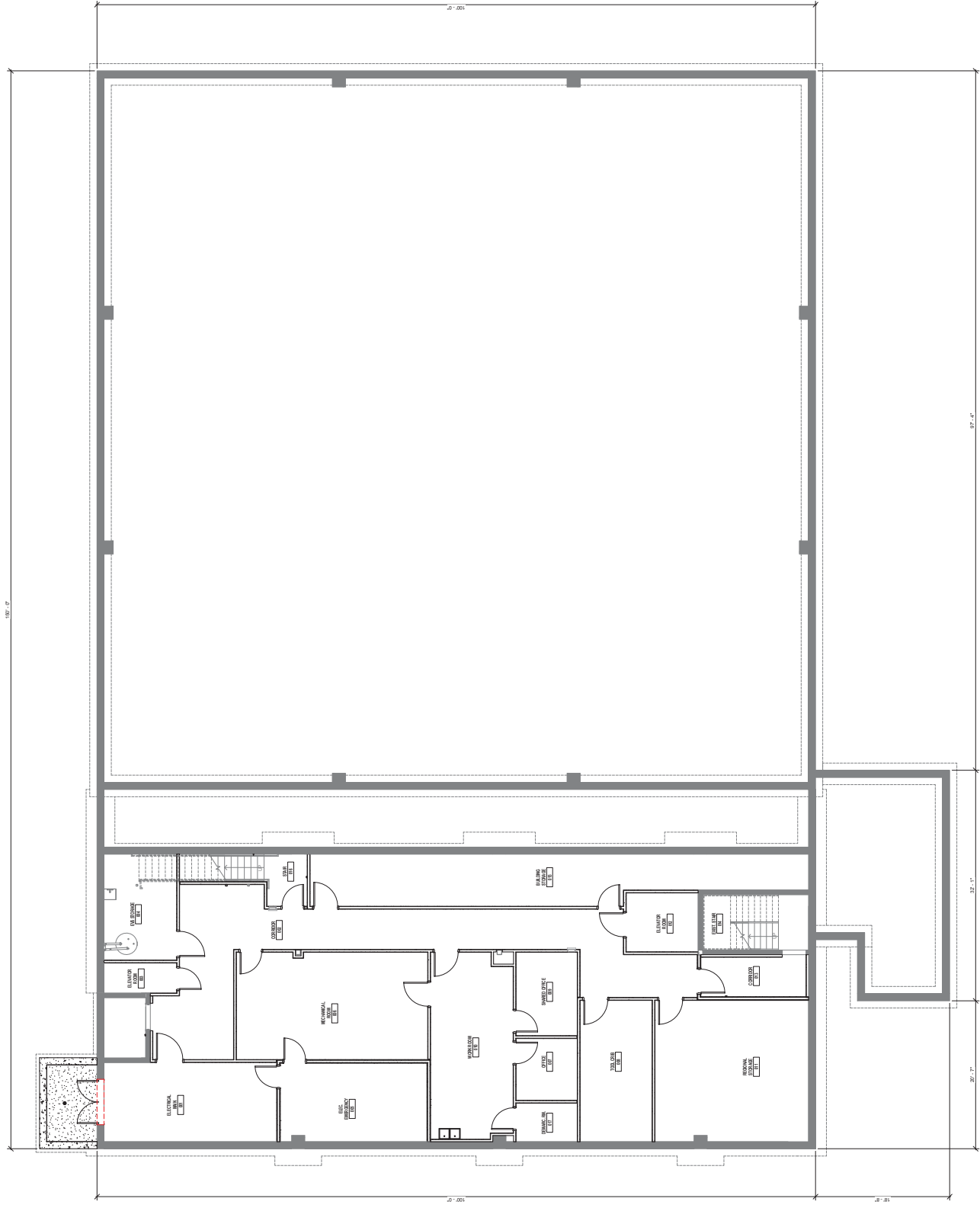
SHEET NO.:

DATE: OCTOBER 10, 2016

PROJECT NO.: 00078.00

SHEET NO.:

A2.0-PC



1 BASEMENT FLOOR PLAN
2016110

Consultant:

Project:
**OAK CREEK - MEDICAL
CENTER**

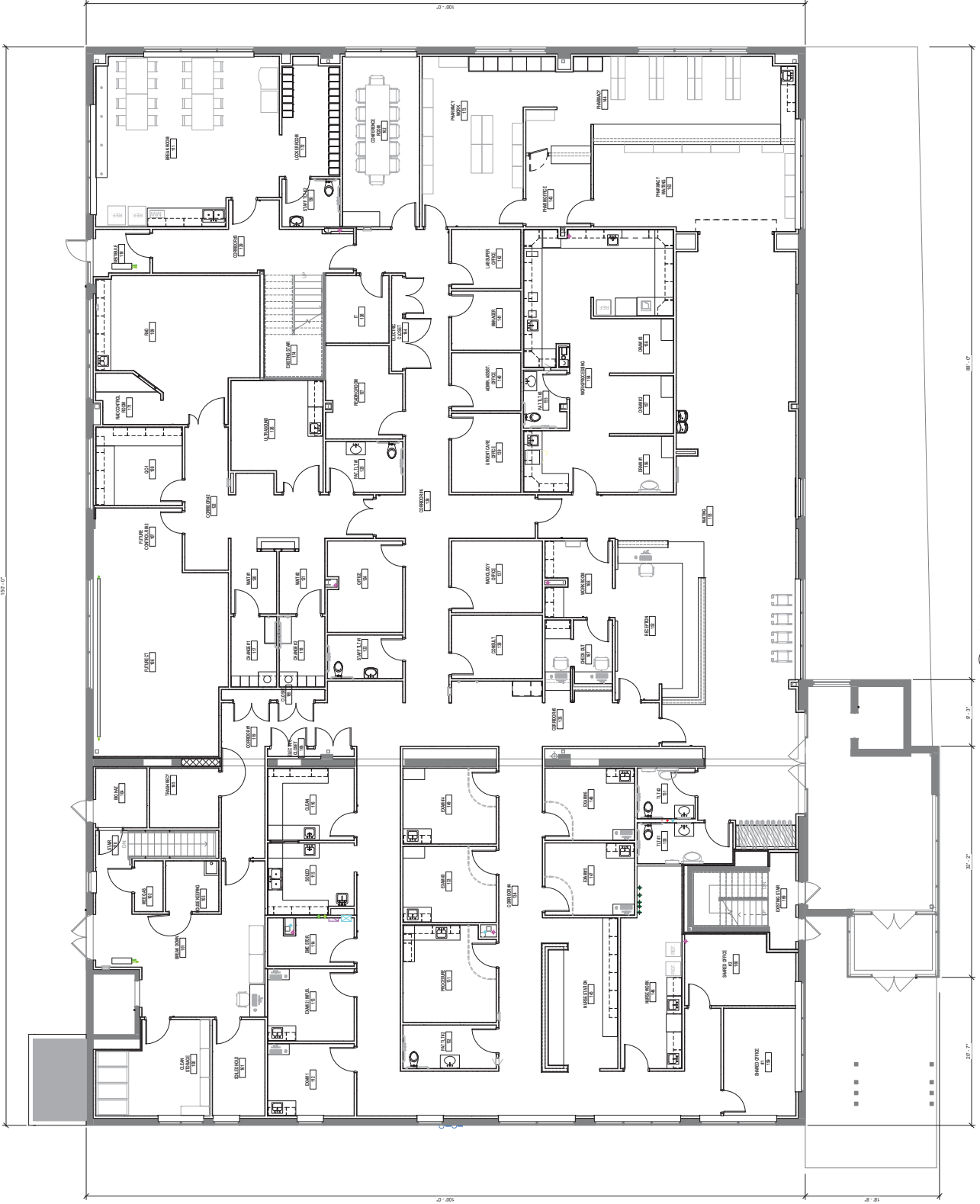
Location:
200 EAST RYAN ROAD
OAK CREEK, WI 53154
Key Plan:

PLAN COMMISSION
SUBMITTAL

Sheet:
FIRST FLOOR PLAN

Scale:
3/8" = 1'-0"
Ratios: 1/8" = 1'-0"
1/4" = 1'-0"
1/2" = 1'-0"
3/4" = 1'-0"
1" = 1'-0"

Date:
OCTOBER 10, 2016
Project No:
R0078.00
Sheet No:
A2.1-PC



1 FIRST FLOOR PLAN
3/8" = 1'-0"

CONTRACT:

Project: OAK CREEK - MEDICAL CENTER

Location: 200 EAST RIVAN ROAD OAK CREEK, WI 53154

Key Plan:

PLAN COMMISSION SUBMITTAL

Sheet: SECOND FLOOR PLAN

Scale: 3/8" = 1'-0"
DATE: OCTOBER 10, 2016

Project No: 0078.00
Sheet No: A2.2-PC



1 SECOND FLOOR PLAN

Consultant:

Project:
OAK CREEK - MEDICAL
CENTER

Location:
201 EAST WYMAN ROAD
OAK CREEK, WI 53154
Key Plan:

PLAN COMMISSION
SUBMITTAL

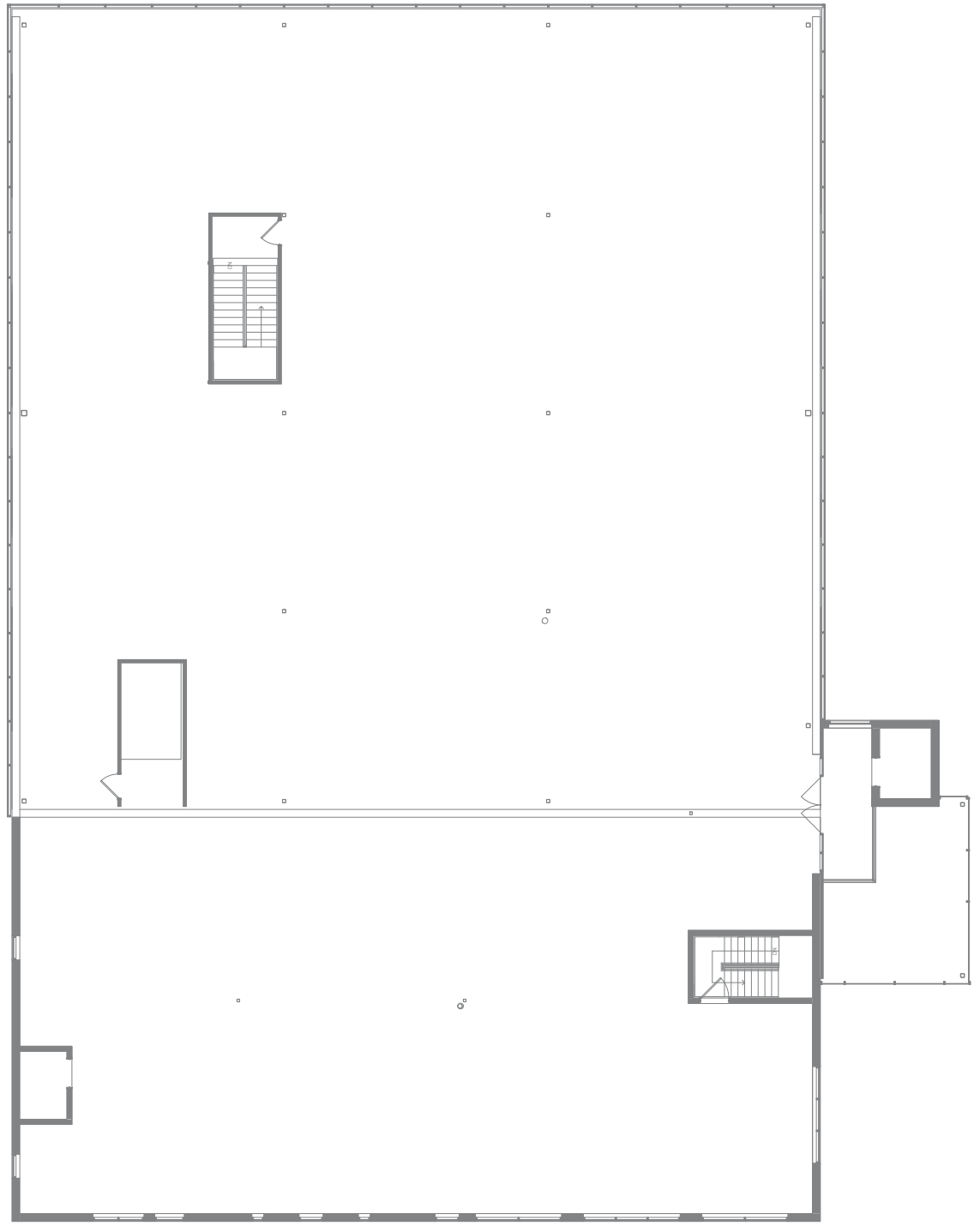
Sheet:
THIRD FLOOR PLAN

Scale:
3/16" = 1'-0"

NO.	DATE	DESCRIPTION

DATE: OCTOBER 10, 2016
Project No.: 0078.00
Sheet No.:

A2.3-PC



1 THIRD FLOOR PLAN
3/16" = 1'-0"

Consultant:

Project:
OAK CREEK - MEDICAL
CENTER

Location:
201 EAST RYAN ROAD
OAK CREEK, WI 53154
Key Plan:

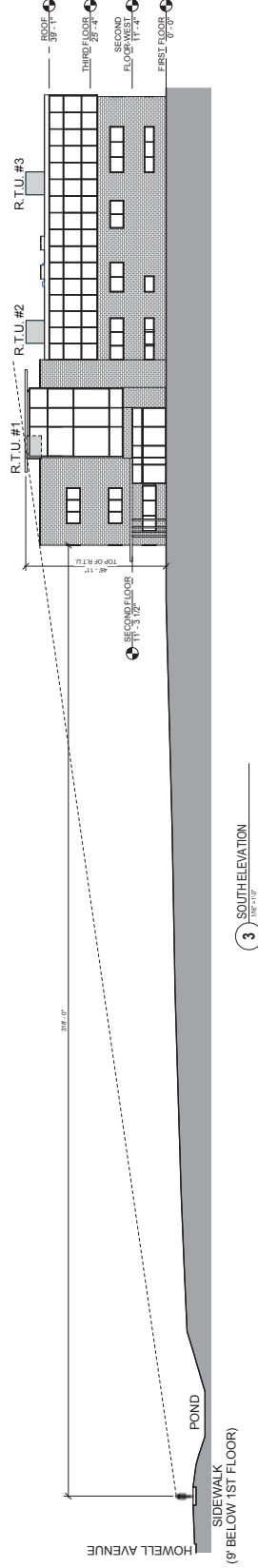
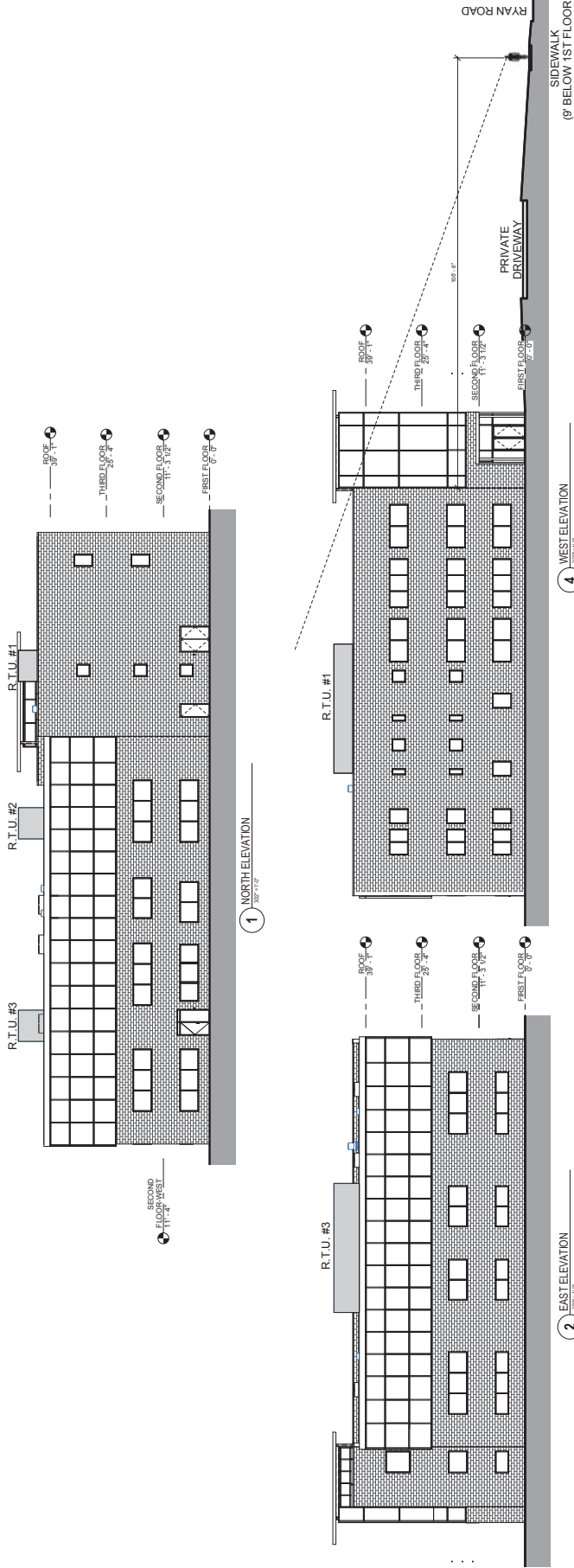
PLAN COMMISSION
SUBMITTAL

Sheet:
EXTERIOR ELEVATIONS

Scale:
As Indicated
Reference:
DATE: _____
BY: _____
CHECKED BY: _____

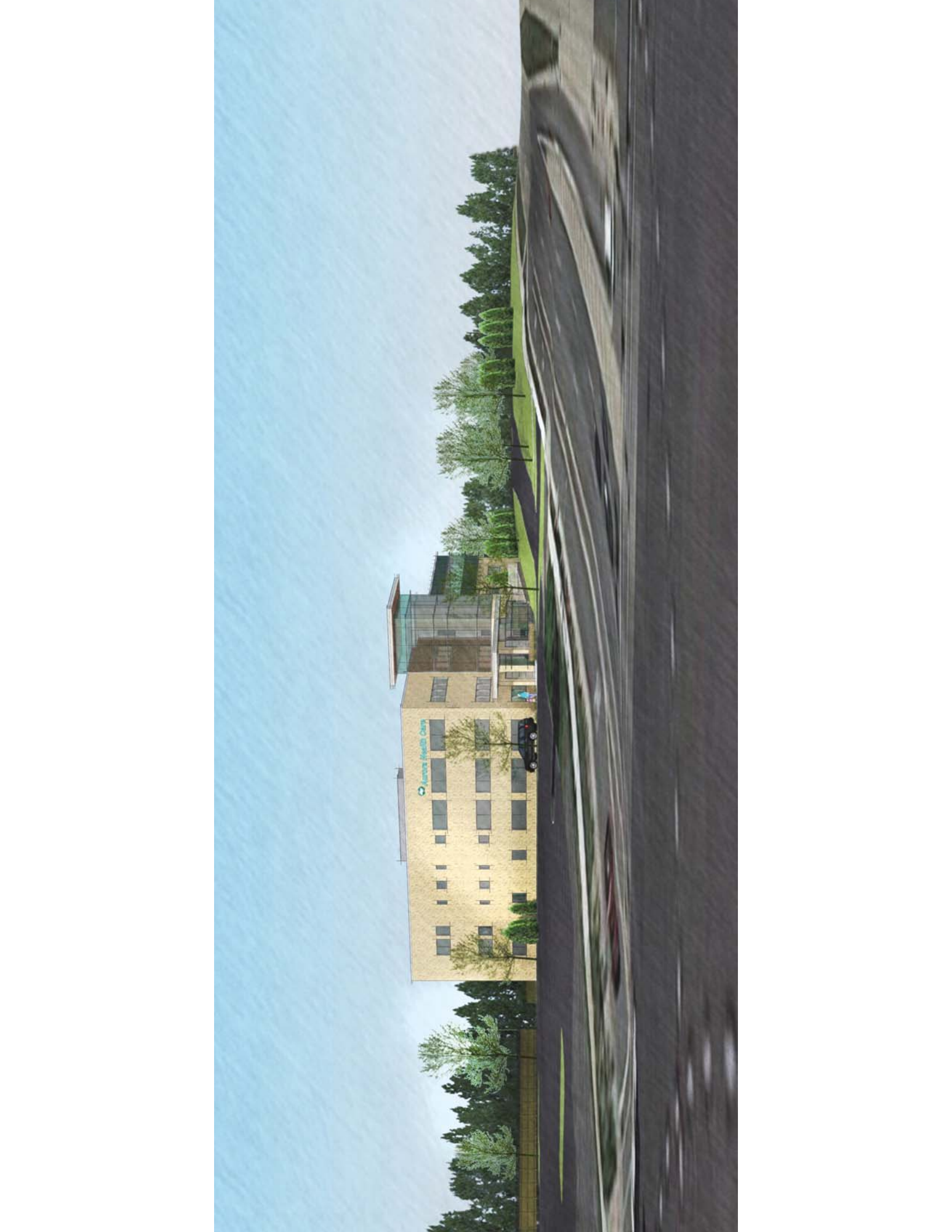
DATE: OCTOBER 10, 2016
Project No: 80078.00
Sheet No:

A4.0-PC











Plan Commission Report

ITEM: 5d

DATE: November 8, 2016

PROJECT: Preliminary Plat – Carrollville Crossings Add'n. No. 1 – Michael Kaerek, Kaerek Homes

ADDRESS: 8781 S. 5th Ave.

TAX KEY NO: 865-0114-000

STAFF RECOMMENDATION: That Plan Commission approves the Preliminary Plat for the Carrollville Crossings Add'n. No. 1 submitted by Michael Kaerek, Kaerek Homes, for the property at 8781 S. 5th Ave., with the condition that all staff and Utility comments are incorporated as required.

Ownership: MK/S-EUP, LLC, 11600 W. Lincoln Ave., West Allis, WI 53227

Size: 11.06 acres

Existing Zoning: Rs-4, Single Family Residential; P-1, Park District

Adjacent Zoning: North – Rs-4, Single Family Residential; M-1, Manufacturing
East – I-1, Institutional; A-1, Limited Agricultural
South – Rs-4, Single Family Residential; Rs-3, Single-Family Residential
West – Rs-3, Single-Family Residential

Comprehensive Plan: Limited Development Area; Planned Office.

Wetlands: N/A (DNR shows stormwater ponds as wetlands).

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting approval of a Preliminary Subdivision Plat for the property at 8781 S. 5th Ave. This property, although identified in the Comprehensive Plan for Limited Development and Planned Office, was rezoned in 2010 to Rs-4, Single Family Residential, in anticipation of the addition to the Carrollville Crossings subdivision. Within the rezone report, the future use in the Comprehensive Plan was identified as Mixed Residential. This information is intended for Plan Commission information to explain the discrepancy between the Comprehensive Plan future use and the current subdivision proposal. Staff will ensure that the Comprehensive Plan is updated in conformance with statutory requirements during the overall update that is currently in progress.

The proposal includes eight (8) new single-family residential lots ranging in size from 0.33 acres to 0.69 acres along East Cooper Court and South 6th Street. Outlot 1, at 5.28 acres, is proposed to remain reserved for park purposes with no proposed changes to the existing tree preservation easements. Outlot 2 contains the existing stormwater management infrastructure for the subdivision.

Engineering has provided comment that the existing stormwater detention pond is in need of repair. The Water & Sewer Utility has commented that no laterals were stubbed in the direction of the new properties, so the road will need to be dug up in order to install the laterals for each lot. The Applicant is aware of the requirements.

Staff notes that the Zoning Data on the Preliminary Plat reflect the incorrect zoning district information. The Applicant and his consultant are aware of the error, which will be corrected. With that in mind, all lots are in

compliance with the Rs-4, Single-Family Residential zoning district. Staff recommends approval with the proposed condition above.

Prepared by:

Handwritten signature of Kari Papellbon in black ink.

Kari Papellbon, CFM, AICP
Planner

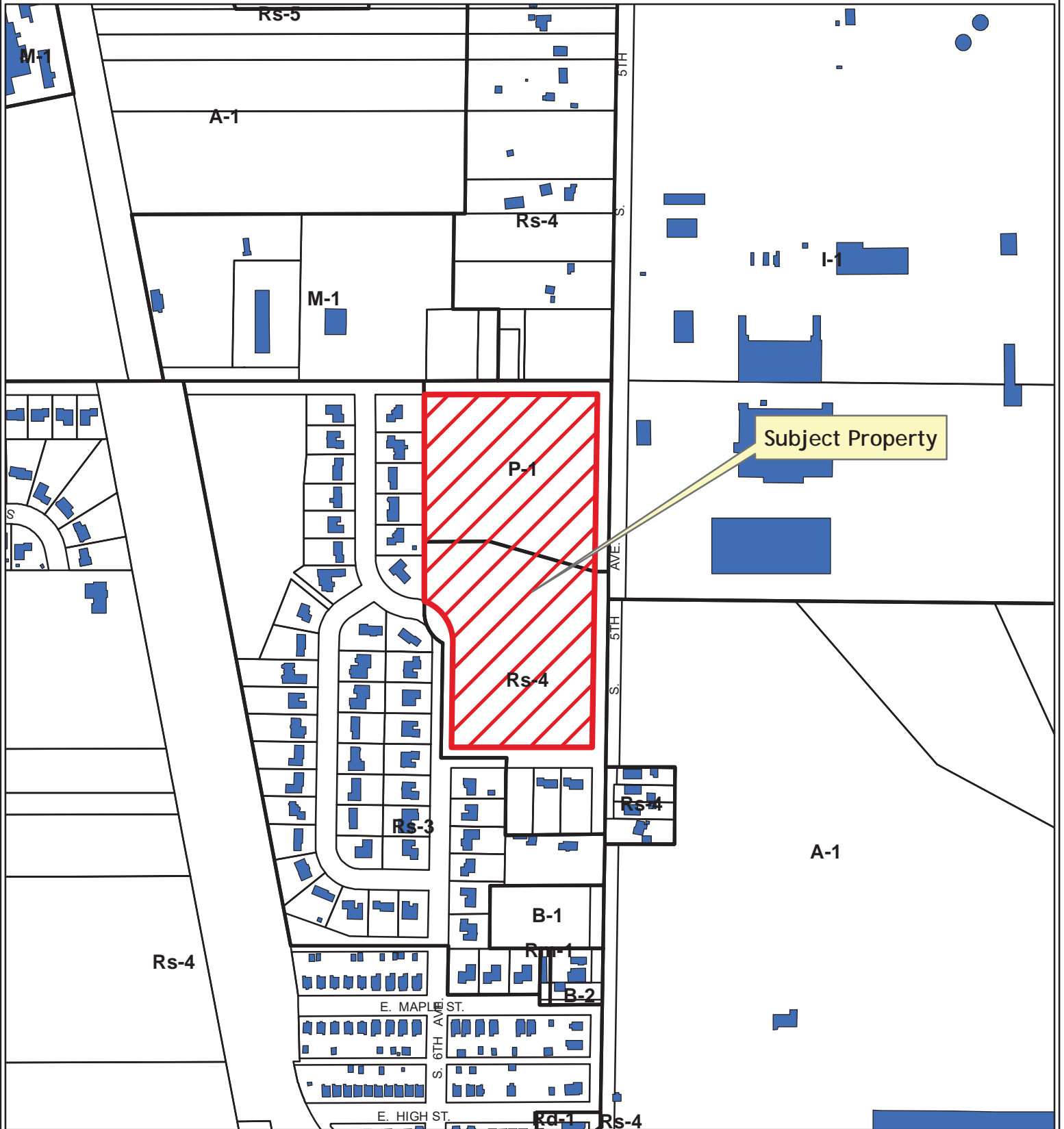
Respectfully Submitted by:

Handwritten signature of Douglas Seymour in black ink.

Douglas Seymour, AICP
Director of Community Development

Location Map

8781 S. 5th Ave.






This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



	8781 S. 5th Ave.
	Floodway
	Floodfringe

CARROLLVILLE CROSSINGS ADDITION NO. 1

PRELIMINARY PLAT

A Redivision of Outlot 4, Carrollville Crossings, a Subdivision duly recorded in the office of the Milwaukee County Register of Deeds on August 23, 2005 as Document No. 09073832 and located in the Northeast 1/4 of the Northeast 1/4 of Section 23, Town 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin.



OWNER/DEVELOPER/MAP PREPARED FOR:

MKS-EP, LLC
11600 W. Lincoln Avenue
West Allis, WI 53227

TYPE OF PLAT:

Single Family Residential

SITE DATA:

Proposed Number of Lots = Eight (8)
Proposed Number of Outlots = Two (2)
One Dwelling Unit per Lot
Gross Site Area = 481,983 Square Feet (11.06 acres)

ZONING DATA:

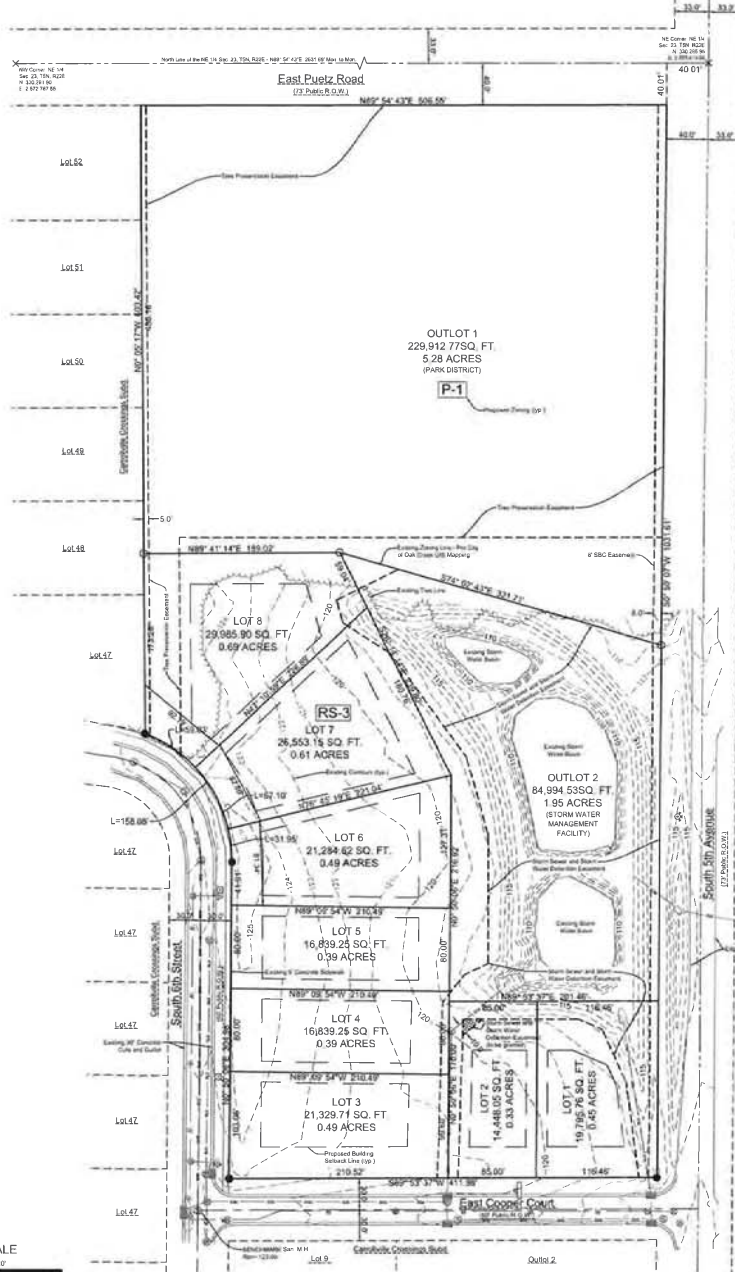
Existing Zoning - RM-1 / P-1
Proposed Zoning - RM-1 area to RS-3, P-1 to remain P-1
Minimum Lot Area=12,000 Sq Ft
Minimum Lot Width at Setback Line = 80 Feet
Minimum Lot Width at Setback Line (Corner Lot) = 90 Feet
Minimum Front Yard Setback = 30 Feet
Minimum Side Yard Setback = 10 Feet
Minimum Side Yard Setback For Side Entry Garage= 27 Feet (measured perpendicular from the garage door)
Minimum Rear Yard Setback = 30 Feet

BASEMENT RESTRICTION

Although all lots in the Subdivision have been reviewed and approved for development with single-family residential use in accordance with Section 236 Wisconsin Statutes, some lots may contain soil conditions which, due to the possible presence of groundwater near the surface, may require soil engineering and foundation design with regard to basement construction. It is recommended that either a licensed professional engineer or other soils expert design a basement and foundation which will be suitable to withstand the various problems associated with saturated soil conditions on basement walls or floors or that special measures be taken. Soil conditions should be subject to each owners special investigation prior to construction and no specific representation is made herein.

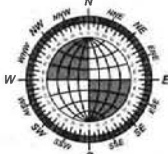
EASEMENT NOTE:

All Existing Easements shown hereon were taken from the Final Plat of Carrollville Crossings



LEGEND

○	1" Iron Pipe - Found
●	2" Iron Pipe - Found
⊞	Telephone Pedestal
—	Storm Sewer
—	Storm Sewer inlet
—	Storm Sewer Manhole
—	Sanitary Sewer Manhole
—	Water Main
—	Water Meter Valve Box
—	Hydrant
—	Sign
—	Light Pole
—	Gas Line Marker



Reference is made to the North of the Wisconsin State Plane Coordinate System Grid, South Zone (NAD 27) The North line of the NE 1/4 of Section 23, Township 5 North, Range 22 East has a reference bearing of N89°54'47"E. Elevations based on the City of Oak Creek Vertical Datum.

UNDERGROUND UTILITIES NOTE:
Underground sewer and utility information as shown is obtained from the records of the municipality, local utility companies and/or field locations. The accuracy of which can NOT be guaranteed or certified to.

I have surveyed the above-described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, appurtenant easements, roadways, and stable measurements, if any.
No title commitment or results of a title search were provided to this office pertaining to this survey. This Plat of Survey may not reflect easements of record, encroachments, restrictions, easements, title warranties or other facts that a current and accurate title search may disclose.
This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or lease the site thereto within one (1) year from date hereof, and as to them I warrant the accuracy of said survey-map.



KBM
KENNETH B. MEHRING PROFESSIONAL LAND SURVEYOR S-2838

MAP PREPARED BY:
Kenneth B. Mehring, PLS
Lynch & Associates Engineering Consultants, LLC
5482 S. Westridge Dr.
New Berlin, WI 53151

Sheet 1 of 1
Project No. 16-0023
Date: September 12, 2016





Plan Commission Report

ITEM: 5e
DATE: November 8, 2016

PROJECT: Plan Review – A-1 Services Inc.

ADDRESS: 7373 S. 6th St.

TAX KEY NOs: 764-9031-000

STAFF RECOMMENDATION: That the Plan Commission approves the building plans submitted by A-1 Services Inc. for the property at 7373 S. 6th St., with the conditions:

1. That all building and fire codes are met.
2. That all garbage dumpsters be screened from the public right-of-way.
3. Temporary outdoor storage of equipment and vehicles is prohibited.

Ownership: JTP Properties, LLC

Size: 1.43 acres

Existing Zoning: M-1, Manufacturing District

Adjacent Zoning: North – M-1, Manufacturing District
 East – M-1 CU, Manufacturing District, Conditional Use District
 South – M-1 CCU, Manufacturing District Conforming Conditional Use District
 West – M-1, Manufacturing District

Comprehensive Plan: Planned Industrial

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A

Commentary: The Applicant is requesting building plan approval for a 3,200 square-foot addition to the existing building at 7373 S. 6th St. The addition will match the existing building in materials (metal roof panel system, corrugated metal wall panels), colors, and height. The parking lot has been reconfigured to address the loss of parking stalls due to the expansion. No changes to the existing landscaping and lighting plans are being proposed.

The proposed 3,200 square-foot addition is similar to an addition that was approved by the Plan Commission in 2011. This addition will be located on the west side of the building. The expanded building meets side and rear setbacks for the M-1 District.

The addition will be finished with corrugated metal wall panels and metal roof panels. These exterior materials will match the exterior materials and color of the existing building. There will be a new overhead door located on the north elevation of the building and an access door and three windows on the west elevation. By code, exterior materials used on a building in the M-1 District that is part of the visible perimeter must be finished with 75 percent brick, glass, or acceptable masonry materials. The Plan Commission does have the discretion to adjust the minimum 75 percent brick, glass, or masonry materials for building additions. Since the proposed addition is located in the back of the existing building, staff is okay with the proposed use of metal panels for the addition. However, the proposed addition will require a ¾ majority of the Plan Commissioners present for approval.

Parcels in the Manufacturing District are required to have a minimum of 30 percent greenspace. Included in your packet is a site plan showing the calculation of green space. After the expansion of the building, relocation of the parking stalls, and replacing the most of paved area behind the building expansion with grass, the site will have 34 percent green space.

The total number of parking stalls on the site has not changed; however, the parking lot has been reconfigured to retain the original number of stalls on the site. Although the applicant is adding 3,200 square-feet of warehouse space, no additional employees are anticipated, therefore, no additional parking stalls are required as part of this addition.

The existing dumpsters are currently located between the two loading doors on the north elevation. These dumpsters do not have an enclosure and no enclosure is proposed at this time. City Code states that all dumpsters shall be fenced and/or screened from view from street rights-of-way. As part of the approval, staff recommends that a condition be included requiring the dumpsters be screened from the right-of-way.

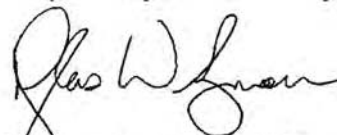
In October 2011, the Plan Commission stipulated in the conditions of approval for the last expansion that temporary outdoor storage of equipment be contained within the fenced area behind the building. Due to the expansion, there will no longer be a fenced in area behind the building. Therefore staff recommends including as part of the site plan approval the condition that no temporary outdoor storage of equipment be allowed on the site.

Prepared by:



Peter Wagner, AICP
Zoning Administrator/Planner

Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development




Location Map

7373 S. 6th St.



This map is not a survey of the actual boundary of any property this map depicts.



	7373 S. 6th St.
	Floodway
	Floodfringe



7373 South 6th St.
Oak Creek, WI 53154
Phone: 414-304-9500 • Fax: 414-304-1730
www.a-1serviceinc.com

October 11, 2016

City of Oak Creek Plan Commission

Dear Sirs and Madams,

The attached paperwork and application is a request to add a 40' x 80' addition on to the our existing building located at the property address above. The addition is the exact same size and scale as an addition put on the building in late 2011 and will be done in the same workmanlike manner utilizing the exact same colors and materials.

While our companies employee 43 people, our office staff has 10 currently working at the actual location, the balance are service technicians that work in the field. Our normal hours of operation are 7am to 5 pm Monday thru Friday with technicians and management using the building sparingly after hours to obtain parts, materials and to perform paperwork.

Very little will change from our current operation and we are asking for the expansion to accommodate further business growth and opportunities. We look forward to an audience with the City of Oak Creek and the bright future that lies ahead for both of our entities.

Thank you for your consideration.

Sincerely,

Terry Martinez
President
JTP Properties, LLC
A-1 Services, Inc



Michael A. Corrigan, P.E., AIA
 1001 North Park Wisconsin Road
 Waukesha, WI 53186-1700
 Phone: 262.534.9700

© 2016 MICHAEL A. CORRIGAN, P.E., AIA
 PROJECT

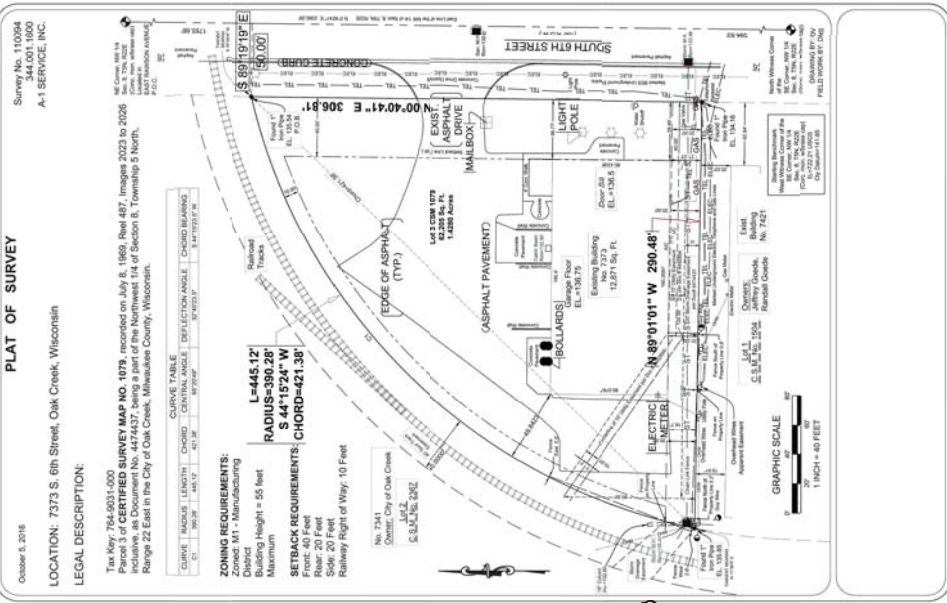
**WAREHOUSE ADDITION
 FOR
 A-1
 SERVICES**

AT
 7373 SOUTH 6TH STREET
 OAK CREEK, WISCONSIN

PROVISION / INSURANCE:
 BOND: \$50,000
 LIABILITY: \$1,000,000
 CITY PLANNER REVIEW
 REVIEW NUMBER: 11.2.16

project numbers:
 survey: 110054
 subdivision: 344.001.1000
 consultant: A-1 SERVICE, INC.
 date: 10.11.2016
 reviewed by: [signature]
 approved by: [signature]

SITE PLAN
 sheet title: [signature]
 sheet number: L1



PARKING TABLE:

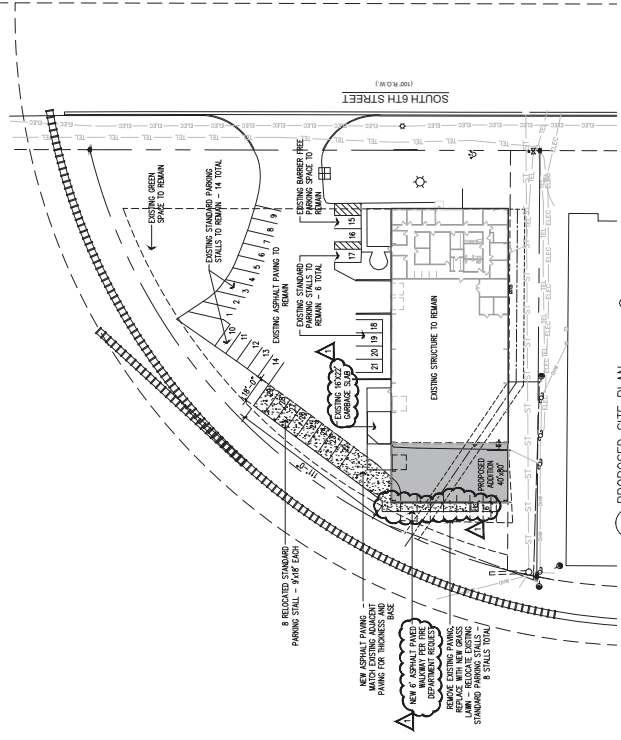
EXISTING STANDING PARKING SPACES TO REMAIN	EXISTING BARBER-FREE PARKING SPACES TO REMAIN	TOTAL SPACES ON SITE	CHANGE IN NUMBER OF PARKING SPACES
20	1	21	0

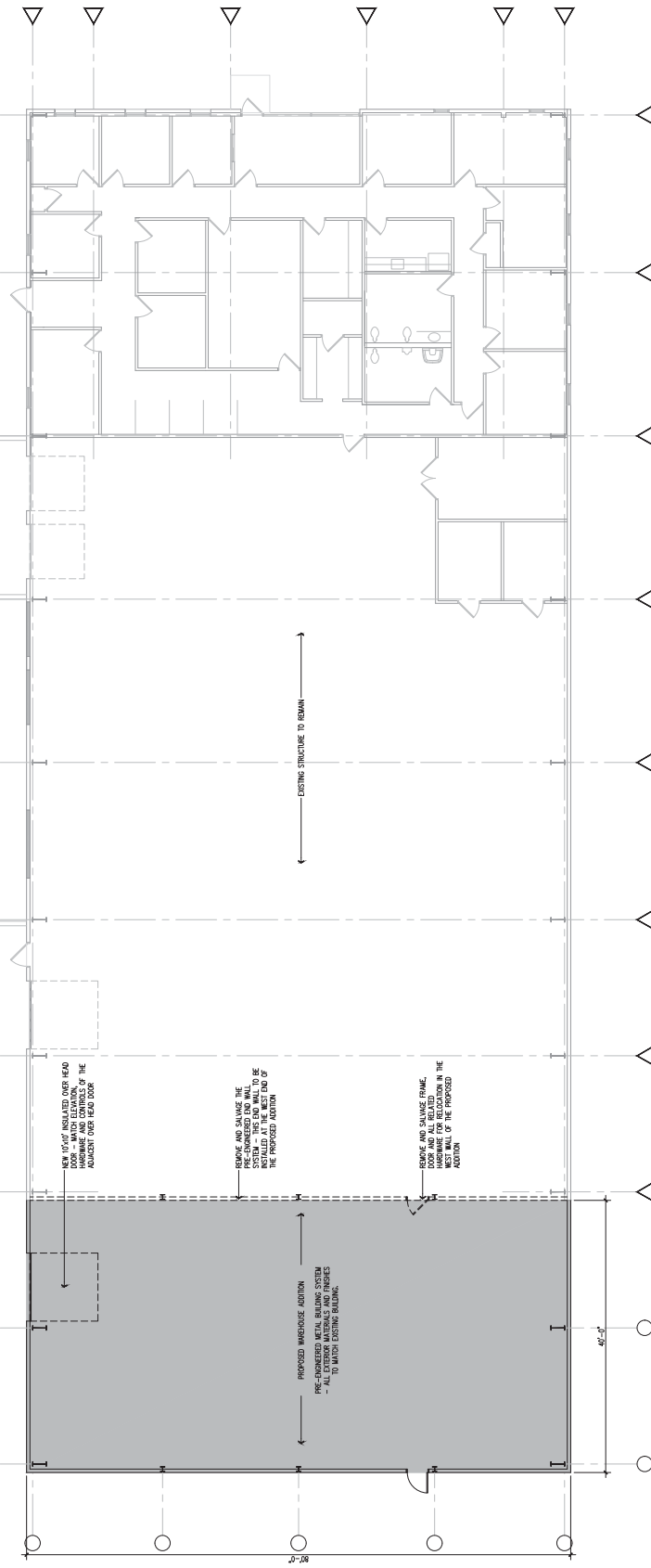
SITE DATA TABLE:

LOT (SITE) AREA:	EXISTING BUILDING AREA:	NEW BUILDING AREA:	EXISTING HARD SURFACES:	NEW HARD SURFACES:	EXISTING GREEN SPACE:	NEW GREEN SPACE:
62,206 FT ²	12,871 FT ²	3,500 FT ²	1,600 FT ² / 2,547 FT ²	2,547 FT ² / 2,547 FT ²	25,821 FT ² / 25,821 FT ²	25,821 FT ² / 25,821 FT ²

SITE BALANCE:

BUILDINGS:	HARD SURFACE (OT):	GREEN SPACE (OT):
18,071 FT ² / 62,206 FT ² = 29%	4,100 FT ² / 62,206 FT ² = 6.6%	25,821 FT ² / 62,206 FT ² = 41%





revision / issuance:

NO.	DATE	DESCRIPTION
1	10.11.2016	ISSUED FOR PERMITS

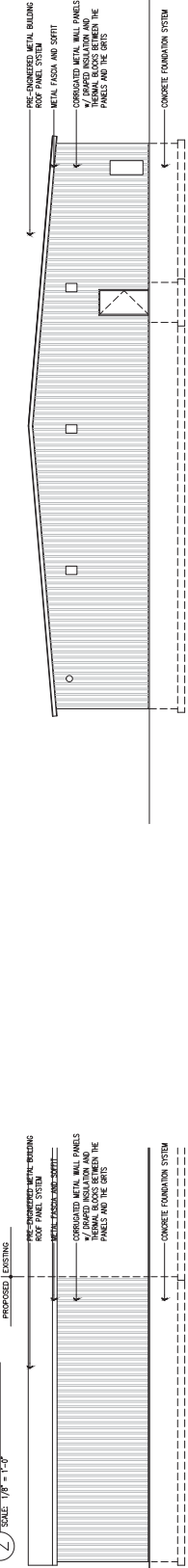
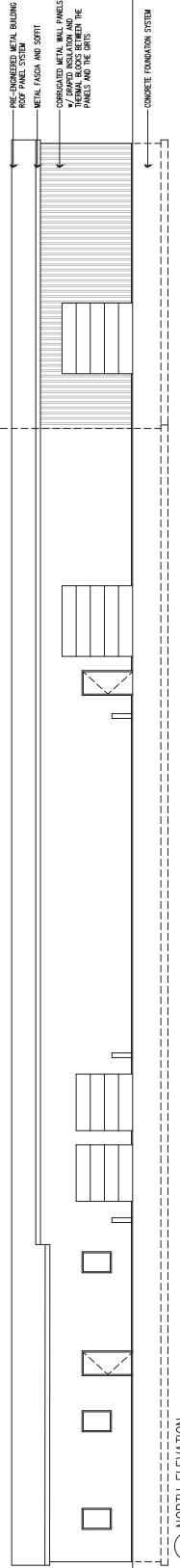
project numbers:

PROJECT NO.	10.11.2016
DATE	10.11.2016
DESIGNED BY	CEVA
CHECKED BY	CEVA
APPROVED BY	CEVA

ELEVATIONS AND PLAN

Sheet title: _____

Sheet number: _____





Plan Commission Report

ITEM: 5f
DATE: November 8, 2016

PROJECT: Plan Review – Neil Borkan, Arbor Restaurant Group (Taco Bell)

ADDRESS: 8261 S. Howell Ave.

TAX KEY NO: 813-9017-001

STAFF RECOMMENDATION: That the Plan Commission approves the building plans submitted by Neil Borkan, Arbor Restaurant Group, for the property at 8261 S. Howell Ave., with the following conditions:

1. That all building and fire codes are met.
2. That the LED light strip is not approved.
3. That all mechanical equipment (ground, building, and rooftop) is screened from view.
4. That permits and approvals be obtained for all proposed new and replacement signs.
5. That all revised plans (site, building, signage, etc.) are submitted in digital and paper formats for review and approval by the Department of Community Development prior to the submission of building permit applications.

Ownership: Alborrest Group, LLC / Taco Bell 31992, 213 Olde Half Day Rd., Lincolnshire, IL 60069

Size: 0.959 ac

Existing Zoning: B-4, Highway Business

Adjacent Zoning: North – B-4, Highway Business
East – Rs-3, Single Family Residential; Rd-1, Two Family Residential
South – B-4, Highway Business
West – B-4, Highway Business

Comprehensive Plan: General Industrial.

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting building plan approval for exterior modifications to the existing restaurant building at 8261 S. Howell Ave. For ease of review, modifications will be described by elevation.

North

- Existing light fixtures will be replaced with new fixtures.
- Existing awnings will remain.
- Existing walk-in cooler will be painted (gray).

East

- New tower element. Proposed materials include EIFS (light beige color) and metal panels. Bricks from the demolition of other parts of the building will be reused on the bottom 4.5 feet of the tower “legs.”
- Existing “flying arch” element will be removed.
- Arched parapet on the southeast will be removed and replaced with a flat parapet.
- Existing recessed brick arch element will be infilled with brick to match the existing.
- Existing light fixtures will be removed. Only one new fixture on the new east façade is proposed. Staff recommends incorporating additional light fixtures on the tower “legs” and on the southeast (mirror the fixture by the northeast window).
- New metal awnings to match the existing will be installed above the existing windows.
- A new metal canopy will be centered over the door in the proposed tower element.
- LED light strip is proposed to be installed in the recessed perimeter of the tower element (surrounding the metal panel backing).

South

- Existing walk-in cooler will be painted (gray).
- Existing light fixtures will be replaced with new fixtures.
- Existing canopies and awnings will remain.
- The drive-through window and transom will be replaced to match the existing.

West

- Existing “flying arch” element will be removed.
- Existing light fixture will be replaced with new fixture.

No changes to the site or landscaping are proposed at this time. The original landscape plan approved in 2005 is expected to be maintained.

Plan Commissioners should be aware that the percentage of EIFS and metal panels shown on the East elevation (excluding the entry storefront on the North) is approximately 26.7%. Per Section 17.1009(a)(2), “Materials such as smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel panels are not permitted as a primary exterior building material and shall only be allowed as an accent material comprising no more than 25 percent of the visible perimeter of the building.” While the visible perimeter extends around the north, east, and south facades, the proposed EIFS and metal panel tower will be the focal point of the east elevation. Currently, the building is fully constructed with brick and glass. The tower will be removing brick in favor of these secondary building materials. It will be up to the Plan Commission to determine whether this substitution is acceptable; however, staff recommends maintaining the existing brick or utilizing a decorative stone as seen on other Taco Bell remodels, rather than EIFS, as the primary building material on the tower element.

LED light strip lighting is proposed on the tower element within the recessed portion for the sign. The plans do not include details for these lights, and staff has been unable to locate a comparable site to

demonstrate the impact of these lights. Based on the previous discussion the Plan Commission had regarding the regulation of these strip lights, and considering the proposal for these as exterior building accent lighting (not window lighting), staff recommends against approval and encourages the applicant to utilize sconces or recessed fixtures instead.

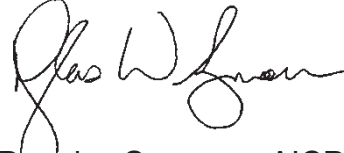
The existing bell logo and channel letter signs will be repurposed on the east elevation, but signage is not part of this review. A condition of approval is listed above for obtaining any required sign permits.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

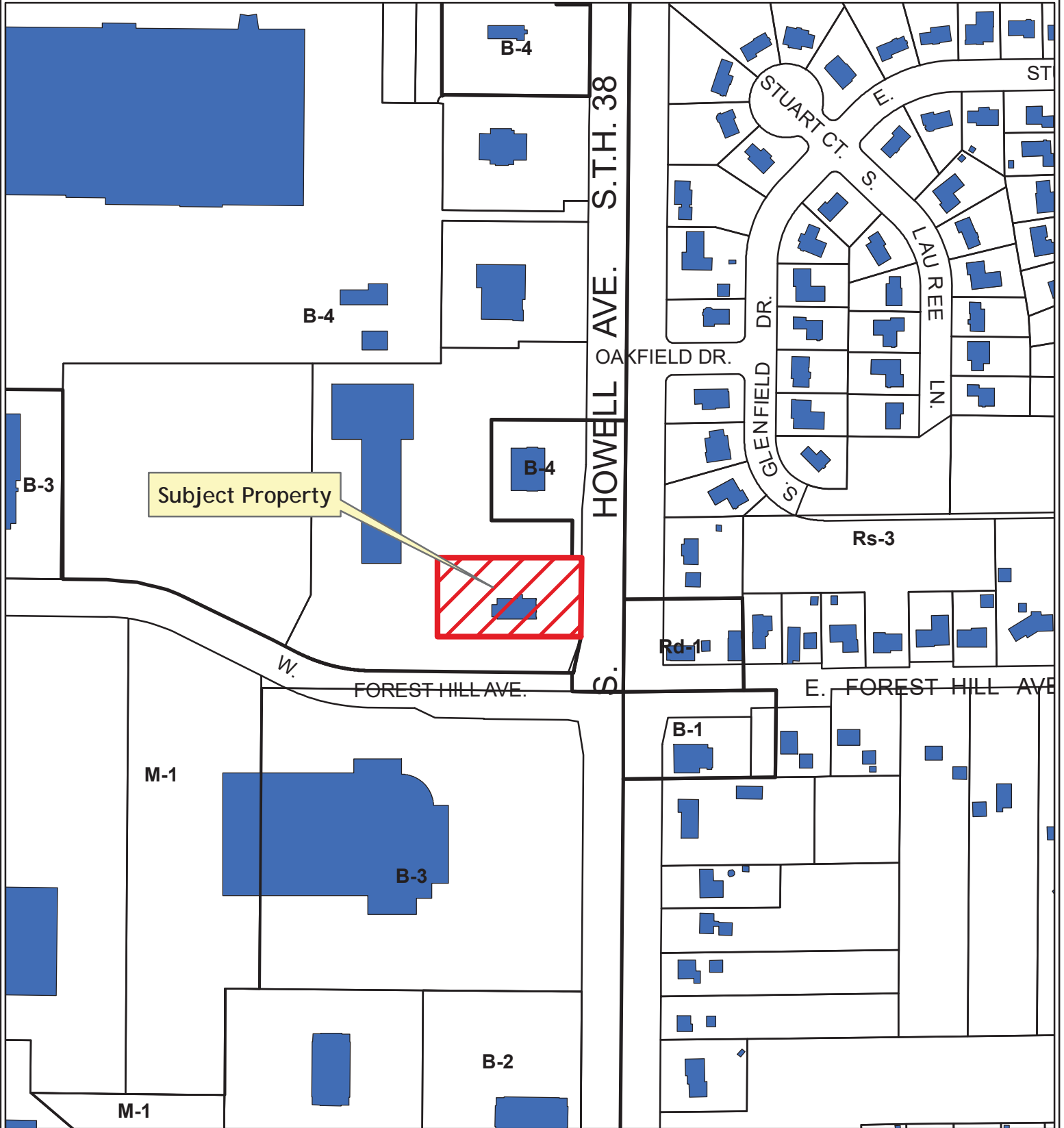
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development




Location Map

8261 S. Howell Ave.



This map is not a survey of the actual boundary of any property this map depicts.



	8261 S. Howell Ave.
	Floodway
	Floodfringe

MRV ARCHITECTS, INC.

409 N. Wille Street, Mt. Prospect, IL 60056
Ph. (847) 373-5005 – Email: mrvarchitects@comcast.net

October 16, 2016

Ms. Kari Papelbon
Planner
City of Oak Creek
8040 S. 6th Street
Oak Creek, WI 53154

Re: Proposed remodeling of Taco Bell, 8261 S. Howell Ave., Plan Commission Review

Executive Summary

The applicant, Mario Valentini with MRV Architects, on behalf of Albor Restaurant Group, LLC, intends to remodel the existing Taco Bell on the current property at the above noted location. As a part of the remodeling, we are required to request a review of the exterior building appearance and existing signage relocation approval. We believe that the remodeling and current operation of the Taco Bell will enhance current location and provide a tasteful design for a highly engaging environment.

In general, once completed, this location will qualify in the category of Taco Bell Traditional Outlets, but will be unveiling a new prototypical design for a building of this type. This location has a full menu offering, and functions as a typical free standing building. None of the operational activities will change as a result of this remodeling.

We understand the sensitivity to create a building with an architecturally pleasing exterior and interior appearance. The removal of the previous prototypical style and architectural elements, along with the addition of new colors and introduction of new awning elements and entry tower, will provide a more modern approach to the exterior facades. There are no proposed revisions to the site plan or site conditions.

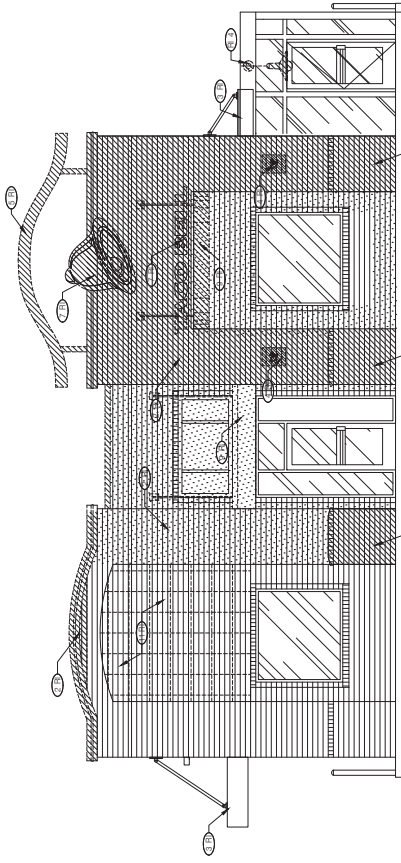
Overall, the remodel of this building will prove beneficial to the community by providing a appearance upgrade to a dated building. Taco Bell will be able to accommodate the customers as needed while having little disruption to the surrounding area. The lighting, signage, materials and proposed plan will maintain the character of the design and surrounding area while creating a more enjoyable experience. We look forward to presenting this project to you and hearing your feedback.

Please feel free to contact me with any further questions regarding this request.

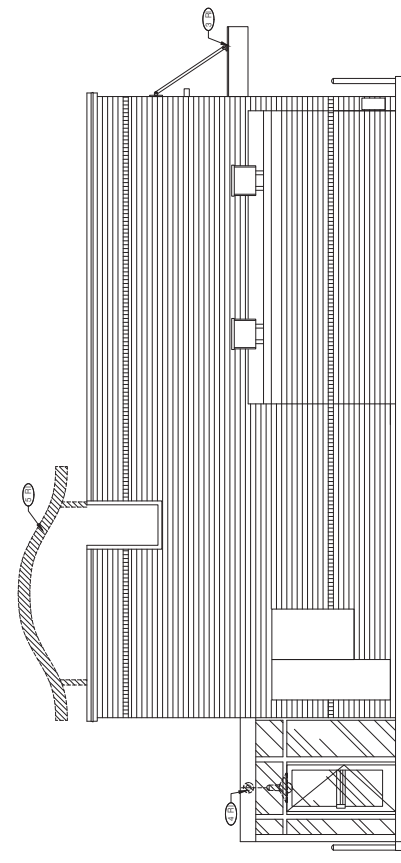
Sincerely,



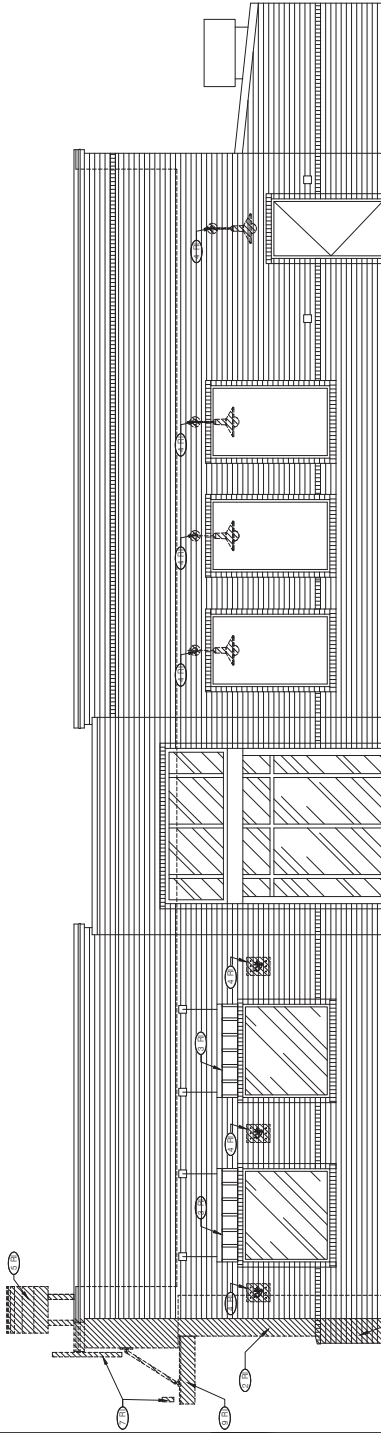
Mario Valentini
Principal, MRV Architects, Inc.



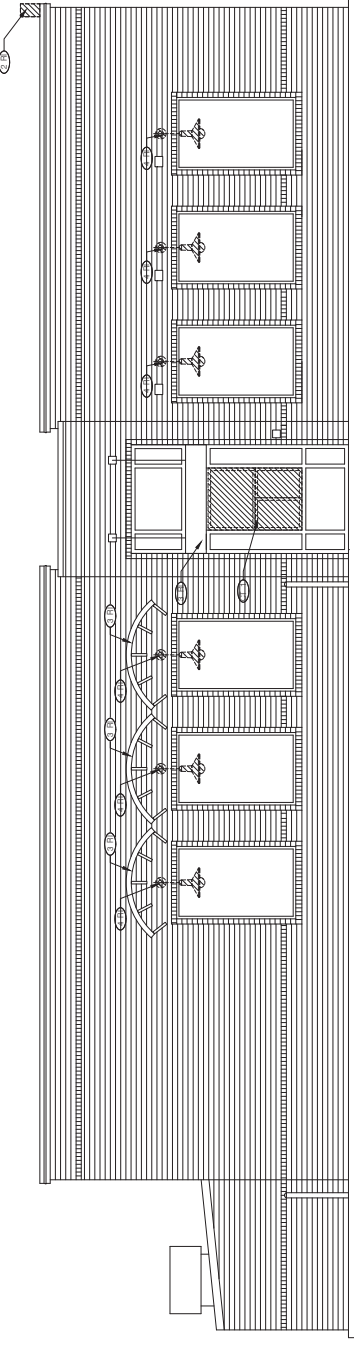
FRONT ELEVATION 1/8" = 1'-0"



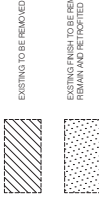
REAR ELEVATION 1/8" = 1'-0"



WALK UP SIDE ELEVATION 1/8" = 1'-0"



DRIVE THRU SIDE ELEVATION 1/8" = 1'-0"



EXISTING TO BE REMOVED
 EXISTING FINISH TO BE REMOVED, NEW FINISH TO REMAIN AND REFINISHED PER ARCHITECT'S DESIGN

DEMOLITION LEGEND

CONTRACT DATE: 06/23/16
 BUILDING TYPE: TOWER ESP
 PLAN VERSION: FEBRUARY 2016
 SITE NUMBER: 31902
 STORE NUMBER:

TACO BELL
 801 S. HOWELL AVE
 OAK CREEK, WI 53154



TL60Y1
 EXPLORER
DEMOLITION
EXTERIOR
ELEVATIONS

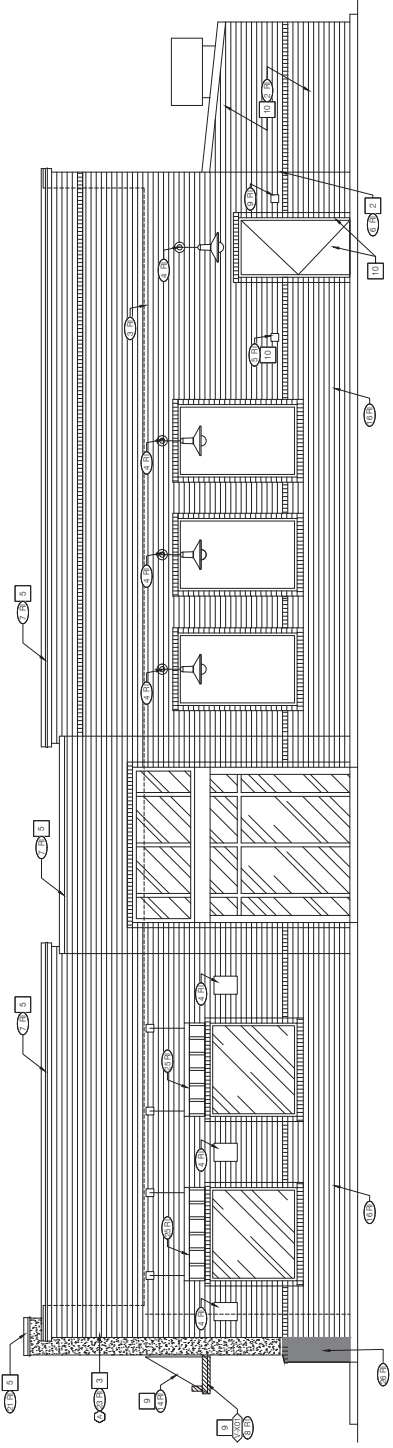
D3.0

PROJECT DATE

DEMOLITION LEGEND

- REMODEL IMAGE (RI)
- 1-12 EXISTING BUILDING SIGN TO REMAIN
 - 1-13 EXISTING TOWER TO BE MODIFIED. SEE WALL SECTIONS.
 - 1-14 EXISTING CANOPY (AWNING) TO REMAIN. CLEAN.
 - 1-15 REMOVE EXISTING ELECTRICAL CONNECTION TO REMAIN FOR INSTALLATION OF NEW FEATURE IN SAME LOCATION.
 - 1-16 REMOVE EXISTING FLYING ARCH. REMOVE JACK AND ELECTRICAL CONNECTION BACK TO SOURCE OR NEAREST JACK TO REMAIN FOR ALL ELECTRICAL CONNECTIONS NOT BEING REUSED.
 - 1-17 REMOVE EXISTING ELECTRICAL CONNECTION TO REMAIN FOR ALL ELECTRICAL CONNECTIONS NOT BEING REUSED.
 - 1-18 REMOVE EXISTING BUILDING SIGN. SAME FOR REINSTALLATION.
 - 1-19 REMOVE EXISTING SIGN. REMOVE JACK AND ELECTRICAL CONNECTION BACK TO SOURCE OR NEAREST JACK TO REMAIN FOR ALL ELECTRICAL CONNECTIONS NOT BEING REUSED. REPAIR IF APPLICABLE.
 - 1-20 REMOVE EXISTING CANOPY AND GLASS ABOVE.
 - 1-21 REMOVE EXISTING BRICK AS REQUIRED FOR NEW TOWER CONSTRUCTION. CLEAN AND SAVE FOR REUSE.
 - 1-22 INSTALL ARCHITECTURE WITH BRICK TO MATCH EXISTING.
 - 1-23 CUSTOMER TOUCH POINT (CTI) REMOVE EXISTING DIRECT ENTRY WINDOW AND TRANSOM. PREPARE FOR INSTALLATION OF NEW.

KEYNOTES



RIGHT SIDE ELEVATION 1/8" = 1'-0"

BASE THICKNESS - 1" THICK STUCCO E.F.S. W/ HIGH IMPACT MESH TO HEIGHT OF 4" A.F.F.
 ALL NEW STUCCO E.F.S. TO HAVE A LIGHT SAND FINISH UNLESS IT MUST BLEND WITH EXISTING CONCRETE FINISH

E.I.F.S. SHALL MEET THE PERFORMANCE CHARACTERISTICS REQUIRED IN ASTM E 2008
 E.I.F.S. WITH PENETRATING GRES SHALL MEET PERFORMANCE REQUIREMENTS OF ASTM E 2078
 E.I.F.S. SHALL COMPLY WITH SECTION 100.03 OF THE B.C.
 WATER RESISTIVE BARRIER SHALL COMPLY WITH SECTION 1064.2 OF THE B.C. AND ASTM E 2703
 INSTALLATION SHALL COMPLY WITH THE E.F.S. MANUFACTURER'S INSTRUCTIONS AND THE PROVISIONS OF SECTIONS 10.41 AND 10.4.4 OF THE B.C.
 USE DETAIL 04M.1 WHEN MOUNTING SOLAR AWNING, ETC. THROUGH E.I.F.S. FINISH AT WALLS

CONTRACT DATE: 08.28.16
 BUILDING TYPE: TOWER EIP
 PLAN VERSION: FEBRUARY 2018
 SITE NUMBER: 31902

TACO BELL
 801 S. HONELL AVE
 CHICK CREEK, WI 53154

TL60Y1
 EXPLORER

EXTERIOR
 ELEVATIONS
A4.0

PROJECT DATE

QTY	ITEM DESCRIPTION	ELEC
1	TACO BELL ENTRY CANOPY - 8'0" X 10'0" W/ 1" FLUTES	

SIGN SCHEDULE	N.T.S.	D
X		

NOTE: ADDITIONAL INFORMATION IS AVAILABLE ON THE PROJECT WEBSITE: SEE SURFACE AND FINISH SCHEDULE

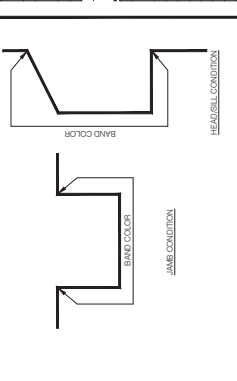
APPERTENANCES SCHEDULE	N.T.S.	D1

REMODEL IMAGE (R1)
 EXISTING BUILDING SIGN TO REMAIN
 EXISTING WINDOW COOLER FREEZER - PAINT
 INDICATES ROOF BOND
 EXISTING GAS AND ELECTRICAL METER RELOCATE AS NECESSARY
 NOT USED
 EXISTING GALV. METAL CAP FLASHING - PRIME & PAINT
 NEW ENTRY CANOPY BY VENDOR
 EXISTING COB FILLER
 EXISTING COB FULLER
 EXISTING EXPANSION JOINT TO REMAIN TYP
 EXISTING DRIVE THRU WINDOW
 EXISTING ENTRY
 INSTALL NEW METAL AWNING TO MATCH EXISTING

E.I.F.S. NOTES	N.T.S.	B1

INSTALL METAL PANEL ABOVE EXISTING TOWER TRIM
 FINISH INSIDE FACE OF TOWER LEG
 ADA NOTES: (A) DOOR - PROVIDE MINIMUM CLEARANCE OF 48" ACCESSIBILITY W/ A.F.F. TO TOP
 CUSTOMER TOUCH POINT (CT) NEW WORKING THRU WINDOW AND TRANSOM MATCH EXISTING

KEY NOTES	C



NOTE: THE MEANING IS THAT COLOR CHANGES OCCUR AT INSIDE CORNERS

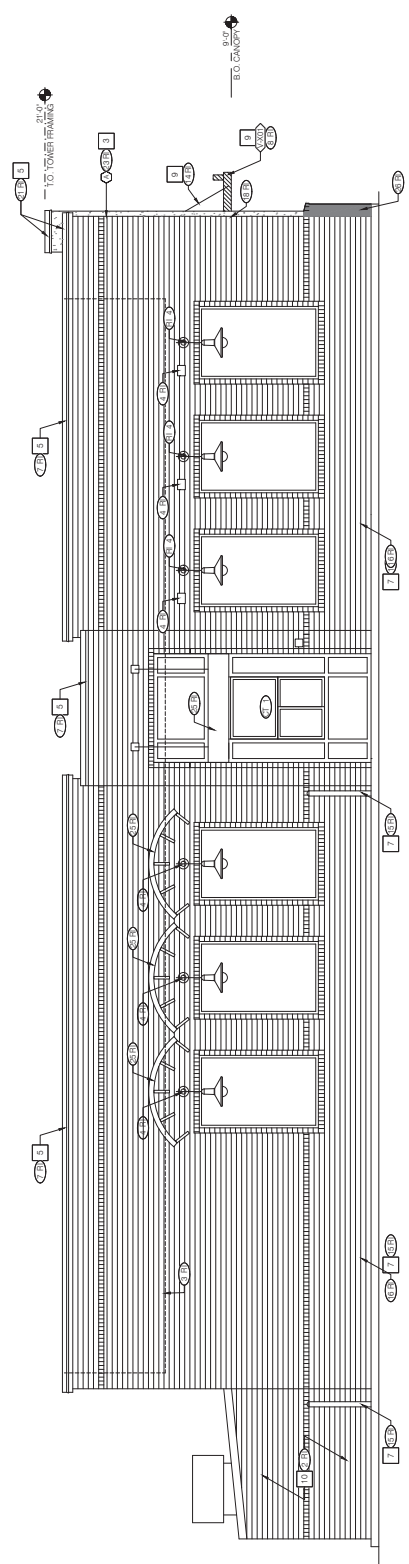
ACCENT BAND COLOR TRANSITION N.T.S. E
 JAMB CONDITION N.T.S. E

SYMBOL	NOT USED	N.T.S.	NOT USED	N.T.S.	NOT USED	N.T.S.	NOT USED	N.T.S.	NOT USED	N.T.S.	NOT USED	N.T.S.	NOT USED	N.T.S.
AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	COLOR	ALTERNATE MFR.	COLOR	ALTERNATE MFR.	COLOR	ALTERNATE MFR.	COLOR	ALTERNATE MFR.	COLOR	ALTERNATE MFR.	COLOR
1	STO LOTESAN	CONCRETE/PRECAST WILLIAMS GRIZZLE GRAY - SW709												
2	STO LOTESAN	STO LOTESAN												
3	STO LOTESAN	STO LOTESAN												
4	WESBERG STATES	NATURAL CHROME - SW011												
5	SHERMAN WILLIAMS	METAL PANELS 16' 800-4 RUST WALL PANELS SHERMAN WILLIAMS SW709												
7	SHERMAN WILLIAMS	DOT YELLOW												
8	SHERMAN WILLIAMS	IRON ORE												
9	SHERMAN WILLIAMS	GRIZZLE GREY												
10	WESBERG STATES	WHITE COQUILA												
11	WESBERG STATES	WHITE COQUILA												
12	INTERSTATE BRICK	MORTAR - POLYBLEND - 4388 HAYSTACK PRODUCTS												

NOTES:
 A. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
 B. EXISTING WINDOW COOLER SHALL BE DEMOLISHED.
 C. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY.
 D. EXISTING WINDOW COOLER SHALL BE DEMOLISHED.
 SEALERS REFER TO SPECS.
 A - SEALANT AT ALL WALL AND ROOF PENETRATIONS
 B - SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL, AND JAMB
 DENOTES ITEMS SUPPLIED AND INSTALLED BY SIGN VENDOR
 DENOTES EXTERIOR FINISH
 DENOTES FINISHING TO MATCH EXISTING. VENDOR SUPPLIED AND INSTALLED
 SET THE SCOPES OF WORK SHEETS.

GENERAL NOTES	F

EXTERIOR FINISH SCHEDULE	H



SEE SHEET T-100 FOR
 SPECIFICATIONS

LEFT SIDE ELEVATION (1/4" = 1'-0") **A**

CONTRACT DATE	08.26.16
BUILDING TYPE	TL60Y1 EXP
PLAN VERSION	FEBRUARY 2018
SITE NUMBER	31902
STORE NUMBER	

TACO BELL
 8815 S. HONOLULU AVE
 OAK CREEK, WI 53154

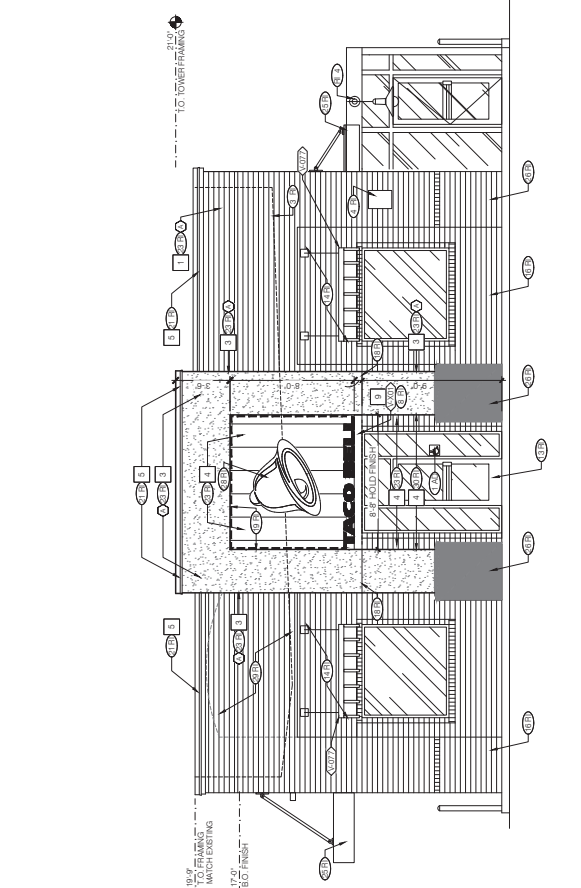


TL60Y1
 EXPLORER

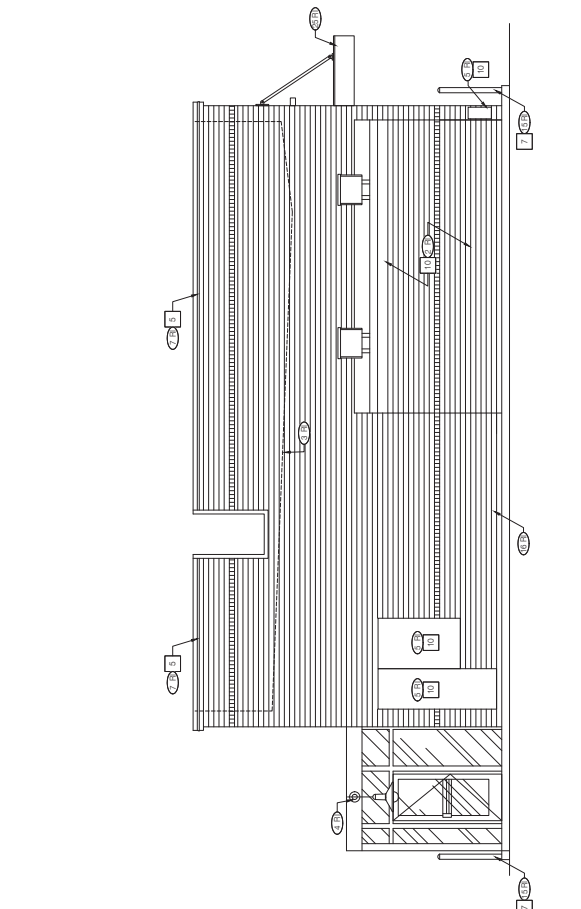
EXTERIOR
ELEVATIONS

A4.1

PROJECT DATE



FRONT ELEVATION (1/4" = 1'-0") **C**



REAR ELEVATION (1/4" = 1'-0") **B**

21'-0"
T.O. TOWER FRAMING

19'-9"
T.O. FRAMING
MATCH EXISTING

17'-0"
B.O. FINISH



FRONT ELEVATION