



PLAN COMMISSION MEETING AGENDA

**TUESDAY, September 13, 2016
AT 6:00 PM**

- 1) ROLL CALL
- 2) Minutes of the August 23, 2016 meeting
- 3) Significant Common Council Actions
- 4) NEW BUSINESS
 - a) **CONDITIONS AND RESTRICTIONS** - Review Conditions and Restrictions for a Conditional Use Permit request for housing for the elderly submitted by the City of Oak Creek and The Waters Senior Living on the property at 8000 S. Market St. (Tax Key No. 813-9065-000). Follow this item on Twitter **@OakCreekPC#OCPCTheWaters**.
 - b) **PLAN REVIEW** - Review site, building, landscaping, and lighting plans submitted by Mark TeGrootenhuis, HSA Commercial, for an addition to the approved health clinic facility on the property at 7901 S. 6th St. (Tax Key No. 813-9056-000). Follow this item on Twitter **@OakCreekPC#OCPCFroedtert**.
 - c) **PLAN REVIEW** - Review site, building, landscaping, and lighting plans submitted by Kelly Gallacher, Self Storage Ventures, LLC, for a self-storage facility on the properties at 6304 & 6340 S. Howell Ave. and 137, 147, & 209 E. College Ave. (Tax Key Nos. 719-9991-001, 719-9990, 719-9992, 719-9993, 719-9994). Follow this item on Twitter **@OakCreekPC#OCPCSelfStorage**.
- 5) ADJOURN

PLEASE NOTE

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, or in writing to the ADA Coordinator at the Health Department, City Hall, 8040 South 6th Street, Oak Creek, Wisconsin 53154. There is the potential that a quorum of the Committee of the Whole will be present at this meeting. Copies of staff reports and other supporting documentation are available for review at Oak Creek City Hall, 8040 South 6th Street, during operating hours (7:30 am-4 pm weekdays).

MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, AUGUST 23, 2016

Mayor Steve Scaffidi called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Dickmann, Commissioner Carillo, Alderman Bukiewicz, Mayor Scaffidi, Alderman Guzikowski, Commissioner Correll, Commissioner Siepert and Commissioner Chandler. Commissioner Johnston was excused. Also present: Peter Wagner, Zoning Administrator/Planner; and Michael Kressuk, Assistant Fire Chief.

Minutes of the August 9, 2016 meeting

Commissioner Dickmann moved that the Plan Commission approve the minutes from the August 9, 2016 meeting. Commissioner Siepert seconded. On roll call: all voted aye, except Commissioner Correll as he was not present at the August 9, 2016 meeting. Motion carried.

**PLAN REVIEW
RW HOWELL LLC
8355/8375 S. HOWELL AVE.
TAX KEY NOS. 828-9997**

Commissioner Chandler asked for more information regarding the stairs. Greg Prossen, Consortium AE, 2020 N. East Avenue, Suite 300, responded that the addition is on the south side and runs the entire depth of the building. There is an egress stair right in the center of that side. They have had to move that egress stair toward the front of the addition in order to accommodate egress from the second floor. From the first floor level up to the height of that stair tower is an architectural metal tile wrapping the three sides that are exposed. It is a stainless steel panel. Commissioner Chandler asked if that material was acceptable. Mr. Wagner responded that it is not acceptable as a primary material, but as an accent material. When looking at the overall architecture of the building, this does not meet the primary.

Commissioner Bukiewicz asked if there are rooftop units and exhaust fans. Mr. Prossen stated that the screening for these mechanicals is behind the stairs. The screen is two-sided for the new rooftop unit on the single story addition, so it is hiding the rooftop. Commissioner Bukiewicz stated that the screen seems to stick out. Mr. Prossen responded that he is not sure it can be seen because it is set back so far from Howell Avenue.

Commissioner Dickmann asked which parking spaces are planned to be removed. Mr. Prossen responded it is all the spaces on that end of the building. Commissioner Dickmann asked if that affects the number of required parking spaces. Mr. Wagner responded that a total of 88 stalls would be required. Following this addition, there would still be 105 stalls that will be available. Even with removing those parking stalls, they will be well within the City's parking requirements.

Mayor Scaffidi asked about any potential traffic changes. Mr. Prossen responded that there shouldn't be that much of a change in the traffic volume. They are adding six more doctors, but they are not all in the building at the same time.

Alderman Bukiewicz motioned that the Plan Commission approves the site and building plans submitted by Rick Ruvin, RW Howell, LLC, for the addition to the existing building located at 8355 S. Howell Ave., subject to the following conditions:

1. That all building and fire codes are met.

2. That all revised plans (site, building, landscaping, lighting details, etc.) are submitted in digital and paper formats for review and approval by the Department of Community Development prior to the submission of building permit applications.
3. That all mechanical equipment (ground, building, and rooftop) is screened from view.
4. That the final site grading, drainage, and stormwater management plans are approved by the Engineering Department.
5. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.
6. That the final photometric and lighting plan is approved by the Electrical inspector prior to the issuance of building permits.

Commissioner Siepert seconded. On roll call: all voted aye. Motion carried.

**SIGN PLAN REVIEW
WIRED PROPERTIES
7979 & 7978 S. MAIN ST.
TAX KEY NOS. 813-9053 & 813-9050**

Mr. Wager stated that overall the sign does not mirror the Drexel Town Square zoning code, however, staff has been working with the applicant on the discrepancies.

Subsection 1(a) – (c) – the applicant wants signage on the non-entry facades facing the private alleyway or pedestrian walkway. That does not coincide with the Drexel Town Square plan. They recommended adding a statement that says any variance from the Drexel Town Square will require a sign variance in order to have a second sign.

Subsection 4(g) – no more than 15% of the height of building can be the height of the sign. The maximum sign height would then be 25.2". The applicant is proposing either a 28" or 32" maximum. Staff prefers to keep the 25" cap, however, include a provision that if it is deemed necessary, a taller sign would be allowed no taller than the 28" and no taller than one letter being 32" would be considered, but only if a sign appeal is granted by the Plan Commission.

Subsection 6(d) – There is a variance on City standards and what the applicant wants for percentage of signage in a window. Also, it is noted that window clings can only be 25%. The question was raised of how can there be a neon sign at 50% and a window skin at 25%. So there is a little bit of a discrepancy. Staff recommends staying at the 10% rule with the caveat of a sign appeal.

Subsection 10(e) – Vacant tenant window space. Vinyl clings would be appropriate there rather than soaped or newspapered windows.

Subsection (b) – A variance request should be allowed.

Blade Signs

Subsection (a) – A variance request should be allowed.

Miscellaneous Signs

Subsection (b) – must clarify that temporary A-frame signs are allowed. There is no need for a temporary sign permit in this area. Staff recommends including that in this document.

Subsection (g) – staff is concerned about the "for rent" or "for lease" sign on balconies. If the landlord needed to put "for rent" signs on the building, they should come before the Plan Commission for a temporary use permit that can direct size, location, number and duration of sign

display. Instead of using 4 times per year for 15 days being allowed, the landlord goes for a temporary use permit before the Plan Commission.

Commissioner Carillo asked for clarification of the vinyl skins on the window. Mr. Wagner stated that staff is recommending 10% of the glass surface for any one area. They are only allowed to have one eye-level sign graphic per 12 linear feet per entry façade.

Commissioner Bukiewicz asked for clarification of recommendation #9. Mr. Wagner responded that he would like to strike the wording: "...in accordance with Section 17.0709(b)(2) - one temporary sign permit issued up to 4 times per calendar year for a maximum of 15 days each.", and replace with "...as a temporary use per Section 17.0204."

Commissioner Dickmann asked if the conditions apply before the business opens or only after or both. Mr. Wagner responded that when there is an empty tenant space, they would allow something in the window, however, once the business is opened, the temporary window vinyl skins would come down. Then the 10% rule would go into effect.

Alderman Guzikowski asked if this applied to all of Drexel Town Square. Mr. Wagner responded that this is just for the sign plan for buildings one and two located on Main Street. Other developments will follow the DTSMUPDD sign code.

Commissioner Siefert asked if the "for rent" or "for lease" temporary banner signs could be placed as high as the third floor balcony. Mr. Wagner responded that is why staff is proposing a temporary use permit so the Plan Commission can decide where and how long the banners would be displayed.

Commissioner Siefert asked about lighting these temporary signs. Mr. Wagner responded that because these signs are on a balcony, and unless there is lighting on the balcony, he does not know how they would illuminate it. Mr. Wagner stated that the city attorney has stated in the past that if the City doesn't explicitly permit it, by default it is not allowed.

Commissioner Carillo asked if the landlords have something built into their agreement with their residential tenants about not hanging signs from the balcony. Mr. Wagner responded that that is something that the landlord would have to have built into their agreement with their tenants. Mayor Scaffidi asked that staff contact Blair Williams to pose this question.

Alderman Bukiewicz motioned that the Plan Commission approves the sign program for the mixed-use buildings at 7979 and 7978 S. Main St. with the following conditions:

1. That Subsections 1(a) – (c) under Fascia Signs are revised to specify that the signs are allowed on entry facades per the DTSMUPDD. Tenants may pursue a variance through the Sign Appeal process for non-entry façade signs.
2. That Subsection 4(g) under Fascia Signs is revised to allow a maximum wall sign height of 25.2 inches for all sign elements.
3. That Subsection 6(d) under Fascia Signs is revised to comply with the DTSMUPDD for window signs. Tenants may pursue a variance through the Sign Appeal process for proposed signs that do not meet the DTSMUPDD requirements.
4. That Subsection 10(e) under Fascia Signs is revised to comply with the DTSMUPDD and to be consistent with other sections of the Sign Criteria. Tenants may pursue a variance through the Sign Appeal process for proposed permanent signs that do not meet the DTSMUPDD requirements. Temporary vinyl window decals for vacant tenant spaces that do not meet this standard may be reviewed and approved on a case-by-case by the Plan Commission.
5. That Subsection (b) under Storefront Signs or Lettering is revised to comply with the DTSMUPDD (one (1) eye level sign/graphic per 12 linear feet of entry façade is allowed. Vinyl on glazing (text/graphic/pattern) may not cause more than 10% of glazing to become opaque,

and the maximum text height is limited to 5% of the retail storefront). Tenants may pursue a variance through the Sign Appeal process for proposed permanent signs that do not meet the DTSMUPDD requirements. Temporary vinyl window decals for vacant tenant spaces that do not meet this standard may be reviewed and approved on a case-by-case by the Plan Commission.

6. That Subsection (a) under Blade Signs is revised to specify that 1-2 blade signs are allowed per entry façade per the DTSMUPDD. Tenants may pursue a variance through the Sign Appeal process for any non-entry façade signs.
7. That Subsection (c)(c) under Blade Signs is revised to clarify the requirements for fabric flag signs versus solid blade signs in compliance with the DTSMUPDD.
8. That Subsection (b) under Miscellaneous Signs is revised to clarify that A-frame signs are allowed and must be maintained in compliance with the DTSMUPDD.
9. That Subsection (g) under Miscellaneous Signs is revised to eliminate the temporary banners on balcony railings. Should the Plan Commission determine that temporary banners affixed to residential balcony railings are acceptable, temporary permits for such may be issued on a case-by-case basis in accordance with Section 17.0204, Temporary Use.

Commissioner Dickmann seconded. On roll call: all voted aye. Motion carried.

**SIGN PLAN REVIEW
MARTINIZING
7979 S. MAIN ST.
TAX KEY NO. 813-9053**

Mr. Wagner noted that in the code internally illuminated box signs are not allowed. Staff worked with the applicant and they are creating a push-through channel letter where the “green” is not illuminated; just the white lettering. The letters are illuminated and not the whole box.

Commissioner Chandler asked if the blue signage will be illuminated. Chris Stone, Sign-o-Rama, responded yes, and went on to describe the elements/colors of the sign.

Commissioner Siepert motioned that Plan Commission approve the sign plan for Martinizing located at 7979 S. Main Street. Commissioner Dickmann seconded. On roll call: all voted aye. Motion carried.

**SIGN PLAN REVIEW
FORWARD DENTAL
7979 S. MAIN ST.
TAX KEY NO. 813-9053**

Commissioner Dickmann asked if the applicant wished to go forward with the requested larger sign. Scott Filleul, Forward Dental, 27 Court Street, responded that they were hoping to open the business in the next month, so the timeframe is tight for them to make the adjustments to the requested size adjustment to the signage. The adjustment to meet the City’s requirements would be a slight reduction in size. They would like to go with the larger sign that they already have. They do not know if they can make an adjustment to the sign itself because it is already made. Commissioner Bukiewicz suggested a temporary sign in the meantime while the appeal process goes forward. Mr. Wagner stated the City does allow businesses to put up a temporary sign prior to them coming. They could put a “coming soon” sign in the window until they have a wall sign that accommodates their needs.

Commissioner Carillo asked if the red circle logo was extended beyond their unit. Mr. Wagner stated that they have two entrances and therefore, the signage does not extend beyond their occupancy.

Mr. Wagner summarized that by code only one wall sign is allowed per entry façade. Signs on non-entry facades are not allowed. The applicant would like to have two wall signs and two blade signs,

however that does not comply with the sign code. Because of the way Drexel Town Square is designed, any signage in this development requires Plan Commission review. They need to come for approval. At this meeting, the most the Plan Commission can approve is one wall sign and one blade sign. At the time of the writing of the staff report, the 42.2 SF sign would have been acceptable because of the extra tenant space, so there was not a conflict. Unfortunately the rules by the landlord have unintentionally created a hardship with this proposal. In the meantime, Mr. Wagner can issue a temporary sign or have a 14-day temporary use. There is some flexibility to provide some temporary signage while the sign is being manufactured or if it is being manufactured, to come before the Plan Commission for a variance request.

Matt from Anderson-Ashton, 2746 S. 166th Street, New Berlin, stated his issue with the building signage is the length. They have two units side-by-side and an end cap corner going into the development, so it is not like they are overlapping the next tenant. He asked that if they have to go through a variance for extra square footage for the length, would the Plan Commission be open to that on a corner lot. Mayor Scaffidi stated that this was already okay with him.

Commissioner Chandler asked why they were proposing two blade signs in the same space. Scott Filleul responded that because of the two streets that intersect when the clientele come from the back parking lot. The blade sign helps the customers locate the space.

Commissioner Dickmann motioned that the Plan Commission approve a 35 square-foot wall sign and blade sign on the entry façade (east elevation) for Forward Dental located at 7955 S. Main Street. Commissioner Correll seconded. On roll call: all voted aye.

**SIGN PLAN REVIEW
ROOTS SALON
7979 S. MAIN ST.
TAX KEY NO. 813-9013**

Bob Kraus, Bauer Sign Company, 2500 S. 170th Street, New Berlin, stated that the sign is under construction now and they have been at the site doing some preliminary work on the site to do some prewiring to accept this size sign. He was using the size requirements supplied to him by Wired Properties when designing the sign and that is where the misinformation came from regarding size requirements.

Commissioner Carillo stated that the height is very important so that it doesn't look crowded. She would rather work with the applicant on adjusting the length than height of the sign so that the sign is centered top-to-bottom.

Commissioner Correll stated he agreed with Commissioner Carillo that compromise at this point, as unfortunate as it is for the tenant, it is important to keep consistency with signs. Mayor Scaffidi agreed with that.

Mr. Kraus stated that some of the calculations and size restrictions are very unusual for the development and very limiting for the long term success of some of the businesses. Commissioner Carillo responded that the City is trying to make it as nice and attractive as possible even letting businesses use their logos instead of just channel letters.

Mr. Wagner stated that there is a subsection in the master plan that states if the height is larger than 25", the landlord would be accepting of 28" or up to 32". The 32" was only for one letter to be that tall and the rest would have to be smaller.

Mr. Kraus asked if the sign could be direct mounted or had to have a raceway backing. Mayor Scaffidi stated that the raceway backing was a landlord preference.

Commissioner Correll stated the only thing the Plan Commission could do is approve it at the 25" height. Mayor Scaffidi added that in the future anything that has to do with signage and those buildings, the applicant or applicant's representative has to be present at the Plan Commission meeting. Mr. Wagner responded that this request is made for every Plan Commission item.

Commissioner Correll motioned that the Plan Commission approve the sign plan at a maximum height of 25.2" for Roots Salon located at 7959 S. Main Street. Alderman Guzikowski seconded. On roll call: All voted aye.

Mr. Kraus asked if the next submission could be approved at staff level at the 25.2". Mr. Wagner responded that if they were to submit a sign permit application with a 25.2" Roots sign that does not exceed the 35 square feet in area, it can be approved at staff level.

**CONDITIONAL USE PERMIT
CITY OF OAK CREEK
THE WATERS SENIOR LIVING
8000 S. MARKET ST.
TAX KEY NO. 813-9065**

Arden Degner, 8540 S. Pennsylvania Ave., stated that he is afraid that a four-story building will hide the Civic Center from the view of the Meijer store or from anyone in that direction. He would very cautiously accept that condition of a four-story building.

Commissioner Dickmann motioned that the Plan Commission recommends that the Common Council approves a conditional use permit allowing for the development of senior housing at 8000 S. Market Street after a public hearing and subject to conditions and restrictions that will be prepared for the Commission's review at their next meeting. Commissioner Siefert seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn. Commissioner Correll seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 8:29 p.m.

ATTEST:

Douglas Seymour, Plan Commission Secretary

9/6/16

Date

Summary of Significant Common Council Actions

1. **APPROVED Ordinance** No. 2820, amending the General Development Plan and Regulating Plan for the Drexel Town Square Mixed Use Planned Development District at 7940 S. 6th St., 7901 S. Main St., and 7902 S. Main St.
2. **APPROVED Ordinance** No. 2821, approving a Conditional Use Permit allowing a financial institution with a drive-through/drive-up facility, located at 7940 S. 6th St.
3. **APPROVED Resolution** No. 11741-090616, Consenting to the Assignment of Tax Incremental District No. 10 Finance Development Agreement from Bucyrus Wisconsin Property, LLC to Master Lock Company LLC and Approving a First Amendment to Tax Incremental District No. 10 Finance Development Agreement (Bucyrus Wisconsin Property, LLC)



Kari Papelbon, CFM, AICP
Planner



Plan Commission Report

ITEM: 4a

DATE: September 13, 2016

PROJECT: Conditional Use Permit – The Waters Senior Living

ADDRESS: 8000 S. Market Street

TAX KEY NO: 813-9065-000

STAFF RECOMMENDATION: That the Plan Commission recommends that the Common Council adopts the Conditions and Restrictions as part of the Conditional Use Permit allowing for the development of senior/elderly housing at 8000 S. Market Street after a public hearing.

Ownership: City of Oak Creek (under contract with The Waters Senior Living Group)

Size: 2.54 acres

Existing Zoning: DTSMUPDD (Mixed Use sub-district)

Adjacent Zoning:	North –	DTSMUPDD (Mixed Use sub-district)
	East –	DTSMUPDD (Large Format Retail sub-district)
	South –	B-4, Highway Business
	West –	DTSMUPDD (Civic sub-district)

Comprehensive Plan: Planned Mixed Use.

Wetlands: none

Floodplain: none

Official Map: N/A

Commentary: At the August 23, 2016 meeting, the Plan Commission recommended Common Council approval of the proposed Conditional Use Permit that would allow housing for the elderly to be developed on the property at 8000 S. Market Street. Detailed site, building, landscaping, lighting, and related plans will be reviewed by the Commission at a later date. Staff has prepared Conditions and Restrictions for the Plan Commission’s consideration. If the Plan Commission is comfortable with the Conditions and Restrictions, the appropriate action would be to recommend that the Common Council approve them as part of the Conditional Use Permit.

Prepared by:

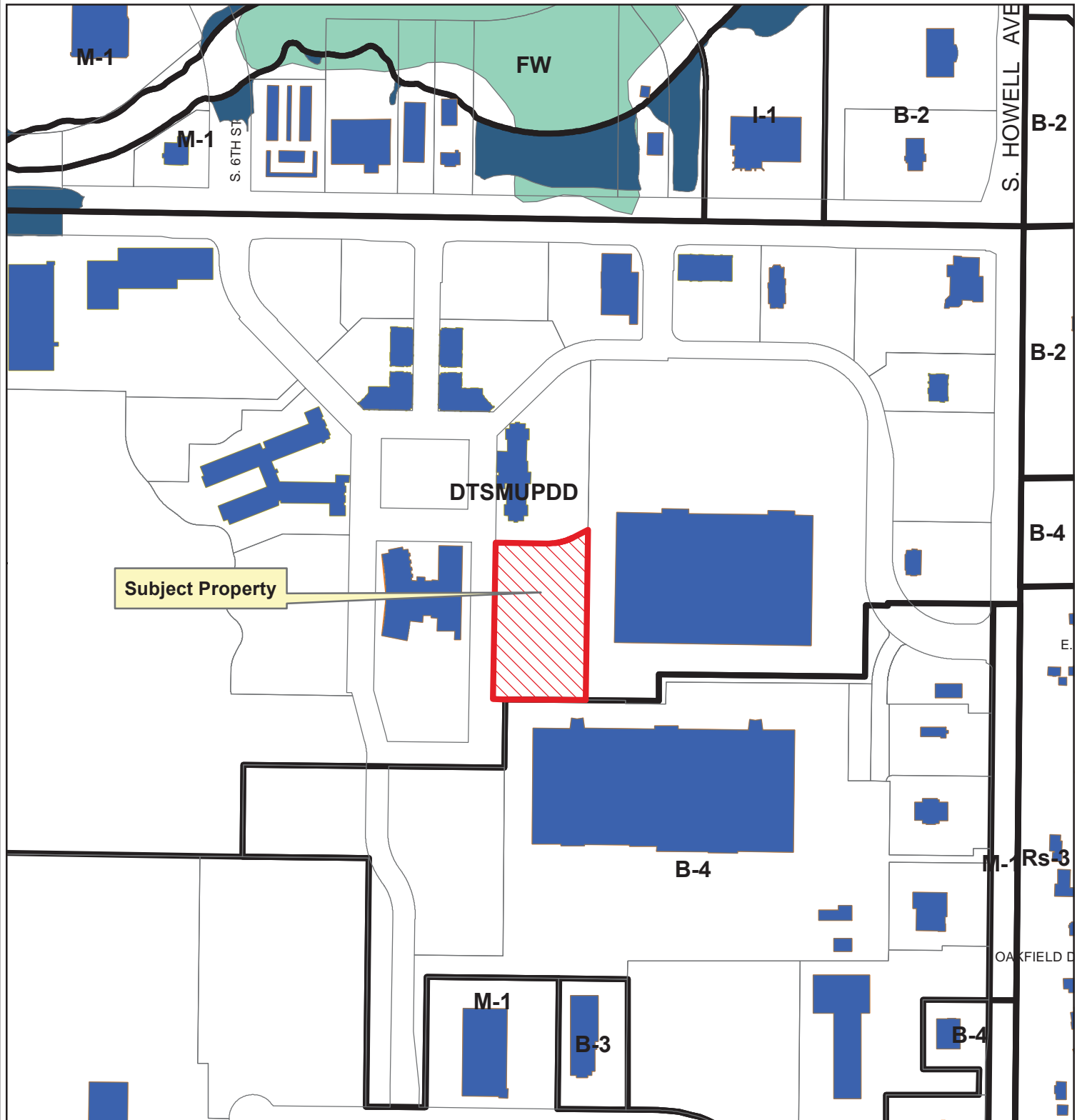
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

Location Map

8000 S. Market St.



This map is not a survey of the actual boundary of any property this map depicts.



Legend

- 8000 S. Market St.
- Zoning Overlays**
- C-1-Shoreland Wetland
- FF-Flood Fringe
- Lakefront Overlay
- NO-Mixed Use Neighborhood
- OO-Mixed Use Office
- RR-Regional Retail

City of Oak Creek – Conditional Use Permit
DRAFT Conditions and Restrictions

Applicant: The Waters Senior Living
Property Address: 8000 S. Market St.
Tax Key Number: 813-9065-000
Conditional Use: Senior/elderly Housing

Approved by Plan Commission: TBD
Approved by Common Council: TBD
(Ord. #TBD)

I. LEGAL DESCRIPTION

Lot 2 of CSM 8735, a division of Lot 4 of Certified Survey Map No 8573, being a part of the Northeast ¼, Northwest ¼ and Southwest ¼ of the Northeast ¼ of Section 17, Town 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin. Said lot contains 110,888 square feet or 2.5456 acres.

II. REQUIRED PLANS, EASEMENTS, AGREEMENTS, AND PUBLIC IMPROVEMENTS

A. Precise, detailed site plans must be in general conformance with the adopted general development plan in the Drexel Town Square Mixed Use Planned Development District (DTSMUPDD) General Development Plan and Regulating Plan, and shall be submitted to and approved by the Plan Commission prior to the issuance of any building or occupancy permits. The plans shall show and describe the following:

1. General Site Plan

- a) detailed building location(s) with setbacks
- b) square footage of building(s)
- c) area(s) for future expansion
- d) area(s) to be paved
- e) easements (existing and proposed)
- f) access drives (width and location)
- g) sidewalk locations
- h) parking layout and traffic circulation
 - i) location
 - ii) number of employees
 - iii) number of spaces
 - iv) dimensions
 - v) setbacks
- i) location of loading berths
- j) location of sanitary sewer (existing and proposed)
- k) location of water (existing and proposed)
- l) location of storm sewer (existing and proposed)
 - i) including detention/retention basins if needed
- m) location of wetlands (field verified)
- n) location, square footage and height of signs

2. Landscape Plan

- a) screening plan for outdoor storage/trash
- b) number, initial size and type of plantings
- c) parking lot screening/berming

3. Building Plan

- a) architectural elevations
- b) building floor plans
- c) materials of construction

4. Lighting Plan

- a) types of fixtures
- b) mounting heights
- c) type of poles
- d) photometrics of proposed fixtures

5. Grading, Drainage, Erosion Control, and Stormwater Management Plan

- a) contours (existing and proposed)
- b) location of storm sewer (existing and proposed)
- c) location of erosion control measures, stormwater management structures and basins (if required)

6. Fire Protection

- a) location of existing and proposed fire hydrants (public and private)
- b) interior floor plan
- c) materials of construction

B. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.

C. For each phase of development and any new buildings or structures and additions, site grading and drainage, public streets and easements, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received

prior to the issuance of any building permits.

- D. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, etc.) shall be subject to approval by the City Engineer.
- E. If required by the City of Oak Creek, public easements for cross access, telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted provided there is access to each of the aforementioned systems and their appurtenances.
- F. All new electric, telephone and cable TV service wires or cables shall be installed underground within the boundaries of the DTSMUPDD.
- G. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit.

III. ACTIVE STREETS AND WALKABILITY

- A. Build-to zones (BTZ) shall adhere to the following:
 - 1. At least 60%-90% of the linear edge shall be building façade.
 - 2. The BTZ must include the building's front façade.
 - 3. Architectural elements such as porches, decks, stoops, bay or oriel windows, balconies, awnings, roof eaves, pergolas, covered walkways, ornamental features, chimneys, and lights should also fall within the BTZ range.
 - 4. In no case shall BTZs extend into a utility easement, beyond a property line, or interfere with required vision triangles.
 - 5. Within a public right-of-way some encroachments should be allowed for temporary uses such as tables, planters, heaters, sidewalk signage, and similar elements that extend past the property line. All encroachments must take out a permit and be approved by the City of Oak Creek.
- B. Landscape zones (LZ) must include multiple layers of continuous elements such as hedges, decorative fences, and closely spaced trees. Typical lot edge landscapes with sparsely placed plant materials will not be considered adequate. Longer landscape zones, which extend for more than 100', should be more elaborate and wider with more layers of elements (e.g., a hedge, decorative fence and double tree line).
- C. Mixed Building and Landscape zones (MLZ) should incorporate combinations of the build-to-zone and landscape zone requirements.
- D. The use of berms in the front of buildings along residential streets is prohibited.

IV. PARKING, ACCESS, AND SERVICE AREAS

- A. Parking shall be provided in accordance with the Drexel Town Square Mixed Use Planned Development District (DTSMUPDD) General Development Plan and Regulating Plan and Section 17.0403 of the Municipal Code.
- B. All driveway locations must be approved by the Plan Commission as part of the detailed site plan review for each phase of development.
- C. Where 90° parking is indicated on the site plans, individual-parking stalls shall be nine (9) feet in width by eighteen (18) feet in length. The standards for other types of angle parking shall be those as set forth in Section 17.0403(d) of the Municipal Code.

- D. Movement aisles for 90° parking shall be at least twenty-two (22) feet in width.
- E. All off-street parking areas shall be surfaced with an all-weather wearing surface of plant mix asphaltic concrete over crushed stone base subject to approval by the City Engineer. A proposal to use other materials shall be submitted to the Plan Commission and the Engineering Department for approval.
- F. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.
- G. All driveway approaches to this property shall be in compliance with all the standards set forth in Chapter 6 of the Oak Creek Municipal Code. Any off-site improvements shall be the responsibility of the property owner.
- H. When vehicular parking entries, curb cuts, and driveways, cross the public walks/easements they shall not exceed 24 feet in width, except when deemed necessary to accommodate service and emergency vehicles, etc.
- I. Where the vehicle entry driveway crosses the sidewalk, the paving along the sidewalk must remain at the same typical height as the adjacent sidewalks to create a level, non-interrupted path for pedestrians.
- J. Service and loading areas of buildings should be located in an area away from the public view to the greatest degree possible. When possible, service and utility areas should be inside the building or integrated into the architecture of the building.
- K. The number, size, location and screening of appropriate solid waste collection units shall be in conformance with Drexel Town Square Mixed Use Planned Development District (DTSMUPDD) General Development Plan and Regulating Plan.
- L. Solid waste collection and recycling shall be the responsibility of the owner(s).
- M. All outdoor trash areas will need attractive designs, and persistent maintenance. Enclosures shall be gated, always well maintained, and kept clean.

V. MAINTENANCE AND OPERATION

- A. The maintenance of common areas shall be the responsibility of a property owners association, business improvement district, or other organization acceptable to the City of Oak Creek Plan Commission and One West Drexel, LLC.
- B. Removal of snow from off-street parking areas, private roads, walks and access drives shall be the responsibility of the property owner(s) consistent with any deeds or covenants and may be included as part of a common maintenance agreement with a property owners association, business improvement district, or other organization acceptable to the City of Oak Creek Plan Commission and One West Drexel, LLC.
- C. The maintenance of regional stormwater ponds shall be the responsibility of the City of Oak Creek. The responsibility for maintenance of other facilities constructed as part of the identified stormwater best management practices shall be the responsibility of the property owner, property owners association business improvement district, or other organization acceptable to the City of Oak Creek Plan Commission and One West Drexel, LLC consistent with any covenants, deed restrictions, developer agreements or intergovernmental agreements.

VI. SIGNAGE

- A. Signs shall comply with the requirements of Appendix B of the DTSMUPDD General Development Plan and Regulating Plan.
- B. All signage must be approved by the Plan Commission prior to issuance of sign permits.
- C. Site signage shall be primarily constructed of high quality, attractive, and durable building materials such as stone, brick, concrete, decorative metal, and hardwood.

- D. Signs shall be integrated with the design of the buildings and/or landscape features.
- E. Lighting shall be designed carefully to avoid excessive glare or over illumination. External lighting must be discreet and unobtrusive, and not shine outward into the pedestrian or driver vision path.
- F. Glaring and directed spotlights are not acceptable; lighting must not adversely affect neighboring properties.
- G. Pole signs, billboard style wall-mounted and roof mounted signs are not allowed without special permission from the City Plan Commission and One West Drexel.

VII. LIGHTING

- A. All plans for outdoor lighting for each phase shall be reviewed and approved by the Plan Commission and by the Electrical Inspector in accordance with the DTSMUPDD General Development Plan and Regulating Plan, the approved lighting plan for Drexel Town Square, and Section 17.0808 of the Municipal Code.
- B. All lighting must be either LED or Metal Halide (MH) in type.
- C. Pole type, height and color, as well as luminaire type, shall match the established standards for parking lot lighting within the Drexel Town Square Planned Development.

VIII. LANDSCAPING

- A. Plans and specifications for site landscaping for each phase of the development shall be subject to approval by the Plan Commission and should be consistent with the standards established by Section 17.1010 of the Municipal Code. Plans shall conform to the requirements of the DTSMUPDD, including the Landscape Design Guidelines for Perimeter Development Street Yards (Appendix D). In the event that there are conflicts between the DTSMUPDD landscape standards and the Municipal Code, the requirements of the DTSMUPDD shall apply.
- B. Landscaping shall not interfere with any fire hydrants or fire department connections.
- C. All easements shall be illustrated on the landscape plan.
- D. Parking Lot Screening. Those parking areas for five (5) or more vehicles if adjoining a public right-of-way shall be screened from casual view by an earth berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way. All screening materials shall be placed and maintained at a minimum height of three (3) feet.
 - 1. At least one ornamental deciduous tree, no less than 2.5" caliper, shall be incorporated into the design for every 50 linear feet of public street frontage.
 - 2. At least 25% of the total green space area shall be landscaped utilizing plant materials, other than maintained turf, that contribute to ground coverage.
 - 3. For purposes of determining the number of plants necessary to meet the minimum 25% ground coverage requirement, plant types are categorized by their general size and potential mature at-grade coverage area.

<u>Plant Type</u>	<u>Area of Coverage Provided</u>
Evergreen Tree (>8' Dia.)	75 sq. ft.
Large Shrub (6-8' Dia.)	38 sq. ft.
Medium Shrub (4-6' Dia.)	20 sq. ft.
Small Shrub (2-4' Dia.)	12 sq. ft.
Perennial (4.5" Pot)	6 sq. ft.

* Note shade and ornamental trees are not considered a plant type contributing to "at grade" coverage.

4. To assure a diversity of color, texture and year-round interest, the total number of plant materials must be comprised of a minimum 25% evergreens, but no more than 70%.
- E. Interior Landscape Area. All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape islands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. Landscape islands or peninsulas shall be dispersed throughout the off-street parking area. Landscape islands shall provide a minimum 30-inch clear area for vehicle overhang and snow storage. One shade tree shall be provided within the interior planting area for every 300 square feet of interior landscaping.
- F. Perimeter Landscape Area. In an effort to prevent adjacent parking lots from becoming one large expanse of paving, perimeter landscaping shall be required. The perimeter strip shall be a minimum 5 feet in width. A minimum of one tree and five shrubs is required for every 35 linear feet of the perimeter of the parking area and located within the perimeter landscape area.
- G. Landscaping Adjacent to Buildings. There shall be a minimum three-foot landscaped area provided between the edge of pavement and the entrance elevation of the building.
- H. Screening of Trash. Trash receptacles shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- I. Screening of Ground Mounted Mechanical Equipment. Ground mounted mechanical equipment shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- J. Screening of Roof Mounted Mechanical Equipment. Roof mounted mechanical equipment shall be screened from casual view.
- K. Retaining Walls. No retaining wall shall exceed four (4) feet in height unless it has been designed and its construction supervised by a Professional Engineer. A retaining wall may be stepped to achieve greater height. Each step of the wall shall be no more than four (4) feet in height and shall be set back a minimum of three (3) feet from the previous step. Acceptable materials for retaining walls are: segmental masonry type, timber, railroad ties, or concrete
- L. Berms. Side slopes of berms shall not exceed a gradient of 1-ft. vertical to 3-ft. horizontal unless approved by the City Engineer.
- M. Submittal Requirements. A Landscape Plan (to scale) must be submitted which includes details of all proposed landscaping, buffering and screening, including the estimated cost of the landscaping. These plans shall be prepared by a landscape professional and show the location and dimensions of all existing and proposed structures, parking, drives, right-of-ways and any other permanent features, and all other information required by the Plan Commission, including but not limited to the following:
 1. A plant list and coverage chart showing the location, quantity, size (at time of planting and at maturity), spacing and the scientific and common names of all landscape materials used.
 2. The location and type of existing trees over four (4) inches in diameter (measured six (6) inches above the ground) within the area to be developed.
 3. The location and percent of slope of all proposed berms using one (1) foot contours.
 4. Detailed sections showing elevations of all proposed architectural features, such as walls, lighting or water features.
 5. Methods used in staking, mulching, wrapping or any other early tree care used.

6. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule.
- O. The Plan Commission may modify any of the above standards by a $\frac{3}{4}$ majority vote of those Commissioners present at a meeting, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modification of the particular standard.

IX. BUILDING DESIGN GUIDELINES AND ARCHITECTURAL STANDARDS

A. Windows and Glazing

1. Visual interaction by means of clear, non-tinted windows (glazing) is required along the street frontages of a building.
2. Tinted glazing and opaque glass panels are prohibited except as accents where approved by the Plan Commission.
3. A minimum of 25% of the glazing zone shall include clear glazing for first floor building uses. Alternatives to street level window glazing may be substituted to fulfill up to half of the glazing requirement along street frontages of a building if approved by the Plan Commission during site and building plan review.

B. Building Materials

1. Building materials of enduring quality are required, such as brick, stone, wood, fiber cement, heavy vinyl, and stucco. All building materials shall be approved by the Plan Commission and be consistent with the requirements in the DTSMUPDD General Development Plan and Regulating Plan.
2. Freestanding commercial structures shall be designed as four-sided architecture with finish grade materials used consistently on all facades. Four-sided architecture must be of high quality suitable for an urban commercial setting.

X. PERMITTED USES

- A. All permitted uses in the Drexel Town Square Mixed Use Planned Development District (DTSMUPDD) Mixed Use Sub-District.
- B. One (1) senior/elderly housing development.
- C. Usual and customary accessory uses to the above listed permitted uses.

XI. TIME OF COMPLIANCE

The operator of the conditional use shall commence operations in accordance with these conditions and restrictions for the conditional use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a conditional use permit. This conditional use approval shall expire within twelve (12) months after the date of adoption of the ordinance if a building permit has not been issued for this use. The applicant shall re-apply for a conditional use approval, prior to recommencing work or construction.

XII. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, ordinances, and orders not heretofore stated or referenced, is mandatory.

XIII. VIOLATIONS & PENALTIES

Any violations of the terms of this conditional use permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances. If the owner, applicant

or operator of the conditional use permit is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the city shall have the right to revoke this conditional use permit, subject to the provisions of paragraph 14 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this conditional use permit or to seek an injunction regarding any violation of this conditional use permit or any other city ordinances.

XIV. REVOCACTION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code.

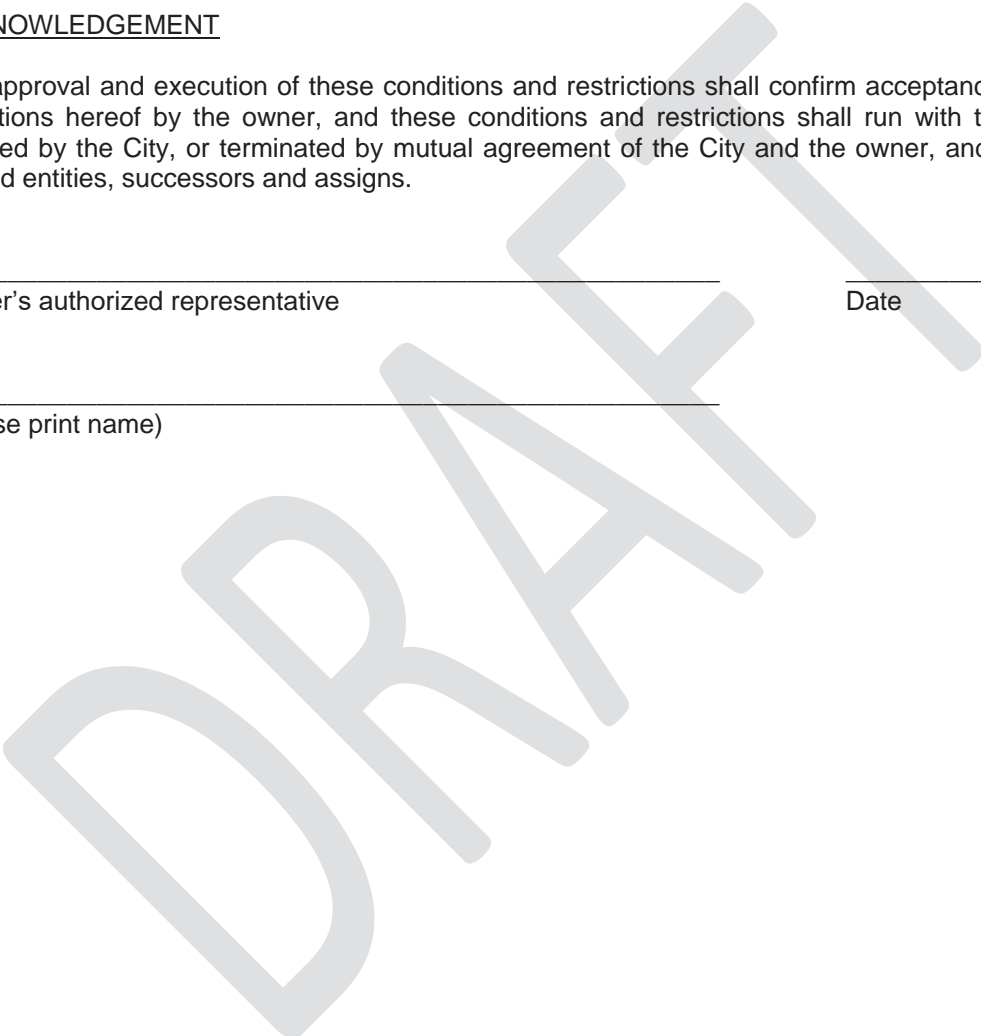
XV. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner's authorized representative

Date

(please print name)





Plan Commission Report

ITEM: 4b

DATE: September 13, 2016

PROJECT: Plan Review – Mark TeGrootenhuis, HSA Commercial (Froedtert)

ADDRESS: 7901 S. 6th St.

TAX KEY NO: 813-9056-000

STAFF RECOMMENDATION: That the Plan Commission approves the site and building plans submitted by Mark TeGrootenhuis, HSA Commercial, for the property located at 7901 S. 6th St. with the following conditions:

1. That all building and fire codes are met.
2. That all conditions of approval issued for the main building on May 10, 2016 remain effective.
3. That all revised plans (site, building, landscaping, etc.) are submitted in digital and paper formats for review and approval by the Department of Community Development prior to the submission of building permit applications.
4. That detailed plans for signage are reviewed and approved by the Plan Commission prior to submission of sign permit applications.
5. That the wall sign location on the east elevation as proposed is NOT approved. The applicant/tenant may submit a sign appeal request for the proposed signs on the east elevation.
6. That all mechanical equipment (ground, building, and rooftop) is screened from view.
7. That final photometric and lighting plans indicating the approved luminaire type, pole type, color, and height for Drexel Town Square are submitted for final approval by the Director of Community Development, upon written recommendation of the Electrical Inspector, prior to the issuance of building permits.
8. That plans addressing grading, drainage, and stormwater quality (including the use of stormwater best management practices) be approved by the City Engineer prior to the issuance of building permits.
9. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.

Ownership: One West Drexel, LLC, c/o Wispark, LLC, 301 W. Wisconsin Ave., Ste. 400, Milwaukee, WI 53203

Size: 6.9025 acres

Existing Zoning: DTSMUPDD, Drexel Town Square Mixed Use Planned Development District

Adjacent Zoning: North – M-1, Manufacturing; FF, Flood Fringe; FW, Floodway, B-2 (CU), Community Business

East – DTSMUPDD, Drexel Town Square Mixed Use Planned Development Dist.

South – DTSMUPDD, Drexel Town Square Mixed Use Planned Development Dist.

West – Rm-1 (PUD), Multifamily Residential; FF, Flood Fringe

Comprehensive Plan: Planned Mixed Use.

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting site, building, landscaping, and lighting plan approval for a 1.5-story, 16,300 square-foot addition to the approved Froedtert – Drexel Town Square Health Clinic on the property at 7901 S. 6th St. As a reminder, the review of these site and building plans is governed by the general development plan and regulating plan for the Drexel Town Square Mixed Use Planned Development (DTSMUPDD).

Under the terms of the adopted regulating plan, the Oak Creek Plan Commission is charged with interpreting and assuring compliance with the DTSMUPDD. Building permits will not be issued without Plan Commission approval. Copies of the approved and proposed plans are included in your packets.

A **Build-to Zone (BTZ)** is required on the corner of Drexel Avenue and wrapping around the proposed building(s) that front 6th Street. This zone is defined as

*... the space extending between (a) the property line defining the edge of a public right-of-way (or the line defining the edge of the public easement on a private road, or the functional equivalent of such lines) and (b) a predetermined maximum setback line (shown in the diagrams for each block).
For the BTZ:*

- *At least 60%-90% of the linear edge shall be building facade.*
- *The BTZ must include the building's front facade.*
- *Architectural elements such as porches, decks, stoops, bay or oriel windows, balconies, awnings, roof eaves, pergolas, covered walkways, ornamental features, chimneys, and lights should also fall within the BTZ range.*
- *In no case shall BTZs extend into a utility easement, beyond a property line, or interfere with required vision triangles.*
- *Within a public right-of-way some encroachments should be allowed for temporary uses such as tables, planters, heaters, sidewalk signage, and similar elements that extend past the property line. All encroachments must take out a permit and be approved by the City of Oak Creek.*

Mixed Building and Landscape Zones (MLZ) extend on both sides of the 6th Street entrances (see Figure 4: Build To Zones). These zones are identified where

it is difficult to prescribe the precise locations of building on the lot. In such case, such as the Perimeter Commercial Sub-district, a new building might occupy the edge of the lot along one side or, in some case, just be located in the middle of the lot. In such circumstances the zone along the outer perimeter of the lot, abutting the public right of way should be a combinations of a build-to-zone and a landscape zone.

Parking requirements were discussed in the review of the original proposal for the 92,000 square-foot medical facility. Per information supplied by the Applicant, 100-110 employees would be onsite at peak shift, 7:00 AM – 7:00 PM hours of operation, and a total of 574 standard stalls and 19 disabled stalls required at build-out. Originally, the plans included 225 surface parking stalls and 425 parking structure stalls (total = 650). With the proposed cancer center addition, a total of 212 surface (13 disabled) and 425 parking structure stalls (total = 637) are provided. An additional 20 “on-street” stalls are included along both sides of the shared access with Emerald Row apartments. Based on the size of the proposed facility, approximately 109,100 square feet, 546 parking stalls would be required per the DTSMUPDD.

Pedestrian connections to the public sidewalk are maintained with the proposed addition.

Additional wall signs proposed on the addition. Detailed signage plans will be submitted for Plan Commission review at a later date. Per Appendix B of the General Development Plan and Regulating Plan, the following signs are allowed:

1. One (1) primary sign per entry façade per tenant.
2. One-two (1-2) flag signs per entry façade.
3. One (1) eye-level sign/graphic per 12 linear feet of entry façade.

Based on the submissions, the proposed sign location on the east elevation of the cancer center addition is not allowed as it is not an entry elevation. It will be up to the tenant to determine whether to submit a sign appeal in the future.

Lighting for the addition will include the same wall packs used on the exterior of the main medical clinic building. Staff recommends incorporating pedestrian-scale lighting (e.g., bollards) along the sidewalks and in the patio area.

Landscaping plans have been submitted depicting vegetation surrounding the addition, along the outdoor patio, screening for parking areas, and landscape islands. Although these plans are generally in conformance with requirements, minor revisions may be required. A condition of approval for final landscaping plans to be approved by the Director of Community Development is listed in the staff recommendation above.

Building materials for the addition are similar to those used for the main building – striated precast panels; striated metal panels, smooth prefinished metal panels, and corrugated metal screening for mechanicals; and tinted and spandrel glass. A majority of the east elevation is proposed to be Prodema Natural Wood Beauty panels / rain screen. Per the DTSMUPDD, wood and architectural metal panels are allowed as secondary and accent materials. Corrugated metal screening is not listed in the DTSMUPDD as a material that can be used at street level. The use of wood as a primary building material on the east elevation of the proposed addition and corrugated metal screening will require a $\frac{3}{4}$ majority approval of the Plan Commission. Tinted glazing and opaque glass are also prohibited in the DTSMUPDD except as accents; however, based on programmatic and privacy needs of the facility, staff recommends approval. Staff also recommends incorporating bike racks onsite and adding benches in the outdoor patio area. If at all possible, a door from the addition to access the patio area is encouraged.

Summary

Based on the submitted information, and with the conditions of approval above, Staff feels that the plans meet the intent and spirit of the requirements in the General Development Plan and Regulating Plan. This is a significant building site that anchors the northwest corner of Drexel Town Square. It is especially important that the design of this site and building addresses the key elements of the DTSMUPDD.

Staff recommends approval of the plans with the proposed conditions of approval above.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

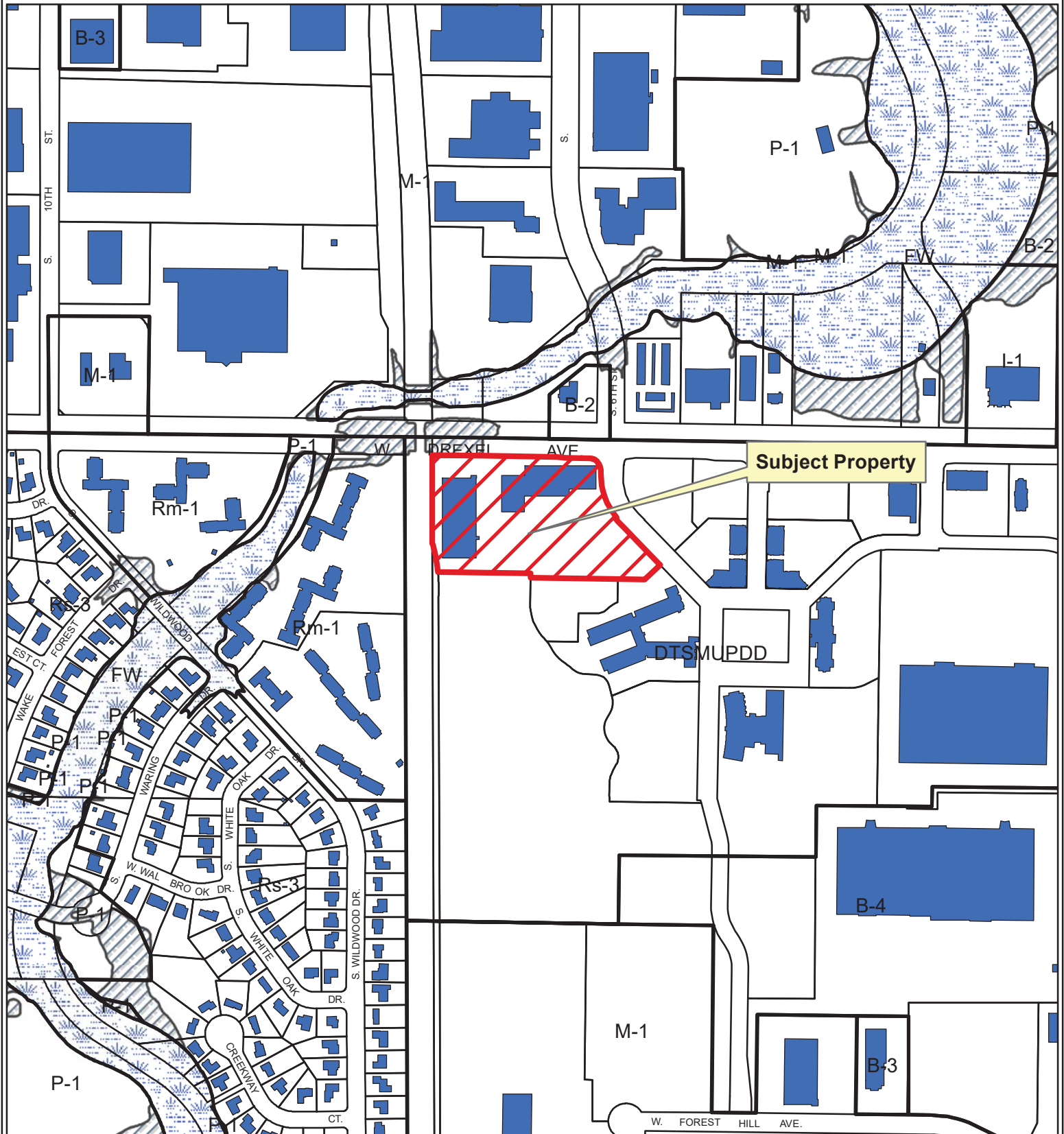
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map




7901 S. 6th St.



This map is not a survey of the actual boundary of any property this map depicts.



Legend

-  7901 S. 6th St.
-  Floodway
-  Floodfringe



~~August 12, 2016~~

Rev September 6, 2016

Attention: City of Oak Creek – Dept of Community Development / Plan Commission

Regarding: Froedtert's Drexel Town Square Health Center
Cancer Center Addition
7901 South 6th Street
Oak Creek WI 53154

The under construction Froedtert Drexel Town Square Health Center is proposing to add a Cancer Center of approximately 16,299 square feet. It includes the following components:

- First floor Cancer Center exam rooms, Blood Draw Lab, Linear Accelerator, CT Sim, Offices
- Second floor Cancer Center Infusion
- Stair for exiting compliance
- Support Spaces

The proposed Cancer Center is an addition onto the previously approved Drexel Town Square Health Center, therefore items that were included in the original plan commission submittal include:

- Parking calculations which demonstrated that this addition's square footage is included in the existing parking calculations
- Dumpster enclosure and materials
- Stormwater Management is part of the overall Drexel Town Square development
- Site Signage will be submitted as separate package

The hours of operation are 7:00 am to 7:00pm.

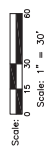
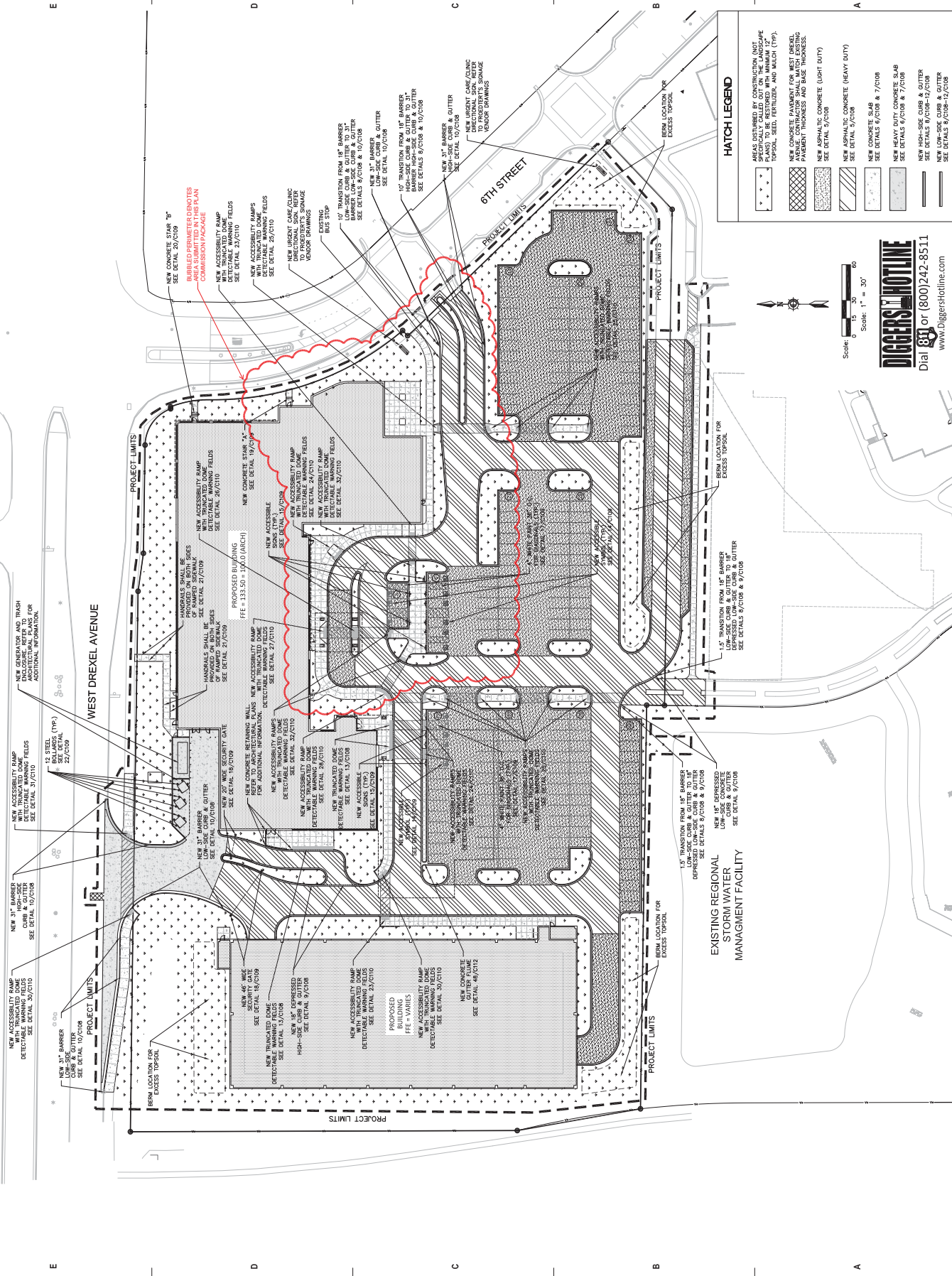
The addition will have a peak Full Time Employee (FTE) of 15-20 persons.

Renee Kubesh, RA, EDAC, LEED AP
reneek@eua.com
414.291.8168 dd

333 E. Chicago St.
Milwaukee, WI 53202

414.271.5350 : main

#	DATE	DESCRIPTION



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eppstein uhen : architects
 333 East Chicago Street
 Milwaukee, WI 53212
 Telephone 414.224.1000
 Fax 414.224.1001
 www.eppsteinuhen.com



PROJECT INFORMATION
FH - DREXEL TOWN
SQUARE HEALTH
CENTER

7901 South 6th Street
 Oak Creek WI 53154

ISSUANCE AND REVISIONS
 City of Oak Creek
 Plan Commission Submitted 2

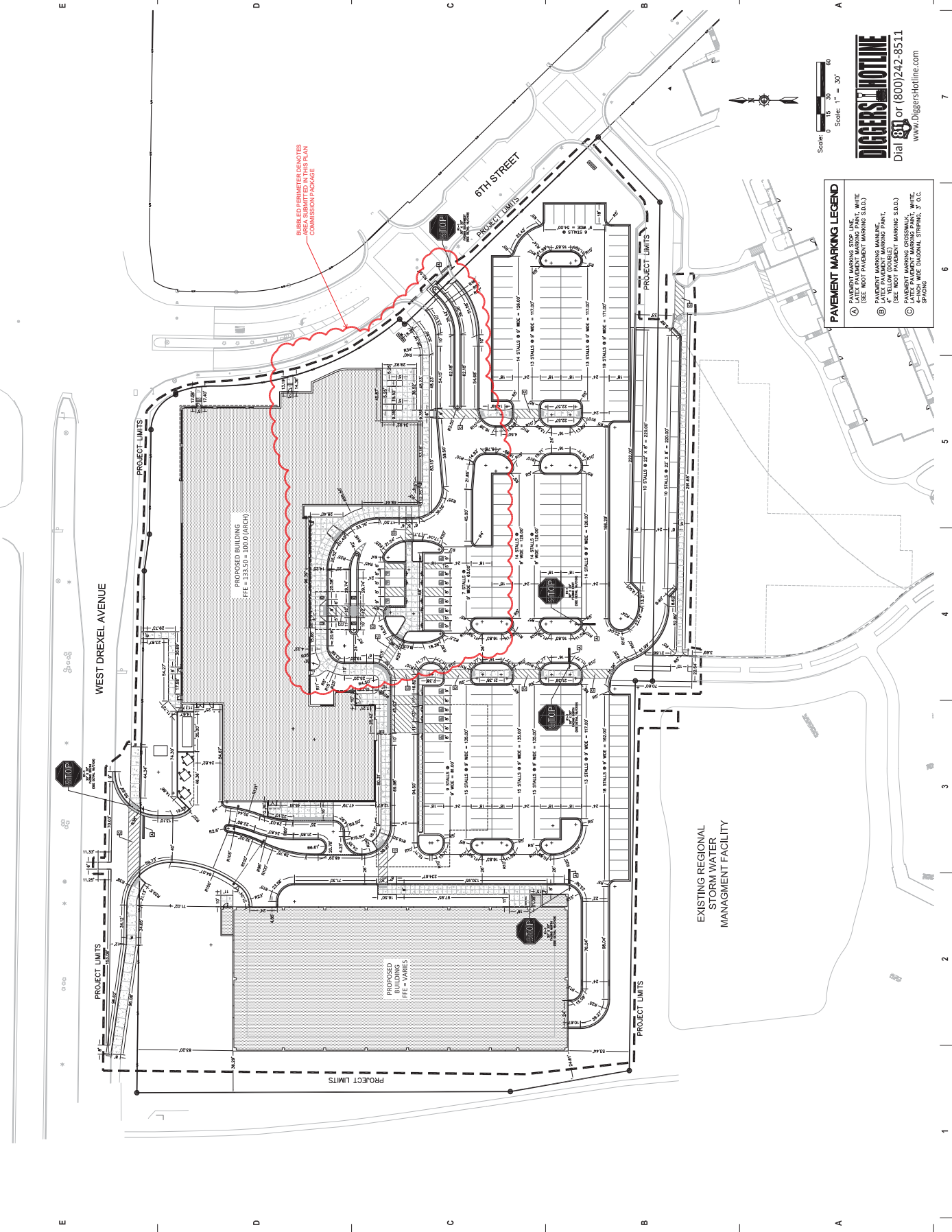
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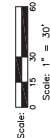
SHEET INFORMATION

PROJECT MANAGER: RK
 PROJECT NUMBER: 414167
 DATE: AUGUST 12, 2016
SITE GEOMETRIC PLAN

C103



BUBBLED PERIMETER DENOTES
 COMMISSION PACKAGE

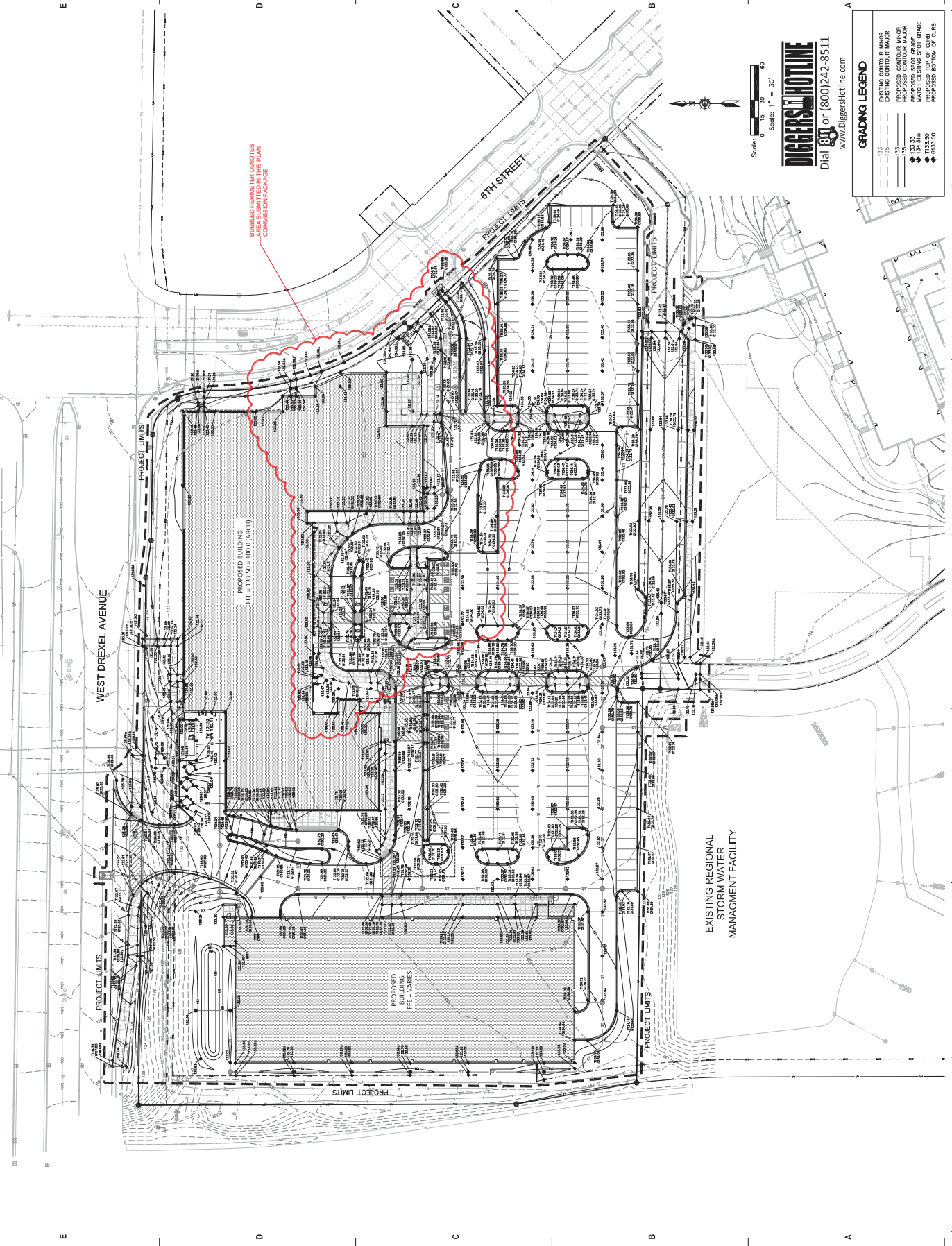


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PAVEMENT MARKING LEGEND

- Ⓐ PAVEMENT MARKING STOP LINE, WHITE PAINT (SEE FOOT PAVEMENT MARKING S.D.D.)
- Ⓑ PAVEMENT MARKING STOP LINE, WHITE PAINT (SEE FOOT PAVEMENT MARKING S.D.D.)
- Ⓒ PAVEMENT MARKING MANHOLE LATEX PAVEMENT MARKING PAINT. (SEE FOOT PAVEMENT MARKING S.D.D.)
- Ⓓ PAVEMENT MARKING CROSSWALK, LATEX PAVEMENT MARKING PAINT, 3" W/2" SPACING

EXISTING REGIONAL
 STORM WATER
 MANAGEMENT FACILITY



BUBBLED PERIMETER DENOTES
 AREA SUBMITTED IN THIS PLAN
 COMMISSION PACKAGE

PROPOSED BUILDING
 FFE = 133.50 + 100.0 (ARCH)

PROPOSED BUILDING
 FFE = VARIES

EXISTING REGIONAL
 STORM WATER
 MANAGEMENT FACILITY

Scale: 1" = 30'
 0 15 30 60

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GRADING LEGEND

---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
◆	PROPOSED SPOT GRADE
◆	PROPOSED TOP OF CURB
◆	PROPOSED BOTTOM OF CURB

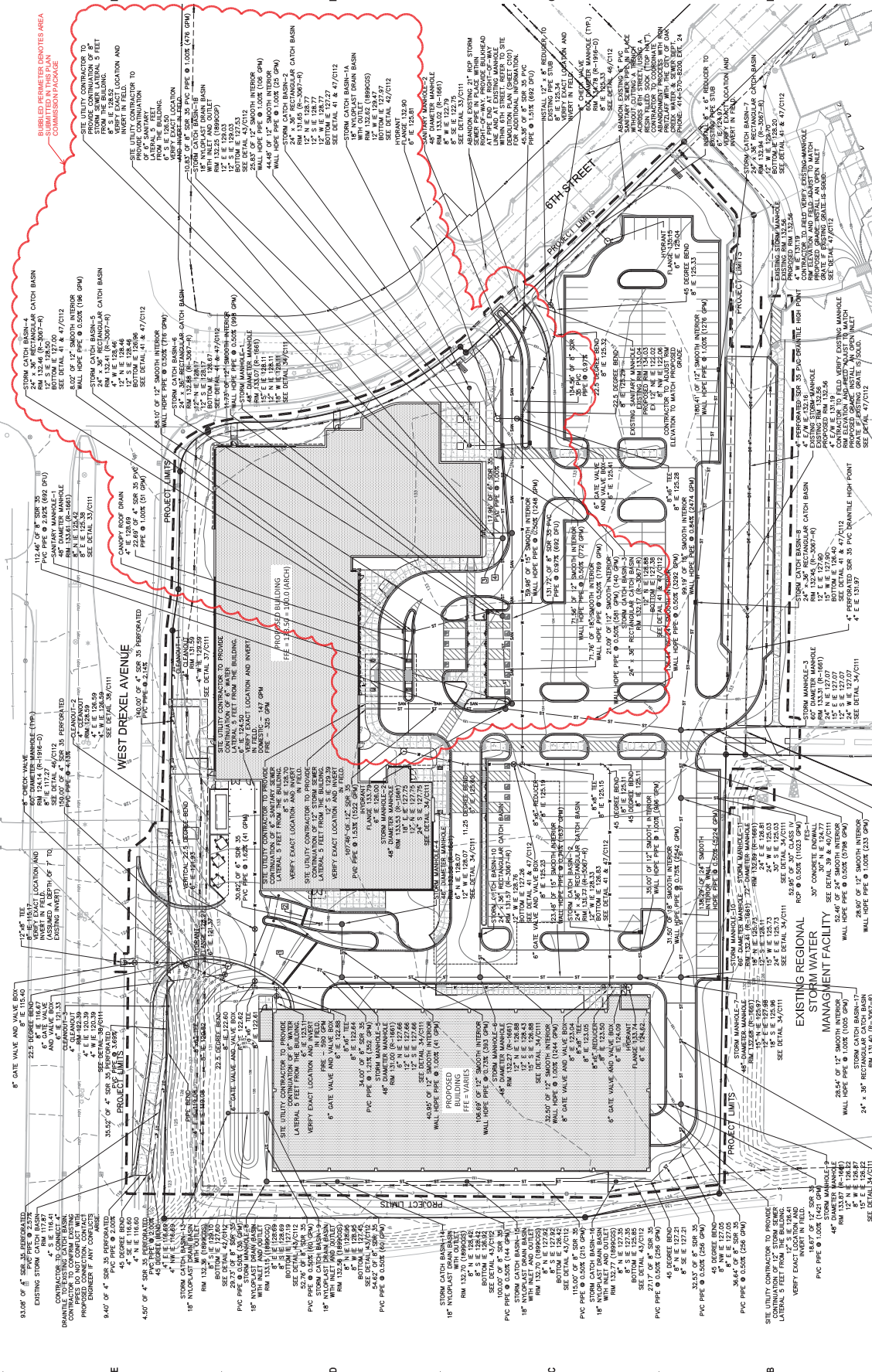


Grid lines: 1, 2, 3, 4, 5, 6, 7 (horizontal); A, B, C, D, E (vertical)

Street names: WEST DREXEL AVENUE, 6TH STREET

Project Limits: PROJECT LIMITS

E	DATE	DESCRIPTION



SITE UTILITY LEGEND AND NOTES

1. THE PROJECT CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE STATUS OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES.

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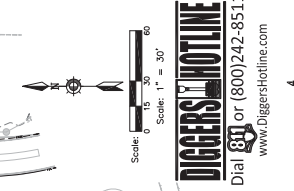
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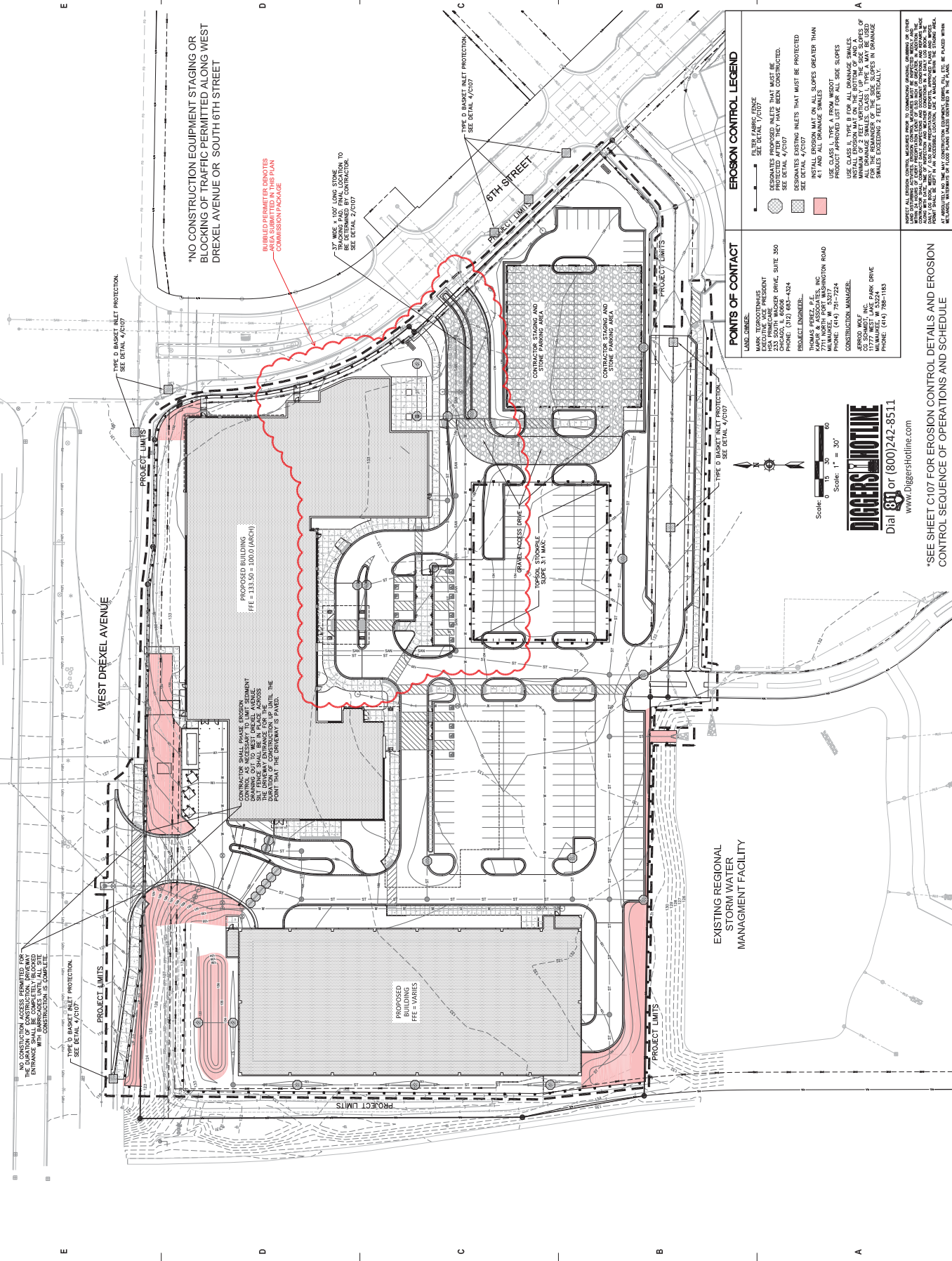
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EROSION CONTROL LEGEND

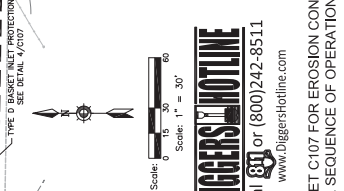
- TYPE D BASKET INLET PROTECTION. SEE DETAIL 4/2107
- TYPE O BASKET INLET PROTECTION. SEE DETAIL 4/2107
- DESIGNATED PROPOSED INLETS THAT MUST BE PROTECTED AFTER THEY HAVE BEEN CONSTRUCTED.
- DESIGNATED 4/2107 INLETS THAT MUST BE PROTECTED.
- DESIGNATED 4/2107 INLETS THAT MUST BE PROTECTED AFTER THEY HAVE BEEN CONSTRUCTED. SEE DETAIL 4/2107
- INSTALL EROSION MAT ON ALL SLOPES GREATER THAN 4:1 AND ALL DRAINAGE SWALES.
- USE CLASS A, TYPE B FOR ALL DRAINAGE SWALES. PRODUCT APPROVED LIST FOR ALL SLOPE SIZES.
- USE CLASS A, TYPE B FOR ALL DRAINAGE SWALES. MINIMUM OF 3 FEET VERTICALLY UP THE SIDE SLOPES OF SWALES EXCEEDING 2 FEET VERTICALLY.

POINTS OF CONTACT

LAND OWNER:
 MARK TERPENTZEN
 HSA PRIMECARE
 1111 NORTH LINCOLN STREET
 MILWAUKEE, WI 53233
 PHONE: (414) 663-4244
 PROJECT ENGINEER:

THOMAS PEREZ, P.E., INC.
 7911 NORTH FORT WASHINGTON ROAD
 MILWAUKEE, WI 53226
 PHONE: (414) 751-7224
 CONSTRUCTION MANAGER:

ERROD WOLF
 1177 WEST LAKE PARK DRIVE
 MILWAUKEE, WI 53226
 PHONE: (414) 782-1183



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*SEE SHEET C107 FOR EROSION CONTROL DETAILS AND EROSION CONTROL SEQUENCE OF OPERATIONS AND SCHEDULE

NO CONSTRUCTION ACCESS PERMITTED FOR THE DURATION OF CONSTRUCTION DRIVEWAY ENTRANCE WITH BARRICADES UNTIL ALL SITE CONSTRUCTION IS COMPLETE.

TYPE D BASKET INLET PROTECTION. SEE DETAIL 4/2107.

CONTRACTOR SHALL PHASE EROSION CONTROL MEASURES TO BE INSTALLED IN ACCORDANCE WITH THE DRAINAGE ENTRANCE FOR THE CROSS SECTION OF THE DRIVEWAY AT THE POINT THAT THE DRIVEWAY IS PAVED.

12" WIDE x 107" LONG STONE TRAPPING PANS FINAL LOCATION TO BE DETERMINED BY CONTRACTOR. SEE DETAIL 2/2107

TYPE O BASKET INLET PROTECTION. SEE DETAIL 4/2107

EXISTING REGIONAL STORM WATER MANAGEMENT FACILITY

*NO CONSTRUCTION EQUIPMENT STAGING OR BLOCKING OF TRAFFIC PERMITTED ALONG WEST DREXEL AVENUE OR SOUTH 6TH STREET

BUBBLED PERIMETER DENOTES AREA SUBMITTED IN THIS PLAN COMMISSION PACKAGE

PROPOSED BUILDING FEE = 133.50 + 100.0 (ARCH)

CONTRACTOR STAGING AND STONE PARKING AREA

CONTRACTOR STAGING AND STONE PARKING AREA

TYPE O BASKET INLET PROTECTION. SEE DETAIL 4/2107

Scale: 1" = 30'

DIGERS HOTLINE
 Dial 800 or (800)242-8511
 www.diggershotline.com

*SEE SHEET C107 FOR EROSION CONTROL DETAILS AND EROSION CONTROL SEQUENCE OF OPERATIONS AND SCHEDULE



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 414.224.3608
 414.224.3609
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PROJECT INFORMATION
 FH - DREXEL TOWN
 SQUARE HEALTH
 CENTER

7901 South 6th Street
 Oak Creek WI 53154

ISSUANCE AND REVISIONS
 City of Oak Creek
 Plan Commission Submitted 2
 E DATE DESCRIPTION



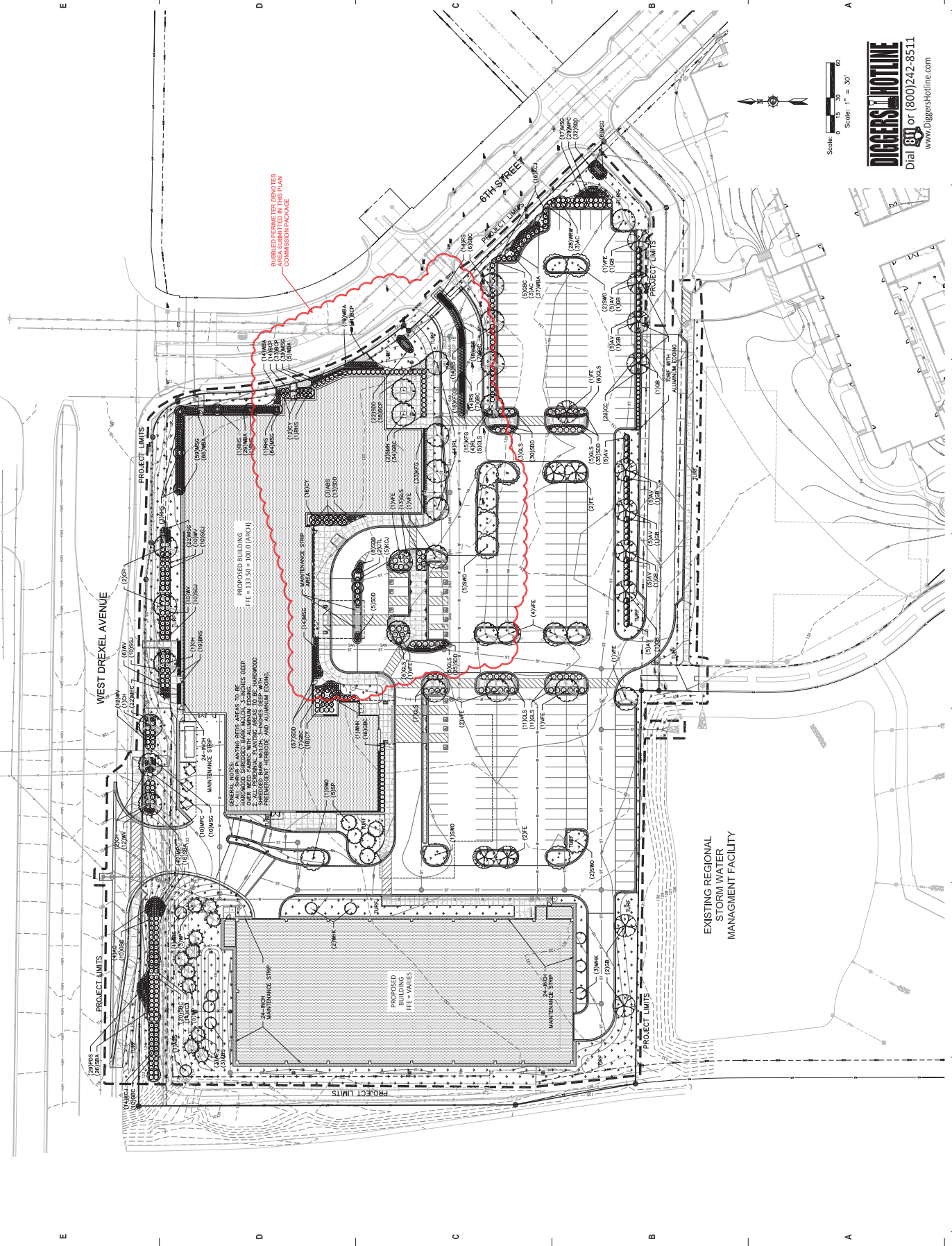
SHEET INFORMATION

PROJECT MANAGER RJK
 PROJECT NUMBER 441167
 DATE AUGUST 12, 2016
 SITE LANDSCAPE PLAN

L101

Dial 800 or (800)242-8511

 www.Diggershotline.com



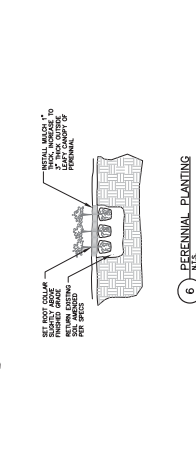
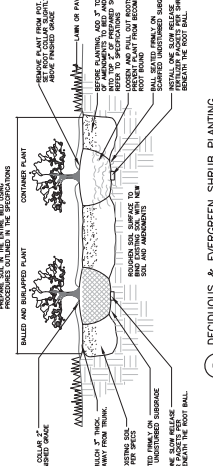
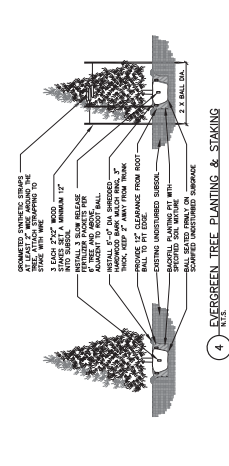
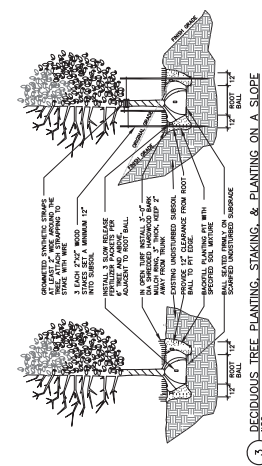
Scientific Name	Common Name	Quantity	Spacing	Install Size	Size Maturity in ft. (High/Low/Spread)	Notes Planting Lot Screening
<i>Deidamia trapezifolia</i>	Aurum Brillans Sarcocolla/aurum Brillans	8	Per Plan	6" HLL BAB	20-25/15-20/	
AG	Milks Androsaki	10	Per Plan	1.5" caliper BAB	18/10/	
CH	Crabapple	6	Per Plan	2.5" caliper BAB	60/60/	
FE	Ulmus Fraxinifolius	5	Per Plan	2.5" caliper BAB	40-50/40/	
FL	Flowering Dogwood	2	Per Plan	1.5" caliper BAB	20/20/	
JT	Syringa reticulata	2	Per Plan	1.5" caliper BAB	20/20/	
RL	Rosa rugosa	8	Per Plan	2.5" caliper BAB	40-50/30/	
SHH	Shepherdia arbuscula	2	Per Plan	2.5" caliper BAB	50/35/	
SNO	Saxifraga oppositifolia	11	Per Plan	2.5" caliper BAB	60/30/	
SW	Saxifraga oppositifolia	11	Per Plan	2.5" caliper BAB	60/30/	
RHS	Rosa rugosa	7	Per Plan	2.5" caliper BAB	12-20/12-20/	
WRH	Wisteria floribunda	6	Per Plan	2.5" caliper BAB	25/20/	
Evergreen Tree						
SP	Thuja occidentalis	5	Per Plan	7" HLL BAB	30-40/20-40/	
VP	Thuja occidentalis	11	Per Plan	7" HLL BAB	50-60/20-40/	
Deciduous Shrub						
CC	Cornus canadensis	38	Per Plan	4" HLL	4-5/1-4/	
CC	Cornus canadensis	22	Per Plan	4" HLL	2-3/1-4/	
GBC	Geum canadense	122	Per Plan	4" HLL	20 SF	
GLS	Geum canadense	72	Per Plan	4" HLL	20SF	
WVW	Wisteria floribunda	28	Per Plan	4" HLL	45/10-15/	
WVW	Wisteria floribunda	30	Per Plan	4" HLL	20SF	
Evergreen Shrub						
CV	Conium maculatum	46	Per Plan	4" HLL	4-5/10-15/	
CV	Conium maculatum	46	Per Plan	4" HLL	4-5/10-15/	
SLI	Salix glauca	30	Per Plan	4" HLL	4-5/10-15/	
Perennials						
BGP	Begonia	18	Per Plan	4" HLL	38 SF	
CCG	Cornus canadensis	38	Per Plan	4" HLL	38 SF	
KFG	Kalmia latifolia	84	Per Plan	4" HLL	6 SF	
MFC	Malva fruticosa	103	Per Plan	4" HLL	6 SF	
MFG	Malva fruticosa	231	Per Plan	4" HLL	6 SF	
MSG	Malva fruticosa	42	Per Plan	4" HLL	6 SF	
NSA	Nasturtium officinale	42	Per Plan	4" HLL	6 SF	
SDA	Saxifraga oppositifolia	42	Per Plan	4" HLL	6 SF	
SDA	Saxifraga oppositifolia	227	Per Plan	4" HLL	6 SF	
WVA	Wisteria floribunda	170	Per Plan	4" HLL	6 SF	

NOTE: Installation contractor is responsible for verifying plant count from plan. Plant quantities take precedence over list. Contact Landscape Architect if conflicts arise.

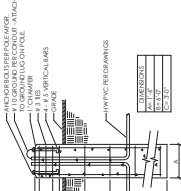
LANDSCAPE SCHEDULE
 RETURN TO PROFESSIONAL FOR ADDITIONAL INFORMATION

1. ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN THE STATE OF WISCONSIN. THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND ADDITIONAL STANDARDS SHALL BE APPLIED TO THE LANDSCAPE ARCHITECT DRAWINGS OF ALL BARK AND WIRE/PLASTIC MULCHES, DECORATIVE GRAVELS, MAINTENANCE SWP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL.
2. BARK MULCH TO BE FRESHLY CHIPPED HARDWOOD SHEDDING BARK MULCH, NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST THE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
3. BARK MULCH TO BE APPLIED TO THE ENTIRE SURFACE OF ALL PLANTING AREAS UNLESS OTHERWISE SPECIFIED. MULCH SHALL BE APPLIED TO THE ENTIRE SURFACE OF ALL PLANTING AREAS UNLESS OTHERWISE SPECIFIED.
4. LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.
5. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, AND ADDITIONAL STANDARDS SHALL BE APPLIED TO THE LANDSCAPE ARCHITECT DRAWINGS.
6. INSTALL PLANTING IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, AND ADDITIONAL STANDARDS SHALL BE APPLIED TO THE LANDSCAPE ARCHITECT DRAWINGS.
7. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF WEEDING AREAS FOR 90 DAYS FROM INSTALLATION OF PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF WEEDING AREAS FOR 90 DAYS FROM INSTALLATION OF PLANT MATERIAL.
8. CLEARLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "Y" BRANCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
9. REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
10. PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
11. PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
12. PLANT ALL TREES WITH THESE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANTLY AROUND THE EDGE OF THE ROOT BALL.
13. PLANT TREES AND SHRUBS WITH THESE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANTLY AROUND THE EDGE OF THE ROOT BALL.
14. PLANT TREES AND SHRUBS WITH THESE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANTLY AROUND THE EDGE OF THE ROOT BALL.
15. PLANT TREES AND SHRUBS WITH THESE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANTLY AROUND THE EDGE OF THE ROOT BALL.
16. PLANT TREES AND SHRUBS WITH THESE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANTLY AROUND THE EDGE OF THE ROOT BALL.
17. INSTALL 3" THICK SHEDDING HARDWOOD BARK MULCH 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
18. STAKES - ONLY STAKE EVERGREEN TREES 3'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER AS THEY GROW. STAKES SHALL BE REMOVED IMMEDIATELY AFTER PLANTING. STAKES SHALL BE REMOVED IMMEDIATELY AFTER PLANTING. STAKES SHALL BE REMOVED IMMEDIATELY AFTER PLANTING. STAKES SHALL BE REMOVED IMMEDIATELY AFTER PLANTING.
19. REFER TO SPECIFICATIONS 31.03.00 PLANTS AND 32.00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

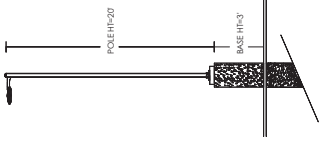
LANDSCAPE NOTES
 RETURN TO PROFESSIONAL FOR ADDITIONAL INFORMATION



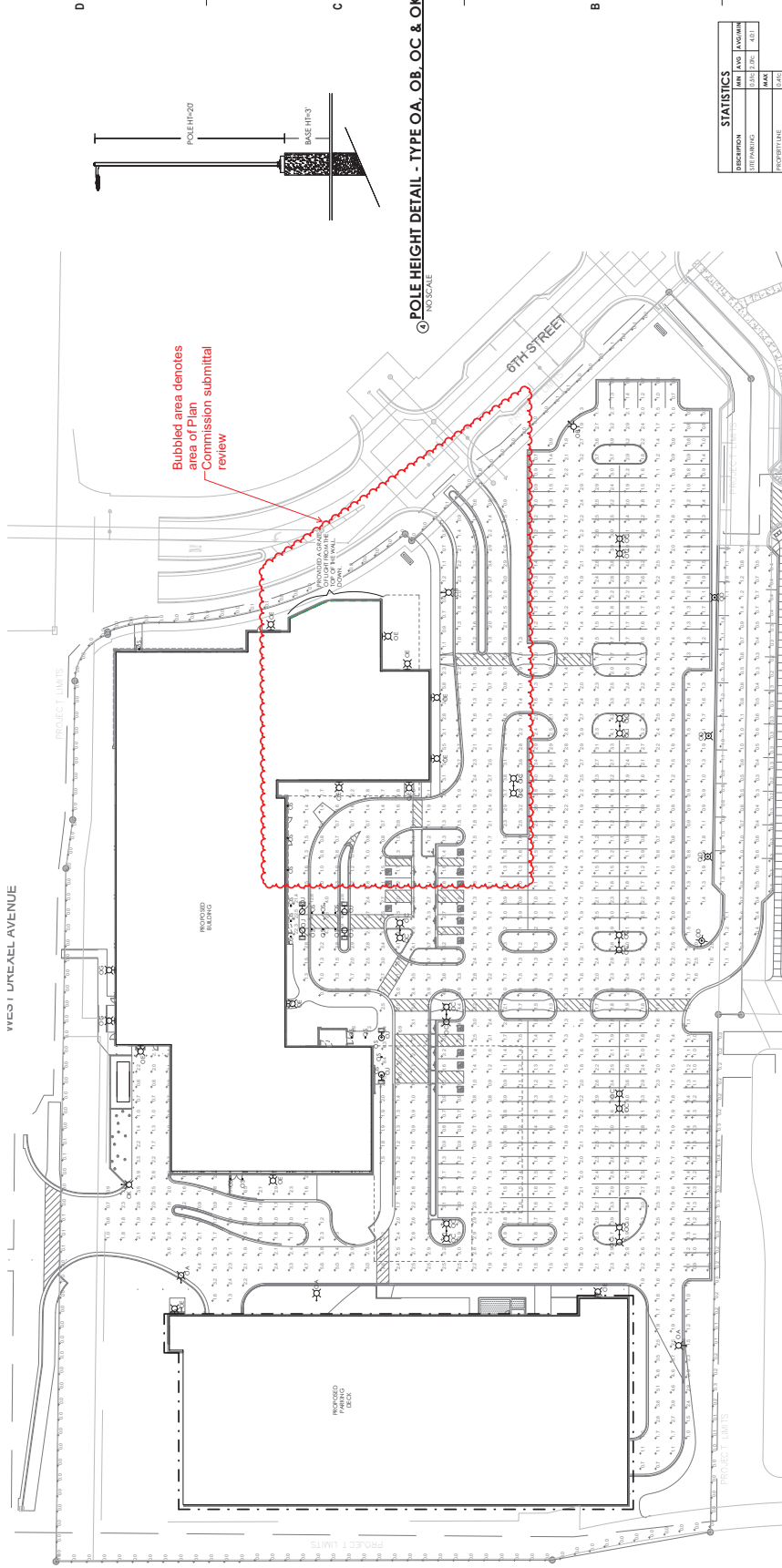
LANDSCAPE NOTES
 RETURN TO PROFESSIONAL FOR ADDITIONAL INFORMATION



POLE BASE DETAIL - TYPE OA, OB & OC
 NO SCALE



POLE HEIGHT DETAIL - TYPE OA, OB, OC & OK
 NO SCALE



1 ELECTRICAL SITE PLAN

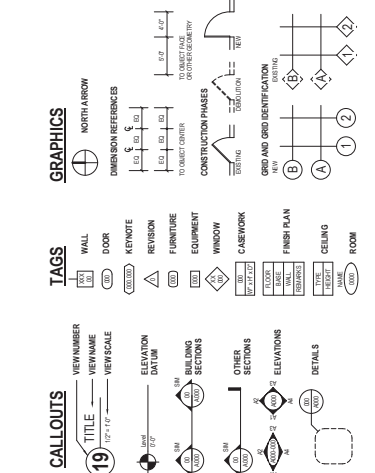
LIGHT FIXTURE SCHEDULE - PLAN COMMISSION

TYPE	DESCRIPTION	FEET	NO.	FEET	NO.	FEET	NO.	FEET	NO.	FEET	NO.	FEET	NO.	FEET	NO.	FEET	NO.	FEET	NO.
1	OUTDOOR RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
2	INDOOR RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
3	POLE MOUNTED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
4	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
5	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
6	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
7	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
8	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
9	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
10	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
11	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
12	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
13	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
14	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
15	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
16	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
17	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
18	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
19	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100
20	RECESSED LIGHT	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100

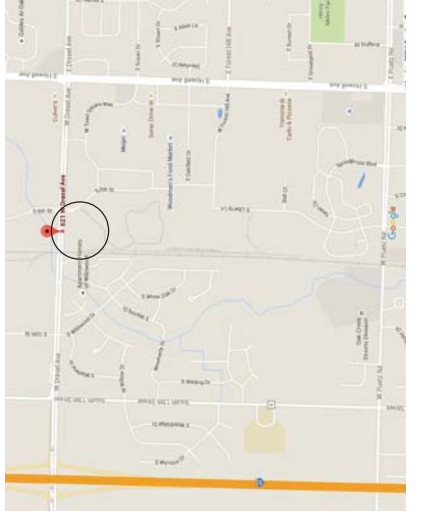
ABBREVIATIONS

- | | | | | | |
|---------------------|--------------------|------------------|---------------------|-------------------|---------------|
| A annotation | C connect | F finish | H horizontal | U utility | W wall |
| ACT access | D door | FL floor | I interior | X exterior | Z zone |
| AD adjacent | E elevation | FR finish | J joint | Y yard | |
| ADJ adjacent | G grade | FR finish | L level | Z zone | |
| ADJ adjacent | H height | FR finish | L level | Z zone | |
| ADJ adjacent | I interior | FR finish | L level | Z zone | |
| ADJ adjacent | J joint | FR finish | L level | Z zone | |
| ADJ adjacent | K kitchen | FR finish | L level | Z zone | |
| ADJ adjacent | L level | FR finish | L level | Z zone | |
| ADJ adjacent | M material | FR finish | L level | Z zone | |
| ADJ adjacent | N north | FR finish | L level | Z zone | |
| ADJ adjacent | O opening | FR finish | L level | Z zone | |
| ADJ adjacent | P pipe | FR finish | L level | Z zone | |
| ADJ adjacent | Q quantity | FR finish | L level | Z zone | |
| ADJ adjacent | R room | FR finish | L level | Z zone | |
| ADJ adjacent | S slope | FR finish | L level | Z zone | |
| ADJ adjacent | T tile | FR finish | L level | Z zone | |
| ADJ adjacent | U utility | FR finish | L level | Z zone | |
| ADJ adjacent | V vertical | FR finish | L level | Z zone | |
| ADJ adjacent | W window | FR finish | L level | Z zone | |
| ADJ adjacent | X exterior | FR finish | L level | Z zone | |
| ADJ adjacent | Y yard | FR finish | L level | Z zone | |
| ADJ adjacent | Z zone | FR finish | L level | Z zone | |
| ADJ adjacent | | FR finish | L level | Z zone | |
| ADJ adjacent | | FR finish | L level | Z zone | |
| ADJ adjacent | | FR finish | L level | Z zone | |
| ADJ adjacent | | FR finish | L level | Z zone | |
| ADJ adjacent | | FR finish | L level | Z zone | |
| ADJ adjacent | | FR finish | L level | Z zone | |

SYMBOL LEGEND



VICINITY MAP



PROJECT TEAM

ARCHITECTURAL
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HSA COMMERCIAL
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 DIRECT PHONE: (312) 663-7224
 EMAIL ADDRESS: tegrootenhus@hsacommercial.com

SHEET INDEX

- | | |
|-------|---|
| C102 | STEP PLAN |
| C103 | SITE GEOMETRIC PLAN |
| C104 | SITE UTILITY PLAN |
| C105 | STEERSON CONTROL PLAN |
| C106 | AREA PLAN FIRST FLOOR |
| AC101 | AREA PLAN SECOND FLOOR |
| AC102 | EXTERIOR ELEVATIONS |
| AC201 | EXTERIOR ELEVATIONS MATERIALS |
| AC202 | EXTERIOR ELEVATIONS MATERIALS BUILDING IMAGES |
| AC301 | PERSPECTIVE VIEWS |
| ES101 | ELECTRICAL SITE PLAN - PLAN COMMISSION |
| L101 | SITE LANDSCAPE PLAN |
| L102 | SITE LANDSCAPE DETAILS |



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HSA PRIMECARE
 Froedter & Medical College
 PROJECT INFORMATION

FH - DREXEL TOWN SQUARE HEALTH CENTER
 7901 South 6th Street
 Oak Creek, WI 53154

ISSUANCE AND REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

PLAN COMMISSION SUBMITTAL 2

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION
 These documents were prepared for the use of the Architect and Engineer for informational purposes only. They are not intended to be used for construction or other purposes.

PROJECT NUMBER: 414167-01
 DATE: AUGUST 12, 2010

PROJECT MANAGER: MK
 PROJECT NUMBER: 414167-01
 DATE: AUGUST 12, 2010

INDEX

G000

THE FIRM HAS A PROFESSIONAL LIABILITY INSURANCE POLICY



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 WWW.EURADIRECT.COM



PROJECT INFORMATION
 FH- DREXEL TOWN
 SQUARE HEALTH
 CENTER

7901 South 6th Street
 Oak Creek, WI 53154

ISSUANCE AND REVISIONS
 PLAN COMMISSION
 SUBMITTAL 2

#	DATE	DESCRIPTION
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KEY PLAN

SHEET INFORMATION

PROJECT NUMBER 444167-01

DATE AUGUST 12, 2016

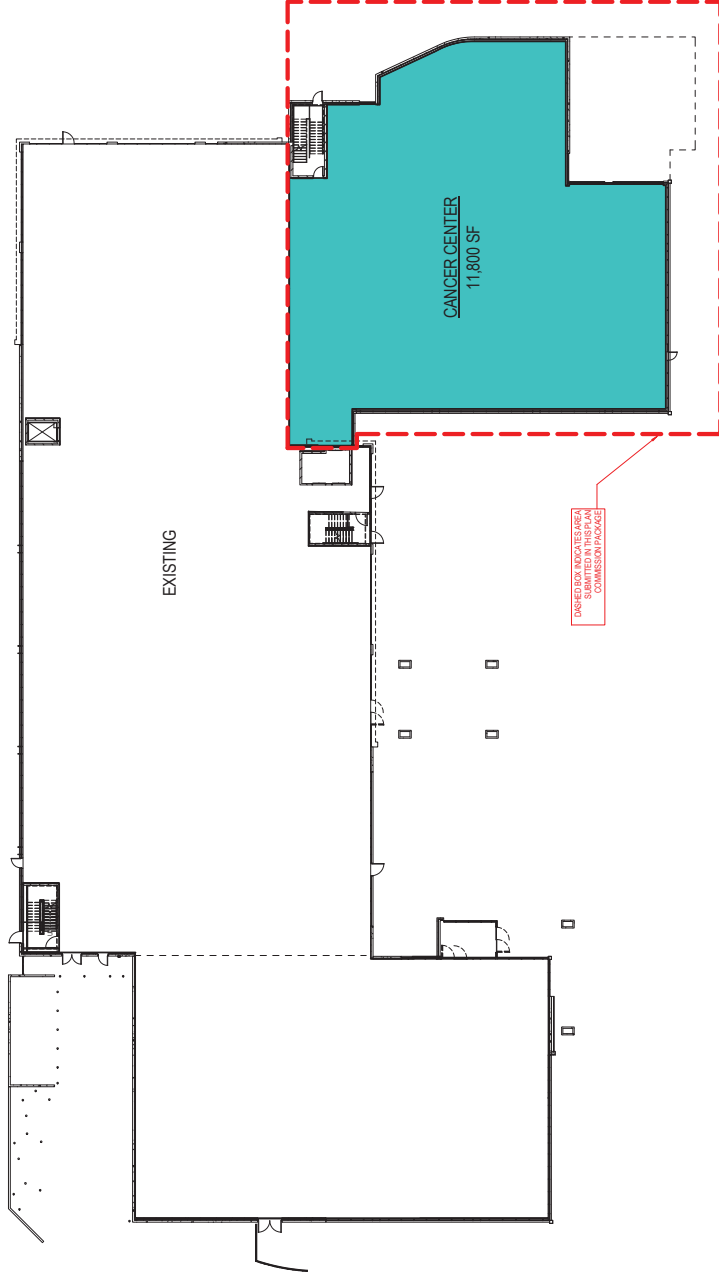
PROJECT MANAGER RK

DATE AUGUST 12, 2016

**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**

These documents are for informational purposes only and are not to be used for construction. They are not to be used for construction or other purposes.

AREA SCHEDULE CANCER CENTER	
Area (DGSF)	
First Floor	11,800
Second Floor	4,500
	16,299



AREA PLAN FIRST
 FLOOR

AC101

TEMPORARY PAPERWORK



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 MILWAUKEE, WI 53212
 TEL: 414.224.2000
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PROJECT INFORMATION
 FH-DREXEL TOWN
 SQUARE HEALTH
 CENTER

7901 South 6th Street
 Oak Creek, WI 53154

ISSUANCE AND REVISIONS
PLAN COMMISSION SUBMITTAL 2
E DATE DESCRIPTION

NET/PAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**

These documents are for program and design purposes only. They are not to be used for construction or other purposes. All dimensions and quantities are approximate and subject to change without notice.

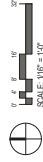
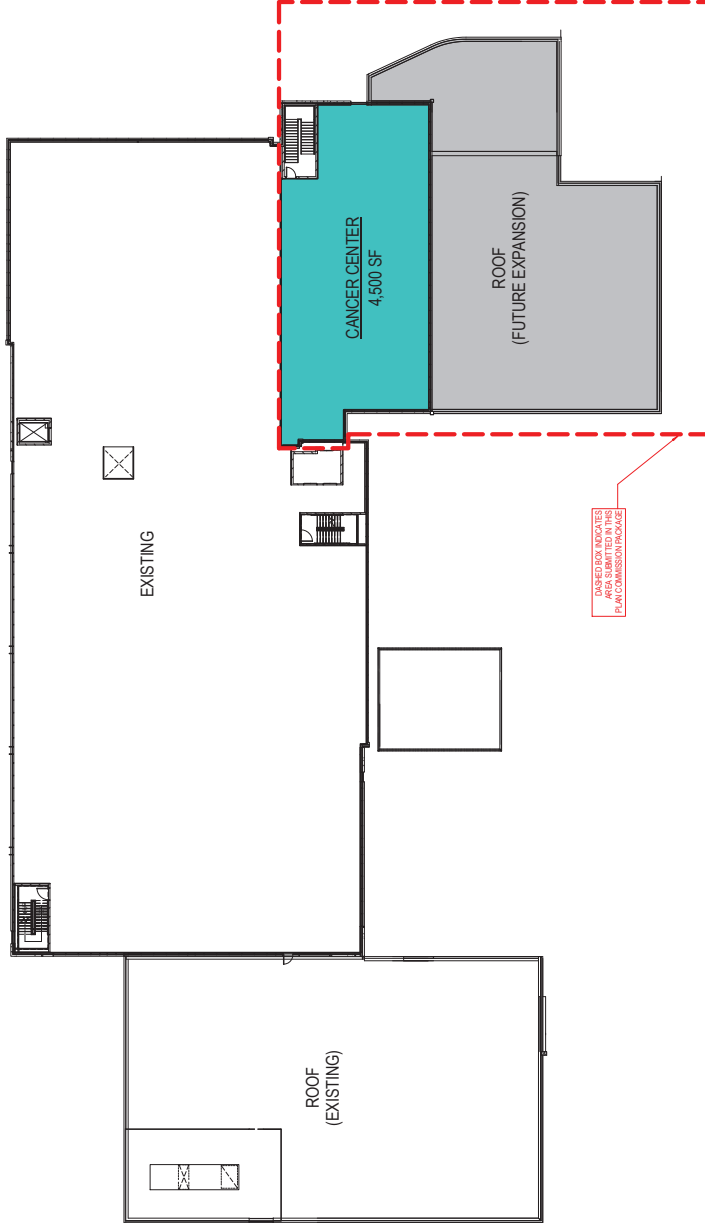
PROJECT MANAGER	RK
PROJECT NUMBER	444167-01
DATE	AUGUST 12, 2010

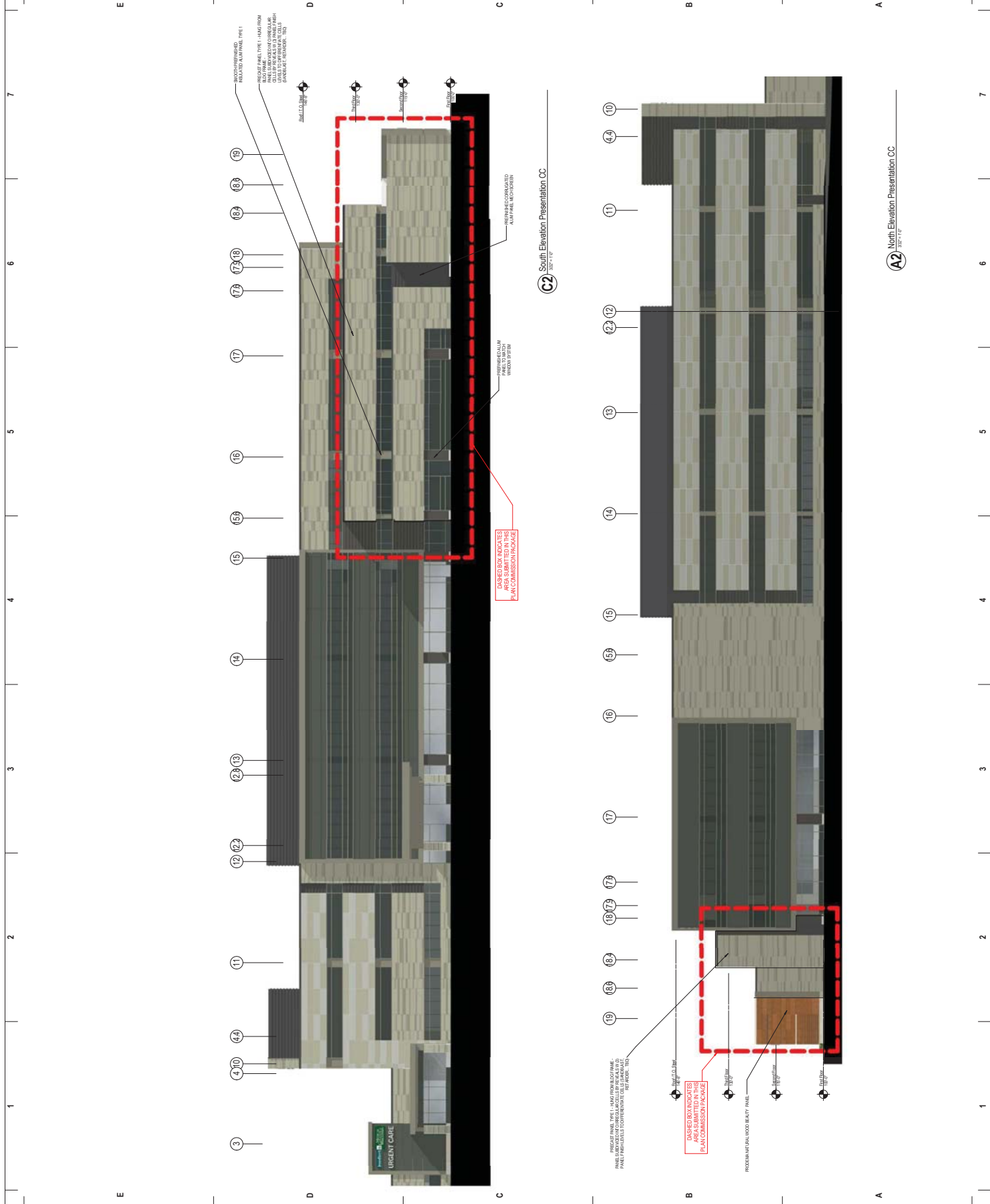
AREA PLAN SECOND FLOOR

AC102

TEMPORARY PAPERWORK

AREA SCHEDULE CANCER CENTER	
Area (DGSF)	
First Floor	11,800
Second Floor	4,500
	16,299





C2 South Elevation Presentation CC

A2 North Elevation Presentation CC

1 2 3 4 5 6 7

1 2 3 4 5 6 7

E

D

C

B

A



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PROJECT INFORMATION
 FH-DREXEL TOWN
 SQUARE HEALTH
 CENTER

7901 South 6th Street
 Oak Creek, WI 53154

ISSUANCE AND REVISIONS
 PLAN COMMISSION
 SUBMITTAL 2

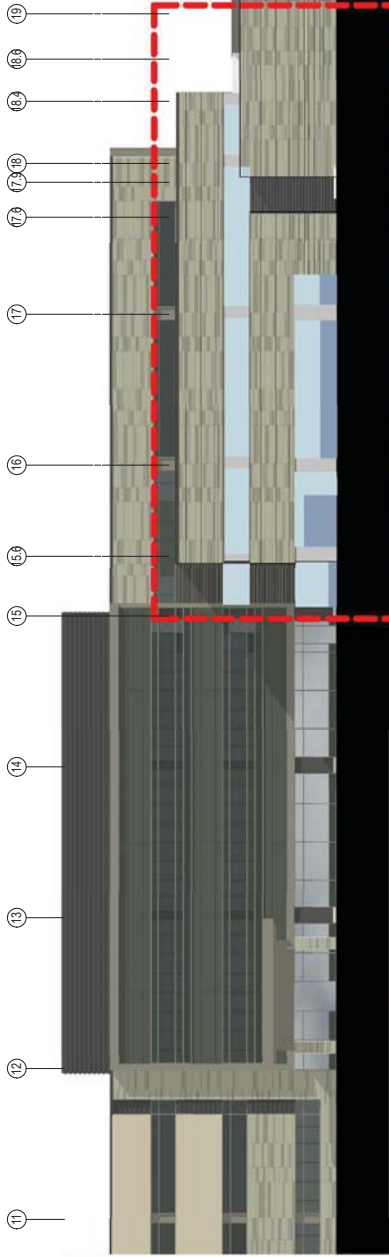
#	DATE	DESCRIPTION

- PRODEIMA PANELS 0%
- PRECAST PANELS - STRIATED 62%
- METAL PANEL 3%
- METAL PANEL- STRIATED 7%
- GLASS - CLEAR 0%
- GLASS - TINTED 21%
- GLASS - SPANDREL 7%

- PRODEIMA PANELS 0%
- PRECAST PANELS - STRIATED 62%
- METAL PANEL 3%
- METAL PANEL- STRIATED 7%
- GLASS - CLEAR 0%
- GLASS - TINTED 21%
- GLASS - SPANDREL 7%

1 2 3 4 5 6 7

E



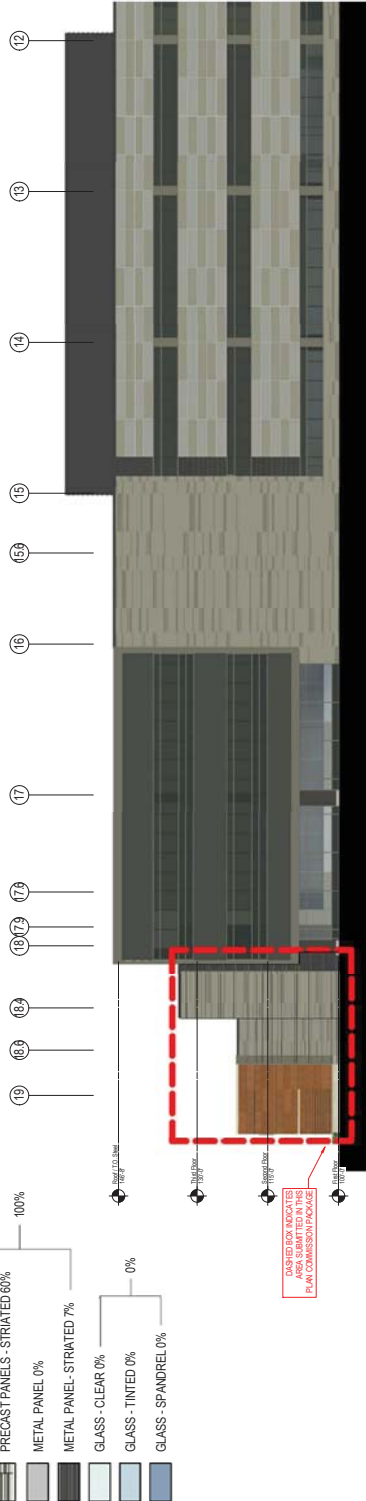
C2 South Elevation Presentation Materials CC

C

- PRODEIMA PANEL 33%
- PRECAST PANELS - STRIATED 60%
- METAL PANEL 0%
- METAL PANEL- STRIATED 7%
- GLASS - CLEAR 0%
- GLASS - TINTED 0%
- GLASS - SPANDREL 0%

11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

B



A2 North Elevation Presentation Materials CC

A

SHEET INFORMATION

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION
 These documents are for program and design purposes only. They are not to be used for construction or other purposes. All dimensions and materials are subject to change without notice. For more information, please contact the architect.

PROJECT MANAGER: RK
 PROJECT NUMBER: 44167-01
 DATE: AUGUST 29, 2016

EXTERIOR
 ELEVATIONS
 MATERIALS

AC200a

TEMPORARY MATERIALS

1 2 3 4 5 6 7



eppstein wren : architects
 333 EAST CHICAGO STREET
 MILWAUKEE, WI 53212
 TEL: 414.224.1100
 FAX: 414.224.1101
 WWW.EPPSTEINWREN.COM



Project Information
FH - DREXEL TOWN SQUARE HEALTH CENTER

7901 South 6th Street
 Oak Creek, WI 53154

ISSUANCE AND REVISIONS
 PLAN COMMISSION SUBMITTAL 2

#	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

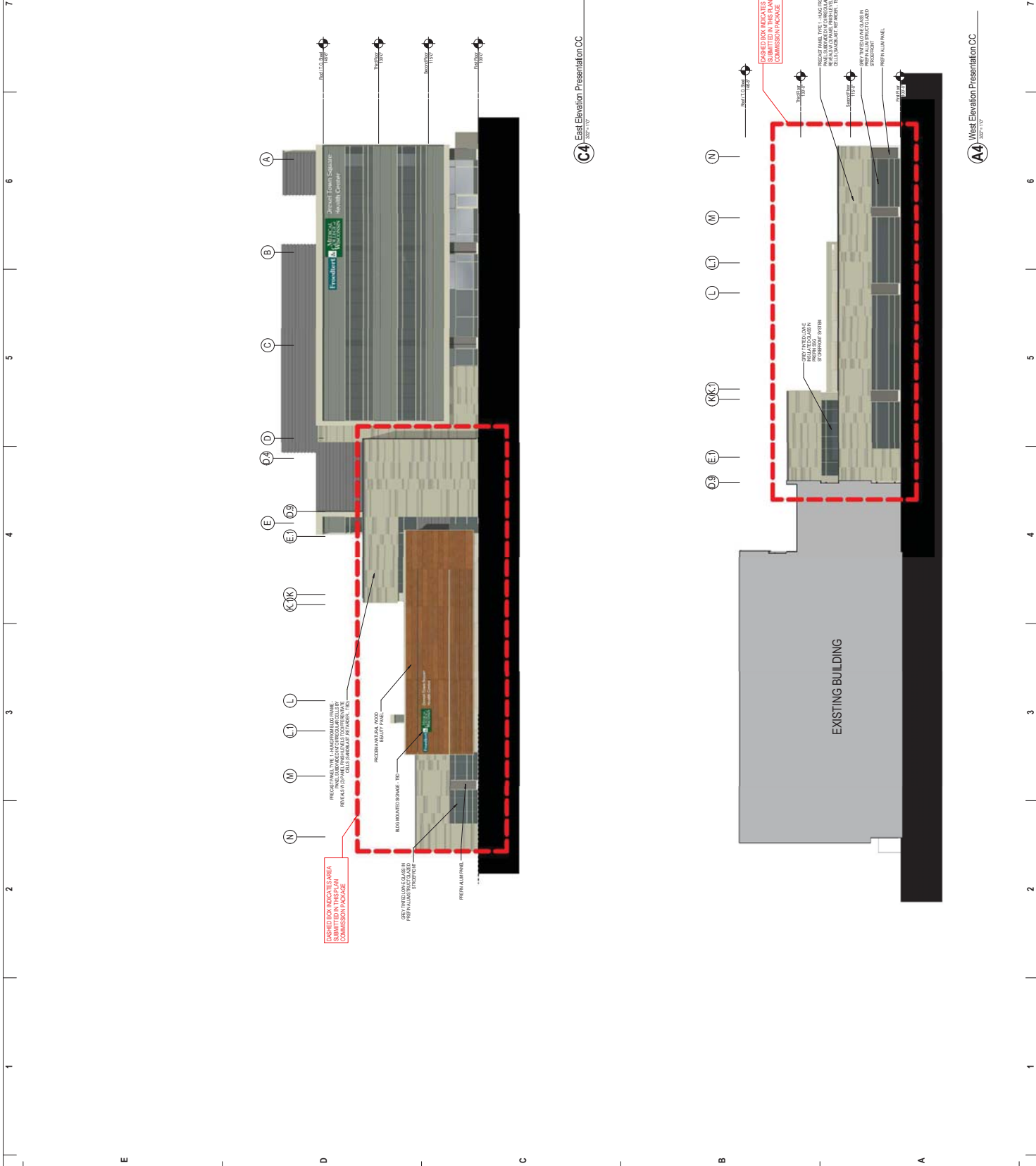
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PROJECT MANAGER: RK
 PROJECT NUMBER: 414167-01
 DATE: AUGUST 24, 2016

EXTERIOR ELEVATIONS

AC201

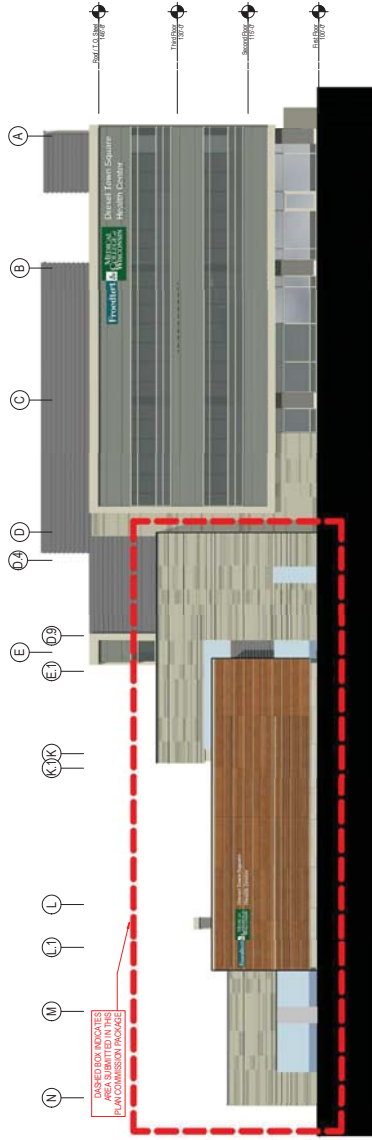
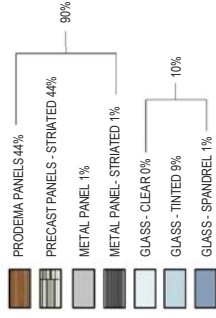
TEMPORARY PANELS, INC.



C4 East Elevation Presentation CC

A4 West Elevation Presentation CC

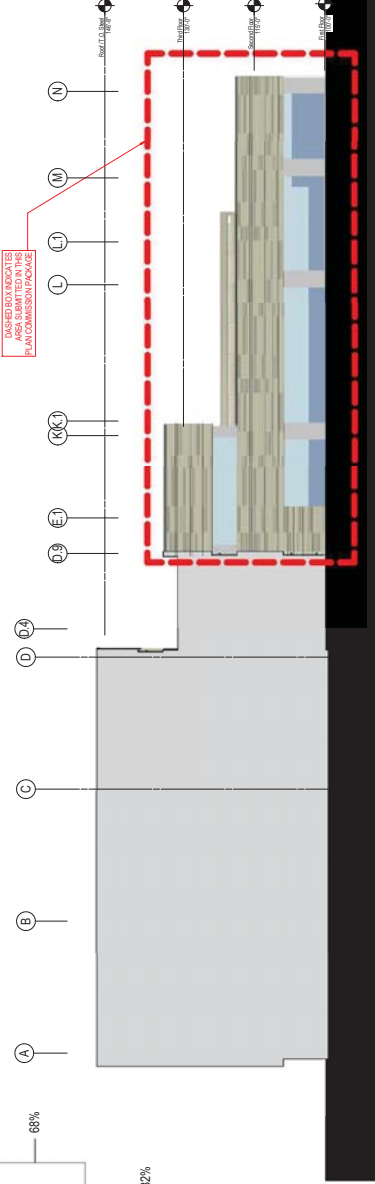
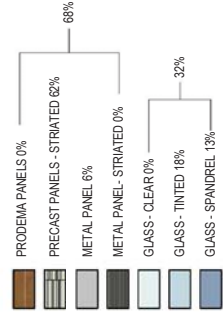
1 2 3 4 5 6 7



DASHED BOX INDICATES
 SUBMITTAL PACKAGE
 PLAN COMMISSION PACKAGE

C2 East Elevation Presentation Materials CC
 2022-10

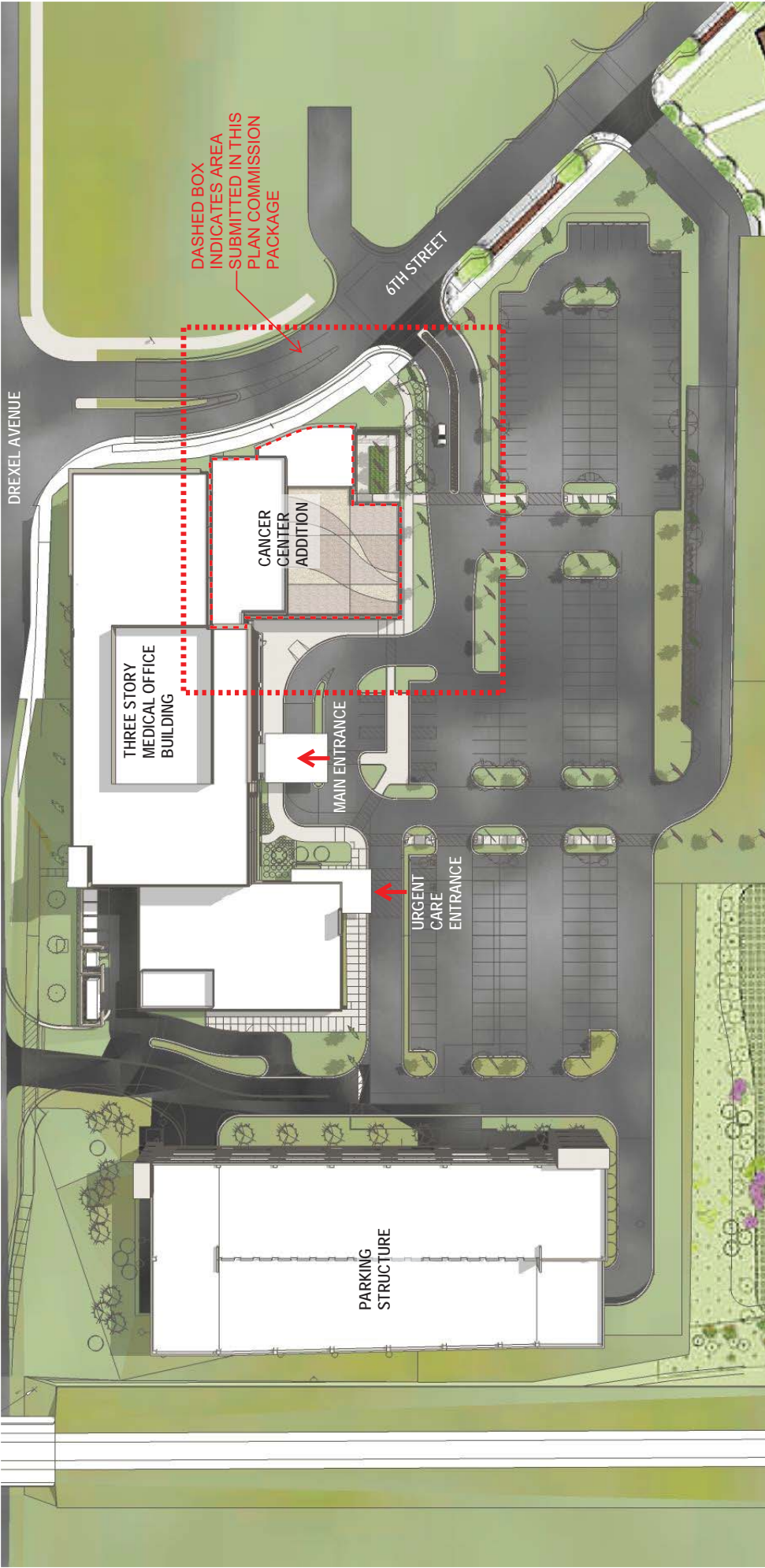
1 2 3 4 5 6 7



DASHED BOX INDICATES
 SUBMITTAL PACKAGE
 PLAN COMMISSION PACKAGE

A2 West Elevation Presentation Materials CC
 2022-10

1 2 3 4 5 6 7



S I T E P L A N



BIRDSEYE VIEW FROM SOUTHEAST

FROEDTERT DREXEL TOWN SQUARE HEALTH CENTER

CANCER CENTER ADDITION



VIEW FROM DREXEL AND 6TH STREET



APPROACH FROM SOUTH ON 6TH STREET



FROEDTERT DREXEL TOWN SQUARE HEALTH CENTER

CANCER CENTER ADDITION



BIRDSEYE FROM SOUTH WEST

1 2 3 4 5 6 7



epstein when : architects
333 EAST CHICAGO STREET
MILWAUKEE, WI 53212
PHONE: 414.224.2200
FAX: 414.224.2201
WWW.EPSTEINWHEN.COM



PROJECT INFORMATION
FH - DREXEL TOWN
SQUARE HEALTH
CENTER

7901 South 6th Street
Oak Creek, WI 53154

ISSUANCE AND REVISIONS
PLAN COMMISSION
SUBMITTAL 2

#	DATE	DESCRIPTION
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NET PLAN

SHEET INFORMATION

**PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION**
These documents are for informational purposes only and are not to be used for construction. They are not to be used for construction.

PROJECT MANAGER: RK
PROJECT NUMBER: 44167-01
DATE: AUGUST 12, 2016

BUILDING IMAGES
AC900
TEMPERATURE CONTROL, INC.



E

D

C

B

A

1 2 3 4 5 6 7

PHILIPS



Site & Area

PureForm

21" housing



Project: DTSHC
 Location: _____
 Cat No: _____
 Type: OA, OB, OC,
 Qty: OK, OL
 Notes: 4/29/16



Philips Gardco PureForm luminaires combine LED performance excellence and advanced LED thermal management technology with a distinct purity of style to provide outdoor area lighting that is both energy efficient and aesthetically pleasing. PureForm is defined by its high performance, sleek low profile design and rugged construction.

Ordering guide

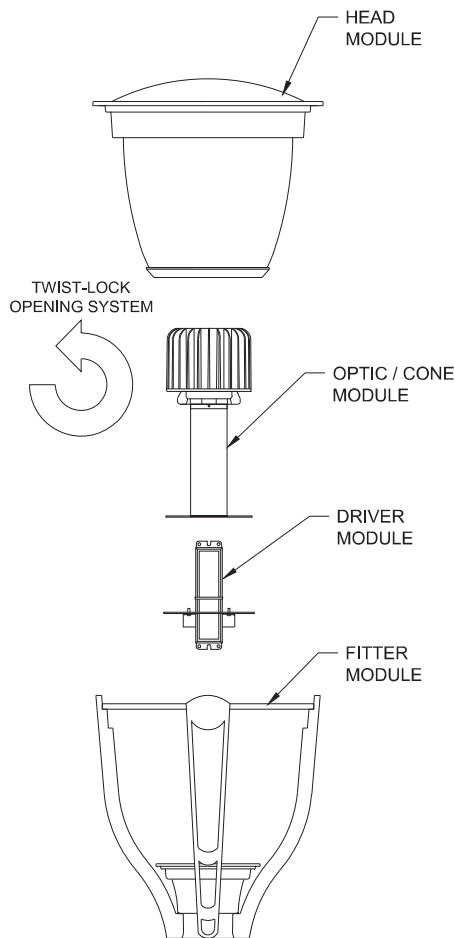
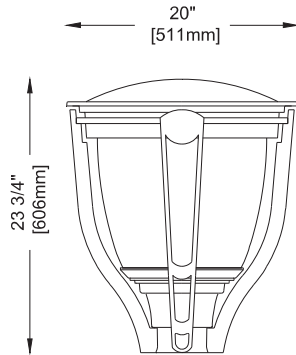
example: P21-APD-A1-1-5M-130LA-NW-120-NP-PCB

Prefix	Controls	Arm	Mounting	Optical System ⁸	Wattage	Color Temp	Voltage	Finish	Options
P21									
P21- PureForm 21" fixture	Standard luminaire DIM 0-10V Dimming APD ¹ Automatic Profile Dimming APD-MRO ² APD with Motion Response Override pole mounted sensor APD-MRI ³ APD with Motion Response Override luminaire mounted sensor MRI ³ Motion Response at 50% low, luminaire mount sensor MR50 ² Motion Response at 50% low, pole mounted sensor Wireless Controls (Remote wireless controller available. See p.2 for details) LLC2 ^{4,5} #2 lens for 8' mounting heights LLC3 ^{4,5} #3 lens for 9-20' mounting heights LLC4 ^{4,5} #4 lens for 21-40' mounting heights	A1 ⁶ Standard 9" Arm A2 ⁶ Short 5" Arm A3 ⁶ Decorative Arm MA Mast Arm Fitter (requires 2 3/8" O.D. Mast Arm)	1 Standard 2 2@180 2@90 2@90 3 3@90 3@120 3@120 4 4@90 W Wall Mount WS ⁷ Wall mount including surface conduit rear entry permitted	Standard Optic Position 2 Type 2 3 Type 3 4 Type 4 5M Type 5 Medium 5W Type 5 Wide BLC Backlight Ctrl 2BL Type 2 with backlight (less shield) LCL ⁹ LEED Corner Cutoff Optics LCR ⁹ LEED Corner Cutoff Optics Optics Rotated Left (90°) ¹⁰ 2-90 Type 2 3-90 Type 3 4-90 Type 4 BLC-90 Backlight Ctrl 2BL-90 Type 2 with backlight (less shield) Optic Rotated Right (270°) ¹⁰ 2-270 Type 2 3-270 Type 3 4-270 Type 4 BLC-270 Backlight Ctrl 2BL-270 Type 2 with backlight (less shield)	350mA 55LA 70LA 90LA 530mA 80LA 105LA 130LA 640mA 165LA ¹¹ 700mA 110LA 140LA 180LA 800mA 200LA ¹¹	CW Cool White 5700K 70CRI (nominal) NW Neutral White 4,000K 70CRI (nominal) WW Warm White 3,000K 80CRI (nominal)	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V 50hz/60hz HVU 347-480V 50hz/60hz	BRP Bronze Paint BLP Black Paint WP White Paint NP Natural Paint OC Optional Color Specify optional color or RAL (ex: OC-LGP or OC-RAL7024) SC Special color Specify, must supply color chip. Requires factory quote.	TL Tool-Less entry and driver removal hardware TB Terminal Block F ¹² Fusing LF In-Line/In-Pole Fusing PC ^{4,5,13} Receptacle with Photocell (Includes PCR5) PCB ^{4,5,13} Photocell Button PCRS ^{4,5,14,15} Photocell Receptacle only with 2 dimming connections PCR7 ^{4,5,15,16} Photocell Receptacle only with 2 dimming and 2 auxiliary connections EHHS External Houseside Shield PTF2 Pole Top Fitter for 2 3/8"-3" Tenon PTF3 Pole Top Fitter for 3"-3 1/2" Tenon PTF4 Pole Top Fitter for 3 1/2"-4" Tenon SPA1-2 Square Pole Adapter for use with A1 or A2 Arms SPA3 ⁶ Square Pole Adapter for use with A3 Arms DL ¹⁷ Diffusing Lens CLR ¹⁷ Clear Glass Lens POLY ¹⁷ Polycarbonate Lens (1 year warranty on lens) BD Bird Deterrent Spike Kit – consist of 25 injection molded plastic bird deterrent spikes (field installed only).

- Available 120-277V only (UNV, 120, 208, 240 & 277).
- Available 120V or 277V only. MR50 and APD-MRO require one motion sensor per pole, ordered separately. See page 2 for Accessories.
- Available 120V or 277V only. Wattages 180LA and 200LA require outboarded sensor enclosure mounted to the arm of the luminaire (A1 arm only).
- Not available with A3 Arm Style.
- LLC2/LLC3/LLC4 wireless controls not configurable with PC/PCB/PCR5/PCR7 Options. See pages 6-7 for more info.
- Arm Styles mount to a round pole with no adapter. If mounting to a square pole, specify Square Pole Adapter option: SPA1-2 for A1/A2 arms, or SPA3 for A3 arms.
- Available with A1 or A2 Arms only. Not available in P21-MR50, or P21-APD-MRO.
- Luminaire door frame and optic assembly provided standard without glass lens. Specify CLR option for clear glass lens.
- Available with 130LA or 200LA only.
- See page 8-9 for information on optical rotation prior to ordering.
- 200LA and 165LA not available in 347V or 480V.
- Available with A1 arm or with MA mounting only. Provide specific input voltage.
- Not configurable with 480V. Voltage must be specified.
- Works with 3-pin or 5-pin NEMA photo-cell/dimming device.
- If ordered with DIM, APD, MRI, MR50, APD-MRI, APD-MRO, dimming will not be connected to NEMA receptacle.
- Works with 3-pin or 5-pin NEMA photo-cell/dimming device and auxiliary connections are not connected (for future use only).
- Option reduces performance.

Project : City of Oak Street	Order: SQ_014119
-------------------------------------	-------------------------

Type: A Luminaire : CY2702-LAPR-3L-67W-4K-480-DIM-MOM-RALXXXXTX	Page: 2/3	Qty: 1
--	------------------	---------------



Luminaire components

Head module : Round shape. A cast aluminum hood, tops an injection-molded **clear acrylic prismatic (LAPR)** vessel. UV polymer resistant. The vessel is mechanically assembled with an aluminum die-cast ring on the locking system.

Opening system: A quarter-turn locking mechanism with constant pressure points. Allows a tool-free access inside the luminaire, to the LED and driver. Made with cast aluminum parts and sealed with a gasket compression system. The luminaire offers an **IP66** weatherproof protection.

Cone module: Driver housing made of an aluminum extrusion. Tool-free installation with a stainless steel captive retaining latch. Certification, maintenance and luminaire codification labels are located on the cone.

Fitter module: Cast aluminum alloy 356 fitter complete with four (4) arms. Secured on pole with 3 set screws 5/16-18 UNC. Slip-fits on a 4"(10cm) outside diameter x 3" (7cm) long tenon.

Optical/electrical components

LED: 67 watts, 4000K (White), Super high flux output and high luminance, design for high current operation. LED board is mechanically mounted on heatsink for easy replacement.

Heatsink: Die cast aluminium alloy has been thermally tested for maximum efficacy.

Optic: IES type III (3L). The optic's reflector is made of pre-anodized aluminum reflecting sheets (86% min. reflection), segmented in multiple facets with heat sink radiator to keep the LED temperature down and increase their longevity.

Driver module: Auto-adjustable 120-277VAC Class I driver. Primary voltage **at 480 volts**. 50/60 Hz. THD max 20%. ROHS compliant. Assembled with quick-disconnect connectors resisting up to 221°F (105°C). High power factor of 90%. Minimum starting temperature: -40°F (-40°C). Maximum operating temperature: 130°F (55°C). Overheat protection: Output current is reduced to 150mA if internal driver temperature (Tcase) exceeds 185°F (85°). Complete with a 3-Pole 10KV surge protector for Line-Ground, Line-Neutral and Neutral-Ground according to IEEE/ANSI C62.41.2 C High. Complete with with 0-10 volts dimmer.

Generals/Options

Wiring/hardware : Type TEW 14-7. 12" (30cm) minimum exceeding from luminaire. All electrical connections between modules are made with quick-disconnect connectors. All exposed hardware is stainless steel. Silicone gasketing are applied.

Mom system: Multi optimization monitoring system. Dimmable et programmable wireless equipment.

Color: To be determined ___(RALXXXX) / **Finish: textured** **or smooth** . Application of a polyester powder coat of paint. (5 mils /127 microns). The finish meets the ASTM G7, B117 and D1654 requirements relative to salt spray and humidity resistance. **Cyclone recommends the textured finish for this product.**

EPA : 3.11 ft²	Weight: 37 Lbs / 17 Kg
-----------------------	-------------------------------

Stamp/Approval	
Name :	Date :

File : CY2702 - SQ_014119 - CITY OF OAK CREEK.DOC
Date : 04/02/2014 Page : 2/3
Designer : jchurch

DESCRIPTION

The TopTier™ parking garage, canopy and low-bay luminaire is an innovative solution that delivers an unparalleled combination of performance and visual comfort. The patented WaveStream™ optical technology blocks the line of sight from the LED light sources to the observer, while extracting the maximum amount of light on task. This approach results in a high level of uniformity and vertical footcandles that enhances safety in the application environment. The TopTier luminaire is UL/cUL listed for wet locations, IP66 and 3G vibration rated.

Catalog #		Type	OF, OH
Project	DTSHC	Date	4/29/16
Comments		Prepared by	

SPECIFICATION FEATURES

Construction

One-piece, low copper die-cast aluminum housing provides a clean and symmetric housing. Formed aluminum top is sloped to prevent bird nesting. Metal electrical tray allows for easy electrical access for field servicing.

Optics

Unique optical distributions are accomplished using various combinations of reflective backing plates and WaveStream optical technology. The optical Waveguide is manufactured using precision injection molded acrylic. The optics contain features that form a repeatable and redundant pattern to direct light in a precisely prescribed distribution. For the ultimate level of glare control and visual comfort, specify the SG option which adds a Solite® glass lens that works in combination with the Waveguide lens and reflective backing plate. Offered standard in 4000K (+/- 275K) CCT, optional 3000K and 6000K. Minimum 70 CRI.

Electrical

LED driver(s) are mounted to metal electrical tray for optimal thermal performance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming driver(s), specify 5LTD for Fifth Light DALI driver(s) Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10kV of transient line surge. Greater than 90% lumen maintenance expected at 60,000 hours, based off LM-80 test data and TM-21. Suitable for ambient temperature applications from -40°C (-40°F) to 40°C (104°F). For 50°C (122°F) applications, specify the HA high ambient option. IP66 rated against the ingress of dust and water.

Mounting

Standard fixture mounts to a square or octagonal 4" surface or recessed j-box via heavy-gauge quick mount bracket. With the addition of a field supplied wet location j-box, the luminaire can be pendant mounted to a rigid or free swinging pendant. Optional mounting methods include trunnion mount and wall mount.

Finish

Housing finished in white Super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include black, bronze, grey, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.



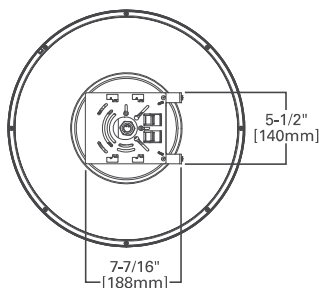
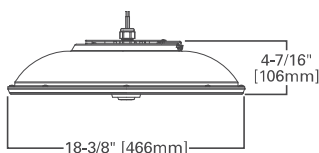
TT TOPTIER LED

Solid State LED

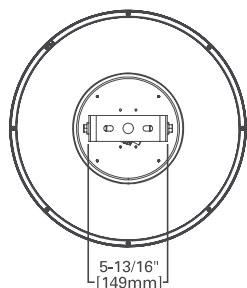
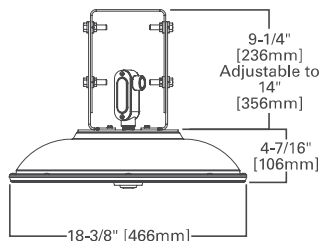
PARKING GARAGE/
CANOPY/
LOW-BAY LUMINAIRE

DIMENSIONS

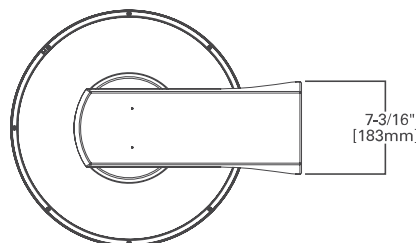
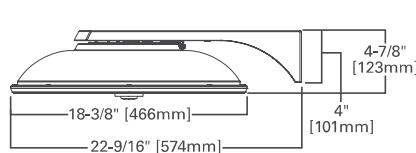
SURFACE OR PENDANT MOUNT



TRUNNION MOUNT



WALL MOUNT



powered by
fifthlight
technology



CERTIFICATION DATA

UL/cUL Wet Location Listed
3G Vibration Rated
LM79 / LM80 Compliant
IP66 Rated
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

SHIPPING DATA

Approximate Net Weight:
16 lbs. (7.2 kgs.)

DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightBAR™ technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/cUL listed for wet locations.

Catalog #		Type
Project	DTSHC	OE, OG
Comments		Date
Prepared by		08/10/2016

SPECIFICATION FEATURES

Construction

Heavy-wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistant access to the electrical chamber.

Optics

Choice of six patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature an IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments and occupancy sensor available.

Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

Finish

Cast components finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

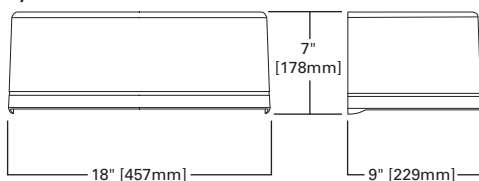
Warranty

Five-year warranty.

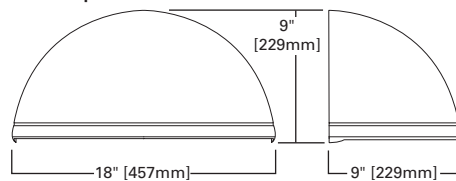


DIMENSIONS

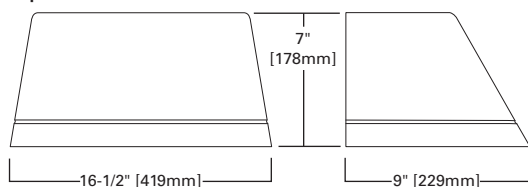
Cylinder



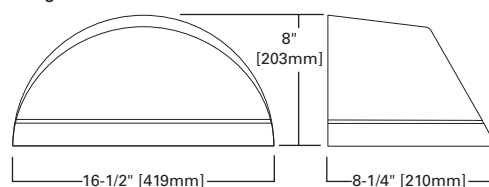
Quarter Sphere



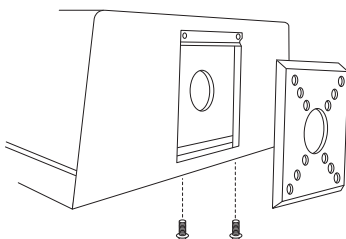
Trapezoid



Wedge



HOOK-N-LOCK MOUNTING



ISC/ISS/IST/ISW IMPACT ELITE LED



1 - 2 LightBARs
Solid State LED

WALL MOUNT LUMINAIRE

CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 LightBARs
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

Approximate Net Weight:
18 lbs. (8 kgs.)

MONET EXTERIOR WALL

AEW10490

JOB NAME

DTSHC

TYPE

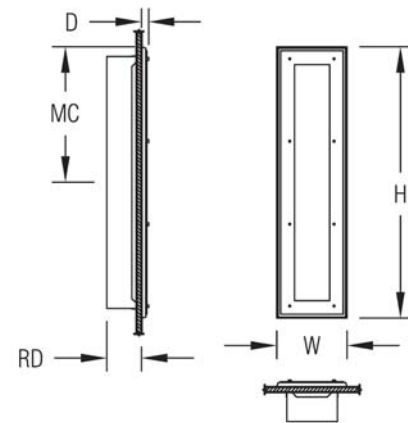
OJ



WET

ADA

With a flash of style and a touch of class, Advent Monet makes a lasting impression. Distinctive motifs provide an artistic twist, while vivid color gels and luminous glowing edges complete an energetic design. The Monet family consists of interior sconces, pendants and ceiling mounts, as well as exterior wall mounts. Efficient linear fluorescent lamping and long-lasting LED options allow Monet to empower a space in a simple, elegant form. Exterior ADA compliant Monet wall mount luminaires are fully recessed and UL listed for Wet Locations. Surface mount models are also available. Exterior Monet's vibrant face lights the path of egress and is balanced by a matching luminous edge.



Dimensions

W	H	D	RD	MC
6.7 in	50.0 in	0.7 in	3.3 in	25.0 in
17.0 cm	127.0 cm	1.8 cm	8.4 cm	63.5 cm

Weight

Hanging weight: 25.0 lb (11.4 kg).

Features

- Formed metal construction provides durable protection for internal components and is recyclable.
- Stainless steel external fasteners will not rust or corrode.
- Versatile design allows fixture to be mounted in any orientation.
- Frosted acrylic lens gives the fixture a unique identity with light reflected through the polished edge.
- Fixture adds a splash of color to a space with theatrical color gels. Standard colors are available with other colors available upon request. Contact factory to customize a color gel that coordinates with your application.
- Standard thermoset polyester powder coat paint provides durable protection in a palette of color options. Custom colors available upon request.
- Compliant with Americans with Disabilities Act (ADA) requirements.
- Integral Class II power supply included, eliminating the need for remote mounting, simplifying installation.

Technical Notes

Construction

- Optional motif is black, unless specified.

Electrical

- Integral electronic fluorescent ballast utilizes the latest energy-saving technology to maintain consistent color temperature, CRI and lumen maintenance, while eliminating the need for remote mounting and simplifying installation.
- Meets NEC 410.73 double-ended, fluorescent lamp ballast disconnect requirements.
- ETL listed to UL standards (US and Canada) for use in wet locations.
- SPI uses strict quality guidelines in LED selection to ensure the white LED's we use meet or exceed ANSI Binning Standards (ANSI C78.733).

Lamping/lamp

- L70 life=50,000+ hours.
- Fluorescent lamps are 3500K unless specified.

- Lamps included, with the exception of T8, T5 and incandescent.

Additional Documents

[Color Chart \(http://www.spilighting.com/PDFs/SPI_Color_Chart.pdf\)](http://www.spilighting.com/PDFs/SPI_Color_Chart.pdf)

DESCRIPTION

6 inch LED square recessed downlight with 50° cut off specially designed for LED technology. Two-stage reflector system produces smooth distribution with excellent light control and low aperture brightness. Lumen packages include 1000, 1500, 2000 and 3000 lumens with color temperatures of 2700K, 3000K, 3500K, 4000K.

SPECIFICATION FEATURES

Lower Parabolic Reflector

Aluminum lower reflector in combination with a lensed upper optical chamber provides superior lumen output with minimal source brightness. Available in all Portfolio Alzak® finishes.

Trim Retention

Reflector is retained with two torsion springs holding the flange tightly to the finished ceiling surface.

Plaster Frame / Collar

Galvanized steel plaster frame with adjustable collar adjusts for up to 2" thick ceilings and rotates +/- 7.5°.

Universal Mounting Bracket

Accepts 1/2" EMT, C channel and bar hangers and adjusts 5" vertically from above and below the ceiling.

Junction Box

(4) 1/2" and (2) 3/4" trade size pry outs positioned to allow straight conduit runs. Listed for (8) #12 AWG (four in, four out) 90°C

conductors and feed thru branch wiring.

Thermal

Extruded aluminum heat sink conducts heat away from the LED module for improved performance and longer life.

LED

LED system contains a plurality of high brightness white LED's combined with a high reflectance upper reflector and convex transitional lens producing even distribution with no pixilation. Rated for 50,000 hours at 70% lumen maintenance. Auto resetting, thermally protected, LED's are turned off when safe operating temperatures are exceeded. Color variation within 3-step MacAdam ellipses. Flexible disconnect allows for tool-less replacement of LED engine from below ceiling. Available in 80 or 90 CRI.

Catalog #		Type
Project	DTSHC	OS
Comments		Date
Prepared by		08/10/2016

Driver

Combination 0-10V/trailing edge driver provides flicker free dimming from 100% to 10%. Optional 1% 0-10V, Fifth Light, DMX or Lutron® Ecosystem. Driver can be serviced from above or through the aperture.

Code Compliance

Thermally protected and cULus listed for protected wet locations. Optional City of Chicago environmental air (CCEA) marking for plenum applications. EMI/RFI emissions per FCC 47CFR Part 18 Class B consumer limits. Non-IC rated - Insulation must be kept 3" from top and sides of housing. RoHS Compliant. Title 24 Compliant with designated trims. Photometric testing completed in accordance with IES LM 79 standards. LED life testing completed in accordance with LM 80 standards.

Warranty

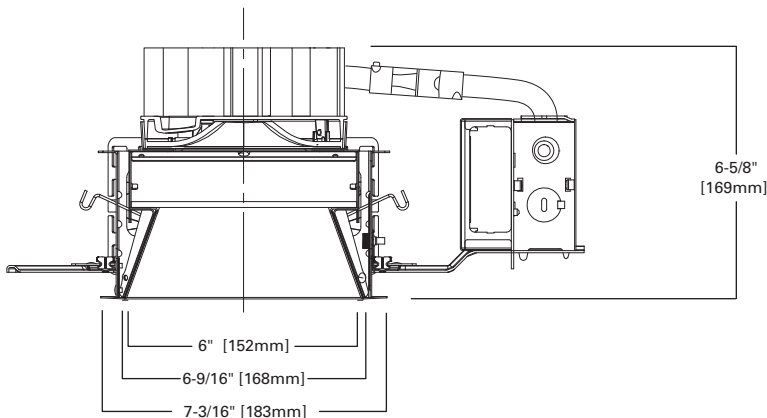
5 year warranty.



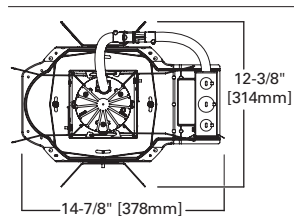
LDSQ6A10
LDSQ6A15
LDSQ6A20
LDSQ6A30
6LSQ

1000, 1500 Lumen LED
 2000, 3000 Lumen LED

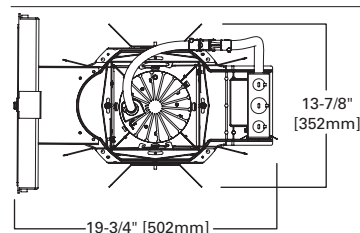
6-Inch
 Square Downlight



TOP VIEW



TOP VIEW WITH BATTERY



		H
1000/1500 Lumen	D010TE	6-5/8"
	D010TR	
	DL3	
	DLT	
1000/1500 Lumen	D5LT	7-1/2"
	DMX	
	DE010	
2000/3000 Lumen	All	7-1/2"



Refer to ENERGY STAR® Qualified Products List.





Plan Commission Report

ITEM: 4c

DATE: September 13, 2016

PROJECT: Plan Review – Kelly Gallacher, Self Storage Ventures, LLC

ADDRESS: 6304 & 6340 S. Howell Ave. and 137, 147, & 209 E. College Ave.

TAX KEY NO: 719-9991-001, 719-9990, 719-9992, 719-9993, 719-9994

STAFF RECOMMENDATION: (If the decision is not held) That the Plan Commission approves the site and building plans for the self-storage development located at 6304 & 6340 S. Howell Ave. and 137, 147, & 209 E. College Ave., with the following conditions:

1. That the plans are revised to meet all setback requirements. Any variances to the required setbacks granted by the Board of Zoning Appeals shall be submitted to the Department of Community Development prior to the submission of building permit applications. All setback modifications shall also receive approval by the Oak Creek Water and Sewer Utility where they affect easements and water mains.
2. That all permits and/or approvals by the Wisconsin Department of Natural Resources (DNR) and Milwaukee County for all driveway accesses are received and copies submitted to the Department of Community Development prior to submission of building permit applications.
3. That all building and fire codes are met.
4. That all parking stalls meet required setbacks per the approved Conditions and Restrictions.
5. That all elevations are revised to comply with the Conditions and Restrictions requirement that a minimum of fifty (50) percent of the visible perimeter shall be finished with an acceptable glass, brick, or decorative masonry material.
6. That the exterior brick veneer meets the minimum 4-inch thick requirement per Code.
7. That all revised plans (site, building, landscaping, lighting details, retaining wall details, etc.) are submitted in digital and paper formats for review and approval by the Department of Community Development prior to the submission of building permit applications.
8. That all signs are submitted for review and approval by the Plan Commission prior to the submission of sign permit applications.
9. That all mechanical equipment (ground, building, and rooftop) is screened from view.
10. That the final site grading, drainage, and stormwater management plans are approved by the Engineering Department.
11. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.
12. That the final photometric and lighting plan is approved by the Electrical inspector prior to the issuance of building permits.

Ownership: LASALLE 115 HOLDINGS, LLC-SERIES 6, WI, 111 W. Monroe St., Chicago, IL 60603

Size: 6304 S. Howell Ave. = 0.321 acres; 6340 S. Howell Ave. = 0.771 acres; 137 E. College Ave. = 1.768 acres; 147 E. College Ave. = 0.884 acres; 209 E. College Ave. = 2.74 acres

Existing Zoning: B-4, Highway Business

Adjacent Zoning: North – City of Milwaukee
 East – B-4, Highway Business
 South – I-1 (CCU), Institutional
 West – M-1, Manufacturing

Comprehensive Plan: Planned Industrial.

Wetlands: See attached plans.

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting site, building, landscaping, and lighting plan approval for the proposed self-storage facility at 6304 & 6340 S. Howell Ave. and 137, 147, & 209 E. College Ave. Plan Commissioners will recall that this property was rezoned to M-1, Manufacturing, and approved by the Plan Commission and Common Council for a Conditional Use for self-storage in June / July of this year. A copy of the Council-approved Conditions and Restrictions is included with this report for Commissioner reference.

Two (2) buildings – “A” & “B” – have a combination of interior units and exterior units accessed via roll-up doors. Six (6) buildings (“C”) will have traditional exterior-access units with roll-up doors. Building B will include the office space on the northeast corner, and will be the only 2-story building on the property.

According to the proposed site plan, all buildings along College Avenue and Howell Avenue are proposed to be a minimum of 25 feet from the right-of-way. Section 17.0317(f)(1) of the Municipal Code requires a minimum front setback of 40 feet from all rights-of-way. The Applicant has submitted an appeal to the Board of Zoning Appeals for a variance to this setback requirement; however, as of writing this report, the hearing has not yet occurred. The decision by the Board of Zoning Appeals should be available for the Plan Commission meeting. If it is not, there are two potential courses of action:

1. The Plan Commission may hold the application until the Board of Zoning Appeals has issued their final decision in writing.
2. The Plan Commission may require that the plans are revised to meet setback requirements until and if variances are issued by the Board of Zoning Appeals.

Plan Commissioners should also be aware that the Water and Sewer Utility have noted that Building A and Building B are proposed over a water main and within a utility easement. These encroachments are prohibited. All other property line setback requirements, maximum height limitations, and maximum lot coverage limitations are met. The Applicant’s consultant has indicated that permits and/or approvals for the proposed wetland fills are in progress. Staff has recommended a condition of approval above that all permits and/or approvals be submitted to the Department of Community Development prior to the submission of building permit applications.

Driveway locations were modified slightly from the conceptual plans submitted for Conditional Use approval. Access is now proposed on College Avenue only – the gated emergency access on Howell Avenue has been eliminated. Milwaukee County must issue approval for all access off of College Avenue. A condition of approval is recommended above that such approvals be obtained and copies submitted to the Department of Community Development prior to the submission of building permit applications. The Applicant should also work closely with the Fire Department to ensure emergency access and fire hydrant placement is adequate.

Per the approved Conditions and Restrictions, the minimum number of required parking stalls was reduced. At least one (1) stall per employee and a minimum of five (5) stalls for the office must be provided onsite. Customers accessing their storage units will park adjacent to the individual units. All parking must be at least 30 feet from all rights-of-way.

Fencing, with a controlled access gate, is proposed on the north between Buildings A and B, and on the southeast corner of Building B. Decorative fencing is proposed from the southwest corner of Building A, along the western property line, to the southwest corner of Building C6 and the proposed modular block retaining wall. Black chain link fencing is proposed on the south and east sides of the property. All fencing is proposed to be a maximum of 6 feet in height. Details for the proposed retaining wall will also be required as part of the revised plans to be submitted per the recommended conditions of approval above.

Signage is shown for illustrative purposes only. Detailed plans for the proposed City welcome sign and building signage are currently in the design phase. Per the approved Conditions and Restrictions, all signs must be approved by the Plan Commission.

Building materials, approximate square footages for which were calculated based on submitted scaled drawings, are provided per building elevation in the table below:

	Masonry	Storefront / Windows	Textured Panel	*Metal Panel	EIFS Cornice	Other	Total Wall Area
Building A							
North (College)	136	304	304	0	109	25	878
West	2293	640	640	0	226	172	3971
<i>North (Howell)</i>	136	336	336	0	117	42	967
East	68	0	0	2169	10	187	2434
South	68	0	0	2071	10	0	2149
Building B							
North	2576	372	4525	0	87	364	7924
West	661	0	2009	0	0	155	2826
East	474	372	1711	0	87	101	2745
South	0	0	5794	0	0	0	5794
Building C1							
North	0	0	0	312	0	0	312
West	0	0	0	3252	0	0	3252
East	1084	0	2168	0	0	0	3252
South	104	0	208	0	0	0	312
Building C2							
North	0	0	0	366	0	0	366
West	0	0	0	2886	0	0	2886
East	0	0	0	2886	0	0	2886
South	0	0	0	236	0	0	236
Building C3							
North	0	0	0	2352	0	0	2352
West	104	0	0	208	0	0	312
East	0	0	0	312	0	0	312
South	0	0	0	2352	0	0	2352
Building C4							
North	0	0	0	2412	0	0	2412
West	122	0	0	244	0	0	366
East	0	0	0	366	0	0	366
South	0	0	0	2412	0	0	2412
Building C5							
North	0	0	0	3013	0	0	3013
West	162	0	365	0	0	0	527
East	0	0	0	527	0	0	527
South	0	0	0	3013	0	0	3013
Building C6							
North	0	0	0	3612	0	0	3798
West	84	0	168	588	0	0	840
East	0	0	0	852	0	0	852
South	1204	0	0	2408	0	0	3612

*Square footage includes metal roll-up doors and access doors.

The above table is provided for the Plan Commission as the submittal from the Applicant's consultant did not include all building materials for all elevations, and there were a few discrepancies in the square footage calculations. Per the approved Conditions and Restrictions, "a minimum of fifty (50) percent of the visible perimeter shall be finished with an acceptable glass, brick, or decorative masonry material." The elevations that do not currently meet this requirement are bolded and italicized. Most of these elevation calculations are within 5% of the Material Coverage

Breakdown provided by the Applicant's consultant. Staff recommends that the building materials are revised to comply with the approved Conditions and Restrictions. Staff has also included a condition of approval that the proposed brick meets the minimum 4-inch depth/thickness requirement per Section 17.1009(a)(2).

No trash enclosures are identified on the site plan. Should dumpsters be required, they must be located within an enclosure compliant with the approved Conditions and Restrictions and Municipal Code. Updated plans for any trash enclosures must be submitted to the Department of Community Development for review and approval prior to construction.

Landscaping plans have been submitted and were initially reviewed by the City Forester. Revisions were received on September 2 and have not yet been reviewed by the City Forester, although many of her initial recommendations were incorporated. Additional revisions may be required, including for screening of any mechanical equipment and transformers (a large utility box currently exists on the northwest corner of the property) and height of plants at installation. Staff will continue to work with the Applicants on the plans. A condition of approval recommends that final landscape plans be submitted for review and approval by the Department of Community Development prior to submission of building permit applications.

Comments regarding the proposed stormwater plans were provided directly to the Applicant's consultant by the Engineering Department. As of writing this report, the Engineering Department has not received any revised plans.

Lighting plans have been submitted indicating parking lot lighting and exterior building luminaires. Final lighting plans will require approval by the Electrical Inspector prior to issuance of building permits.


Staff recommends approval of the plans with the proposed conditions listed above.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

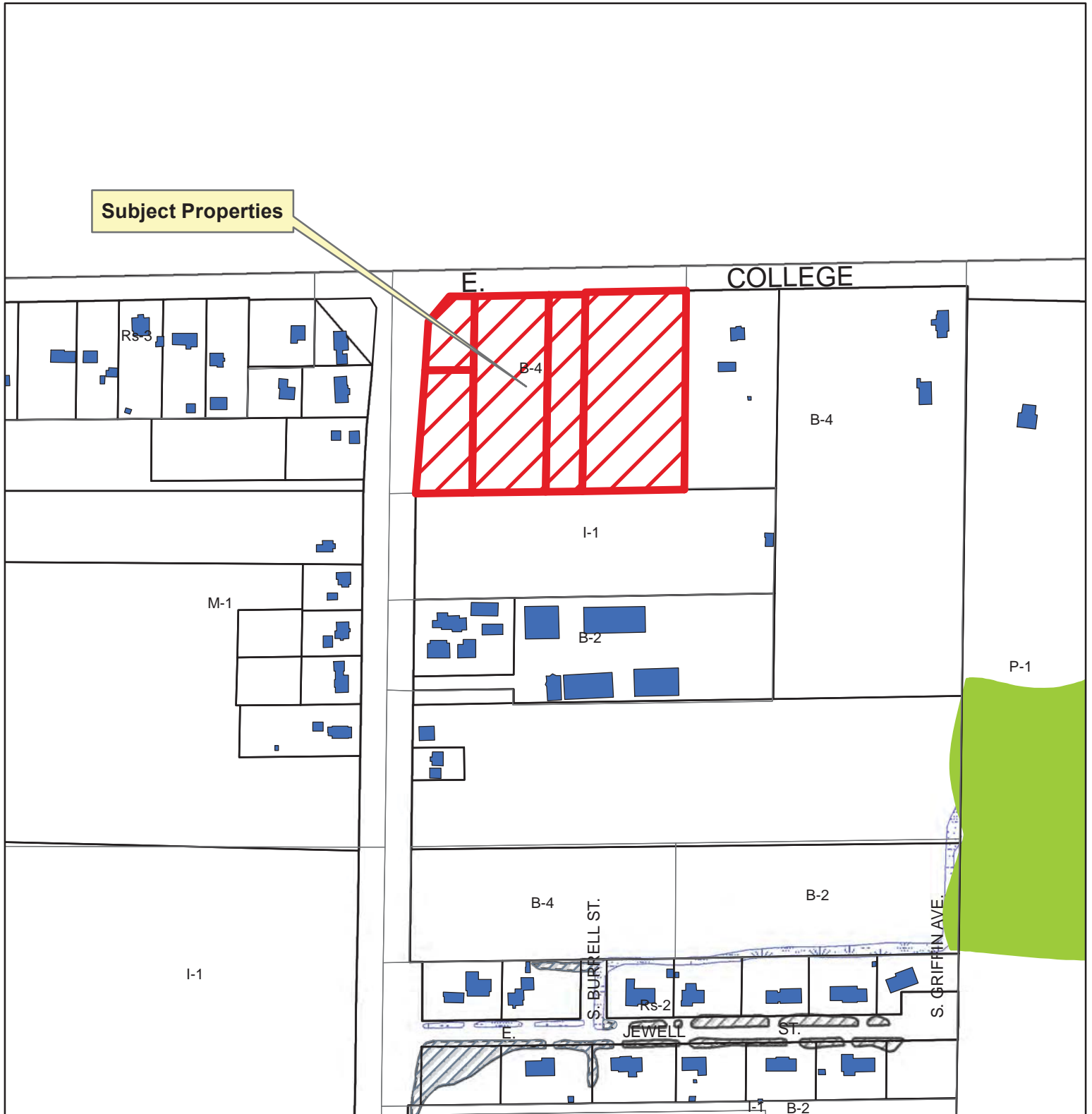


Douglas Seymour, AICP
Director of Community Development

Location Map

6304 & 6340 S. Howell Ave.;

137, 147, & 209 E. College Ave.












This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

-  Subject Parcels
-  Floodway
-  Floodfringe
-  Shoreland Wetland Conservancy (C-1)
-  Lakefront Overlay District (LOD)
-  Mixed Use Neighborhood Overlay (NO)
-  Mixed Use Office Overlay (OO)
-  Regional Retail Overlay District (RR)
-  Flood Fringe (FF)

**City of Oak Creek – Conditional Use Permit (CUP)
Conditions and
Restrictions**

Applicant: Kelly Gallacher, Self Storage Ventures, LLC

Approved by Plan Commission: 7-12-16

Property Addresses: 6304 & 6340 S. Howell Ave.,
137, 147, & 209 E. College Ave.

Approved by Common Council: 7-19-16
(Ord. #2814)

Tax Key Number(s): 719-9991-001, 719-9990, 719-9992,
719-9993, 719-9994

Conditional Use: Self-storage facility (mini-warehousing)

1. LEGAL DESCRIPTION

Parcel 1, 6304 S. Howell Ave.:

That part of the North West 1/4 of Section 4, Township 5 North, of Range 22 East in the City of Oak Creek, County of Milwaukee and State of Wisconsin, bounded and described as follows: Commencing at the Northwest corner of said Northwest 1/4, running thence East on the North line of said 1/4 Section, 190 feet to a point; thence South and parallel to the West line of said 1/4 Section, 229.26 feet to a point; thence West and parallel to the North line of said 1/4 Section, 190 feet to a point, and thence North along the West line of said 1/4 Section, 229.26 feet to the point of commencement.

Excepting therefrom any portion thereof conveyed for highway purposes.

Excepting from the above parcel that portion used for Highway purposes described in Award of Damages recorded as Document No. 4089966.

Excepting therefrom that portion thereof awarded to the State of Wisconsin, Department of Transportation by Award of Damages dated August 19, 2013, and recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on August 19, 2013, as Document No. 10284034.

Parcel 2, 6340 S. Howell Ave:

The South 283.83 feet of the North 513.09 feet of the West 190 feet of the Northwest 1/4 of Section 4, Township 5 North, of Range 22 East, in the City of Oak Creek, County of Milwaukee and State of Wisconsin.

Excepting from the above parcel that portion used for Highway purposes described in Award of Damages recorded as Document No. 4088966.

Parcel 3, 137 E. College Ave.:

Part of the Northwest 1/4 of Section 4, in Township 5 North, of Range 22 East, in the City of Oak Creek, County of Milwaukee and State of Wisconsin, bounded and described as follows: Commencing at a point which is 360 feet East of the Northwest corner of said Northwest 1/4 ; running thence South and parallel to the West line of said 1/4 Section 513.09 feet to a point; thence West and parallel to the North line of said 1/4 Section 170 feet to a point; thence North and parallel to the West line of said 1/4 Section 513.09 feet to a point; and thence East along the North line of said 1/4 Section line 170 feet to the place of beginning, excepting therefrom the North 60 feet for highway purposes.

Parcel 4, 147 E. College Ave.:

That part of the Northwest 1/4 of Section 4, Township 5 North, of Range 22 East, in the City of Oak Creek, County of Milwaukee and State of Wisconsin, bounded and described as follows: Commencing at a point in the North line of said Northwest 1/4 Section, 360 feet East of the Northwest corner of said 1/4 Section; thence South and parallel with the West line of said 1/4 Section; 513.09 feet to a point; thence East and parallel to the North line of said 1/4 Section, 85 feet to a point; thence North and parallel to the said West line, 513.09 feet to a point in the North line of said 1/4 Section; thence West along said North line 85 feet to the point of commencement, except the North 60 feet thereof.

Parcel 5, 209 E. College Ave.:

The East 232.50 feet of the West 677.50 feet of the North 513.09 feet of the Northwest 1/4 of Section 4, Township 5 North, of Range 22 East, in the City of Oak Creek, County of Milwaukee and State of Wisconsin, excepting therefrom the North 55 feet for highway purposes.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. A precise detailed site plan for the area affected by the Conditional Use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) **General Development Plan**

- a) Detailed building location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
 - i) Location
 - ii) Number of employees
 - iii) Number of garage & surface spaces
 - iv) Dimensions
 - v) Setbacks
- h) Location(s) of loading berth(s)
 - i) Location of sanitary sewer (existing & proposed)
 - j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
 - l) Location(s) of wetlands (field verified)
 - m) Location(s), square footage and height of sign(s)

2) **Landscape Plan**

- a) Screening plan
- b) Number, initial size and type of plantings
- c) Parking lot screening/berming

3) **Building Plan**

- a) Architectural elevations (w/dimensions)
- b) Building floor plans
- c) Materials of construction (including colors)

4) **Lighting Plan**

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) **Grading, Drainage and Stormwater Management Plan**

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) **Fire Protection**

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction

B. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.

C. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

D. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements required in Item 1 above, and/or as specified by these conditions and restrictions.

- E. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, etc.) shall be subject to approval by the City Engineer.
- F. If required by the City of Oak Creek, public easements for telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted; provided there is access to each of the aforementioned systems and their appurtenances.
- G. All electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- H. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit.
- I. A certified survey map combining these properties shall be prepared and submitted to the City of Oak Creek for review and approval. The CSM shall be recorded prior to the issuance of any building permits.

3. PARKING AND ACCESS

- A. Parking for this project shall be provided as follows:
 - 1. A minimum of one (1) stall per employee;
 - 2. A minimum of five (5) dedicated parking stalls at the sales/leasing office;
 - 3. Space sufficient for parking one (1) vehicle adjacent to ground-level storage units and internal unit entrance doors;
 - 4. All other parking shall be in accordance with Section 17.0403 of the Municipal Code.
- B. Where 90° parking is indicated on the site plans, individual-parking stalls shall be nine (9) feet in width by eighteen (18) feet in length. The standards for other types of angle parking shall be those as set forth in Section 17.0403(d) of the Municipal Code.
- C. Movement aisles for 90° parking shall be at least twenty-two (22) feet in width.
- D. All off-street parking areas shall be surfaced with an all-weather wearing surface of plant mix asphaltic concrete over crushed stone base subject to approval by the City Engineer. A proposal to use other materials shall be submitted to the Plan Commission and the Engineering Department for approval. All parking areas, garages, and private drives shall be in place in accordance with the signed Development Agreement.
- E. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.
- F. All driveway approaches to this property shall be in compliance with all the standards set forth in Chapter 6 of the Oak Creek Municipal Code. Any off-site improvements shall be the responsibility of the property owner.
- G. All off street parking areas, with the exception of parking in front of storage units, shall be landscaped in accordance with Sections 17.0330 & 17.0403 of the Municipal Code.

- H. Adjustments to required parking may be made by the Plan Commission in accordance with Section 17.0404.
- I. Access to East College Avenue (CTH ZZ) is subject to the review and approval of Milwaukee County. Such approval shall be provided to the City prior to the issuance of any building permits.
- J. Any access to South Howell Avenue (STH 38) is subject to the review and approval of the Wisconsin Department of Transportation. Such approval shall be provided to the City prior to the issuance of any building permits.

4. LIGHTING

All plans for new outdoor lighting for each stage of the development shall be reviewed and approved by the Plan Commission and Electrical Inspector in accordance with Section 17.0808 of the Municipal Code.

5. LANDSCAPING

A. Parking Lot Screening. Those parking areas for five (5) or more vehicles if adjoining a residential zoning district line or public right-of-way shall be screened from casual view by an earth berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way. All screening materials shall be placed and maintained at a minimum height of three (3) feet.

- 1. At least one ornamental deciduous tree, no less than 2.5" caliper, shall be incorporated into the design for every 35 linear feet of public street frontage.
- 2. At least 25% of the total green space area shall be landscaped utilizing plant materials, other than maintained turf, that contribute to ground coverage.
- 3. For purposes of determining the number of plants necessary to meet the minimum 25% ground coverage requirement, plant types are categorized by their general size and potential mature at-grade coverage area.

<u>Plant Type</u>	<u>Area of Coverage Provided</u>
Evergreen Tree (>8' Dia.)	75 sq. ft.
Large Shrub (6-8' Dia.)	38 sq. ft.
Medium Shrub (4-6' Dia.)	20 sq. ft.
Small Shrub (2-4' Dia.)	12 sq. ft.
Perennial (4.5" Pot)	6 sq. ft.

* Note shade and ornamental trees are not considered a plant type contributing to "at grade" coverage.

- 4. To assure a diversity of color, texture and year-round interest, the total number of plant materials must be comprised of a minimum 25% evergreens, but no more than 70%.

B. Interior Landscape Area. All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape islands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. Landscape islands or peninsulas shall be dispersed throughout the off-street parking area. Landscape islands shall provide a minimum 30-inch clear area for vehicle overhang and snow storage. One shade tree

shall be provided within the interior planting area for every 300 square feet of interior landscaping. For parking lots designed for twenty-five (25) parking spaces or more, interior parking lot landscaping shall be provided at the following rates:

<u>Total Paved Area</u>	<u>Required Interior Planting Area</u>
0-49,999 sq. ft.	5% of paved area
50,000 sq. ft. or larger	10% of paved area

- C. Perimeter Landscape Area. In an effort to prevent adjacent parking lots from becoming one large expanse of paving, perimeter landscaping shall be required. The perimeter strip shall be a minimum 5 feet in width. A minimum of one tree and five shrubs is required for every 35 linear feet of the perimeter of the parking area and located within the perimeter landscape area.
- D. Landscaping Adjacent to Buildings. Landscaping shall be provided adjacent to buildings on College and Howell Avenues in accordance with plans approved by the Plan Commission and/or the Department of Community Development.
- E. Screening of Trash. Trash receptacles shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- F. Screening of Ground Mounted Mechanical Equipment. Ground mounted mechanical equipment shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- G. Screening of Roof Mounted Mechanical Equipment. Roof mounted mechanical equipment shall be screened from casual view.
- H. Retaining Walls. No retaining wall shall exceed four (4) feet in height unless it has been designed and its construction supervised by a Professional Engineer. A retaining wall may be stepped to achieve greater height. Each step of the wall shall be no more than four (4) feet in height and shall be set back a minimum of three (3) feet from the previous step. Acceptable materials for retaining walls are: segmental masonry type, timber, or concrete. All retaining walls must incorporate landscaping as part of the design.
- I. Berms. Side slopes of berms shall not exceed a gradient of 1-ft. vertical to 3-ft. horizontal unless approved by the City Engineer.
- J. Buffer Yards. Appropriate buffers shall be provided between dissimilar uses as set forth in Section 17.0205 (d) of the Municipal Code.
- K. Submittal Requirements. A Landscape Plan (to scale) must be submitted which includes details of all proposed landscaping, buffering and screening, including the estimated cost of the landscaping. These plans shall be prepared by a landscape professional and show the location and dimensions of all existing and proposed structures, parking, drives, right-of-ways and any other permanent features, and all other information required by the Plan Commission, including but not limited to the following:
 - 1. A plant list and coverage chart showing the location, quantity, size (at time of planting and at maturity), spacing and the scientific and common names of all landscape materials used.
 - 2. The location and type of existing trees over four (4) inches in diameter (measured six (6) inches above the ground) within the area to be developed.
 - 3. The location and percent of slope of all proposed berms using one (1) foot contours.

4. Detailed sections showing elevations of all proposed architectural features, such as walls, lighting or water features.
 5. Methods used in staking, mulching, wrapping or any other early tree care used.
 6. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule.
- L. The Plan Commission may modify any of the above standards by a $\frac{3}{4}$ majority vote of those Commissioners present at a meeting, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modification of the particular standard.
- M. Landscaping shall be installed in accordance with the signed Development Agreement.

6. ARCHITECTURAL STANDARDS

- A. No building shall be permitted if the design or exterior appearance is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
- B. No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades of surrounding properties and presents an attractive appearance to the public. Predominant exterior building materials must be of high quality. These include, but are not limited to brick, stone and tinted/textured concrete masonry units (CMUs). Smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel panels are not permitted as a primary exterior building materials.
- The diagram, titled "Diagram of Length of Perimeter Visible from Street", shows a cross-section of a building with a stepped profile. A horizontal dashed line represents the "PUBLIC STREET". Two small rectangular shapes on the street represent the eyes of an observer. Lines from these eyes extend upwards to the building's facade, defining a shaded triangular area that represents the portion of the building's perimeter visible from the street. The building's facade consists of a taller section on the left and a shorter section on the right, with a recessed area between them.
- C. The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of fifty (50) percent of the visible perimeter (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material.
- D. Material and color samples shall be submitted to the Plan Commission for review and approval.
- E. The Plan Commission may modify any of the above standards by a $\frac{3}{4}$ majority vote of those Commissioners present at a meeting, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modifications of the particular standard.
- F. The relative proportion of a building to its neighboring buildings or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.
- G. Each principal building shall have a clearly defined, highly visible customer entrance with features such as canopies or porticos, arcades, arches, wing walls, and integral planters.
- H. Sides of a building that are visible from adjoining residential properties and/or public streets should contribute to the pleasing scale features of the building by featuring characteristics similar to the front façade of the building. No overhead garage doors or loading docks may face residential properties or public streets.

- I. Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.
- J. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule; as well as the approved protection of the identified wetlands and woodlands on the approved plan.

7. BUILDING AND PARKING SETBACKS

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure*	40'	20'	20'
Accessory Structure**	40'	20'	20'
Off-street Parking	30'	0'	0'

** Per Section 17.0311(f)(2), no multifamily residential structure shall be located closer than fifty (50) feet to a single-family district line. Rs-1 exists to the north, east, and to the centerline of Drexel Ave. (south); Rs-2 extends to the centerline of Drexel Ave. (south).*

***No accessory structures shall be permitted in the front yard or in required buffer yards.*

8. MAINTENANCE AND OPERATION

- A. The number, size, location and screening of appropriate solid waste collection units shall be subject to approval of the Plan Commission as part of the required site plan. Solid waste collection and recycling shall be the responsibility of the owner.
- B. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the owners.
- C. There shall be no outdoor storage or display of any kind, including, but not limited to, merchandise, materials, equipment, or vehicles.
- D. There shall be no storage of flammable or hazardous materials.
- E. Hours of operation shall be between 6:00 AM and 10:00 PM seven days per week.

9. SIGNS

All signs shall conform to the provisions of Sec. 17.0706 of the Municipal Code. All signs must be approved by the Plan Commission as part of the site plan review process. No pole signs shall be permitted as part of this development.

A sign easement shall be provided at the northwest corner of the properties for the benefit of the City of Oak Creek. As part of the required landscaping plan, the applicant shall, in coordination with City staff present plans for the design of an entrance-gateway sign and landscaping within this easement. The initial construction costs of this signage shall be the responsibility of the owner. A separate agreement shall be entered into between the property owner and the City identifying maintenance responsibility for the sign and landscaping within the easement.

10. PERMITTED USES

- A. All permitted uses in the M-1, Manufacturing zoning district.
- B. One (1) self-storage facility with no outdoor storage or display.
- C. Usual and customary accessory uses to the above listed permitted uses.

11. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these conditions and restrictions for the Conditional Use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a Conditional Use Permit. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the ordinance if a building permit has not been issued for this use. The applicant shall re-apply for a Conditional Use approval prior to recommencing work or construction.

12. OTHER REGULATIONS

- A. Compliance with all other applicable City, State, DNR and Federal regulations, laws, ordinances, and orders not heretofore stated or referenced, is mandatory.
- B. Building permits must be issued to and construction begun on both buildings “A” and “B” (as illustrated in Exhibit A – Concept Site Plan) prior to the issuance of building permits for any other storage structures (Building type “C”).
- C. Occupancy permits must be obtained for Building “B” (as illustrated in Exhibit A – Concept Site Plan) within 150 days of the issuance of occupancy permits for any “C1” building.
- D. Occupancy permits must be obtained for Building “A” (as illustrated in Exhibit A – Concept Site Plan) within 150 days of the issuance of occupancy permits for any “C2” building.
- E. It shall be the responsibility of the owner to secure any required variances to develop the site in accordance with Plan Commission approvals.
- F. Structures built on these properties may require the review and approval of the Federal Aviation Administration and Milwaukee County. It is the applicant’s responsibility to secure said approval(s).

13. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances. If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the city shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 14 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other city ordinances.

14. REVOCAION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth

in Section 17.1007 of the Municipal Code.

15. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner / Authorized Representative Signature

Date

(please print name)

EXHIBIT A: CONCEPT SITE PLAN

(for illustrative purposes only – detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be approved by the Plan Commission)



EXHIBIT B: CONCEPT ELEVATIONS

(for illustrative purposes only – detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be approved by the Plan Commission)



Material Coverage Breakdown

On Elevations Facing College and Howell Avenues

	Masonry		Glass Storefront		Textured Panels		Total Area
	Area	%	Area	%	Area	%	
<u>Building A</u>							
North Elevation	312 SF	17.1%	642 SF	35.1%	875 SF	47.8%	1,829 SF
Northwest Facing Wall	2,283 SF	100.0%		0.0%		0.0%	2,283 SF
West Elevation	310 SF	17.0%	642 SF	35.1%	875 SF	47.9%	1,827 SF
<u>Building B</u>							
North Elevation	2,725 SF	34.5%	384 SF	4.9%	4,795 SF	60.7%	7,904 SF
West Elevation	146 SF	100.0%		0.0%		0.0%	146 SF
<u>Building C3</u>							
West Elevation	104 SF	36.4%		0.0%	182 SF	63.6%	286 SF
<u>Building C4</u>							
West Elevation	125 SF	36.1%		0.0%	221 SF	63.9%	346 SF
<u>Building C5</u>							
West Elevation	166 SF	35.5%		0.0%	302 SF	64.5%	468 SF
<u>Building C6</u>							
West Elevation	86 SF	36.9%		0.0%	147 SF	63.1%	233 SF
Totals:	6,257 SF	40.8%	1,668 SF	10.9%	7,397 SF	48.3%	15,322 SF

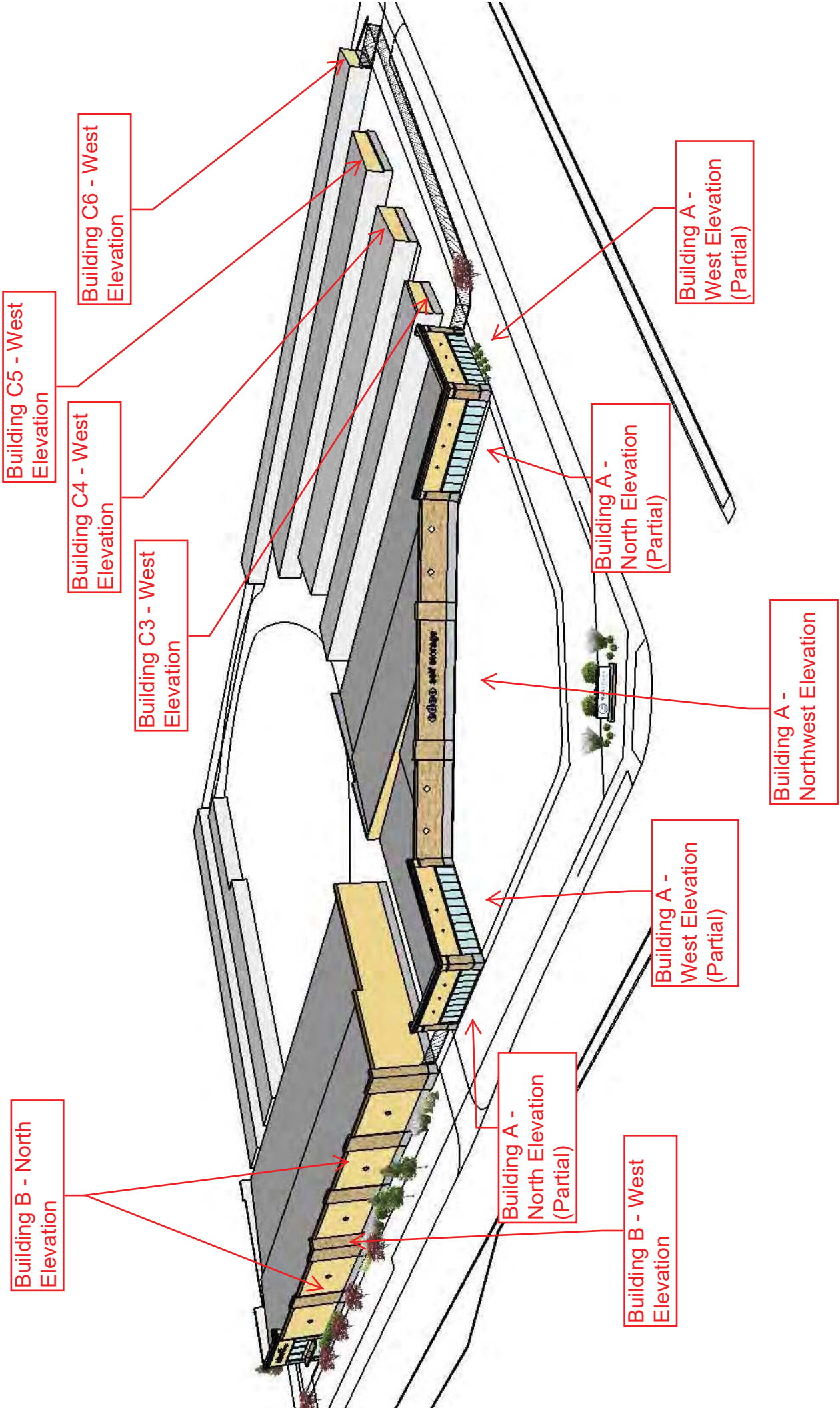
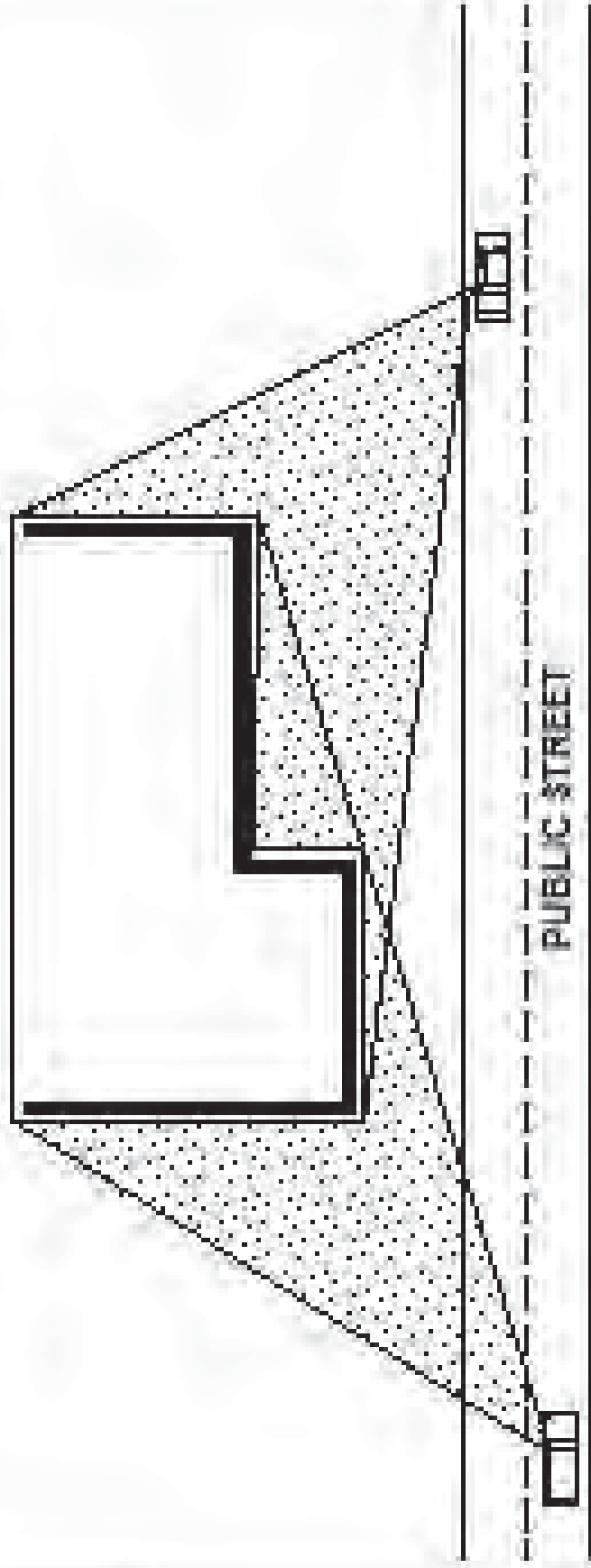
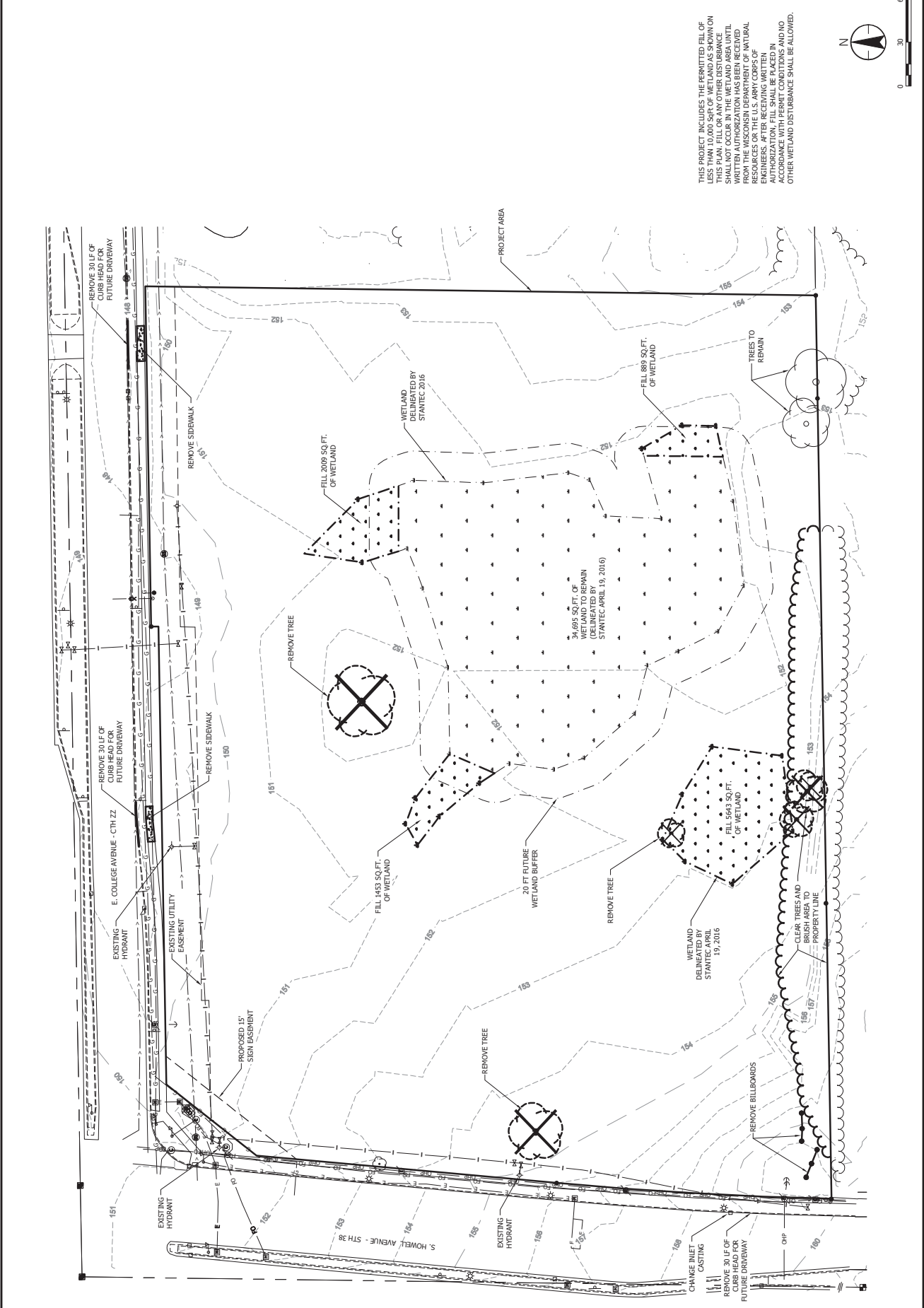


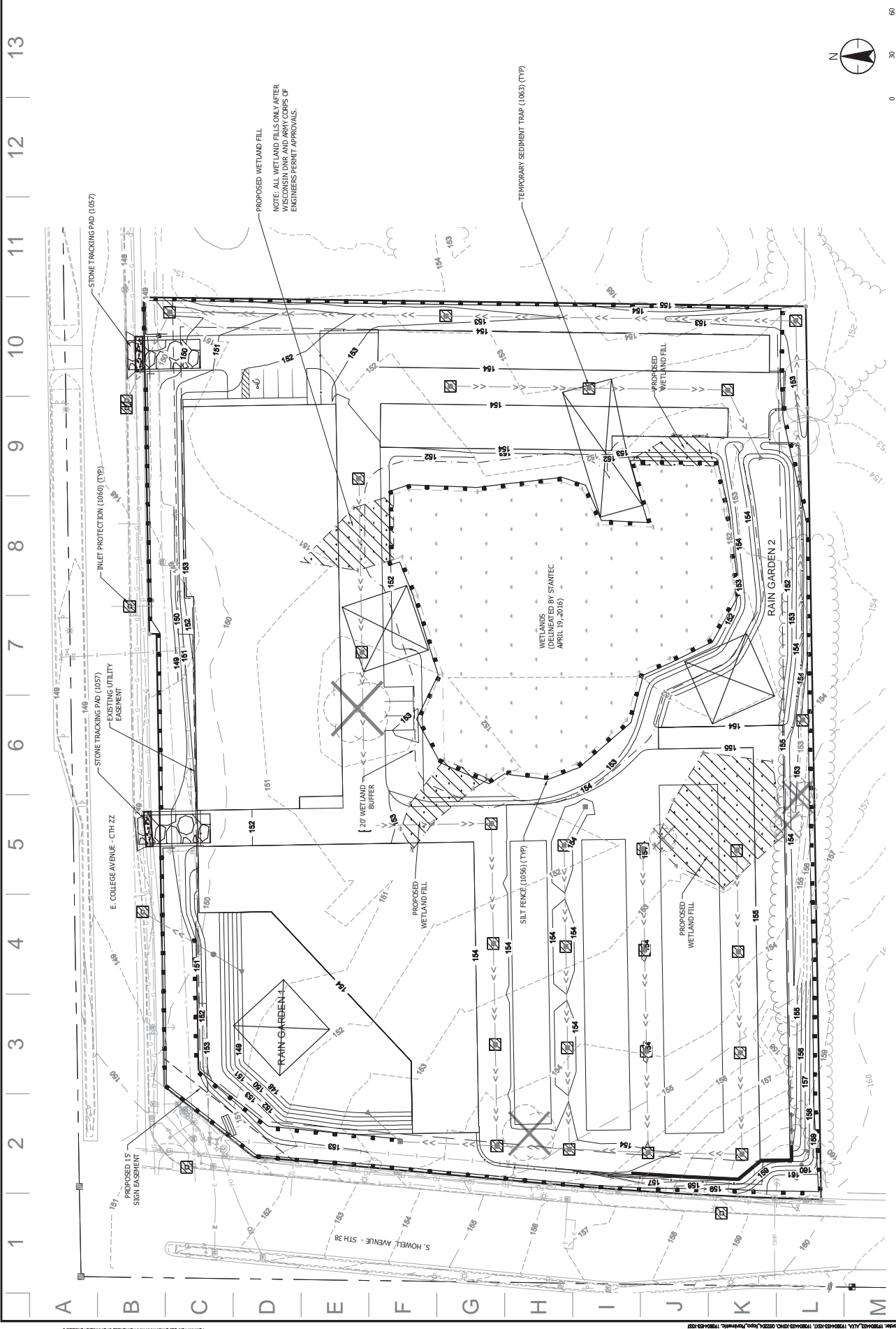
Diagram of Length of Perimeter Visible from Street



NO.	DESCRIPTION	DATE
1	DATE OF ISSUANCE	JULY 26, 2016
2	REVISION	
3	DATE	
4	BY	
5	DATE	
6	BY	
7	DATE	
8	BY	
9	DATE	
10	BY	
11	DATE	
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13	DATE	
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16	BY	
17	DATE	
18	BY	
19	DATE	
20	BY	



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25		DATE
26		BY
27		DATE
28		BY
29		DATE
30		BY



THE CONTRACTOR SHALL VERIFY AND RECONSTRUCT ALL SERVICES TO BE PROVIDED TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OAK CREEK AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) AND THE ARMY CORPS OF ENGINEERS (ACEC) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OAK CREEK AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) AND THE ARMY CORPS OF ENGINEERS (ACEC) PRIOR TO CONSTRUCTION.

DATE OF REVISION		REVISION	DATE

EROSION CONTROL PLAN

GENERAL NOTES

- Contractor shall conform to all relevant federal, state, and local regulations; the conditions included in any permit, and to the conditions included in the project engineer's plans unless otherwise approved by the Wisconsin Department of Natural Resources (WDNR) and project engineer.
- Erosion control devices shall conform to the latest edition of the WDNR technical standards and WI DOT Product Acceptability List (PAL).
- A copy of the erosion control plan and permits shall be kept onsite and available for inspection throughout the duration of the project. Submit plan revisions or amendments to the WDNR at least 15 days prior to field implementation.
- Adequately maintain all access roads, ditches, and wetland, **except as approved by permits**. The contractor shall not store any equipment or materials in any wetland, floodplain, or floodway.
- Public and private access roads shall be kept free of tracked sediment and at a minimum cleaned at the end of each workday (not by flushing). As well, the contractor shall take minimization measures for dust control to the maximum extent practicable.
- Base soil areas, including soil stockpiles, left undisturbed for 7 days, shall be stabilized with: temporary or permanent seed and mulch (properly anchored by crimping, netting, or tackifier); hydromulch; tarp; or other approved method.
- The use, storage and disposal of chemicals, oil & grease, cement and other compounds, and materials used on the construction site shall be managed during the construction period to prevent their transport by runoff into waters of the state; in the event of any spill notification shall be immediately reported to the WDNR and local authorities. All construction debris and litter shall be cleaned on a daily basis.
- If the contractor determines that dewatering will be necessary, a dewatering plan following WDNR technical standard 1061 shall be submitted by the contractor to the WDNR for approval. Notify the WDNR if dewatering is scheduled to occur in areas of soil and/or groundwater contamination, or if dewatering will affect a riparian habitat, or a wetland, or a floodplain, or a floodway, or a stream, or a lake, or a pond, or a reservoir, or a water body.
- Between September 15, October 15, and April 15, winter stabilization shall include seeding with dormant seed mix and winter wheat and the use of mulch and polymer/tackifier (as an anchoring method) or a Class 4-type B erosion mat on all bare soil areas of the site.
- Mulch shall consist of hay or straw free of diseased plant residue, noxious weeds, heavy metals, hydrocarbons, and other known environmental toxins.
- Mulch shall cover a minimum of 80% of the soil surface and shall be 3/4" to 1 1/2" inches thick.
- If the conditions are too cold to apply a polymer/tackifier, a mulch crimper or biodegradable netting shall be used as a temporary alternate anchoring method.
- If snow cover prevents the installation of these items; the condition of the site, including the amount of snow cover, will be noted on every erosion and sediment control inspection report. Once the snow is 2 inches or less on a majority of the site, the above mentioned winter stabilization methods shall be immediately employed.
- All erosion control devices shall be installed, maintained, and swales shall be planted, seeded or mulched or matted immediately after completion.
- If any item in the erosion control plan requires modification, the contractor shall submit an erosion control plan revision to the project engineer and WDNR Stormwater Specialist to receive approval before proceeding.
- All land disturbing activities shall be conducted in a logical sequence as to minimize the amount of bare soil exposed at any one time. Maintain existing vegetation as long as possible.
- Any off site sediment deposits shall be cleaned up and stored or stabilized with 24 hours, weather permitting, of any off site sediment deposition. All sediment shall be properly disposed of and stabilized in an upland location on or off site.
- Make appropriate provisions for watering, as needed, during the first 6 weeks following seeding or planting areas whenever more than 7 consecutive days of dry weather occur (no rain).

EROSION CONTROL INSTALLATION AND SEQUENCING

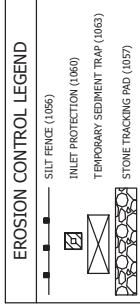
- The contractor shall provide the site engineer with a log of all incidences with some wetland areas. The project land disturbing activities will include construction of eight (8) storage and utility buildings, stormwater management, permitted wetland fill and pavement construction.
- Tracking pads, silt fences, sediment traps and inlet protection shall be installed prior to any land disturbing construction activities.
- Once the temporary erosion control devices have been installed, topsoil stripping and stockpiling then grading and utility construction can be completed.
- Flows shall be directed during construction to the sediment traps.
- Upon completion of grading any disturbed ground shall be temporarily seeded and mulch placed within 7 days.
- Permanent stabilization shall occur after final grading, of any areas that were temporarily seeded.

REMOVAL OF EROSION CONTROL MEASURES

- Inlet Protection Devices shall be removed when all land disturbing construction activities have been completed and the site has reached final stabilization.
- Final stabilization is defined as an established uniform, perennial vegetative cover with an overall site density of at least 70%.
- Silt Fence shall be removed when all land disturbing construction activities have been completed and the area has reached final stabilization. Any soil that is removed from the site shall be immediately stabilized.
- Sediment Trap shall be left in place until site is >70% stabilized.
- Tracking Pads shall be removed when all land disturbing construction activities have been completed along its associated access road. Any soil disturbance that has occurred as a result its removal shall be immediately stabilized.

EROSION CONTROL INSPECTION AND MAINTENANCE

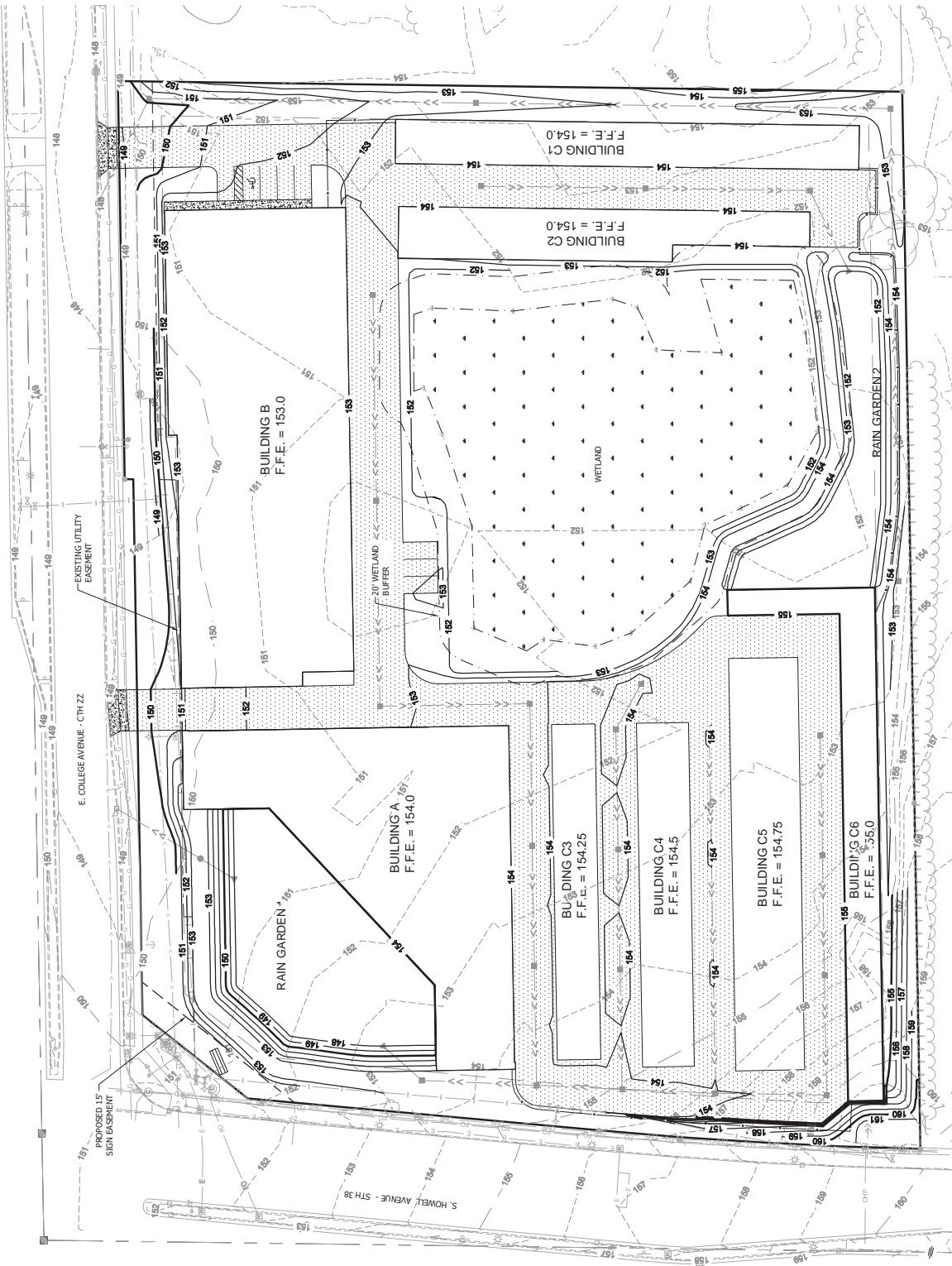
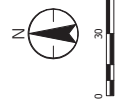
- Inspect all erosion control measures prior to commencing grading activities. Erosion control measures shall be inspected weekly and within 24 hours of every 1/2 inch or greater rain event. Maintenance shall be in accordance with the WDNR technical standards and the engineer's plans and specifications and as deemed necessary by regulatory agencies. Keep inspection reports on-site and available upon request. All maintenance and/or repairs shall be completed within 24 hours of notification by the erosion control inspector. The contractor shall maintain an erosion control log book on site noting inspection date and times, repairs necessary, and repairs made.
- Tracking Pad (1057) - Maintenance shall take place by scraping or top-dressing with additional aggregate. A minimum 50 foot long and 12 inch thick pad consisting of a minimum of 3 inch clear washed stone shall be maintained. The width of the tracking pad shall extend the full distance of the egress point.
- Silt Fence (1056) - Sediment debris/deposits shall be removed when they reach 50% of the height of the silt fence. Removed sediment shall be deposited in a suitable non-wetland or floodplain area and stabilized. Silt fence that is damaged or not performing as designed shall be repaired or replaced immediately.
- Inlet Protection (1060) - Maintenance shall be conducted to keep inlets functioning without ponding water for prolong periods. Inlet fabric shall be replaced as needed.
- Sediment Trap (1063) shall be inspected following rain events and shall be maintained and repaired as needed in accordance with the WDNR technical standard 1063.



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DESCRIPTION	DATE
DATE OF ISSUANCE	JULY 26, 2016
REVISION	
NO.	
DRAWN	####
DESIGNED	####
CHECKED	####
APPROVED	####
PROJECT NO.	1503000013

NOTE: ALL UTILITIES AND FILES ONLY AFTER WISCONSIN DNR AND ARMY CORPS OF ENGINEERS PERMIT APPROVAL. PROPOSED APPLICATION DATE AUGUST 10TH. POSSIBLE APPROVAL DATE SEPTEMBER 15TH.

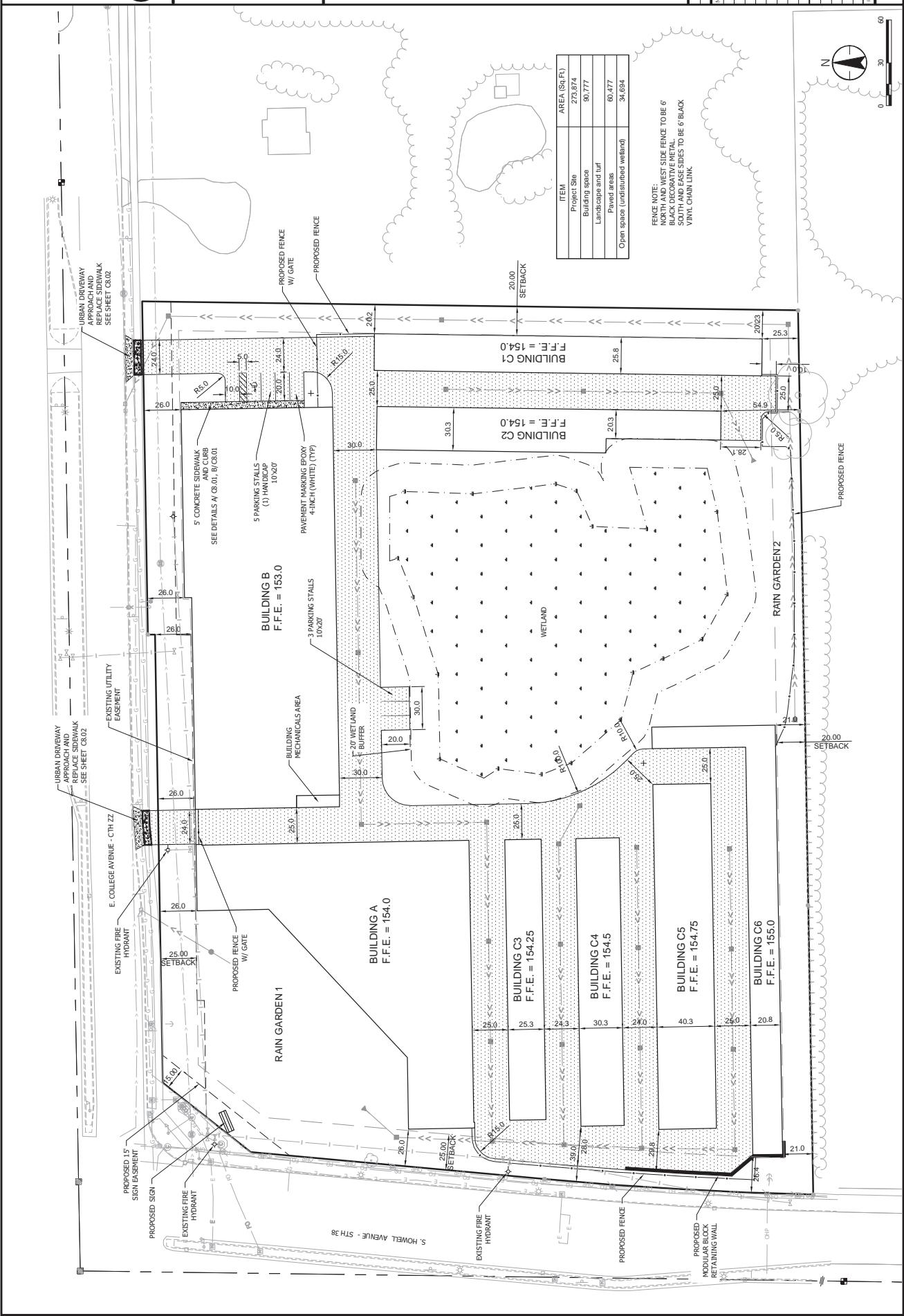
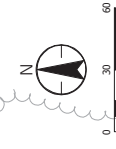


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DATE OF REVISION	DATE
JULY 26, 2016	
DESCRIPTION	DATE
REVISION	
APPROVED	
DESIGNED	
DRAWN	
CHECKED	
PROJECT NO.	108080013
SHEET NO.	2030003
C6.01	

ITEM	AREA (SQ. FT.)
Project Site	273,874
Building space	30,777
Landscape and turf	80,477
Paved areas	34,694
Open space (undisturbed wetland)	

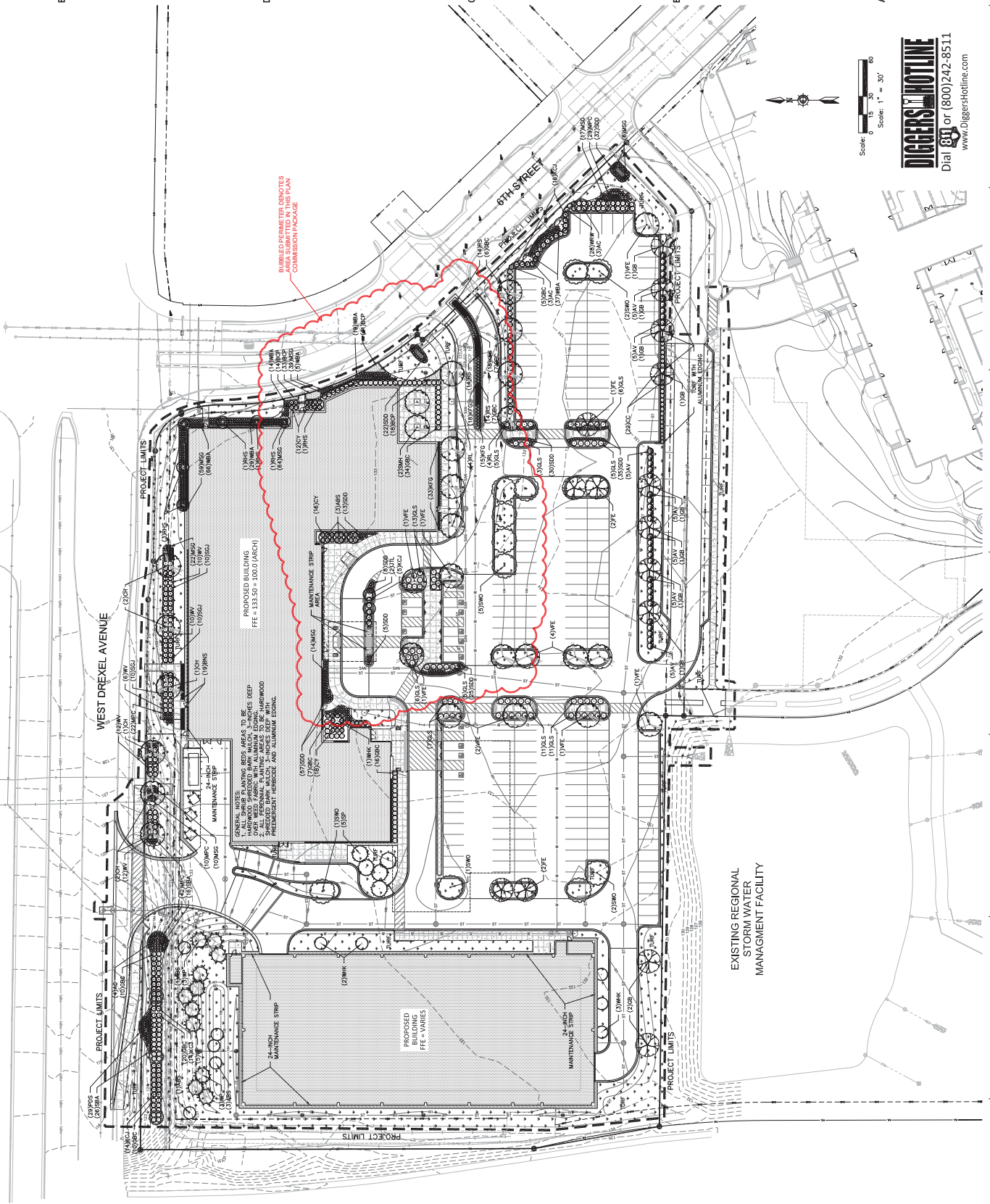
FENCE NOTE:
ALL FENCES TO BE 6' HIGH BLACK DECORATIVE METAL SOUTH AND EAST SIDES TO BE 6' BLACK VINYL CHAIN LINK.



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Scale: 0 15 30 60
Scale: 1" = 30'

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com



BUBBLED PERIMETER DENOTES
AREA SUBMITTED IN THIS PLAN
COMPARISON CHANGE

PROPOSED BUILDING
FEE = 333.50 = 100.0 ARCH

GENERAL NOTES:
1. ALL SAND BLASTING BEDS ARE TO BE
OVER RED FABRIC WITH ALUMINUM ENTRANCES. KEEP
PERMANENT WALKWAY 3-INCHES DEEP WITH TYPEDWOOD
PRELUDEMENT WALKWAY AND ALUMINUM ENTRANCE.

EXISTING REGIONAL
STORM WATER
MANAGEMENT FACILITY

Scientific Name	Common Name	Quantity	Spacing	Install Size	Size Maturity In Ft. (High/Spread)	Notes Planting Lot Screening
Deciduous Trees						
AG	Aquilegia canadensis	8	Per Plan	6" HLB BAB	20-25/15-20'	
CH	Asplenium platyneuron	10	Per Plan	1.5" caliper BAB	18/10'	
FE	Asplenium platyneuron	6	Per Plan	2.5" caliper BAB	60/60'	
FE	Asplenium platyneuron	5	Per Plan	2.5" caliper BAB	40-50/40'	
FE	Asplenium platyneuron	2	Per Plan	1.5" caliper BAB	20/20'	
FE	Asplenium platyneuron	2	Per Plan	1.5" caliper BAB	20/20'	
RL	Asplenium platyneuron	8	Per Plan	2.5" caliper BAB	40-50/30'	
SHH	Asplenium platyneuron	2	Per Plan	2.5" caliper BAB	50/35'	
SVO	Asplenium platyneuron	11	Per Plan	2.5" caliper BAB	60/60'	
WVW	Asplenium platyneuron	11	Per Plan	2.5" caliper BAB	60/60'	
RHS	Asplenium platyneuron	7	Per Plan	2.5" caliper BAB	12-20/12-20'	
WRH	Asplenium platyneuron	6	Per Plan	2.5" caliper BAB	25/20'	
Evergreen Trees						
SP	Thuja occidentalis	5	Per Plan	7" HLB BAB	30-40/20-40'	
VP	Thuja occidentalis	11	Per Plan	7" HLB BAB	50-60/20-40'	
Deciduous Shrubs						
CC	Amelanchier canadensis	38	Per Plan	40' DBL	4-5/10-14'	
CC	Amelanchier canadensis	22	Per Plan	42' cont.	2-1/8-4'	
GBC	Amelanchier canadensis var. alba	122	Per Plan	42' cont.	2-1/8-4'	20 SF
GLS	Amelanchier canadensis var. alba	72	Per Plan	42' cont.	2-1/8-4'	20SF
WVW	Amelanchier canadensis	28	Per Plan	42' cont.	4-5/10-14'	20SF
WVW	Amelanchier canadensis	30	Per Plan	42' cont.	2-1/8-4'	
Evergreen Shrubs						
CV	Thuja occidentalis	46	Per Plan	42' cont.	4-5/10-14'	38 SF
CV	Thuja occidentalis	11	Per Plan	42' cont.	4-5/10-14'	
CV	Thuja occidentalis	39	Per Plan	42' cont.	4-5/10-14'	
Perennials						
BGP	Asplenium platyneuron	98	18" o.c.	4.5" pot		
BGP	Asplenium platyneuron	84	Per Plan	4.5" pot		
MFC	Asplenium platyneuron	103	Per Plan	4.5" pot		6 SF
MFC	Asplenium platyneuron	231	Per Plan	4.5" pot		
MFC	Asplenium platyneuron	42	Per Plan	4.5" pot		
MFC	Asplenium platyneuron	42	Per Plan	4.5" pot		
SDA	Asplenium platyneuron	42	Per Plan	4.5" pot		
SDA	Asplenium platyneuron	227	Per Plan	4.5" pot		
WVA	Asplenium platyneuron	170	Per Plan	4.5" pot		6 SF

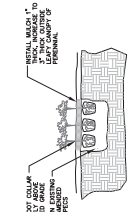
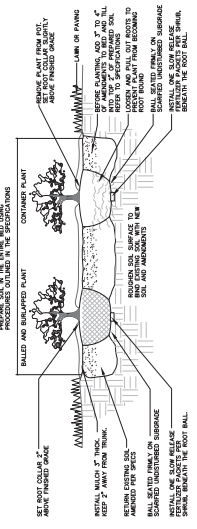
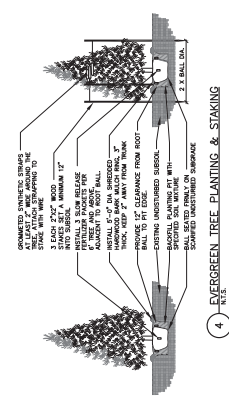
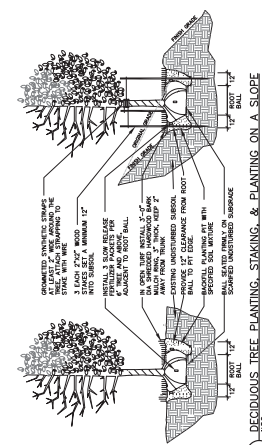
NOTE: Installation contractor is responsible for verifying plant count from plan. Plant quantities take precedence over list. Contact Landscape Architect if conflicts arise.

WARNING: ALL PLANTS MUST BE INSTALLED WITHIN THE SPECIFIED TOLERANCE RANGE. PLANTS INSTALLED OUTSIDE OF THIS RANGE WILL BE REMOVED AT THE CONTRACTOR'S EXPENSE. PLANTS INSTALLED WITHIN THE SPECIFIED TOLERANCE RANGE WILL BE ACCEPTED AS SHOWN.

1 LANDSCAPE SCHEDULE
 REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN THE U.S. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE CURRENT LISTING OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND CONTRACTOR SHALL BE RESPONSIBLE FOR THE CURRENT LISTING OF "SUSTAINABLE PLANT" MATERIALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE CURRENT LISTING OF "SUSTAINABLE PLANT" MATERIALS.
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2 LANDSCAPE NOTES
 REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

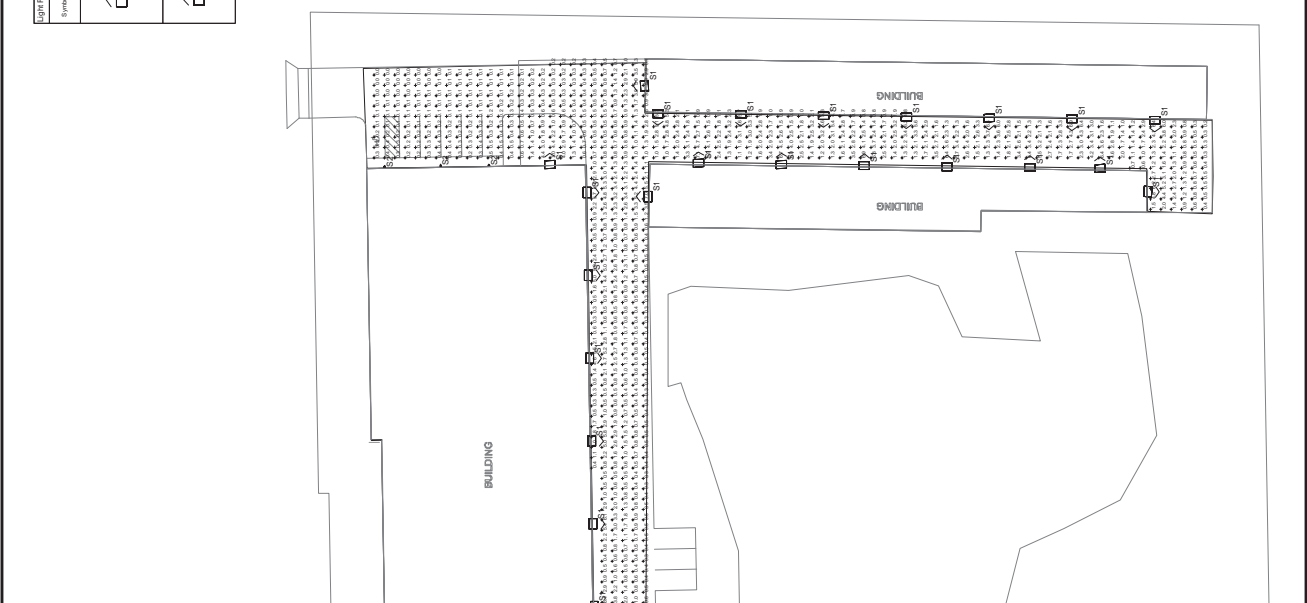


6 PERENNIAL PLANTING
 REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

SYMBOL	LEADER	QUANTITY	MANUFACTURE	MODEL NUMBER	DESCRIPTION	LAMP	LUMENS PER LAMP	LUMENS PER FOOT	AVG. FOOT CANDLE	MAX. FOOT CANDLE	MIN. FOOT CANDLE
	S1	83	HERNIMET CO. PAF1006	WITH WALL MOUNTED INTERIOR AND EXTERIOR C-CLAMP MOUNTING BRACKET	LED	3211	0.9	35			
	S2	3	ALPHABET	OLDER B	OUTDOOR	488-8471	0.9	8.33			

Statistics

Description	Symbol	Avg	Max	Min
Calc.S1	+	1.1	7.5	0.0
Calc.S2	+	1.6	7.1	0.0



LIGHT FIXTURE SCHEDULE
 SYMBOL LEADER QUANTITY MANUFACTURE MODEL NUMBER DESCRIPTION LAMP LUMENS PER LAMP LUMENS PER FOOT AVG. FOOT CANDLE MAX. FOOT CANDLE MIN. FOOT CANDLE

STATTEC
 1207 N. COPPERDALE PARKWAY, SUITE 200
 MILWAUKEE, WI 53227
 WWW.STATTEC.COM

PLAN COMMISSION REVIEW SET

SITE PHOTOMETRIC CALCULATION PLAN
 HOWELL/COLLEGE AVENUE PROJECT
 GREENBAR CONSTRUCTION - GALLAGHER DEVELOPMENT
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

DATE OF ISSUANCE: JULY 26, 2016
 DESCRIPTION: DATE:

E1.01

OLCS Outdoor LED Cast Source

PHOTOMETRIC DIAGRAMS
Note: All photometric diagrams are contained in the project's photometric data file.

LED lighting facts

Light Output (Lumens)	5112
Beam Angle (Degrees)	5.8
Beam Diameter (mm)	100
Color Accuracy	95
Color Rendering Index (CRI)	95
Beam Spread (ft)	100
Beam Spread (m)	30.5
Beam Spread (ft)	100
Beam Spread (m)	30.5

LED lighting facts

Light Output (Lumens)	5112
Beam Angle (Degrees)	5.8
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LITHONIA LIGHTING
RESIDENTIAL, COMMERCIAL, INDUSTRIAL, OFFICE, HEALTH CARE, EDUCATION, RETAIL, FOOD SERVICE, TRANSPORTATION, OUTDOOR, SPECIALTY LIGHTING

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

OUTDOOR LED CAST SOURCE

OLCS

Outdoor General Purpose

LED lighting facts

Light Output (Lumens)	5112
Beam Angle (Degrees)	5.8
Beam Diameter (mm)	100
Color Accuracy	95
Color Rendering Index (CRI)	95
Beam Spread (ft)	100
Beam Spread (m)	30.5
Beam Spread (ft)	100
Beam Spread (m)	30.5

Example OLCS 100W

Light Output (Lumens)	Beam Angle (Degrees)	Beam Diameter (mm)	Beam Spread (ft)	Beam Spread (m)
5112	5.8	100	100	30.5

Notes:
1. Actual performance may vary due to environmental conditions and application.

LED Low-Profile Wall Pack Flood Lights - 24 & 48 Watts

WWW.LEDTRONICS.COM

LED lighting facts

Light Output (Lumens)	1000
Beam Angle (Degrees)	12
Beam Diameter (mm)	100
Color Accuracy	95
Color Rendering Index (CRI)	95
Beam Spread (ft)	100
Beam Spread (m)	30.5
Beam Spread (ft)	100
Beam Spread (m)	30.5

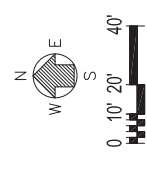
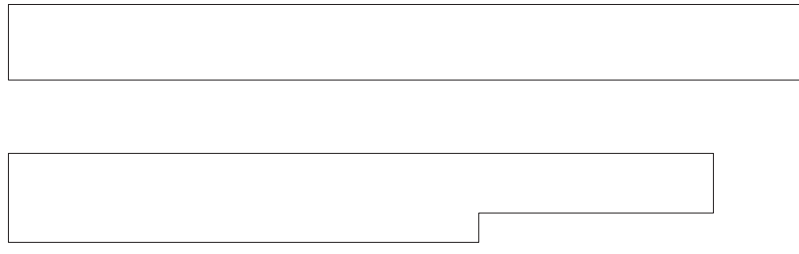
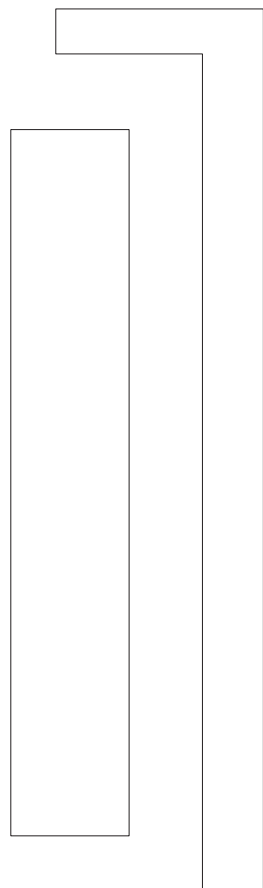
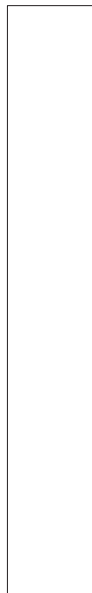
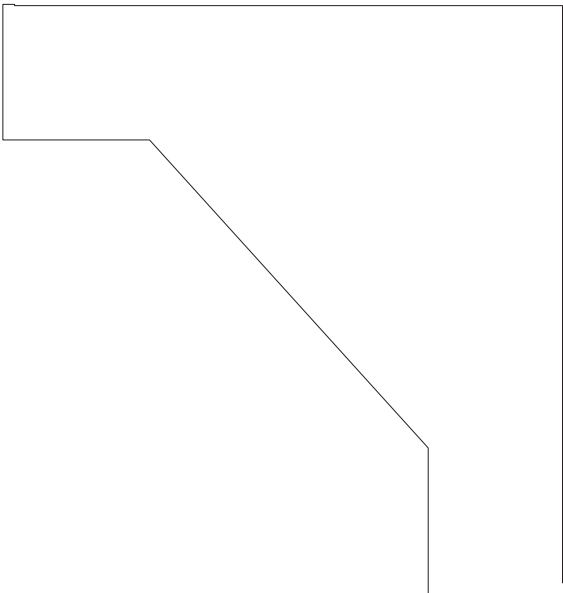
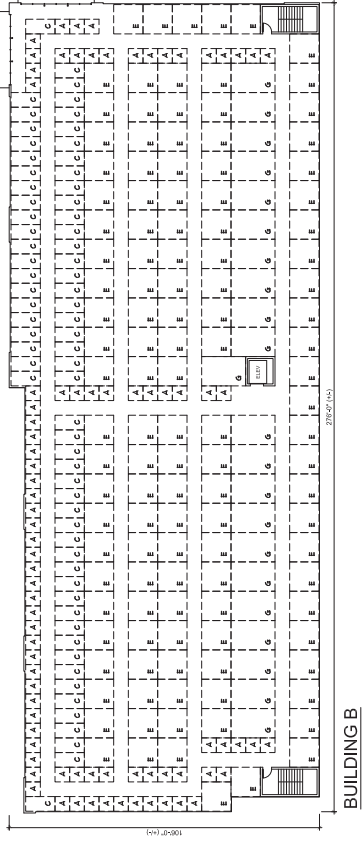
Applications:
Outdoor lighting, parking lots, walkways, etc.

LUMINOUS INTENSITY DISTRIBUTION

LEDTRONICS
Creating the Future of LED Light Since 1987

PRELIMINARY SECOND FLOOR PLAN

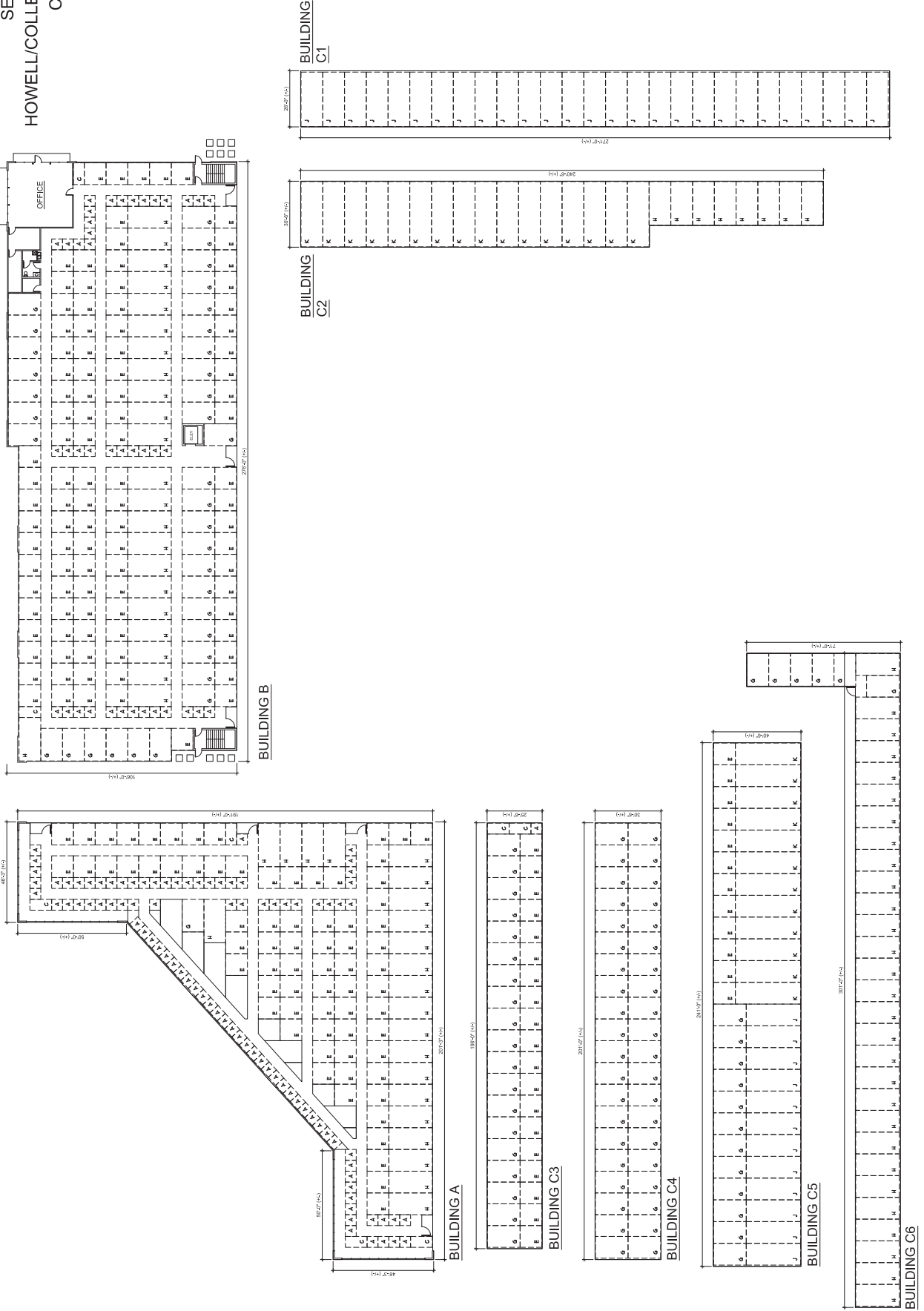
SELF STORAGE FACILITY
HOWELL/COLLEGE AVENUE PROJECT
CITY OF OAK CREEK, WI
JULY 26, 2016

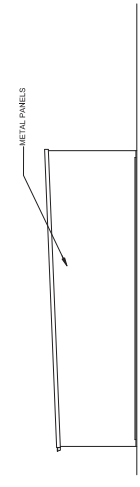
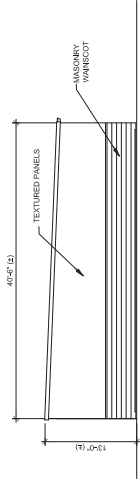


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PRELIMINARY FIRST FLOOR PLAN

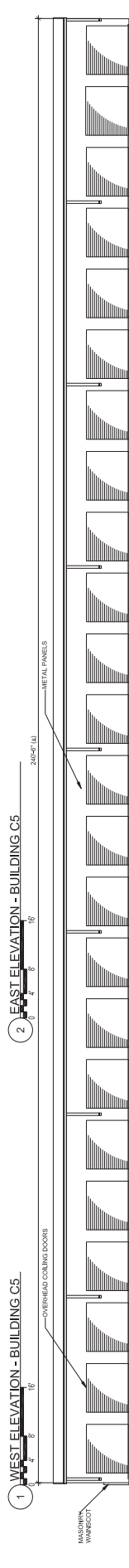
SELF STORAGE FACILITY
 HOWELL/COLLEGE AVENUE PROJECT
 CITY OF OAK CREEK, WI
 JULY 26, 2016





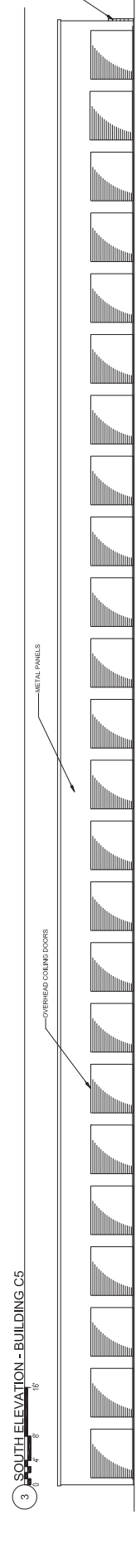
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2 EAST ELEVATION - BUILDING C5



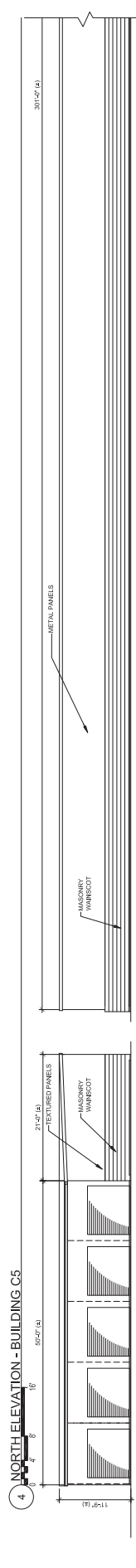
3 SOUTH ELEVATION - BUILDING C5

4 NORTH ELEVATION - BUILDING C5



5 WEST ELEVATION - BUILDING C6

6 PARTIAL SOUTH ELEVATION - BUILDING C6 (WEST END)



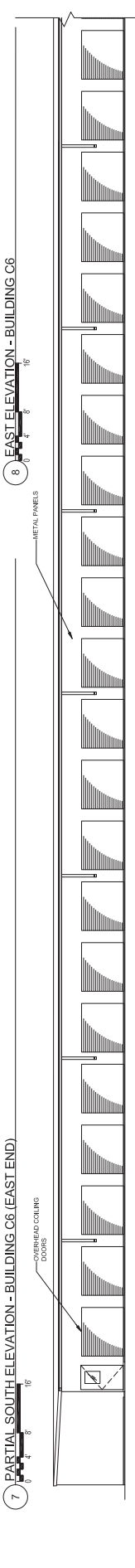
7 PARTIAL SOUTH ELEVATION - BUILDING C6 (EAST END)

8 EAST ELEVATION - BUILDING C6



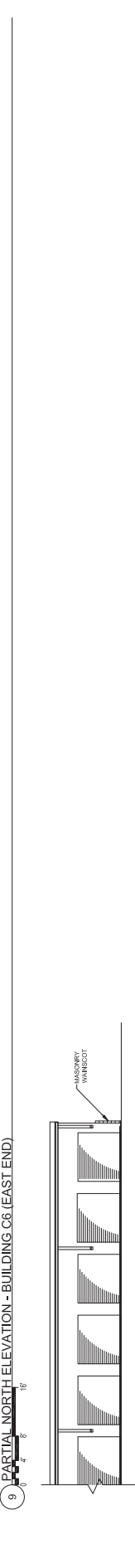
9 PARTIAL NORTH ELEVATION - BUILDING C6 (EAST END)

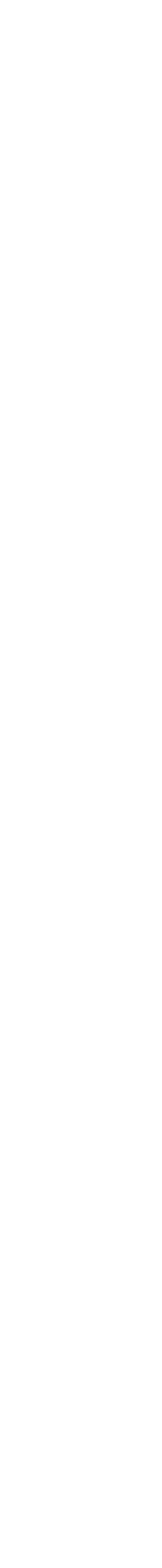
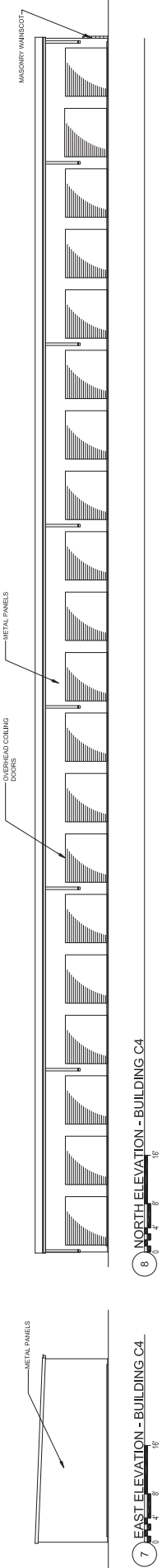
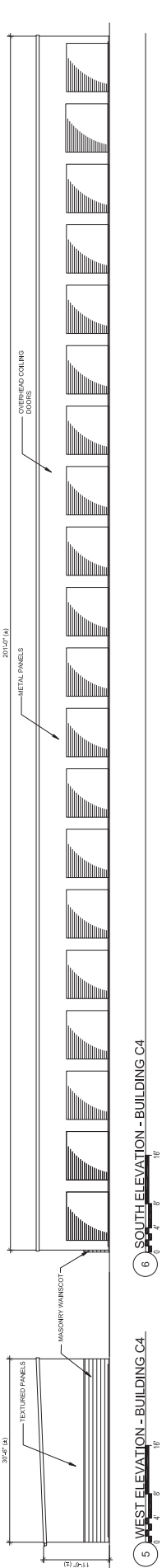
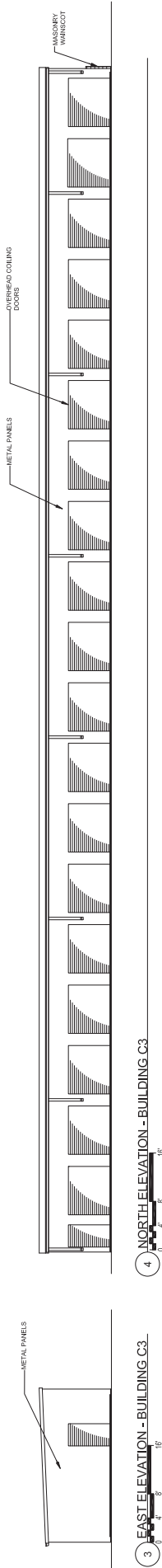
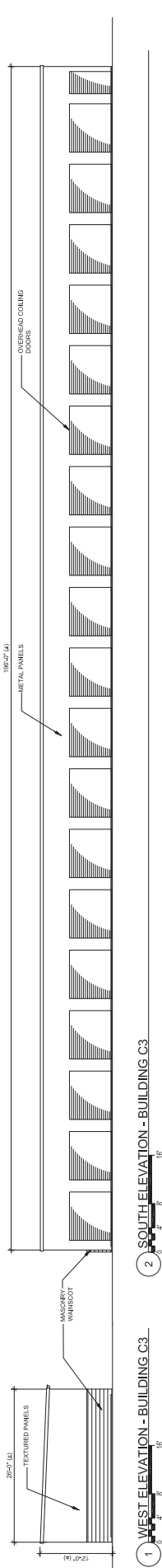
10 PARTIAL NORTH ELEVATION - BUILDING C6 (WEST END)

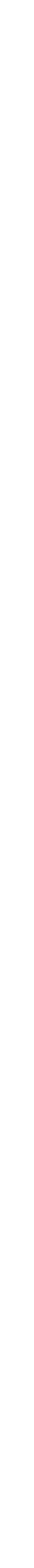
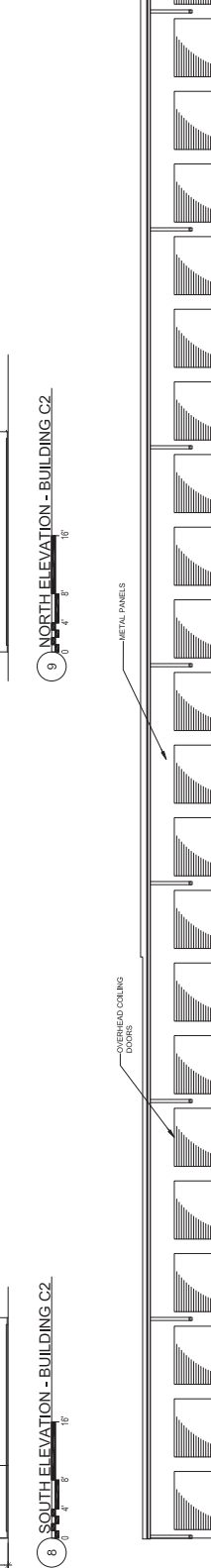
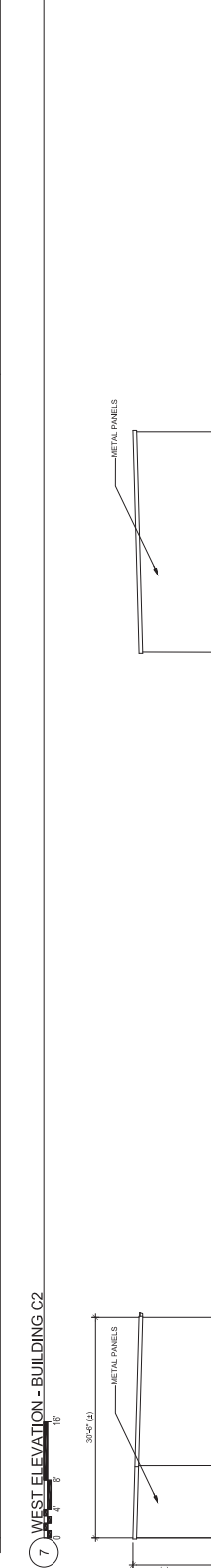
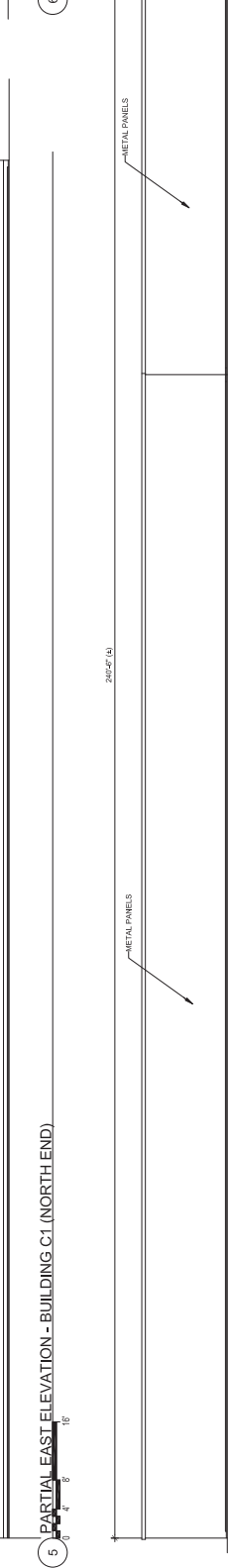
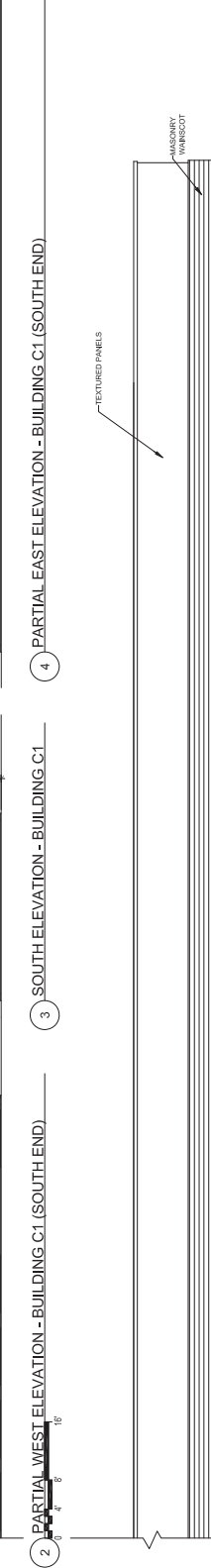
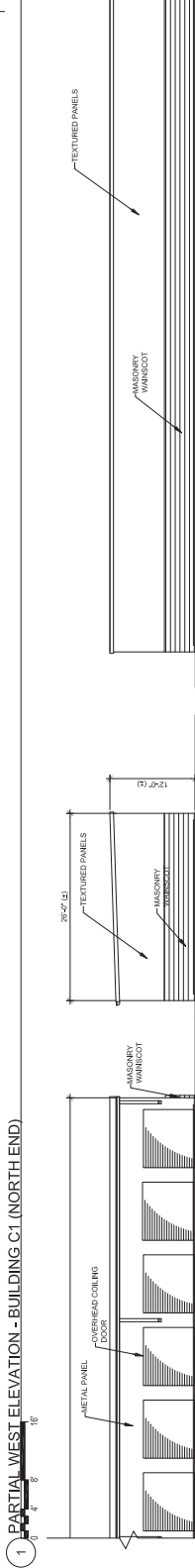
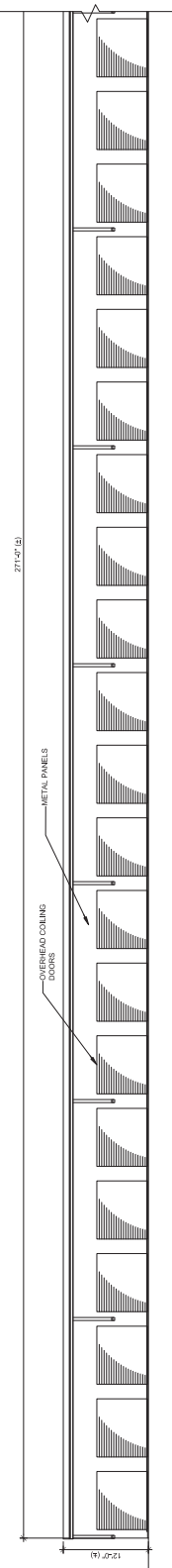


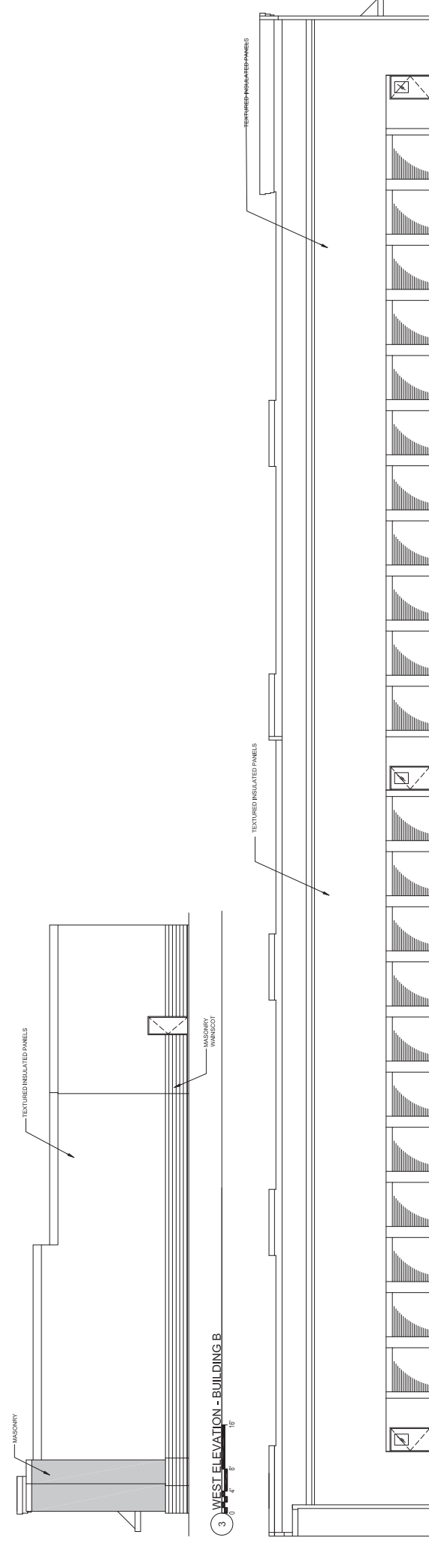
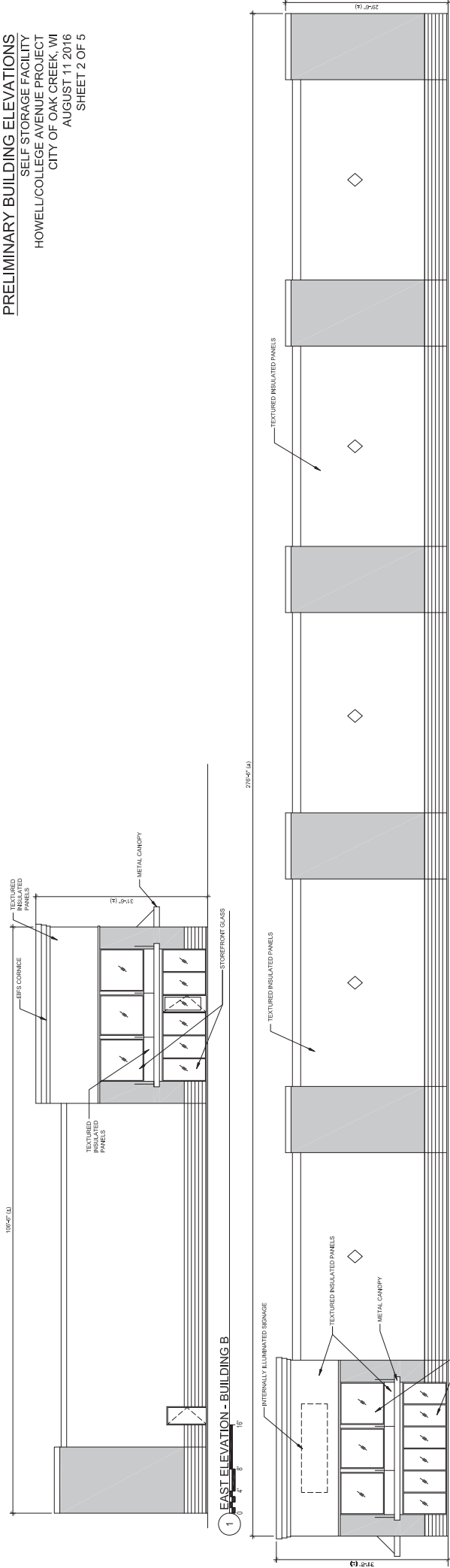
11 PARTIAL NORTH ELEVATION - BUILDING C6 (WEST END)

12 PARTIAL NORTH ELEVATION - BUILDING C6 (EAST END)





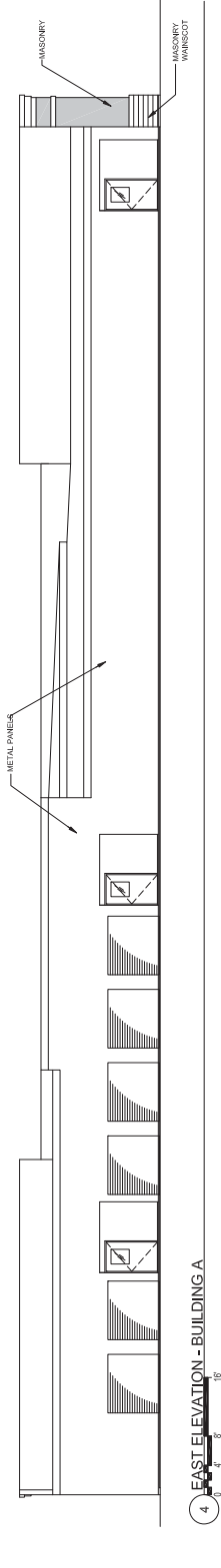
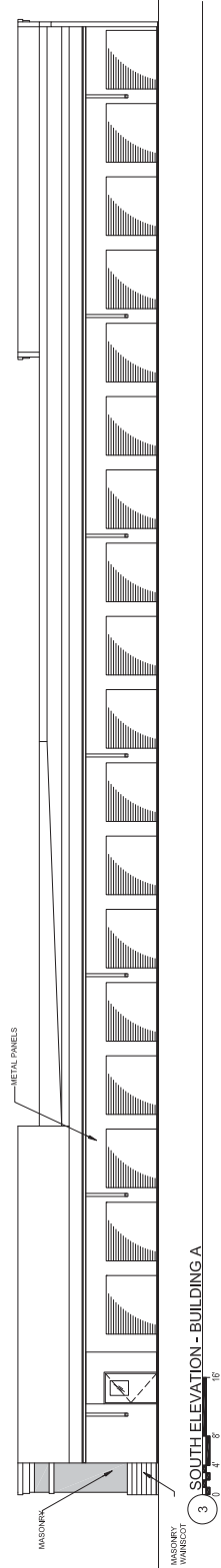
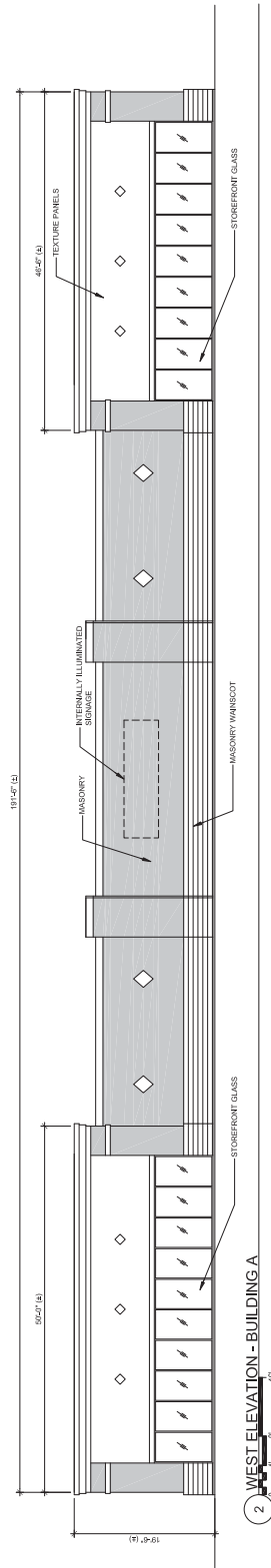
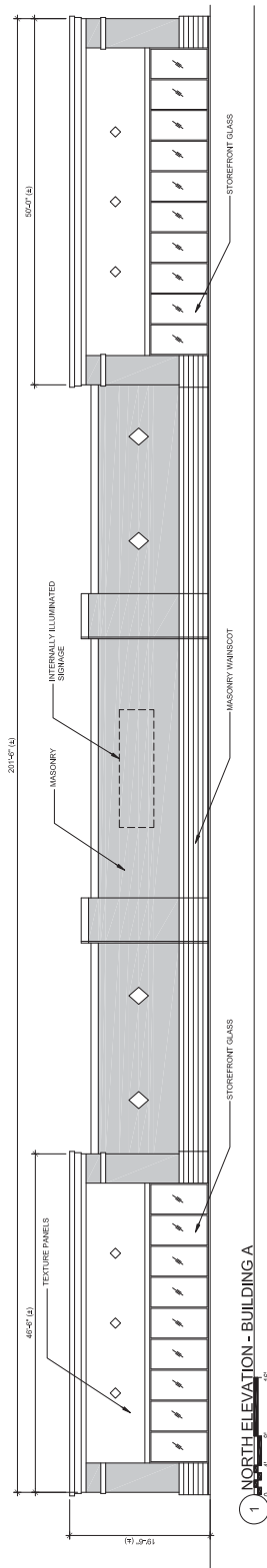




PRELIMINARY BUILDING ELEVATIONS
 SELF STORAGE FACILITY
 CITY OF OAK CREEK, WI
 AUGUST 11, 2016
 SHEET 1 OF 5

PRELIMINARY MATERIALS SELECTIONS

- Masonry**
 Material: Brick
 Manufacturer: Brampton Brick
 Color: Benton Premier Plus Size
- Masonry Wainscot**
 Material: Split Faced Block
 Manufacturer: Northfield Block
 Color: Natural of Standard Gray
- Textured Insulated Panels**
 Material: Insulated Panels
 Manufacturer: MBCI
 Color: Light Stone
- Metal Panels**
 Material: Metal Panels
 Manufacturer: MBCI
 Color: Light Stone
- Metal Canopy**
 Material: Metal
 Manufacturer: Tiger Drilac Powder Coatings
 Color: RAL 7022/049/72850



Superior Product Design for Ultra-Strength



High-strength Ultram™ Alloy.

Made in the USA
It's as strong as steel, but will never rust. Meets or exceeds all industry standards with a minimum ultimate strength of 35,000 psi.



Ultra™ is ~20% more aluminum in all our rails, with a full 8 lbs inside each rail. This strength even when punched for pickets.



Our pickled steel top shows more detail than most competitors. We put more dimension into our version; the more pronounced ribs add structural integrity as well as architectural appeal.



Factory assembled, with stainless-steel fasteners. For structural integrity and strength you can count on.



All gates are fastened and 100% welded at all connections and joints designed to stand up to the rigors of every year's use.



Powercoat™ Finish—panels, gates, posts and designer accessories are hand finished with a typical baked enamel finish. Meets AAMA 2604-6 standards for the ultimate in durability and UV protection.

Even the way we pack and ship your fencing is more than anyone expects, or any competitor will attempt. Fencing sections are factory assembled and placed in a corrugated shipping box, then sealed with foam padding. Each section is wrapped in a heavy-duty plastic that keeps it from shifting and no rubbing. Your fence arrives fully assembled and ready to be professionally installed.



Over-the-top architectural details can really make a difference

Multiple grades of pickets and posts for every performance level.

• 2" Square Pickets, 3" Square Pickets, and exclusive Ultra Picket™ 4" x 1" Pickets
• Finials, butterflys, scrolls and circles
• Take your fencing to a new level with designer accessories for truly distinct designs.
• Nine colors are standard at Ultra. Custom colors are even available with a modest up-charge.



Designer Accessories

Ultra is cost aluminum designer accessories, finials, scrolls and two styles of finials, all available in the same Powercoat™ finish for a perfect accent.



From Left to Right: Decorative Circle, Butterfly Scroll, Large Scroll, Quad Finial, Finial Ball Cap

Design Options

Ultra is available in a wide selection of design configurations. Residential available in 3'-13'10" or 1'-8'9" spacing. Commercial available in 3'-5'0" or 1'-12" spacing.



Colors

Ultra Fencing, Railing, Gates and Designer Accessories are available in nine classic colors and custom specified hues. All colors are applied with a special Powercoat™ finish to ensure long-lasting color and finish.



Made in the USA

Ultra is proud to only use American-made components in all its products. From the steel to the aluminum, all components are sourced and manufactured in the USA. Always look for the "Made in the USA" label when deciding which fence products to use.



Ultra Aluminum Lifetime Warranty

Ultra Aluminum Lifetime Warranty is provided for life against defects in workmanship and/or materials. The Powercoat™ finish on all railing and gates by Ultra Aluminum is guaranteed for life against cracking, peeling or chipping. Visit our website for more information and a copy of the warranty.

Environmentally Responsible

Ultra is proud to use recycled aluminum in our products. Aluminum is the most commonly recycled metal in the world. Our Powercoat™ coating process is environmentally friendly and highly pollution free.



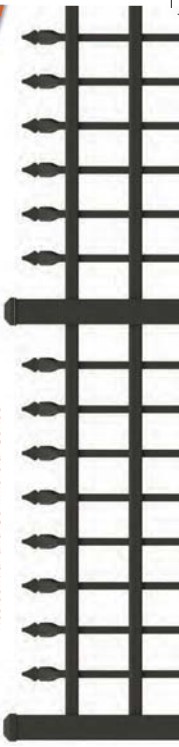
Fencing / Gates



Take it to the limit.

We push everything to the edge.

Residential and Commercial Series



Ultra Aluminum™ Design & Manufacturing Division

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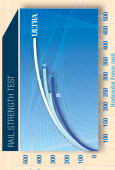
www.ultrafencing.com

How to tell you're getting genuine Ultra Fence™ or Rail.

It's in the details. The inner strength of the aluminum alloys we use. The quiet strength of the extra ribs inside Ultrarails™. The depth and dependability of our Powdercoat™ finish. We push everything to the edge.

Residential and Commercial Fencing

Discover that all brands of ornamental fencing are not the same. Let's explore some architectural options for Ultra Residential and Commercial Fencing. Ultra makes a scale of fencing for every neighborhood and home style. All fencing is made from the same high quality aluminum. Custom lengths and heights are available by special order. Each section easily follows modest changes in grade along your property lines, or can be factory designed to conform to more prominent hills and valleys.



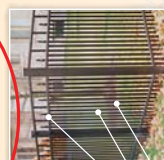
An independent test lab ranked our fencing and our competitor's to their limit. The Rail Strength Test revealed the overall pressure that Ultra™ can withstand in a daily basis, surpassing one competitor's product by nearly 100%.

An independent lab's accelerated weathering test shows that Ultra's Powdercoat™ finish maintains higher than other leading manufacturers' finishes.



UAS-101 Spear-top

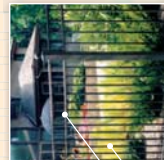
COMMERCIAL SERIES
Not large-scale residential, but heavy-duty performance.



ECLIPSE PRIVACY
The ultimate in low-maintenance privacy and security.



RESIDENTIAL SERIES
Sets the standard for perimeter and pool fencing.



LIGHT COMMERCIAL
Provides strength and style in bold pocket design.



Residential and Commercial Series also available in Premium grade, featuring 1/2" extra thickness and more features.



Pool Fencing
Ultra designs fencing to meet all the stringent BOCA pool codes, so you can relax with peace of mind at all times. Most notably, the bottom rail can be flush with the bottom of the fence, so no pockets are exposed.

All pool fence sections come factory pre-assembled in 6' lengths with a broad offering of heights—4', 4-1/2', 5', and 6'. Custom lengths and heights available.

Walk and Drive Gates

Matching Walk and Drive Gates can typically be manufactured in widths ranging from 3' - 28' and in heights from 3' - 8'. Please consult your sales representative for variations.

Larger drive gates and estate gates are also available by custom order.

Each pool gate is available with self-closing hardware and specially designed keyed entry.

The Ultra Revolution™ automatic gate opening systems concealed behind a rotating operator for the gate. The post then attaches to a fence, pillar, column or wall using a unique Ultra™ one-piece extrusion and hinges. Available by custom order.





PRELIMINARY EXTERIOR RENDERING
SELF STORAGE FACILITY
HOWELL / COLLEGE AVENUE PROJECT
CITY OF OAK CREEK, WI
JULY 26, 2016