



PLAN COMMISSION MEETING AGENDA

**TUESDAY, June 28, 2016
AT 6:00 PM**

- 1) ROLL CALL
- 2) Minutes of the May 24, 2016 meeting (Held from previous meeting)
- 3) Minutes of the June 14, 2016 meeting
- 4) Significant Common Council Actions
- 5) NEW BUSINESS
 - a) CONDITIONS AND RESTRICTIONS – Review Conditions and Restrictions for a Conditional Use Permit request for automobile sales and service and a car wash submitted by Brent Wampler, Custom Facilities, on the properties at 7008 & 7018 S. 27th St., and 2500 W. Rawson Ave. (Tax Key Nos. 737-9989-001, 737-9988-001, 737-9037-001). Follow this item on Twitter **@OakCreekPC#OCPCAllStarGMC**.
 - b) CONDITIONS AND RESTRICTIONS – Review Conditions and Restrictions for a Conditional Use Permit request for a self-storage facility submitted by Kelly Gallacher, Self Storage Ventures, LLC, on the properties located at 6304 & 6340 S. Howell Ave. and 137, 147, & 209 E. College Ave. (Tax Key Nos. 719-9991-001, 719-9990, 719-9992, 719-9993, 719-9994). Follow this item on Twitter **@OakCreekPC#OCPCSelfStorage**.
 - c) PLAN REVIEW - Review site, building, landscaping, lighting, and sign plans submitted by Pamela Mehta for Phase II of the planned multitenant building development on the property at 7001 S. Howell Ave. (Tax Key No. 734-9028-000). Follow this item on Twitter **@OakCreekPC#OCPCMehtha**.
 - d) PLAN REVIEW - Review site, building, and landscaping plans submitted by Tom Howald, Aldi, Inc., for an addition to the existing building at 6810 S. 27th St. (Tax Key No. 737-9031-001). Follow this item on Twitter **@OakCreekPC#OCPCAlDi**.
- 6) ADJOURN

PLEASE NOTE

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, or in writing to the ADA Coordinator at the Health Department, City Hall, 8040 South 6th Street, Oak Creek, Wisconsin 53154. There is the potential that a quorum of the Committee of the Whole will be present at this meeting. Copies of staff reports and other supporting documentation are available for review at Oak Creek City Hall, 8040 South 6th Street, during operating hours (7:30 am-4 pm weekdays).



Plan Commission Report

ITEM: 5a

DATE: June 28, 2016

PROJECT: Conditions & Restrictions – Brent Wampler, Custom Facilities

ADDRESS: 7008 & 7018 S. 27th St., and 2500 W. Rawson Ave.

TAX KEY NO: 737-9989-001, 737-9988-001, 737-9037-001

STAFF RECOMMENDATION: That the Plan Commission recommends that the Common Council adopts the Conditions and Restrictions as part of the Conditional Use Permit allowing automobile sales and service and a car wash on the properties at 7008 & 7018 S. 27th St., and 2500 W. Rawson Ave. after a public hearing and subject to conditions and restrictions.

Ownership: Boyland Properties Oak Creek, LLC, 606 SE 117TH Ave., Ste. 100, Vancouver, WA 78683

Size: 7008 S. 27th St. = 1.268 acres; 7018 S. 27th St. = 0.849 acres; 2500 W. Rawson Ave. = 10.315 acres

Existing Zoning: B-2, Community Business; B-3, Office and Professional Business; B-4, Highway Business; Rs-4, Single Family Residential; Rd-1, Two-Family Residential; RR, Regional Retail Overlay District

Adjacent Zoning: North – B-2, Community Business; B-3, Office and Professional Business; Rs-4, Single Family Residential; Rd-1, Two-Family Residential; RR, Regional Retail Overlay District
East – City of Franklin
South – RR, Regional Retail Overlay District; B-4, Highway Business; Rs-4, Single Family Residential; Rs-3, Single Family Residential
West – B-3, Office and Professional Business; Rs-4, Single Family Residential; Rd-1, Two-Family Residential; RR, Regional Retail Overlay District.

Comprehensive Plan: Planned Business, Two Family / Townhouse Residential.

Wetlands: See attached County Map.

Floodplain: N/A.

Official Map: Yes, see attached map.

Commentary: At the June 14, 2016 meeting, the Plan Commission recommended Common Council approval of the proposed rezone of the properties at 7008 & 7018 S. 27th St., and 2500 W. Rawson Ave. to B-4, Highway Business (no change to RR, Regional Retail Overlay District), with a conditional use for automobile sales and service and a car wash. Staff has prepared conditions and restrictions for the Plan Commission’s consideration. Site, building, landscaping, and related reviews will occur at a later date. If the Plan Commission is comfortable with the conditions and restrictions, the appropriate action would be to recommend that the Common Council approve them as part of the Conditional Use Permit.

As part of the Commission’s prior discussion of this item there was some concern expressed about the need to dedicate and improve the proposed Riverwood Boulevard extension through this property to 27th Street. As illustrated in the attached Exhibit, the proposed extension does not align with the current official map. Should the Commission, and ultimately the Council, desire to see this extension dedicated and improved as proposed by the Wisconsin Department of Transportation, the City would first need to amend the official map for this neighborhood.

Additionally, the applicant's have expressed concern regarding the requirement to dedicate and improve this future roadway through their property, noting that the roadway serves a collector street for the neighborhood, diverting traffic from the intersection of 27th Street and Rawson Avenue. They have also asserted that the portion of their property that might be served by this roadway is heavily impacted by wetlands and that the cost for this collector roadway should not be their sole responsibility.

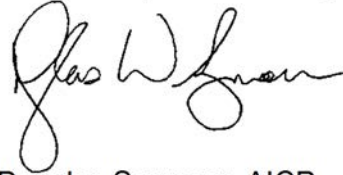
Section 14.180 of the Municipal Code does allow for the Council, upon recommendation of the Plan Commission to grant variations and exceptions to this dedication requirement as part of the subdivision (CSM) process.

Prepared by:

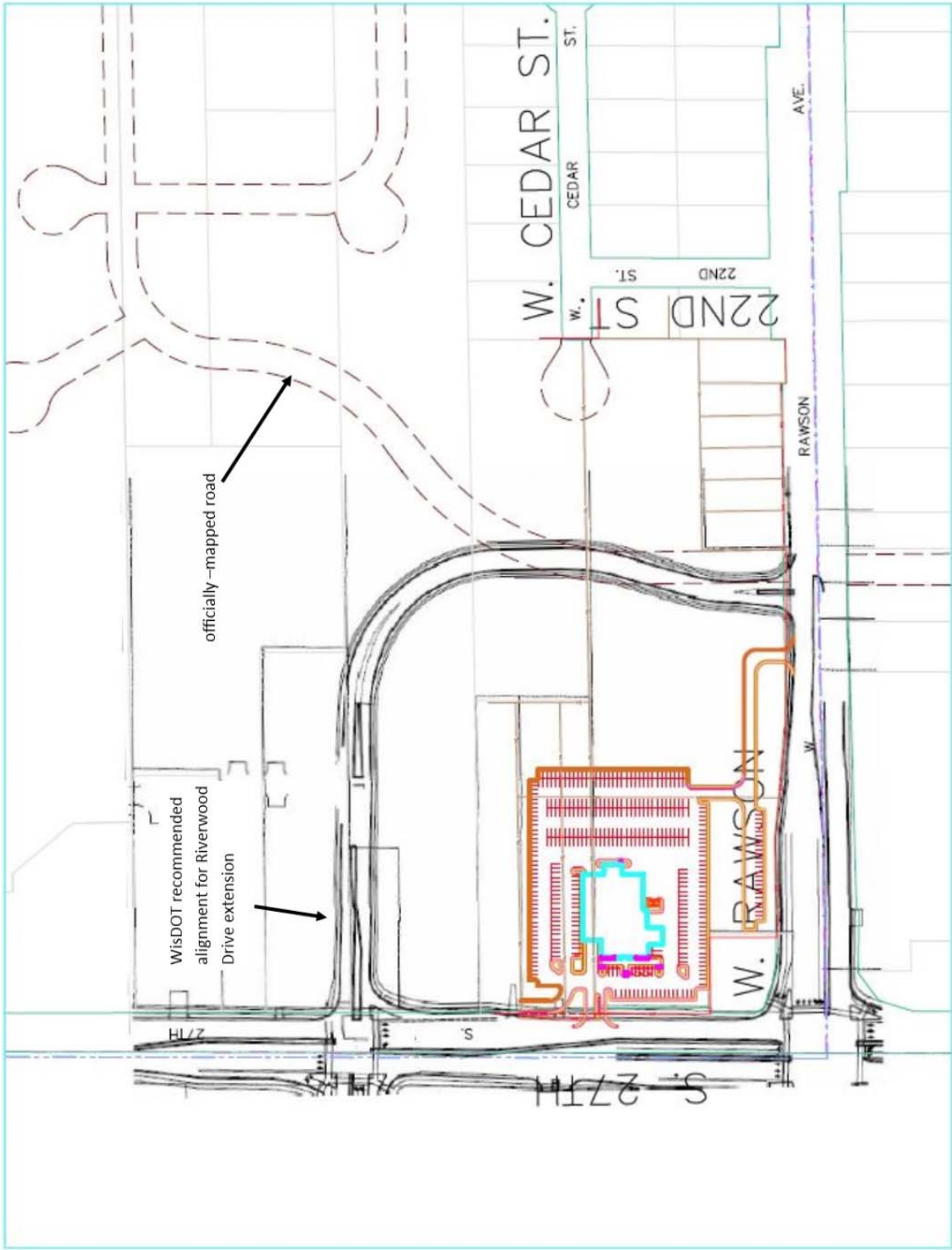


Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

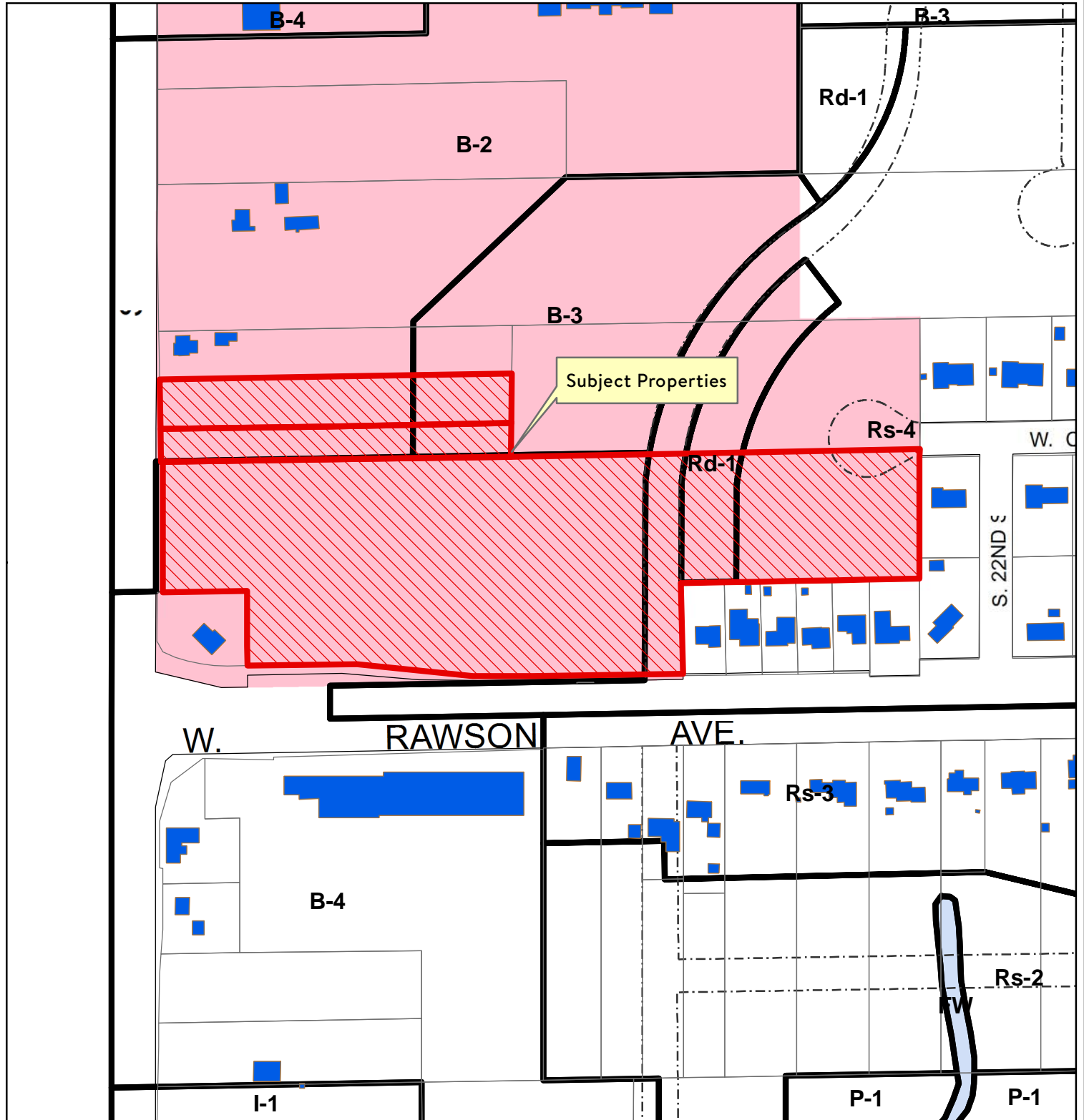


Douglas Seymour, AICP
Director of Community Development

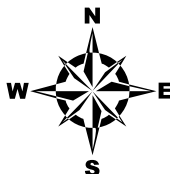


Location Map

7008 & 7018 S. 27th St. and 2500 W. Rawson Ave.



This map is not a survey of the actual boundary of any property this map depicts.



Legend			
	Subject Properties		Flood Fringe (FF)
	Floodway		Shoreland Wetland Conservancy (C-1)
	Existing Street Pattern		Lakefront Overlay District (LOD)
			Mixed Use Neighborhood Overlay (NO)
			Mixed Use Office Overlay (OO)
			Regional Retail Overlay District (RR)

**City of Oak Creek – Conditional Use Permit (CUP)
Conditions and Restrictions**

Applicant: Brent Wampler, Custom Facilities
Property Addresses: 7008 & 7018 S. 27th St., and
2500 W. Rawson Ave.
Tax Key Number(s): 737-9989-001, 737-9988-001,
737-9037-001

Approved by Plan Commission: TBD
Approved by Common Council: TBD
(Ord. #TBD)

Conditional Use: Automobile Sales & Service and Private Car Wash Facility

1. LEGAL DESCRIPTION

Parcel 1, 7008 S. 27th St.:

Part of the Southwest 1/4 of Section 6, Township 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin, bounded and described as follows:

Commencing at a point in the West line of said Southwest 1/4 of Section 6, said point being 534.34 feet North of the Southwest corner of said Southwest 1/4 of Section 6; thence East and parallel to the South line of said 1/4 Section 726 feet to a point; thence North and parallel to the West line of said 1/4 Section 90 feet to a point; thence West and parallel to said South line 726 feet to a point in the said West line; thence South along said West line 90 feet to the place of beginning, except that part thereof conveyed to Milwaukee County by deed recorded in Volume 1308 of Deeds, Page 23, Document No. 1753937.

Except those land conveyed to the State of Wisconsin, Department of Transportation in Warranty Deed recorded as Document No. 10387599.

Parcel 2, 7018 S. 27th St:

Part of the Southwest 1/4 of Section 6, in Township 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin, bounded and described as follows:

Commencing at a point in the West line of said Southwest 1/4 of Section 6, said point being 474.34 feet North of the Southwest corner of said Southwest 1/4 of Section 6; thence East and parallel to the South line of said 1/4 Section, 726 feet to a point; thence North and parallel to the West line of said 1/4 Section 60 feet to a point; thence West and parallel to said South line, 726 feet to a point in the said West line; thence South along said West line, 60 feet to the place of beginning, excepting therefrom the West 80 feet.

Except those land conveyed to the State of Wisconsin, Department of Transportation in Warranty Deed recorded as Document No. 10387599.

Parcel 3, 2500 W. Rawson Ave.:

Lot 1 of Certified Survey Map No. 7626, recorded on July 1, 2005, Reel 6126, as Document No. 9041308, being a consolidation of Parcels 1 and 2 of Certified Survey Map No. 3052, Parcel 1 of Certified Survey Map No. 2828, and unplatted lands, located in a part of the Southwest 1/4 and Southeast 1/4 of the Southwest 1/4 of Section 6, Town 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin.

Except those land conveyed to the State of Wisconsin, Department of Transportation in Warranty Deed recorded as Document No. 10387599.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. A precise detailed site plan for the area affected by the Conditional Use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) **General Development Plan**

- a) Detailed building location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
 - i) Location(s)
 - ii) Number of employees
 - iii) Number of parking spaces for all uses/users
 - iv) Dimensions
 - v) Setbacks
- h) Location(s) of loading berth(s)
- i) Location of sanitary sewer (existing & proposed)
- j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- l) Location(s) of wetlands & floodplains (field verified)
- m) Location(s), square footage and height of sign(s)

2) **Landscape Plan**

- a) Screening plan
- b) Number, initial size and type of plantings
- c) Parking lot screening/berming

3) **Building Plan**

- a) Architectural elevations (w/dimensions)
- b) Building floor plans
- c) Materials of construction (including colors, details)

4) **Lighting Plan**

- a) Type(s) & color(s) of fixtures
- b) Mounting heights
- c) Type(s) & color of poles
- d) Photometrics of proposed fixtures

5) **Grading, Drainage and Stormwater Management Plan**

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) **Fire Protection**

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction

- B. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.
- C. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.
- D. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements required in Item 1 above, and/or as specified by these conditions and restrictions.
- E. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, etc.) shall be subject to approval by the City Engineer.
- F. If required by the City of Oak Creek, public easements for telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted; provided there is access to each of the aforementioned systems and their appurtenances.
- G. All electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- H. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit.

I. Prior to the approval of site and building plans for the development the applicant shall prepare and submit a certified survey map combining the properties. The right of way for any public streets as illustrated on the official map within these properties shall be dedicated, and the public improvements installed unless a variation or exception is granted by the Common Council pursuant to Section 14.180 of the Municipal Code.

3. PARKING, LOADING, AND ACCESS

A. Parking for this project shall be provided in accordance with Section 17.0403. The number of parking stalls shall be in accordance with Sections 17.0403(j)(2)(m)-(n).

B. Where 90° parking is indicated on the site plans, individual-parking stalls shall be nine (9) feet in width by eighteen (18) feet in length. The standards for other types of angle parking shall be those as set forth in Section 17.0403(d) of the Municipal Code.

C. Movement aisles for 90° parking shall be at least twenty-two (22) feet in width.

D. All off-street parking areas shall be surfaced with an all-weather wearing surface of plant mix asphaltic concrete over crushed stone base subject to approval by the City Engineer. A proposal to use other materials shall be submitted to the Plan Commission and the Engineering Department for approval. All parking areas, garages, and private drives shall be in place in accordance with the signed Development Agreement.

E. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.

F. All driveway approaches to this property shall be in compliance with all the standards set forth in Chapter 6 of the Oak Creek Municipal Code. Any off-site improvements shall be the responsibility of the property owner.

G. All off street parking areas shall be landscaped in accordance with Sections 17.0330 & 17.0403 of the Municipal Code.

H. Adjustments to required parking may be made by the Plan Commission in accordance with Section 17.0404.

I. Access to West Rawson Avenue (CTH BB) in accordance with executed agreements and access management plans is subject to the review and approval of Milwaukee County. Such approval shall be provided to the City prior to the issuance of any building permits.

J. Access to South 27th Street (STH 241) in accordance with executed agreements and access management plans is subject to the review and approval of the Wisconsin Department of Transportation. Such approval shall be provided to the City prior to the issuance of any building permits.

4. LIGHTING

All plans for new outdoor lighting for each stage of the development shall be reviewed and approved by the Plan Commission and Electrical Inspector in accordance with Section 17.0808 of the Municipal Code.

5. LANDSCAPING

A. Parking Lot Screening. Those parking areas for five (5) or more vehicles if adjoining a residential zoning district line or public right-of-way shall be screened from casual view by an earth berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way. All screening materials shall be placed and maintained at

a minimum height of three (3) feet.

1. At least one ornamental deciduous tree, no less than 2.5" caliper, shall be incorporated into the design for every 35 linear feet of public street frontage.
2. At least 25% of the total green space area shall be landscaped utilizing plant materials, other than maintained turf, that contribute to ground coverage.
3. For purposes of determining the number of plants necessary to meet the minimum 25% ground coverage requirement, plant types are categorized by their general size and potential mature at-grade coverage area.

<u>Plant Type</u>	<u>Area of Coverage Provided</u>
Evergreen Tree (>8' Dia.)	75 sq. ft.
Large Shrub (6-8' Dia.)	38 sq. ft.
Medium Shrub (4-6' Dia.)	20 sq. ft.
Small Shrub (2-4' Dia.)	12 sq. ft.
Perennial (4.5" Pot)	6 sq. ft.

* Note shade and ornamental trees are not considered a plant type contributing to "at grade" coverage.

4. To assure a diversity of color, texture and year-round interest, the total number of plant materials must be comprised of a minimum 25% evergreens, but no more than 70%.

B. Interior Landscape Area. All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape islands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. Landscape islands or peninsulas shall be dispersed throughout the off-street parking area. Landscape islands shall provide a minimum 30-inch clear area for vehicle overhang and snow storage. One shade tree shall be provided within the interior planting area for every 300 square feet of interior landscaping. For parking lots designed for twenty-five (25) parking spaces or more, interior parking lot landscaping shall be provided at the following rates:

<u>Total Paved Area</u>	<u>Required Interior Planting Area</u>
0-49,999 sq. ft.	5% of paved area
50,000 sq. ft. or larger	10% of paved area

C. Perimeter Landscape Area. In an effort to prevent adjacent parking lots from becoming one large expanse of paving, perimeter landscaping shall be required. The perimeter strip shall be a minimum 5 feet in width. A minimum of one tree and five shrubs is required for every 35 linear feet of the perimeter of the parking area and located within the perimeter landscape area.

D. Landscaping Adjacent to Buildings. There shall be a minimum three-foot landscaped area provided between the edge of pavement and the entrance elevation(s) of all buildings.

E. Screening of Trash. Trash receptacles shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.

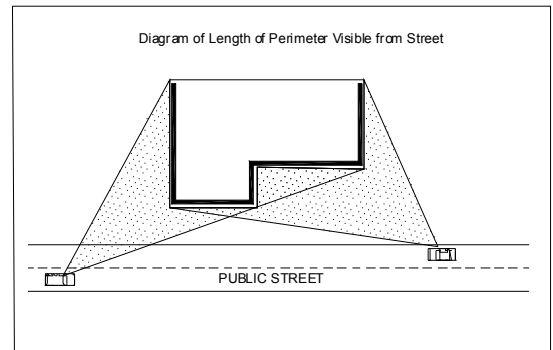
F. Screening of Ground Mounted Mechanical Equipment. Ground mounted mechanical equipment shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.

- G. Screening of Roof Mounted Mechanical Equipment. Roof mounted mechanical equipment shall be screened from casual view.
- H. Retaining Walls. No retaining wall shall exceed four (4) feet in height unless it has been designed and its construction supervised by a Professional Engineer. A retaining wall may be stepped to achieve greater height. Each step of the wall shall be no more than four (4) feet in height and shall be set back a minimum of three (3) feet from the previous step. Acceptable materials for retaining walls are: segmental masonry type, timber, or concrete. All retaining walls must incorporate landscaping as part of the design.
- I. Berms. Side slopes of berms shall not exceed a gradient of 1-ft. vertical to 3-ft. horizontal unless approved by the City Engineer.
- J. Buffer Yards. Appropriate buffers shall be provided between dissimilar uses as set forth in Section 17.0205 (d) of the Municipal Code.
- K. Submittal Requirements. A Landscape Plan (to scale) must be submitted which includes details of all proposed landscaping, buffering and screening, including the estimated cost of the landscaping. These plans shall be prepared by a landscape professional and show the location and dimensions of all existing and proposed structures, parking, drives, right-of-ways and any other permanent features, and all other information required by the Plan Commission, including but not limited to the following:
 1. A plant list and coverage chart showing the location, quantity, size (at time of planting and at maturity), spacing and the scientific and common names of all landscape materials used.
 2. The location and type of existing trees over four (4) inches in diameter (measured six (6) inches above the ground) within the area to be developed.
 3. The location and percent of slope of all proposed berms using one (1) foot contours.
 4. Detailed sections showing elevations of all proposed architectural features, such as walls, lighting or water features.
 5. Methods used in staking, mulching, wrapping or any other early tree care used.
 6. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule.
- L. The Plan Commission may modify any of the above standards by a $\frac{3}{4}$ majority vote of those Commissioners present at a meeting, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modification of the particular standard.

6. ARCHITECTURAL STANDARDS

- A. All structures shall meet the requirements of Sections 17.0329 and 17.0330 (General 27th Street Overlay Districts Design Standards and Regional Retail Overlay district). No building shall be permitted if the design or exterior appearance is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

B. No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades of surrounding properties and presents an attractive appearance to the public. Predominant exterior building materials must be of high quality. These include, but are not limited to brick, stone and tinted/textured concrete masonry units (CMUs). Smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel panels are not permitted as a primary exterior building materials.



C. The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material.

D. Material and color samples shall be submitted to the Plan Commission for review and approval.

E. The Plan Commission may modify any of the above standards by a $\frac{3}{4}$ majority vote of those Commissioners present at a meeting, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modifications of the particular standard.

F. The relative proportion of a building to its neighboring buildings or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

G. Buildings shall be designed in such a manner that long expanses of blank wall are broken up by the use of windows, articulation, or modulation of the building footprint and/or changes in building materials and colors. Visible building facades in excess of 100 feet in length must incorporate recesses and projections along the length of the façade. Windows, awnings, and arcades must be an integral part of the façade abutting a public street.

H. Each principal building shall have a clearly defined, highly visible customer entrance with features such as canopies or porticos, arcades, arches, wing walls, and integral planters.

I. Sides of a building that are visible from adjoining residential properties and/or public streets should contribute to the pleasing scale features of the building by featuring characteristics similar to the front façade of the building. No overhead garage doors or loading docks shall face upon any street right-of-way or residential property unless otherwise modified by the Plan Commission pursuant to Section 17.1009(e) of the Municipal Code.

J. Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.

K. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule; as well as the approved protection of the identified wetlands and woodlands on the approved plan.

7. BUILDING AND PARKING SETBACKS*

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure	50'	30'	20'
Accessory Structure**	50'	30'	20'
Off-street Parking	30'	0'	0'

* These properties are located within the 27th Street / Regional Retail Overlay District, which require increased setbacks.

**No accessory structures shall be permitted in the front yard or in required buffer yards.

8. MAINTENANCE AND OPERATION

- A. The number, size, location and screening of appropriate solid waste collection units shall be subject to approval of the Plan Commission as part of the required site plan. Solid waste collection and recycling shall be the responsibility of the owner.
- B. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the owners.
- C. There shall be no outdoor storage of equipment, junk/damaged/non-inventory vehicles, parts, or supplies. Outdoor display areas shall be limited to those for the display of vehicles for sale as approved by the Plan Commission as part of the site plan review process.
- D. There shall be no storage of flammable or hazardous materials except those minimum quantities necessary for the operation of the permitted principal use.
- E. Hours of operation shall be between 6:00 AM and 10:00 PM seven days per week.

9. SIGNS

- A. All signs shall conform to the provisions of Sec. 17.0706 of the Municipal Code.
- B. No pole signs, pennant flags, light pole flags, permanent banners, or flashing/blinking signs shall be permitted as part of this development.
- C. Window signs shall not cover more than 25% of the window on which they are placed.
- D. All signs must be approved by the Plan Commission as part of the site plan review process.

10. PERMITTED USES

- A. All permitted uses in the M-1, Manufacturing zoning district.
- B. One (1) automobile sales and service facility with outdoor storage limited to vehicle inventory.
- C. Usual and customary accessory uses to the above listed permitted uses, including one (1) private car wash facility that is accessory to the automobile sales and service facility.

11. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these conditions and restrictions for the Conditional Use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a Conditional Use Permit. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the ordinance if a building permit has not been issued for this use. The applicant

shall re-apply for a Conditional Use approval prior to recommencing work or construction.

12. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, ordinances, and orders not heretofore stated or referenced, is mandatory.

13. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances. If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the city shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 14 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other city ordinances.

14. REVOCACTION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code.

15. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner / Authorized Representative Signature

Date

(please print name)

EXHIBIT A: CONCEPT SITE PLAN

GRÉF
 200 West Cook Avenue, Suite 100
 100 West Cook Avenue, Suite 100
 Chicago, IL 60611-1000
 312.261.1000
 www.gréf.com

PROJECT TITLE
 CAR CENTER BUILDING

CLIENT
 CAR CENTER WORKS

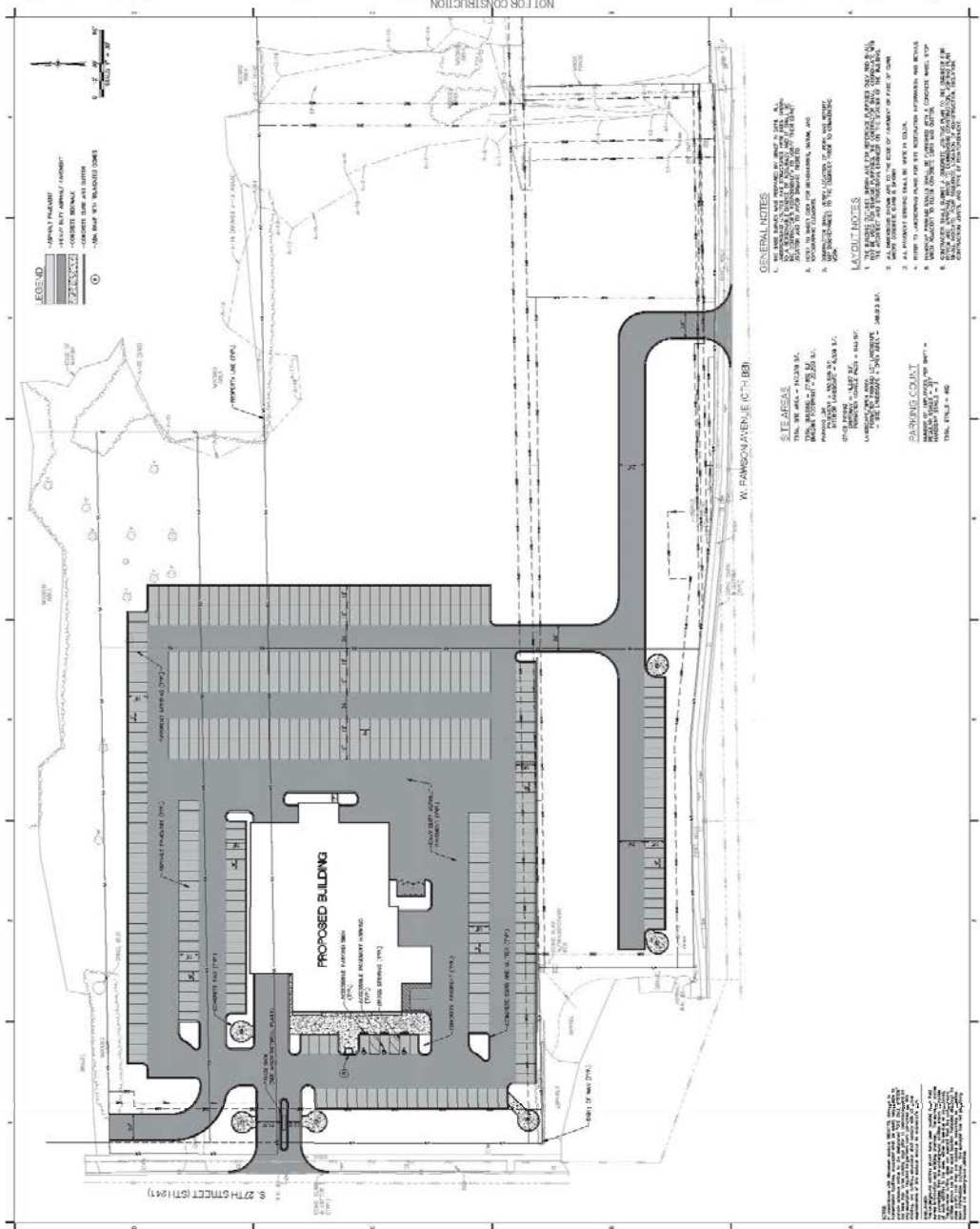
SCALE
 AS SHOWN

PROJECT INFORMATION
 PROJECT NUMBER: 2023-01-01
 DATE: 01/01/2023
 CHECKED BY: [NAME]
 APPROVED BY: [NAME]

SCALE
 AS SHOWN

SHEET TITLE
 BEARING PLAN

SHEET NUMBER
C200





Plan Commission Report

ITEM: 5b

DATE: June 28, 2016

PROJECT: Conditions & Restrictions – Kelly Gallacher, Self Storage Ventures, LLC

ADDRESS: 6304 & 6340 S. Howell Ave. and 137, 147, & 209 E. College Ave.

TAX KEY NO: 719-9991-001, 719-9990, 719-9992, 719-9993, 719-9994

STAFF RECOMMENDATION: That the Plan Commission recommends that the Common Council adopts the Conditions and Restrictions as part of the Conditional Use Permit allowing a self-storage facility on the properties at 6304 & 6340 S. Howell Ave. and 137, 147, & 209 E. College Ave. after a public hearing and subject to conditions and restrictions.

Ownership: LASALLE 115 HOLDINGS, LLC-SERIES 6, WI, 111 W. Monroe St., Chicago, IL 60603

Size: 6304 S. Howell Ave. = 0.321 acres; 6340 S. Howell Ave. = 0.771 acres; 137 E. College Ave. = 1.768 acres; 147 E. College Ave. = 0.884 acres; 209 E. College Ave. = 2.74 acres

Existing Zoning: B-4, Highway Business

Adjacent Zoning: North – City of Milwaukee
East – B-4, Highway Business
South – I-1 (CCU), Institutional
West – M-1, Manufacturing

Comprehensive Plan: Planned Industrial.

Wetlands: See attached County Map.

Floodplain: N/A.

Official Map: N/A.

Commentary: At the June 14, 2016 meeting, the Plan Commission recommended Common Council approval of the proposed rezone of the properties at 6304 & 6340 S. Howell Ave. and 137, 147, & 209 E. College Ave. to M-1, Manufacturing, with a conditional use for self-storage. Staff has prepared Conditions and Restrictions for the Plan Commission's consideration. Site, building, landscaping, and related reviews will occur at a later date. If the Plan Commission is comfortable with the Conditions and Restrictions, the appropriate action would be to recommend that the Common Council approve them as part of the Conditional Use Permit.

Prepared by:

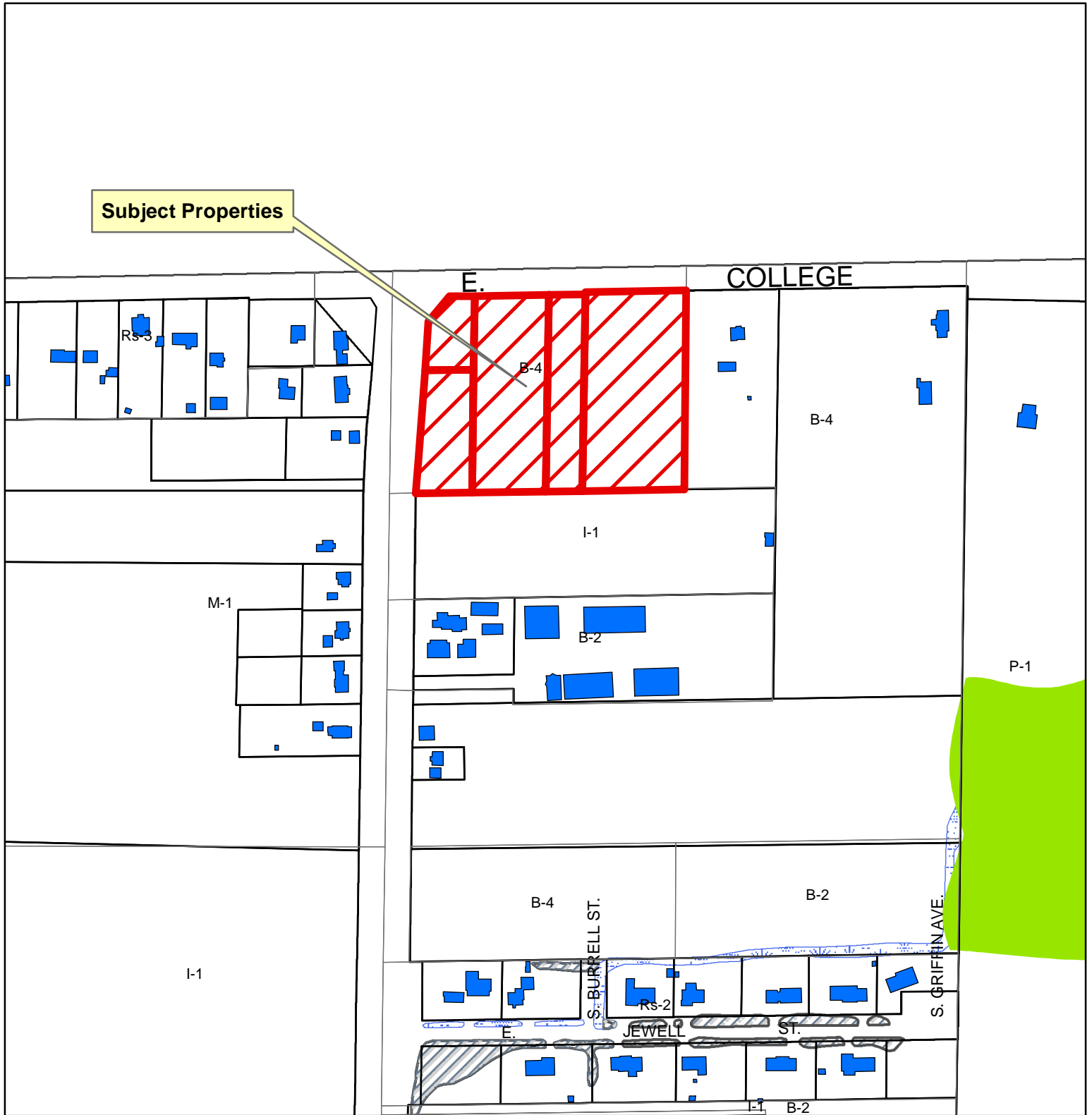
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

Location Map

6304 & 6340 S. Howell Ave.;
137, 147, & 209 E. College Ave.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend	
	Subject Parcels
	Floodway
	Floodfringe
	Flood Fringe (FF)
	Shoreland Wetland Conservancy (C-1)
	Lakefront Overlay District (LOD)
	Mixed Use Neighborhood Overlay (NO)
	Mixed Use Office Overlay (OO)
	Regional Retail Overlay District (RR)

**City of Oak Creek – Conditional Use Permit (CUP)
Conditions and Restrictions**

Applicant: Kelly Gallacher, Self Storage Ventures, LLC

Property Addresses: 6304 & 6340 S. Howell Ave.,
137, 147, & 209 E. College Ave.

Tax Key Number(s): 719-9991-001, 719-9990, 719-9992,
719-9993, 719-9994

Conditional Use: Self-storage facility (mini-warehousing)

Approved by Plan Commission: TBD

Approved by Common Council: TBD
(Ord. #TBD)

1. LEGAL DESCRIPTION

Parcel 1, 6304 S. Howell Ave.:

That part of the North West 1/4 of Section 4, Township 5 North, of Range 22 East in the City of Oak Creek, County of Milwaukee and State of Wisconsin, bounded and described as follows: Commencing at the Northwest corner of said Northwest 1/4, running thence East on the North line of said 1/4 Section, 190 feet to a point; thence South and parallel to the West line of said 1/4 Section, 229.26 feet to a point; thence West and parallel to the North line of said 1/4 Section, 190 feet to a point, and thence North along the West line of said 1/4 Section, 229.26 feet to the point of commencement.

Excepting therefrom any portion thereof conveyed for highway purposes.

Excepting from the above parcel that portion used for Highway purposes described in Award of Damages recorded as Document No. 4089966.

Excepting therefrom that portion thereof awarded to the State of Wisconsin, Department of Transportation by Award of Damages dated August 19, 2013, and recorded in the Office of the Register of Deeds for Milwaukee County, Wisconsin on August 19, 2013, as Document No. 10284034.

Parcel 2, 6340 S. Howell Ave:

The South 283.83 feet of the North 513.09 feet of the West 190 feet of the Northwest 1/4 of Section 4, Township 5 North, of Range 22 East, in the City of Oak Creek, County of Milwaukee and State of Wisconsin.

Excepting from the above parcel that portion used for Highway purposes described in Award of Damages recorded as Document No. 4088966.

Parcel 3, 137 E. College Ave.:

Part of the Northwest 1/4 of Section 4, in Township 5 North, of Range 22 East, in the City of Oak Creek, County of Milwaukee and State of Wisconsin, bounded and described as follows: Commencing at a point which is 360 feet East of the Northwest corner of said Northwest 1/4 ; running thence South and parallel to the West line of said 1/4 Section 513.09 feet to a point; thence West and parallel to the North line of said 1/4 Section 170 feet to a point; thence North and parallel to the West line of said 1/4 Section 513.09 feet to a point; and thence East along the North line of said 1/4 Section line 170 feet to the place of beginning, excepting therefrom the North 60 feet for highway purposes.

Parcel 4, 147 E. College Ave.:

That part of the Northwest 1/4 of Section 4, Township 5 North, of Range 22 East, in the City of Oak Creek, County of Milwaukee and State of Wisconsin, bounded and described as follows: Commencing at a point in the North line of said Northwest 1/4 Section, 360 feet East of the Northwest corner of said 1/4 Section; thence South and parallel with the West line of said 1/4 Section; 513.09 feet to a point; thence East and parallel to the North line of said 1/4 Section, 85 feet to a point; thence North and parallel to the said West line, 513.09 feet to a point in the North line of said 1/4 Section; thence West along said North line 85 feet to the point of commencement, except the North 60 feet thereof.

Parcel 5, 209 E. College Ave.:

The East 232.50 feet of the West 677.50 feet of the North 513.09 feet of the Northwest 1/4 of Section 4, Township 5 North, of Range 22 East, in the City of Oak Creek, County of Milwaukee and State of Wisconsin, excepting therefrom the North 55 feet for highway purposes.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. A precise detailed site plan for the area affected by the Conditional Use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) **General Development Plan**

- a) Detailed building location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
 - i) Location
 - ii) Number of employees
 - iii) Number of garage & surface spaces
 - iv) Dimensions
 - v) Setbacks
- h) Location(s) of loading berth(s)
 - i) Location of sanitary sewer (existing & proposed)
 - j) Location of water (existing & proposed)
 - k) Location of storm sewer (existing & proposed)
 - l) Location(s) of wetlands (field verified)
 - m) Location(s), square footage and height of sign(s)

2) **Landscape Plan**

- a) Screening plan
- b) Number, initial size and type of plantings
- c) Parking lot screening/berming

3) **Building Plan**

- a) Architectural elevations (w/dimensions)
- b) Building floor plans
- c) Materials of construction (including colors)

4) **Lighting Plan**

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) **Grading, Drainage and Stormwater Management Plan**

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) **Fire Protection**

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction

B. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.

C. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

D. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements required in Item 1 above, and/or as specified by these conditions and restrictions.

E. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, etc.) shall be subject to approval by the City Engineer.

- F. If required by the City of Oak Creek, public easements for telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted; provided there is access to each of the aforementioned systems and their appurtenances.
- G. All electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- H. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit.
- I. A certified survey map combining these properties shall be prepared and submitted to the City of Oak Creek for review and approval. The CSM shall be recorded prior to the issuance of any building permits.

3. PARKING AND ACCESS

A. Parking for this project shall be provided as follows:

- a. A minimum of one (1) stall per employee;
 - b. A minimum of five (5) dedicated parking stalls at the sales/leasing office;
 - c. Space sufficient for parking one (1) vehicle in front of all ground-level storage units;
 - d. All other parking shall be in accordance with Section 17.0403 of the Municipal Code.
- B. Where 90° parking is indicated on the site plans, individual-parking stalls shall be nine (9) feet in width by eighteen (18) feet in length. The standards for other types of angle parking shall be those as set forth in Section 17.0403(d) of the Municipal Code.
 - C. Movement aisles for 90° parking shall be at least twenty-two (22) feet in width.
 - D. All off-street parking areas shall be surfaced with an all-weather wearing surface of plant mix asphaltic concrete over crushed stone base subject to approval by the City Engineer. A proposal to use other materials shall be submitted to the Plan Commission and the Engineering Department for approval. All parking areas, garages, and private drives shall be in place in accordance with the signed Development Agreement.
 - E. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.
 - F. All driveway approaches to this property shall be in compliance with all the standards set forth in Chapter 6 of the Oak Creek Municipal Code. Any off-site improvements shall be the responsibility of the property owner.
 - G. All off street parking areas, with the exception of parking in front of storage units, shall be landscaped in accordance with Sections 17.0330 & 17.0403 of the Municipal Code.
 - H. Adjustments to required parking may be made by the Plan Commission in accordance with Section 17.0404.
 - I. Access to East College Avenue (CTH ZZ) is subject to the review and approval of Milwaukee County. Such approval shall be provided to the City prior to the issuance of any building permits.
 - J. Access to South Howell Avenue (CTH ZZ) is subject to the review and approval of the Wisconsin Department of Transportation. Such approval shall be provided to the City prior to the issuance of any building permits.

4. LIGHTING

All plans for new outdoor lighting for each stage of the development shall be reviewed and approved by the Plan Commission and Electrical Inspector in accordance with Section 17.0808 of the Municipal Code.

5. LANDSCAPING

A. Parking Lot Screening. Those parking areas for five (5) or more vehicles if adjoining a residential zoning district line or public right-of-way shall be screened from casual view by an earth berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way. All screening materials shall be placed and maintained at a minimum height of three (3) feet.

1. At least one ornamental deciduous tree, no less than 2.5" caliper, shall be incorporated into the design for every 35 linear feet of public street frontage.
2. At least 25% of the total green space area shall be landscaped utilizing plant materials, other than maintained turf, that contribute to ground coverage.
3. For purposes of determining the number of plants necessary to meet the minimum 25% ground coverage requirement, plant types are categorized by their general size and potential mature at-grade coverage area.

<u>Plant Type</u>	<u>Area of Coverage Provided</u>
Evergreen Tree (>8' Dia.)	75 sq. ft.
Large Shrub (6-8' Dia.)	38 sq. ft.
Medium Shrub (4-6' Dia.)	20 sq. ft.
Small Shrub (2-4' Dia.)	12 sq. ft.
Perennial (4.5" Pot)	6 sq. ft.

* Note shade and ornamental trees are not considered a plant type contributing to "at grade" coverage.

4. To assure a diversity of color, texture and year-round interest, the total number of plant materials must be comprised of a minimum 25% evergreens, but no more than 70%.

B. Interior Landscape Area. All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape islands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. Landscape islands or peninsulas shall be dispersed throughout the off-street parking area. Landscape islands shall provide a minimum 30-inch clear area for vehicle overhang and snow storage. One shade tree shall be provided within the interior planting area for every 300 square feet of interior landscaping. For parking lots designed for twenty-five (25) parking spaces or more, interior parking lot landscaping shall be provided at the following rates:

<u>Total Paved Area</u>	<u>Required Interior Planting Area</u>
0-49,999 sq. ft.	5% of paved area
50,000 sq. ft. or larger	10% of paved area

C. Perimeter Landscape Area. In an effort to prevent adjacent parking lots from becoming one large

expanse of paving, perimeter landscaping shall be required. The perimeter strip shall be a minimum 5 feet in width. A minimum of one tree and five shrubs is required for every 35 linear feet of the perimeter of the parking area and located within the perimeter landscape area.

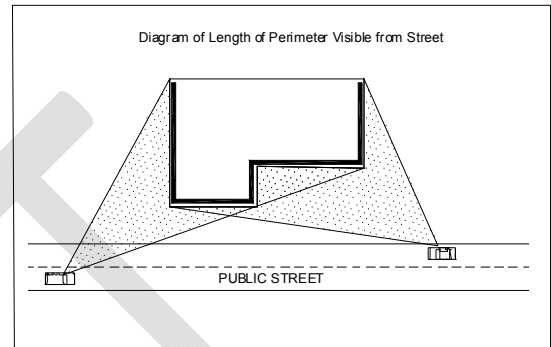
- D. Landscaping Adjacent to Buildings. There shall be a minimum three-foot landscaped area provided between the edge of pavement and the entrance elevations of the perimeter buildings along College Avenue and Howell Avenue.
- E. Screening of Trash. Trash receptacles shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- F. Screening of Ground Mounted Mechanical Equipment. Ground mounted mechanical equipment shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- G. Screening of Roof Mounted Mechanical Equipment. Roof mounted mechanical equipment shall be screened from casual view.
- H. Retaining Walls. No retaining wall shall exceed four (4) feet in height unless it has been designed and its construction supervised by a Professional Engineer. A retaining wall may be stepped to achieve greater height. Each step of the wall shall be no more than four (4) feet in height and shall be set back a minimum of three (3) feet from the previous step. Acceptable materials for retaining walls are: segmental masonry type, timber, or concrete. All retaining walls must incorporate landscaping as part of the design.
- I. Berms. Side slopes of berms shall not exceed a gradient of 1-ft. vertical to 3-ft. horizontal unless approved by the City Engineer.
- J. Buffer Yards. Appropriate buffers shall be provided between dissimilar uses as set forth in Section 17.0205 (d) of the Municipal Code.
- K. Submittal Requirements. A Landscape Plan (to scale) must be submitted which includes details of all proposed landscaping, buffering and screening, including the estimated cost of the landscaping. These plans shall be prepared by a landscape professional and show the location and dimensions of all existing and proposed structures, parking, drives, right-of-ways and any other permanent features, and all other information required by the Plan Commission, including but not limited to the following:
1. A plant list and coverage chart showing the location, quantity, size (at time of planting and at maturity), spacing and the scientific and common names of all landscape materials used.
 2. The location and type of existing trees over four (4) inches in diameter (measured six (6) inches above the ground) within the area to be developed.
 3. The location and percent of slope of all proposed berms using one (1) foot contours.
 4. Detailed sections showing elevations of all proposed architectural features, such as walls, lighting or water features.
 5. Methods used in staking, mulching, wrapping or any other early tree care used.
 6. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule.
- L. The Plan Commission may modify any of the above standards by a $\frac{3}{4}$ majority vote of those Commissioners present at a meeting, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modification of the particular standard.

M. Landscaping shall be installed in accordance with the signed Development Agreement.

6. ARCHITECTURAL STANDARDS

A. No building shall be permitted if the design or exterior appearance is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

B. No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades of surrounding properties and presents an attractive appearance to the public. Predominant exterior building materials must be of high quality. These include, but are not limited to brick, stone and tinted/textured concrete masonry units (CMUs). Smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel panels are not permitted as a primary exterior building materials.



C. The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material.

D. Material and color samples shall be submitted to the Plan Commission for review and approval.

E. The Plan Commission may modify any of the above standards by a $\frac{3}{4}$ majority vote of those Commissioners present at a meeting, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modifications of the particular standard.

F. The relative proportion of a building to its neighboring buildings or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

G. Each principal building shall have a clearly defined, highly visible customer entrance with features such as canopies or porticos, arcades, arches, wing walls, and integral planters.

H. Sides of a building that are visible from adjoining residential properties and/or public streets should contribute to the pleasing scale features of the building by featuring characteristics similar to the front façade of the building. No overhead garage doors or loading docks may face residential properties or public streets.

I. Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.

J. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule; as well as the approved protection of the identified wetlands and woodlands on the approved plan.

7. BUILDING AND PARKING SETBACKS

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure*	40'	20'	20'
Accessory Structure**	40'	20'	20'
Off-street Parking	30'	0'	0'

* Per Section 17.0311(f)(2), no multifamily residential structure shall be located closer than fifty (50) feet to a single-family district line. Rs-1 exists to the north, east, and to the centerline of Drexel Ave. (south); Rs-2 extends to the centerline of Drexel Ave. (south).

**No accessory structures shall be permitted in the front yard or in required buffer yards.

8. MAINTENANCE AND OPERATION

- A. The number, size, location and screening of appropriate solid waste collection units shall be subject to approval of the Plan Commission as part of the required site plan. Solid waste collection and recycling shall be the responsibility of the owner.
- B. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the owners.
- C. There shall be no outdoor storage or display of any kind, including, but not limited to, merchandise, materials, equipment, or vehicles.
- D. There shall be no storage of flammable or hazardous materials.
- E. Hours of operation shall be between 6:00 AM and 10:00 PM seven days per week.

9. SIGNS

All signs shall conform to the provisions of Sec. 17.0706 of the Municipal Code. All signs must be approved by the Plan Commission as part of the site plan review process. No pole signs shall be permitted as part of this development.

A sign easement shall be provided at the northwest corner of the properties for the benefit of the City of Oak Creek. As part of the required landscaping plan, the applicant shall, in coordination with City staff present plans for the design of an entrance-gateway sign and landscaping within this easement. The initial construction costs of this signage shall be the responsibility of the owner. A separate agreement shall be entered into between the property owner and the City identifying maintenance responsibility for the sign and landscaping within the easement.

10. PERMITTED USES

- A. All permitted uses in the M-1, Manufacturing zoning district.
- B. One (1) self-storage facility with no outdoor storage or display.
- C. Usual and customary accessory uses to the above listed permitted uses.

11. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these conditions and restrictions for the Conditional Use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a Conditional Use Permit. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the ordinance if a building permit has not been issued for this use. The applicant shall re-apply for a Conditional Use approval prior to recommencing work or construction.

12. OTHER REGULATIONS

- A. Compliance with all other applicable City, State, DNR and Federal regulations, laws, ordinances, and orders not heretofore stated or referenced, is mandatory.
- B. Building permits must be issued to both buildings "A" and "B" (as illustrated in Exhibit A – Concept Site Plan) prior to the issuance of building permits for any other storage structures (Building type "C").
- C. Occupancy permits must be obtained for Buildings "A" and "B" (as illustrated in Exhibit A – Concept Site Plan) prior to the issuance of occupancy permits for any other storage structures (Building type "C").
- D. It shall be the responsibility of the owner to secure any required variances to develop the site in accordance with Plan Commission approvals.
- E. Structures built on these properties may require the review and approval of the Federal Aviation Administration and Milwaukee County. It is the applicant's responsibility to secure said approval(s).

13. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances. If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the city shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 14 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other city ordinances.

14. REVOCACTION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code.

15. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

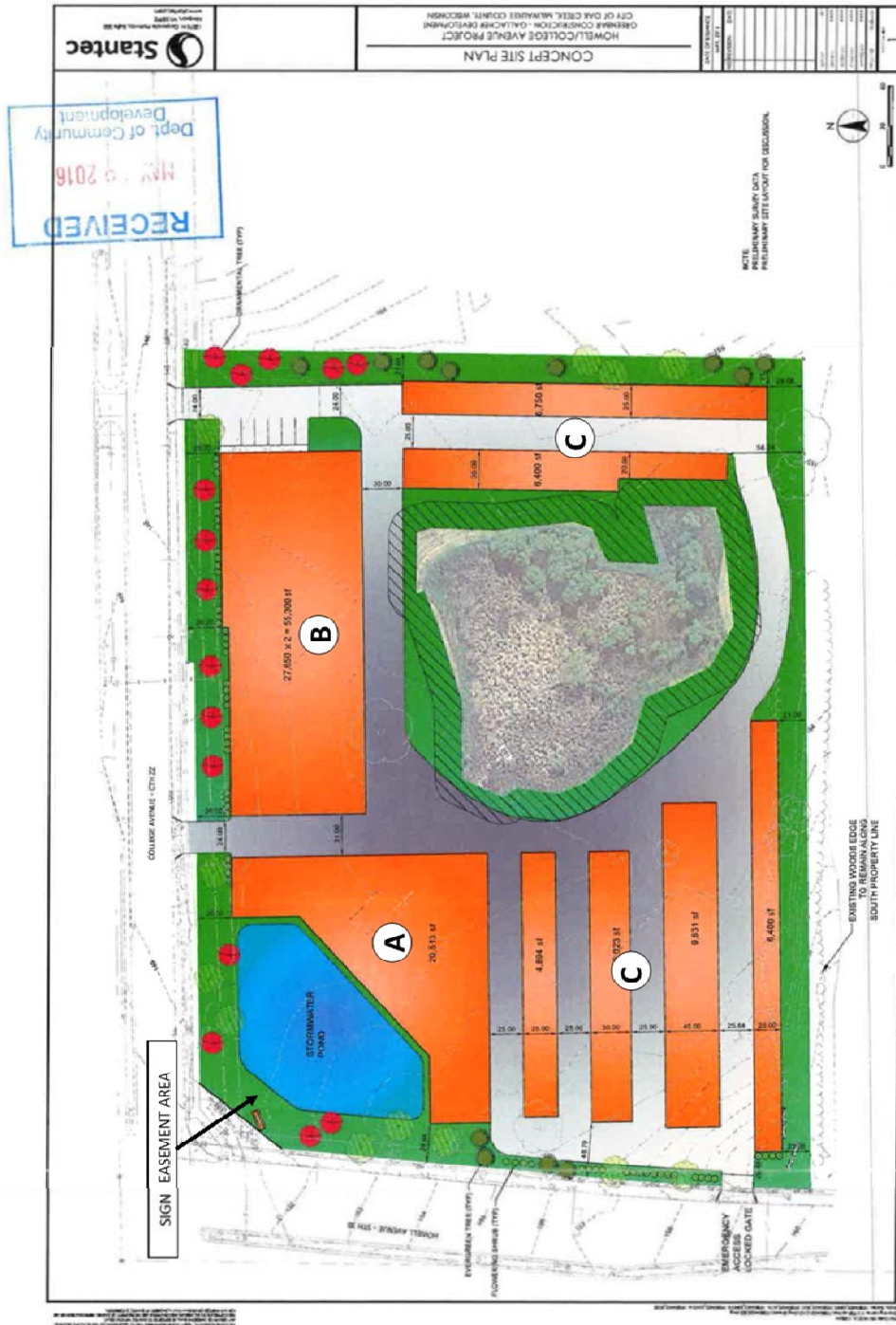
Owner / Authorized Representative Signature

Date

(please print name)

EXHIBIT A: CONCEPT SITE PLAN

(for illustrative purposes only – detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be approved by the Plan Commission)





Plan Commission Report

ITEM: 5c

DATE: June 28, 2016

PROJECT: Plan Review – Howell Development Phase II (Pamela Mehta)

ADDRESS: 7001 S. Howell Avenue

TAX KEY NO: 734-9028-000

STAFF RECOMMENDATION: That the Plan Commission approves the site, landscaping, and building plans for the multi-tenant retail development located at 7001 S. Howell Avenue, subject to the following conditions:

1. All building and fire codes being met.
2. That the lighting plan is approved by the Electrical inspector prior to the issuance of building permits.
3. That the final site grading, drainage, and stormwater management plans are approved by the Engineering Department.
4. That a revised landscaping plan be submitted to the Department of Community of Development for approval prior to the issuance of building permits.
5. That a revised site plan be submitted to the Department of Community Development for approval prior to the issuance of building permits

Ownership: Rawson & Howell LLC

Size: 4.023 acres

Existing Zoning: B-4, Highway Business, C-1, Conservancy, & FR, Flood Fringe District

Adjacent Zoning:
North – M-1, Manufacturing District
East – B-4, Highway Business District
South – M-1, Manufacturing District
West – B-4, Highway Business & FW, Floodway, C-1, Conservancy, FF, Flood Fringe District

Comprehensive Plan: Planned Business & Limited Development Area

Wetlands: Yes, as depicted on the location map

Floodplain: Yes, as depicted on the location map

Official Map: N/A.

Commentary: In April 2010, the Plan Commission approved the site, building, and landscaping plans for one multi-tenant retail center at 7001 S. Howell Avenue. At that time, it was envisioned that there would be two buildings on the site. As part of the first approval, the applicant was informed that the Plan Commission would need to review the second building prior to a building permit being issued.

The Phase 2 building will be a one-story, multi-tenant building, and will be 10,800 square-feet in area. It is anticipated to accommodate up to seven tenants. The purpose for the angled building orientation is to not locate the building within the American Transmission Company's easement as identified on the site plan. The building meets all setback requirements for the zoning district.

The exterior of the building will be finished with brick and aluminum panel accents similar to what was used on the first building. Unlike the first building, this building will not have metal awnings but instead have a metal clad eyebrow over the entrances to the building. This building meets the requirement that 75 percent of the visible perimeter be finished with an acceptable brick, glass, or decorative masonry material. The applicant is proposing to place all electrical meters along the north elevation. Due to the building orientation and its location behind the dumpster, there are no plans to screen with a wood gate like building one. All rooftop mechanicals will be screened behind the parapet wall. The dumpster for this building is located on the north elevation of the building and will consist of matching brick walls and a cedar wood gate.

Parking will be located in between the two buildings, providing a total of 158 parking spaces. This development will provide an additional 67 parking stalls. Since building one consists mainly of personal service and medical offices, it is anticipated similar uses will occur in building two. Because of the anticipated uses, the demand for parking is less than what City Code would require. Included in this report is a parking analysis explaining why there is only a need for 158 spaces for the two buildings. To accommodate landscaping along the south lot line the applicant will likely need to reduce parking by an additional three spaces. If the Plan Commission is satisfied with the explanation for the reduced amount of parking, the Plan Commission has the authority to approve the proposed number of parking stalls.

Once the development is complete the site will have 39.9 percent green space, exceeding the minimum 30 percent requirement. When the site was first proposed, it was designed to accommodate stormwater management needs and greenspace requirements for the two buildings and parking lot. Prior to building permits, final storm water, grading, and drainage plans will need to be reviewed and approved by the Engineering Department.

The proposed landscaping plan meets minimum requirements except for the south lot line and interior parking islands. To accommodate the south lot line, the applicant will need to modify the parking lot to create the five-foot setback and modify the landscape plan to show landscaping along the south lot line. Interior parking islands do not include trees as required by code since there exists an American Transmission Company easement which restricts the height of any structure to twenty feet. The proposed landscaping is similar to what was approved in Phase 1. The Plan Commission can approve of the modification with a ¾ approval.

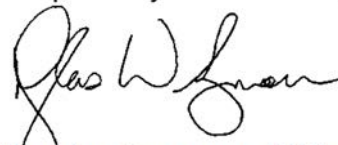
Included in this report is an elevation sheet showing potential sign locations. Signage is not part of this plan review and is only provided to illustrate how signage may look on the building. A sign plan review will come before the Plan Commission at a future meeting.

Prepared by:



Peter Wagner, AICP
Zoning Administrator/Planner

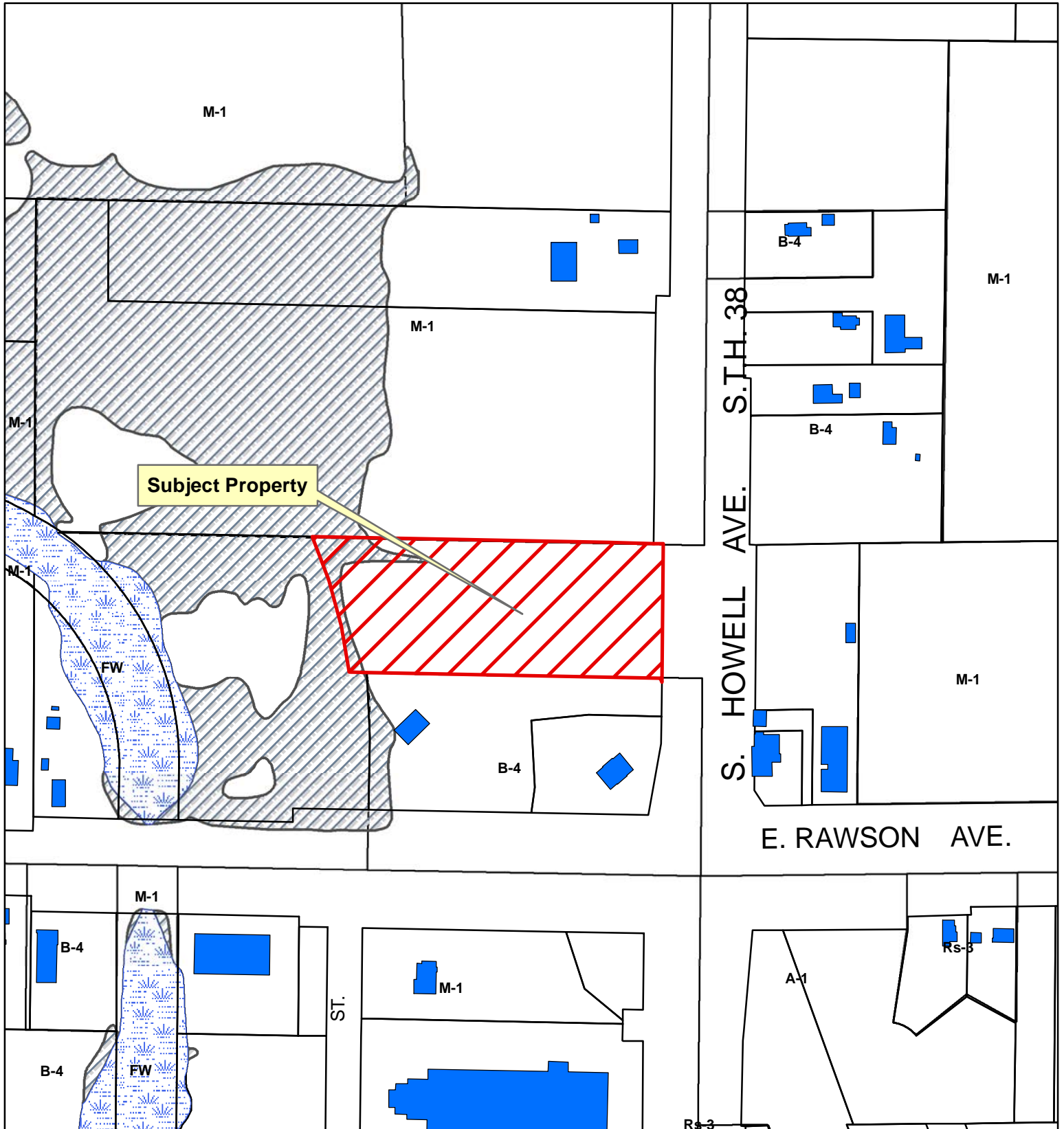
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

7001 S. Howell Ave.






This map is not a survey of the actual boundary of any property this map depicts.

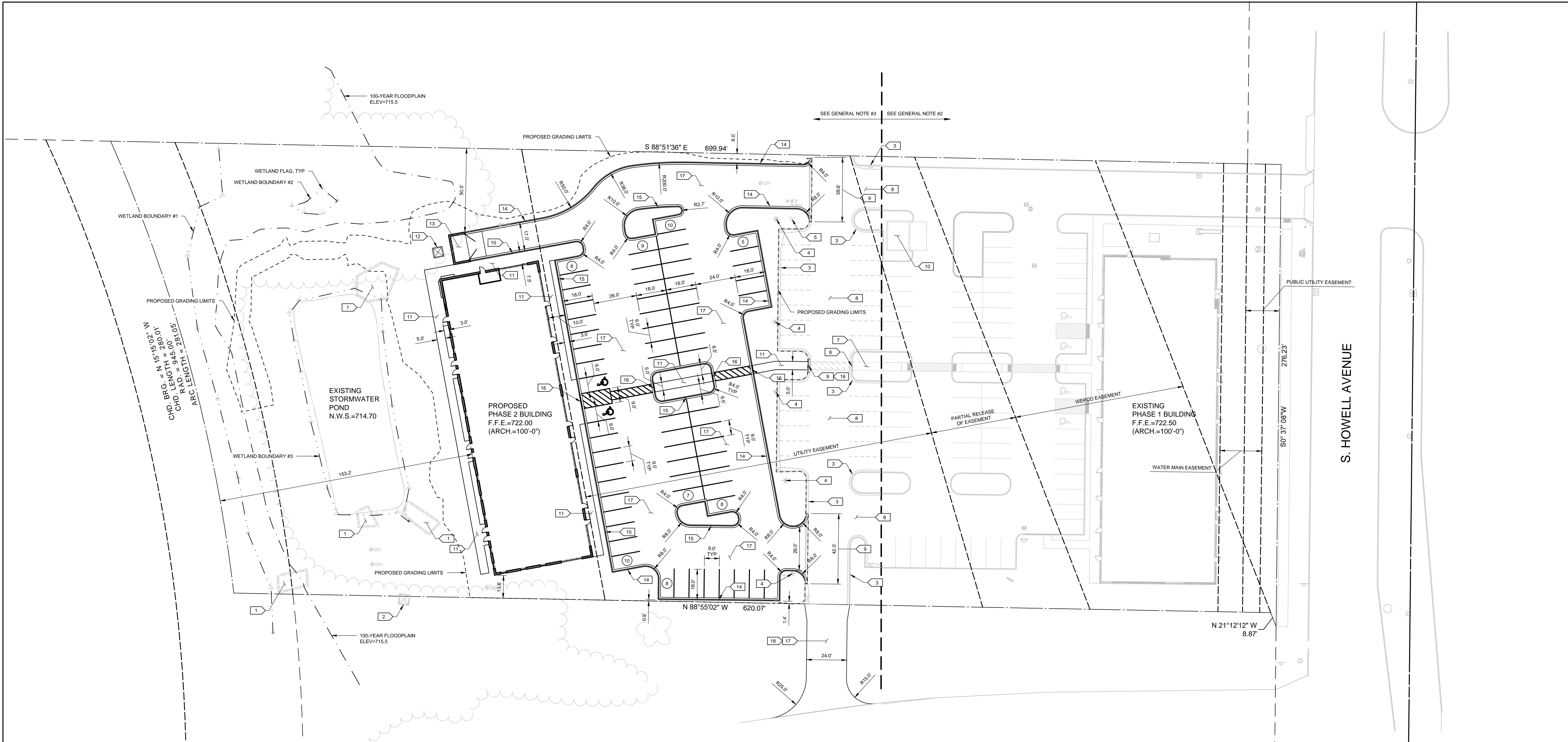


Department of Community Development



Legend

-  7001 S. Howell Ave.
-  Floodway
-  Floodfringe



GENERAL NOTES

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- SITE FEATURES BASED ON SHEET C100, SITE PLAN, PREPARED BY LAND INFORMATION SERVICES, INC. ON 7/27/2010.
- SITE FEATURES BASED ON FIELD SURVEY CONDUCTED BY HIMALAYAN CONSULTANTS, LLC ON 5/04/2016.
- PROJECT BENCHMARK: NORTHWEST FLANGE BOLT OF HYDRANT LOCATED APPROXIMATELY 20-FEET SOUTH OF THE S. HOWELL AVENUE DRIVEWAY ENTRANCE.
- CONTRACTOR SHALL PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION. COST TO RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE BY THE OWNER, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO REMOVE AND SALVAGE TOPSOIL WITHIN THE SLOPE INTERCEPT.

KEY NOTES

- EXISTING RIP RAP AREA.
- EXISTING ELECTRICAL TRANSFORMER ON CONCRETE PAD.
- EXISTING 18" WIDE CONCRETE CURB & GUTTER.
- EXISTING LIGHT POLE.
- EXISTING FIRE HYDRANT.
- EXISTING CURB OPENING.
- EXISTING CONCRETE SIDEWALK.
- EXISTING ASPHALT PAVEMENT.
- REMOVE EXISTING CONCRETE CURB & GUTTER TO NEAREST JOINT, PROVIDE FULL-DEPTH SAWCUT.
- EXISTING TRASH ENCLOSURE.
- PROPOSED CONCRETE SIDEWALK, SEE DETAIL V C3.0.
- PROPOSED ELECTRICAL TRANSFORMER ON CONCRETE PAD.
- PROPOSED TRASH ENCLOSURE, SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
- PROPOSED 18" WIDE CONCRETE CURB & GUTTER, SEE DETAIL 2/C3.0.
- PROPOSED 18" WIDE CONCRETE CURB & GUTTER, REVERSE PITCH, SEE DETAIL 3/C3.0.
- PROPOSED CURB OPENING W/ DETECTABLE WARNING.
- PROPOSED ASPHALT PAVEMENT, SEE DETAIL 4/C3.0.
- PROVIDE SEPARATE LINE ITEM BID FOR THE PROPOSED CONNECTION.

PROPOSED SITE DATA TABLE (INCLUDES PHASE 1 AND PHASE 2 AREAS)

ZONING: B-4, HIGHWAY BUSINESS DISTRICT			
BUILDING SETBACKS			
STREET	25-FEET		
SIDE	15-FEET		
REAR	25-FEET		
GROSS LAND AREA: 175,598 S.F. (4.032 AC.)			
PAVEMENT AREA	GREENSPACE AREA	BUILDING AREA	
PHASE 1 49,249 S.F. (1.131 AC.)	PHASE 1 15,214 S.F. (0.349 AC.)	PHASE 1	13,554 S.F. (0.311 AC.)
PHASE 2 31,830 S.F. (0.731 AC.)	PHASE 2 54,745 S.F. (1.257 AC.)	PHASE 2	11,006 S.F. (0.253 AC.)
TOTAL 81,079 S.F. (1.862 AC.)	TOTAL 69,959 S.F. (1.606 AC.)	TOTAL	24,560 S.F. (0.564 AC.)
AREA RATIOS			
	PAVEMENT	GREENSPACE	BUILDING
PHASE 1	28.0%	8.7%	7.7%
PHASE 2	18.1%	31.2%	6.3%
TOTAL	46.1%	39.9%	14.0%
STORM WATER MANAGEMENT REQUIREMENTS			
STORM EVENT	REQUIRED	PROVIDED	
2-YEAR	0.61-CFS	0.26-CFS	
100-YEAR	1.61-CFS	1.20-CFS	
PARKING LOT AREA		PARKING LOT GREENSPACE	RATIO
PHASE 1	38,084 S.F. (0.874 AC.)	PHASE 1	3,763 S.F. (0.086 AC.) 9.9%
PHASE 2	27,800 S.F. (0.638 AC.)	PHASE 2	3,934 S.F. (0.090 AC.) 14.2%
TOTAL	65,884 S.F. (1.512 AC.)	TOTAL	7,697 S.F. (0.176 AC.) 11.7%
BUILDING HEIGHT			
MAXIMUM	50-FEET		
PROPOSED	SEE ARCHITECTURAL PLANS		
PARKING REQUIREMENTS			
PHASE 1	87 STANDARD SPACES + 4 HANDICAPPED SPACES = 91 TOTAL SPACES		
PHASE 2	65 STANDARD SPACES + 2 HANDICAPPED SPACES = 67 TOTAL SPACES		
TOTAL	152 STANDARD SPACES + 6 HANDICAPPED SPACES = 168 TOTAL SPACES		

HOWELL AVENUE RETAIL PHASE 2
 HOWELL AVENUE
 OAK CREEK, WI

SITE PLAN

DATE: 05/31/2016

JOB NO.: 16056.012

DESIGNED BY: RGS

CHECKED BY: MAB

SHEET NUMBER

C1.0

LANDSCAPE PLAN GENERAL NOTES

** PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH. **

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S 'MARK SETS' OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THIS PHASE II PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014.
- DEVIATIONS FROM THE APPROVED ALDI OAK CREEK PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD. CURRENTLY THERE ARE NO KNOWN DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS ON SITE. IF DISEASED, NOXIOUS, OR INAPPROPRIATE MATERIALS ARE DISCOVERED PRIOR OR DURING CONSTRUCTION, THE DEVELOPER WILL SUBCONTRACT THE APPROPRIATE SPECIALIST TO COMPLETE THE REMOVAL.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD:
ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND 1/3 PEAT MOSS. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" DIAMETER MULCH RING ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2"-3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- RECOMMENDED SEED MIX:
PREMIUM 60 GRASS SEED MIX REINDER'S (262) 786-3300
20% AMERICAN KENTUCKY BLUE GRASS
20% ALPINE KENTUCKY BLUE GRASS
20% LANGARA KENTUCKY BLUE GRASS
20% VICTORY CHEWINGS FESCUE
10% FIESTA III PERENNIAL RYE GRASS
10% CUTLER PERENNIAL RYE GRASS
APPLY AT A RATE OF 175 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.
- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE & MAINTAIN PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL WATERED & REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE. MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.

CONTRACTOR NOTE:
BEFORE SITE GRADING AND DEMOLITION IS TO BEGIN FOR PROPOSED NEW PAVEMENT, THE AREA IS TO BE STAKED AND ALL TREE AND SHRUBS THAT ARE TO BE PRESERVED ARE TO BE TAGGED BY LANDSCAPE ARCHITECT AND RELOCATED BY LANDSCAPE CONTRACTOR. IF REQUIRED A TREE PRESERVATION PLAN WILL BE PRODUCED AND COORDINATED WITH CITY STAFF. DEMOLITION CONTRACTOR TO COORDINATE W/ LANDSCAPE ARCHITECT, OWNER AND LANDSCAPE CONTRACTOR.

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Sheet Title:

PROPOSED LANDSCAPE PLAN,
GENERAL NOTES,
AND PLANT MATERIAL TABLE

Date of Drawing: 05/27/16

Scale: 1" = 20'-0"

Drawn By: MCD

Job Number: L16-016

Sheet Number:

LSP1.1

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800) 242-8511, (262) 432-7910 (877) 500-8992
www.DiggersHotline.com OR

811
Know what's below.
Call before you dig.



1 PROPOSED PHASE II LANDSCAPE PLAN

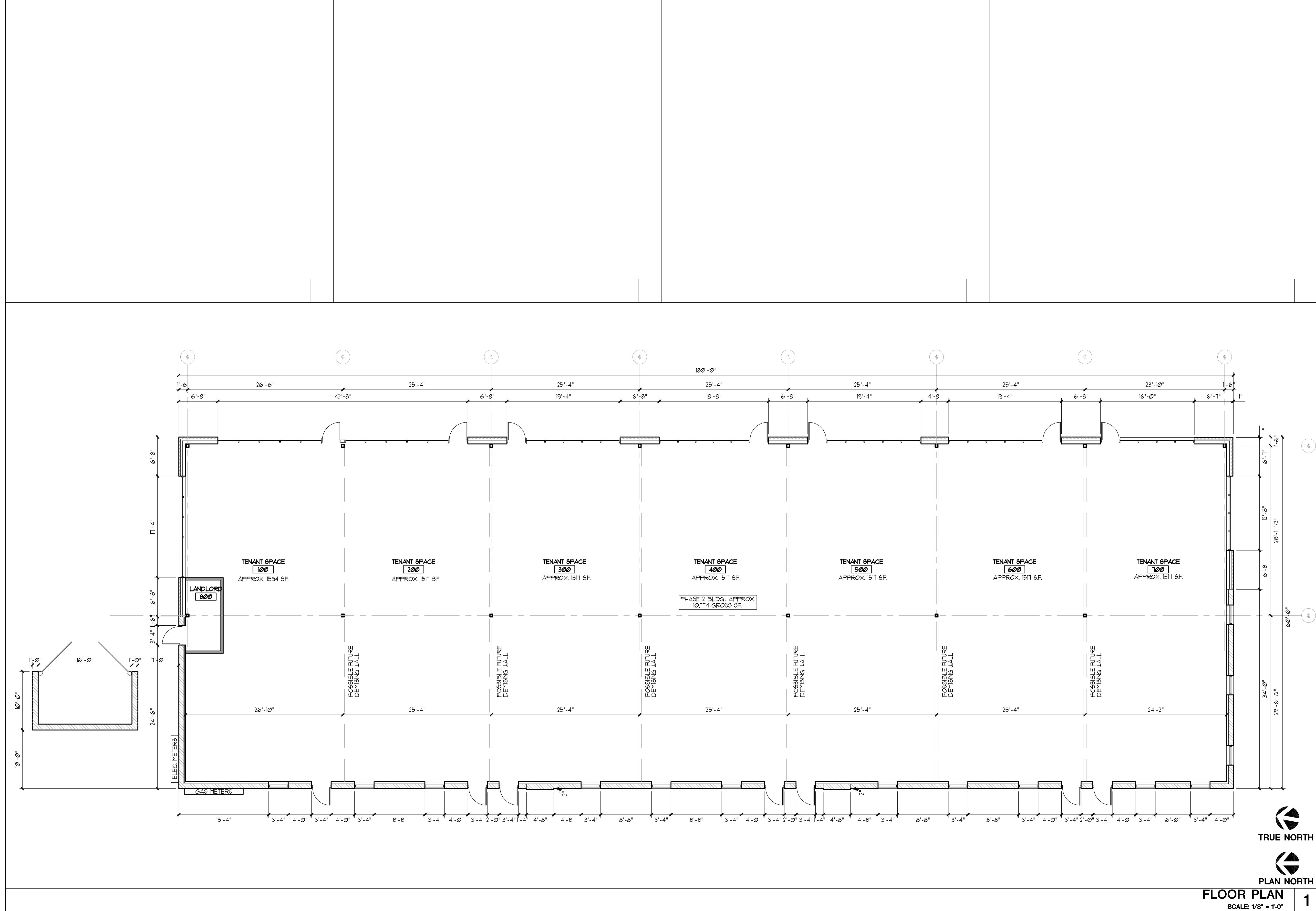
Proposed Plant Material Table - Phase II

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
Broadleaf Deciduous Ornamental Tree					
3	MaC		Malus x 'Coralburst'	Coralburst Crabapple	2"-Cal - B&B
Conifer Evergreen Tree					
8	Juvic		Juniperus virginiana 'Cupressifolia'	Hillspire Juniper	5' - 6' - B&B
Broadleaf Deciduous Shrub					
3	PhviDS		Philadelphus x virginalis 'Dwarf Snowflake'	Dwarf Snowflake Mock Orange	18" - Cont
14	PhopM		Physocarpus opulifolius 'Monlo'	Diabolo Ninebark	2' - 3' - B&B
34	PofrU		Potentilla fruticosa 'Ulman'	Mango Tango Potentilla	18" - Cont

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size
Conifer Evergreen Shrub					
8	ThocH		Thuja occidentalis 'Holmstrup'	Holmstrup Dwarf Arborvitae	2' - 3' - B&B
Perennial Grass					
54	CaacK		Calamagrostis acutiflora 'Karl Forester'	Karl Forester Feather Reed Grass	1-Gal - Cont
35	DecaB		Deschampsia caespitosa Bronzeschleier	Bronze Veil Tuft Hair Grass	1-Gal - Cont
26	MisiG		Miscanthus sinensis 'Graziella'	Graziella Maiden Grass	1-Gal - Cont
22	PealFt		Pennisetum alopecuroides 'Foxtrof'	Giant Fountain Grass	1-Gal - Cont
97	ScscC		Schizachyrium scoparium 'Carousel'	Carousel Little Blue Stem	1-Gal - Cont

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L16-016 - RAWSON RETAIL DEVELOPMENT - PHASE II - 05/27/2016



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Scale: NOTED
Drawn: RTL
Job: 16-xxx
Sheet: A1.1

Drawing Title:
FLOOR PLAN

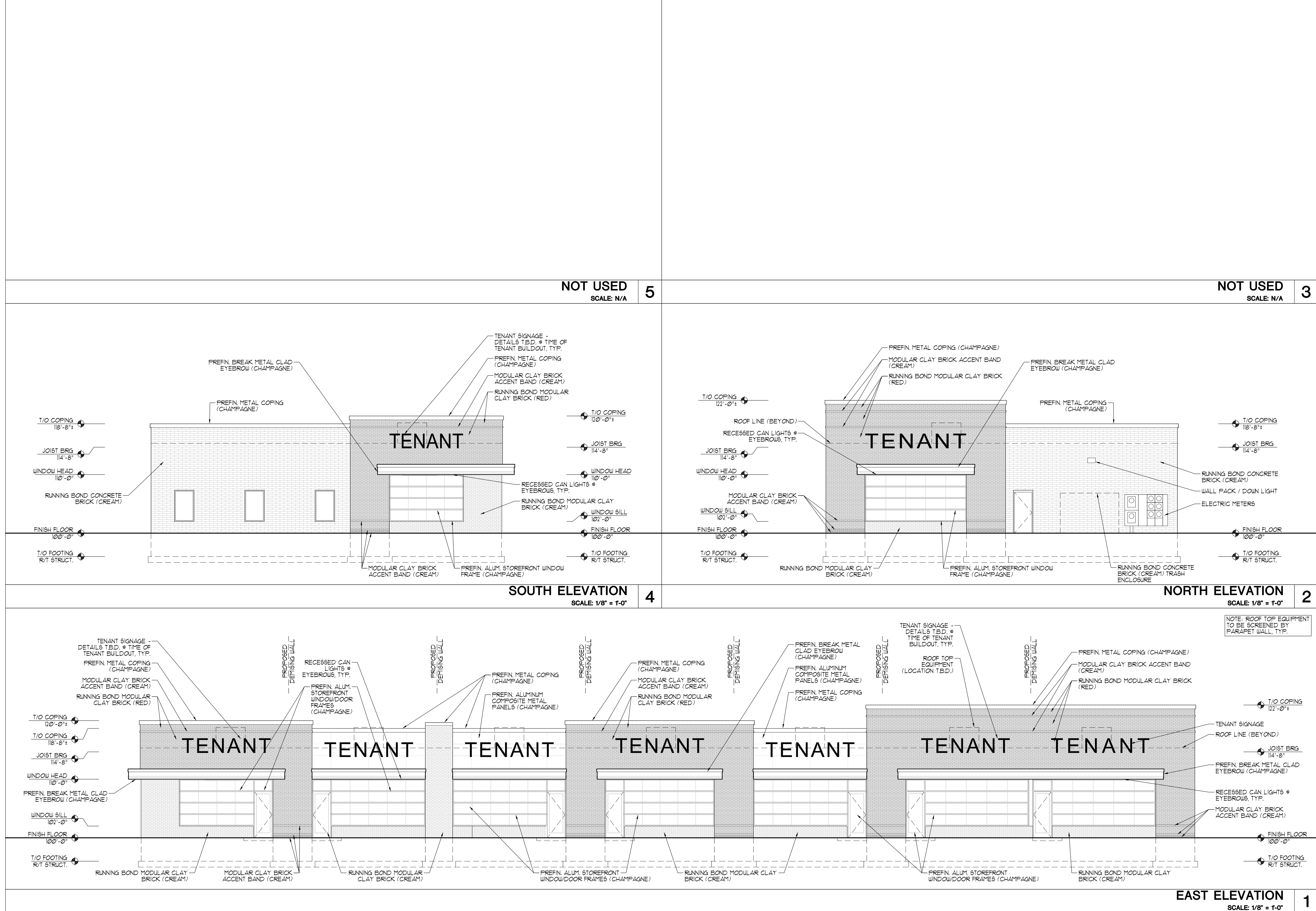
PERSPECTIVE DESIGN, INC.
 11525 W. North Avenue
 Wauwatosa, WI 53226
 Tel (414) 302-1780 Fax (414) 302-1751

REV. #	REV. DATE	DESCRIPTION	REV. BY:
05.31.16		PLAN COMMISSION SUBMITTAL	RTL

Project:
 New Building For:
Howell Retail Building Shell - Phase 2
 7003 S. Howell Ave.
 Oak Creek, WI

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<p>REV. # REV. DATE DESCRIPTION</p> <p>05.31.16 PLAN COMMISSION SUBMITTAL</p>	
<p>REV. BY: RTL</p>	
<p>Drawing Title:</p> <p>EXTERIOR ELEVATIONS</p>	
<p>Date: 05.31.16</p>	
<p>Scale: NOTED</p>	
<p>Drawn: RTL</p>	
<p>Job: 16-xxx</p>	
<p>Sheet:</p> <p>A2.1</p>	
<p>THIS BOX IS 1/2" x 1/2"</p>	
<p>New Building For:</p> <p>Howell Retail Building Shell - Phase 2</p> <p>7003 S. Howell Ave. Oak Creek, WI</p>	
<p>PERSPECTIVE DESIGN, INC.</p> <p>11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1750 Fax (414) 302-1751</p>	

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SOUTH ELEVATION 4
SCALE: 1/8" = 1'-0"



NORTH ELEVATION 3
SCALE: 1/8" = 1'-0"



WEST ELEVATION 2
SCALE: 1/8" = 1'-0"



EAST ELEVATION 1
SCALE: 1/8" = 1'-0"

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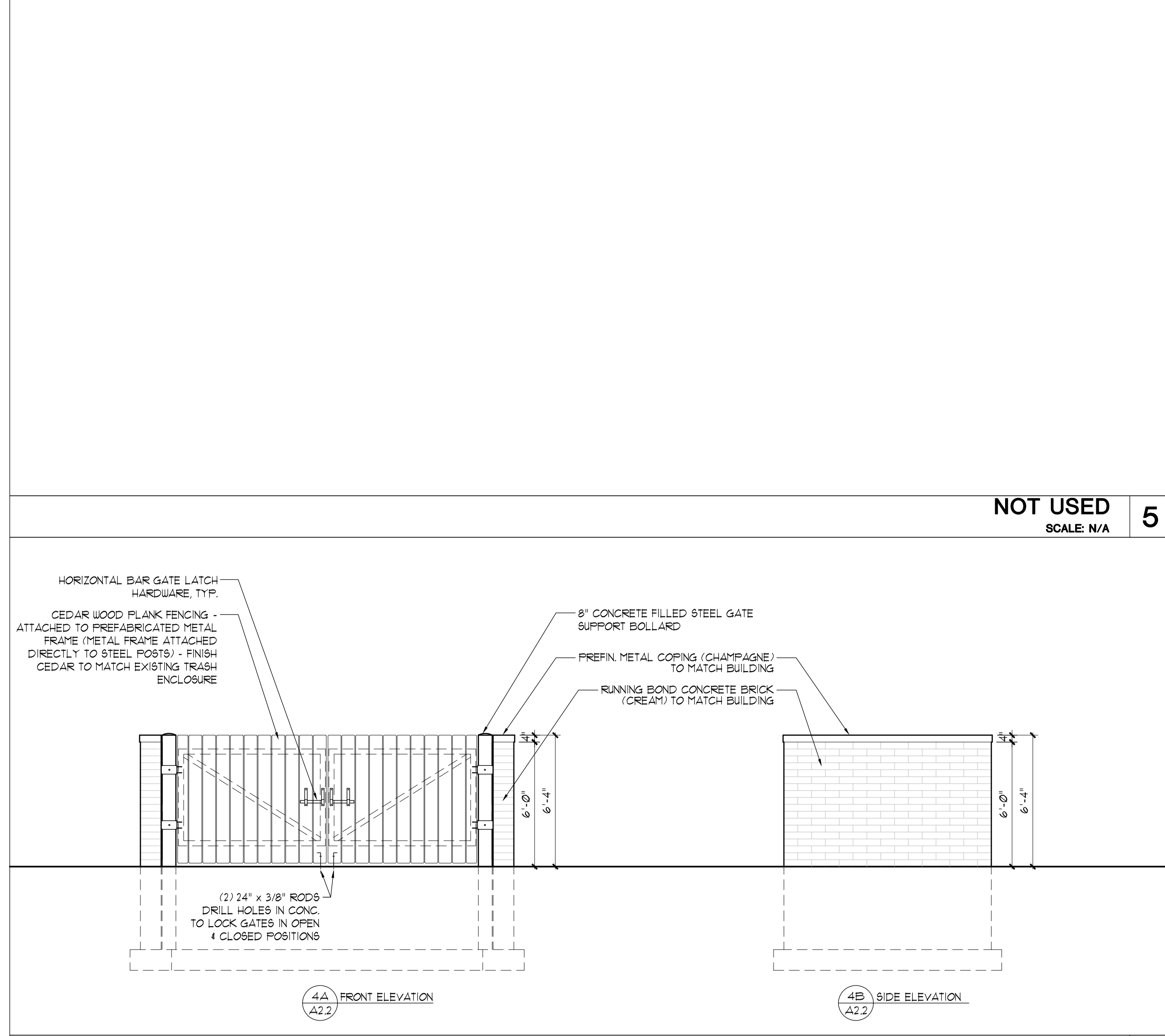
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05.31.16		PLAN COMMISSION SUBMITTAL	RTL
Project:			
New Building For:			
Howell Retail Building Shell - Phase 2			
7003 S. Howell Ave.			
Oak Creek, WI			
Drawing Title:			
COLOR ELEVATION			
Date:	05.31.16	THIS BOX IS 1/2" x 1/2"	
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Drawn:	RTL		
Job:	16-xxx		
Sheet:	R2.1		

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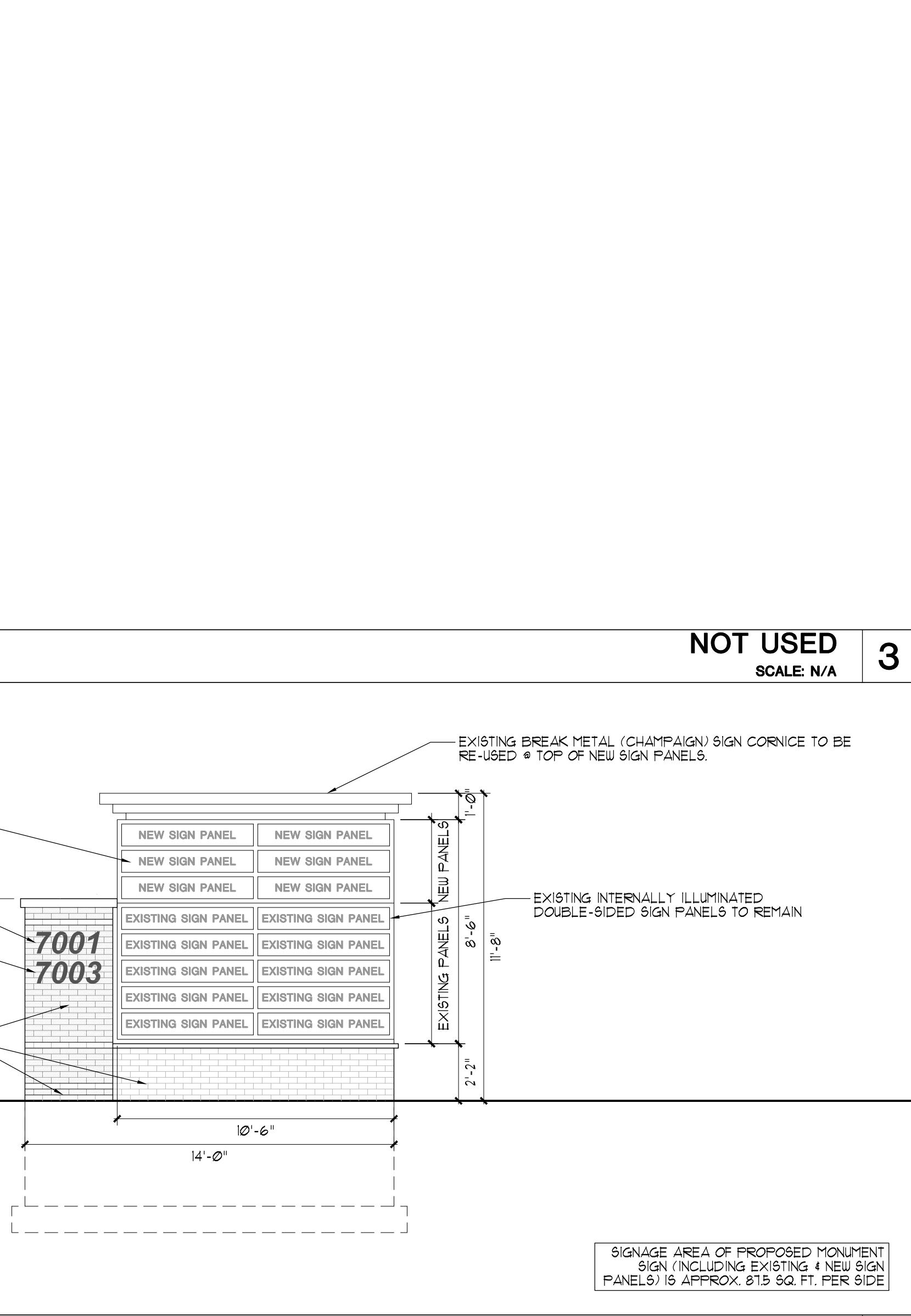
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TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4" = 1'-0"

5

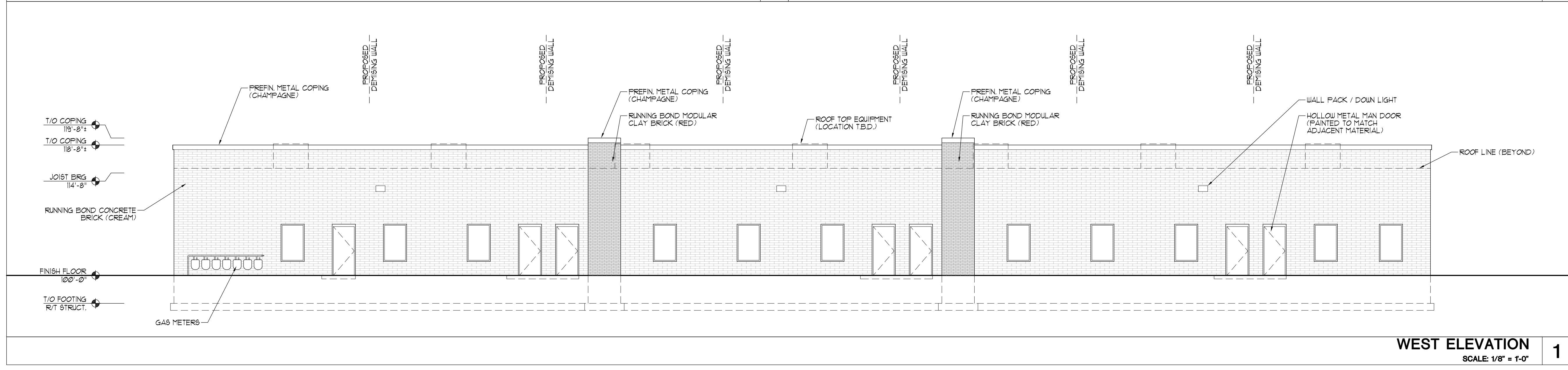
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PROPOSED MONUMENT SIGN ALTERATION
SCALE: 1/4" = 1'-0"

3

NOT USED
SCALE: N/A



WEST ELEVATION
SCALE: 1/8" = 1'-0"

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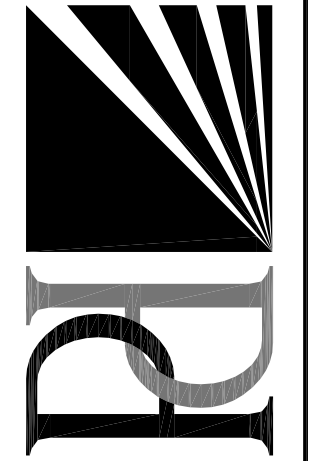
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Drawing Title:
EXTERIOR ELEVATIONS

Date: 05.31.16
Scale: NOTED
Drawn: RTL
Job: 16-xxx

Sheet:
A2.2



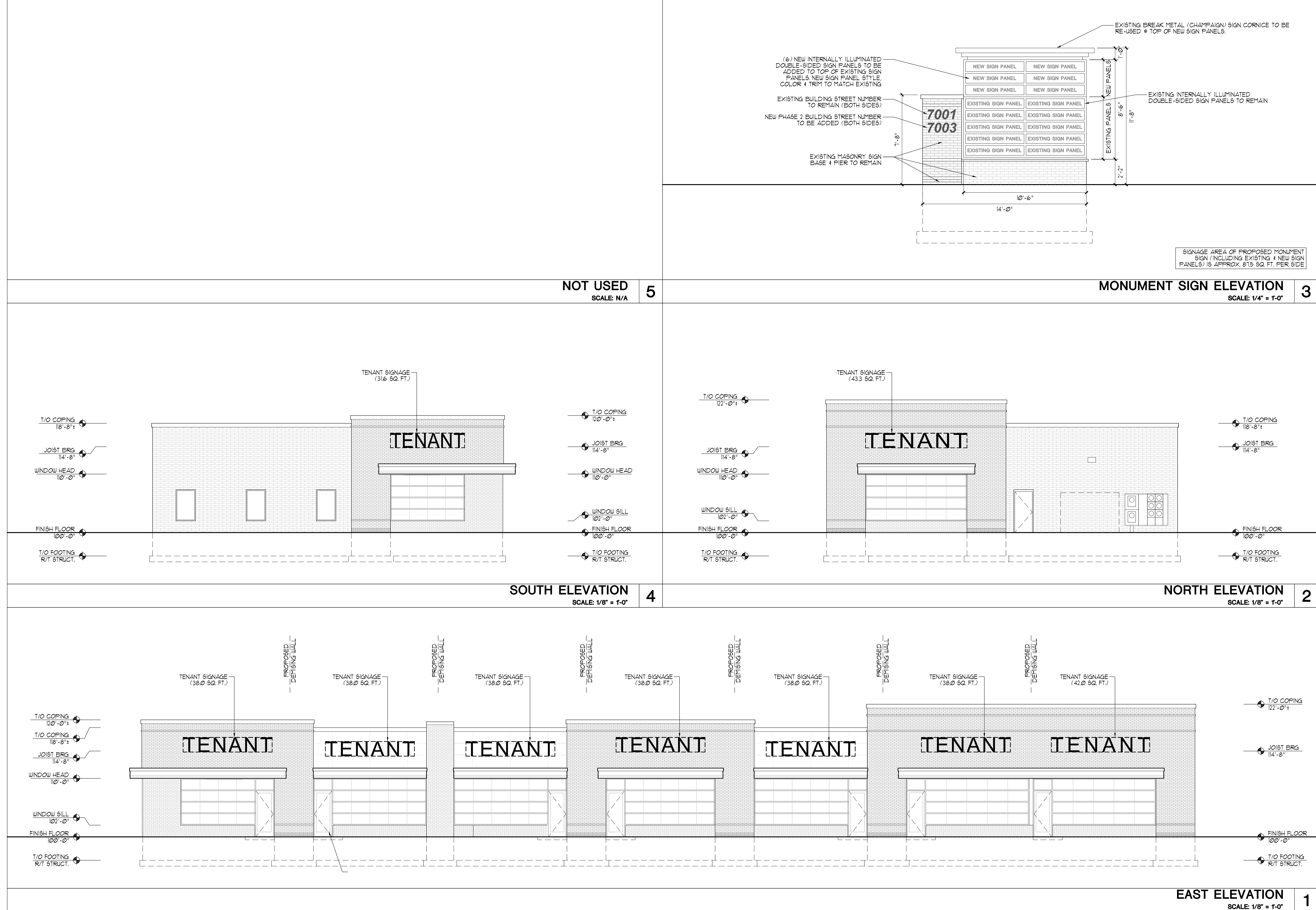
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05.31.16		PLAN COMMISSION SUBMITTAL	RTL

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NOT FOR CONSTRUCTION



NOT USED
SCALE: N/A

5

MONUMENT SIGN ELEVATION
SCALE: 1/4" = 1'-0"

3

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

4

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

2

EAST ELEVATION
SCALE: 1/8" = 1'-0"

1

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FULL SIZE PRINT = 24" x 36" SHEET

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REV. #	REV. DATE	DESCRIPTION
05.31.16		PLAN COMMISSION SUBMITTAL
		RTL

New Building For: Howell Retail Building Shell - Phase 2 7003 S. Howell Ave. Oak Creek, WI	PERSPECTIVE DESIGN, INC. 11525 W. North Avenue Wauwatosa, WI 53226 Tel (414) 302-1780 Fax (414) 302-1751
--	--

Drawing Title: EXTERIOR ELEVATIONS (SIGNAGE)	THIS BOX IS 1/2" x 1/2"
Date: 05.31.16	
Scale: NOTED	
Drawn: RTL	
Job: 16-xxx	
Sheet:	
A2.3	

NOT FOR CONSTRUCTION

- PRELIMINARY -
FOR ESTIMATING AND REVIEW ONLY





Howell Development – Phase 2 Parking Analysis

5/31/16

The purpose of this analysis is to provide a data-based explanation behind the proposed number of parking stalls for Phase 2 of the Howell Development at 7003 S. Howell Ave. The following calculations are based on the existing Phase 1 parking lot capacity, occupancy figures for the existing phase 1 building and number of cars currently utilizing the existing lot.

There are currently no tenants identified for the Phase 2 building, but the occupancy mix is anticipated to be similar to the existing Phase 1 building.

Parking Space Requirements per City of Oak Creek Zoning Code:

Applicable Formulas for Minimum Parking Requirements by Use:

- **Financial Institutions:** One (1) space per 150 sq. ft. of gross floor area plus (1) space per employee for the work shift with the largest number of employees.
- **Personal Services:** One (1) space per 200 sq. ft. of gross floor area plus (1) space per employee for the work shift with the largest number of employees.
- **Medical Office:** Five (5) spaces per doctor plus (1) space per employee for the work shift with the largest number of employees.

Table 1.1 - Required Parking Stalls by use based on zoning code for the Existing Phase 1 Parking Lot:

Suite-Tenant	Sq. Ft.	Use	Parking Ratio	# of Doctors	# of Employees on Max. Shift	# of Req. Spaces
100 - Sterling Law	1854	Personal Services	1/200 S.F.	N/A	9	19
200 - United Bank	1435	Financial	1/150 S.F.	N/A	3	13
300 - Dr. Warren O.D.	1435	Medical Office	N/A	2	2	12
400 - Southshore Salon	1435	Personal Services	1/200 S.F.	N/A	8	16
500 - Milwaukee Foot	1435	Medical Office	N/A	2	2	12
700 - Hyatt Chiropractic	1435	Medical Office	N/A	2	2	12
800 - Affiliated Health	2378	Medical Office	N/A	4	4	24
900 - Ascend Dermatology	1910	Medical Office	N/A	2	5	15

Current Code Requirements:

Actual Existing Phase 1 Parking

Total Square Footage: 13,317 S.F.
Total Code Required Stalls: 123 Stalls
Parking Ratio: 9.1 Stalls / 1000 S.F.

Total Stalls: 91 Stalls
Parking Stall Ratio: 6.8 Stalls / 1000 S.F.

Phase 1 Actual Parking Based on Parking Study

Based on numerous site visits at all times of the day and all days of the week, consultation with each of the existing tenants, and owner provided data, the following vehicle counts have been observed for the existing Phase 1 Building and Parking lot.

Table 1.2 - Observed Parking Counts:

	Observed Vehicles Parked
High Count	79 Cars
Low Count	36 Cars
Mean Count	60.3 Cars

Note: Because Suite 100-Sterling Law is currently unoccupied, observed Parking counts have been adjusted by adding 19 cars to each of our observed figures to account for the total occupant load of that tenant space.

Phase 1 Building Square Footage: 13,317 S.F.

Site Observed Vehicle Count (High Count): 79 Cars

Site Observed Vehicle Count Ratio (High Count): 5.9 Cars / 1000 S.F.

Existing Phase 1 Parking Analysis:

Per current City of Oak Creek Zoning code, Phase 1 would have required 123 parking stalls or 9.1 stalls per 1000 S.F. of building area based on the current tenant mix and building size. The existing phase 1 site has 91 parking stalls, which equates to 6.8 stalls per 1000 S.F. Based on the site observed counts, the mean vehicle count is 60.3 cars with the highest observed vehicle count being 79 cars. The high count of 79 cars equates to 5.9 parking stalls per 1000 S.F.

Proposed Phase 2 Parking Analysis:

The Phase 2 building is being constructed as a building shell only at this time, and the specific tenant uses and sizes of each tenant space are unknown. However, it is expected that Phase 2 will have a similar tenant mix to that of the existing Phase 1 building. (A combination of personal services, financial institutions, and small medical office uses)

Parking Required by Observed Phase 1 Data: _____ Parking Provided in Phase 2

Phase 1 Building Square Footage: 13,317 S.F.

Phase 1 Stalls Required: 79 Stalls

Phase 1 Vehicle Count Ratio: 5.9 Cars / 1000 S.F.

Phase 2 Building Square Footage: 10,690 S.F.

Phase 2 Stalls Provided: 67 Stalls

Phase 2 Parking Ratio: 6.3 Stalls / 1000 S.F.

The proposed Phase 2 parking lot contains 67 new parking stalls, which equates to 6.3 stalls per 1000 S.F. calculated using the size of the proposed Phase 2 building which is similar in use to the Phase 1 building. Based on the number of existing parking stalls for the Phase 1 building, along with the expectation that a similar tenant mix will ultimately occupy the Phase 2 building, it is reasonable that the proposed parking count of 67 new stalls will be sufficient to meet the peak parking needs for Phase 2.



Plan Commission Report

ITEM: 5d
DATE: June 28, 2016

PROJECT: Plan Review – Tom Howald, Aldi, Inc.

ADDRESS: 6810 S. 27th St.

TAX KEY NO: 737-9031-001

STAFF RECOMMENDATION: That the Plan Commission approves the site and building plans submitted by Tom Howald, Aldi, Inc., for the property at 6810 S. 27th St., with the following conditions:

1. That the exterior brick veneer meets the minimum 4-inch thick requirement per Code.
2. That all revised plans (site, building, landscaping, lighting details, etc.) are submitted in digital and paper formats for review and approval by the Department of Community Development prior to the submission of building permit applications.
3. That all mechanical equipment (ground, building, and rooftop) is screened from view.
4. That all building and fire codes are met.
5. That stormwater and grading plans are submitted for final approval by the Engineering Department prior to issuance of permits.
6. That all water and sewer utility connections are coordinated with the Oak Creek Water & Sewer Utility.

Ownership: Aldi Inc.

Size: 2.574 acres

Existing Zoning: B-4 (CU), Highway Business; RR, Regional Retail Overlay District

Adjacent Zoning: North – B-4 (CU), Highway Business; RR, Regional Retail Overlay District
 East – B-4 (CU), Highway Business
 South – B-2, Community Business; RR, Regional Retail Overlay District
 West – City of Franklin

Comprehensive Plan: Planned Business.

Wetlands: N/A.

Floodplain: N/A.

Official Map: N/A.

Commentary: The Applicant is requesting site, building, and landscape plan approval for an addition to the existing building at 6810 S. 27th St. The 540 square-foot addition on the west side of the building will house a new bakery for the Aldi grocery store. All setbacks are met in the proposal.

Modular brick to match the existing building will be used. No new lighting or signage is proposed at this time. While there will be a net loss of approximately 5-6 parking stalls, no additional employees are anticipated and adequate parking will remain following the reconfiguration. Landscape plans have been provided to show the replacement of vegetation along 27th St. As the addition is on existing impervious surface, no landscaping adjacent to the building is required.

Prepared by:

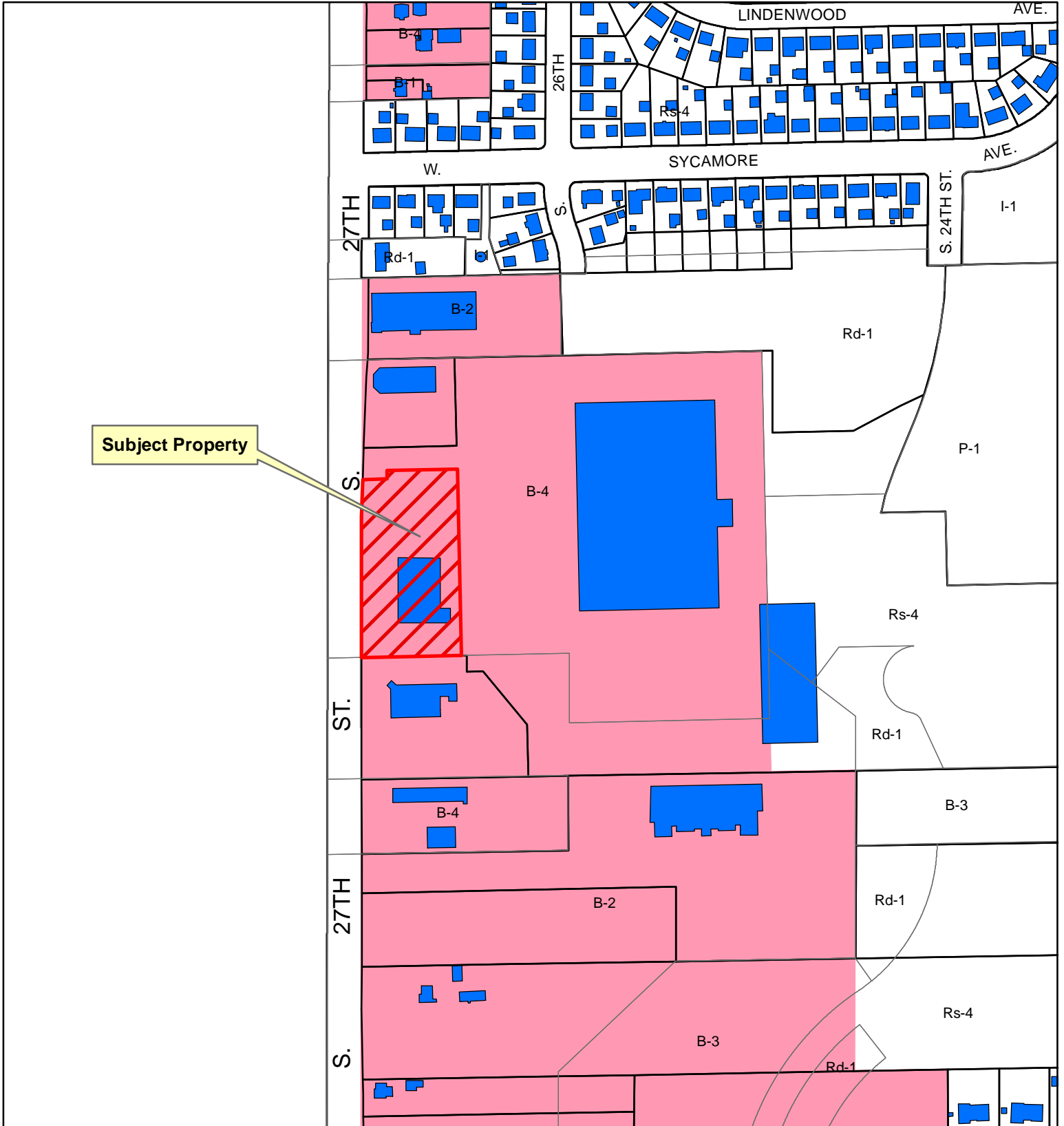
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

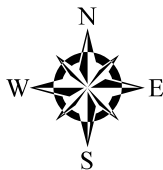
Location Map

6810 S. 27th St.



Subject Property

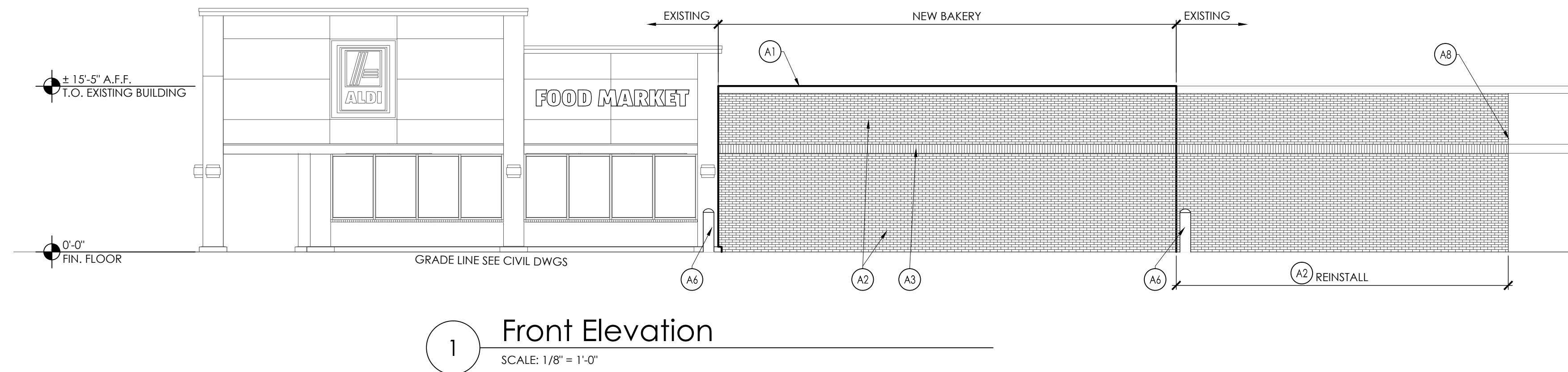
This map is not a survey of the actual boundary of any property this map depicts.



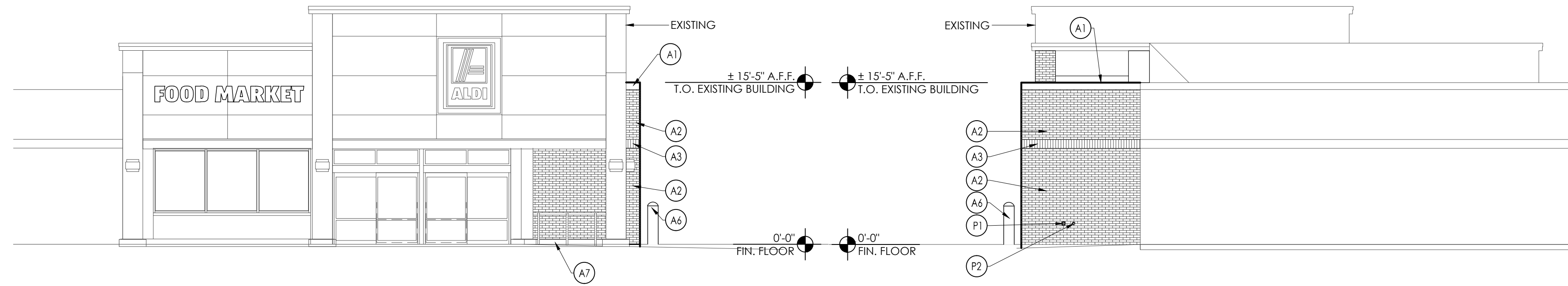
Legend

- 6810 S. 27th St.
- Floodway
- Floodfringe
- Flood Fringe (FF)
- Shoreland Wetland Conservancy (C-1)
- Lakefront Overlay District (LOD)
- Mixed Use Neighborhood Overlay (NO)
- Mixed Use Office Overlay (OO)
- Regional Retail Overlay District (RR)

EXTERIOR FINISHES SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
(A1)	GRAVEL STOP BY FIRESTONE	A1 - SLATE GRAY	
(A2)	MODULAR BRICK		MATCH EXISTING
(A3)	MODULAR BRICK		ACCENT BAND - MATCH EXISTING
(A4)	NOT USED		
(A5)	NOT USED		
(A6)	BLRD-4		12" DIA. A 3/8" (H) DOME BOLLARD MODEL #TF6027
(A7)	CONCRETE CART BUMPER	NATURAL	SEE STRUCTURAL DWGS
(A8)	CONTROL JOINT		AT EACH PILASTER TYP.
(P1)	ROOF DRAIN CLEAN-OUT	FACTORY FINISH	SEE PLUMBING DWGS
(P2)	OVERFLOW ROOF DRAIN DOWNSPOUT NOZZLE	FACTORY FINISH	SEE PLUMBING DWGS
(X)	STOREFRONT KEY	ANODIZED ALUMINUM	SEE A602



1 Front Elevation
SCALE: 1/8" = 1'-0"



2 Side Elevation
SCALE: 1/8" = 1'-0"

3 Side Elevation
SCALE: 1/8" = 1'-0"

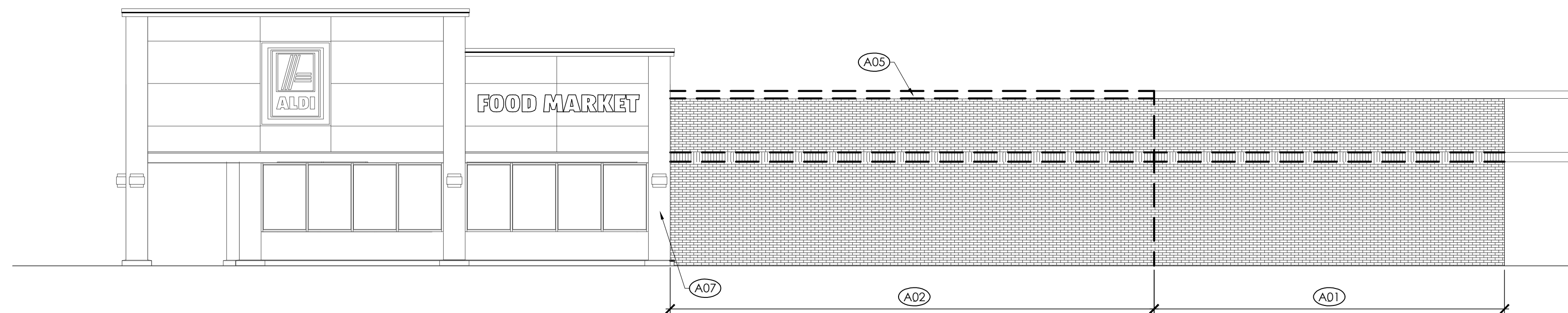
General Demolition Notes:

- THESE DEMOLITION DRAWINGS ARE FOR GENERAL INFORMATION OF EXISTING CONDITIONS, INCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING, AND IS NOT INTENDED TO BE TOTALLY INCLUSIVE OF ALL DEMOLITION REQUIREMENTS. THE CONTRACTOR SHALL INSPECT THE SITE AND MAKE REASONABLE EFFORT TO BID ALL ITEMS NEEDING REMOVAL, INCLUDING THOSE ABOVE EXISTING CEILINGS, BEHIND DOORS, IN CHASEWAYS, ETC. THAT ARE NOT SPECIFICALLY SHOWN ON THE DEMOLITION DRAWINGS.
- FIELD VERIFY ALL EXISTING CONDITIONS. COORDINATE WITH ALDI REP. AT BID WALK-THROUGH ALL DEMOLITION SHOWN ON THIS DRAWING. SOME ITEMS SHOWN TO BE REMOVED MAY NEED TO BE SALVAGED AND REUSED. CONTRACTORS FAILURE TO COORDINATE WITH ALDI REP. AT BID WALK-THROUGH SHALL NOT BE THE BASIS OF ANY CHANGE ORDERS DURING CONSTRUCTION.
- COORDINATE ALL REMOVALS WITH STRUCTURAL DRAWINGS - CONTRACTORS SHALL BE RESPONSIBLE FOR SHORING ALL EXISTING CONSTRUCTION AS REQUIRED. STAMPED ENGINEERED SHORING DRAWINGS SHOULD BE PRODUCED AND SUBMITTED FOR REVIEW. CONTRACTORS FAILURE TO DO SO SHALL BE AT HIS OWN RISK. SEE STRUCTURAL DWGS. FOR ADDITIONAL STRUCTURAL DEMOLITION AND NOTES.
- REMOVALS SHALL INCLUDE THE SPECIFIC ITEMS INDICATED AND ALL OTHER ASSOCIATED ITEMS AS REQUIRED TO BE REMOVED FOR INSTALLATION OF NEW CONSTRUCTION. ITEMS TO BE DEMOLISHED ARE SHOWN BY DASHED LINES, AREAS, AND/OR KEYNOTES.
- DEMOLITION CONTRACTOR SHALL COORDINATE REMOVALS OF ALL ITEMS THAT WILL AFFECT THE INSTALLATION OF NEW CONSTRUCTION AS DIRECTED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING ALL EXTERIOR REMOVALS, OR TO PROTECT WORK THAT IS EXPOSED TO THE WEATHER UNTIL PROTECTED ELEMENT IS IN ITS COMPLETED STATE.
- PROTECT EXISTING CONSTRUCTION SCHEDULED TO REMAIN.
- REMOVAL OF EXISTING CEILINGS SHALL INCLUDE: REMOVAL OF EXISTING SUSPENSION SYSTEM AND PANELS, FASTENERS, ETC. AS REQUIRED FOR NEW WORK. COORDINATE WITH ARCHITECTURAL AND M/E/P SPECIFIC DEMOLITION NOTES.
- ALL EXISTING STRUCTURAL COLUMNS ARE TO REMAIN, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, AND SHALL INFORM THE OWNER'S REPRESENTATIVE OR THE ARCHITECT OF ANY DISCREPANCIES AFFECTING PROPER COMPLETION OF CONTRACT WORK. THIS PLAN IS NOT A RECORD DRAWING AND SHALL BE CONSIDERED A GENERAL SCOPE OF THE DEMOLITION REQUIRED. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL ITEMS NECESSARY FOR THE NEW WORK (ALL TRADES) TO BE PERFORMED PROPERLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING ALL ELECTRICAL, MECHANICAL, AND PLUMBING SERVICES THAT ARE TO REMAIN ACTIVE. THIS INCLUDES SCHEDULING ALL SHUT-DOWNS, DISCONNECTS, AND RECONNECTS OF THOSE SERVICES.
- PROVIDE DUST-TIGHT TEMPORARY CONSTRUCTION BARRIERS AS REQUIRED AND AS SHOWN ON THESE DRAWINGS.
- REFER TO SPECIFICATIONS SECTION 024119 - SELECTIVE STRUCTURE DEMOLITION FOR ADDITIONAL REQUIREMENTS.
- MAINTAIN ACCESS TO AND PROPER OPERATION OF EMERGENCY EXITS DURING CONSTRUCTION.

Demolition Keyed Notes:

ARCHITECTURAL DEMOLITION NOTES

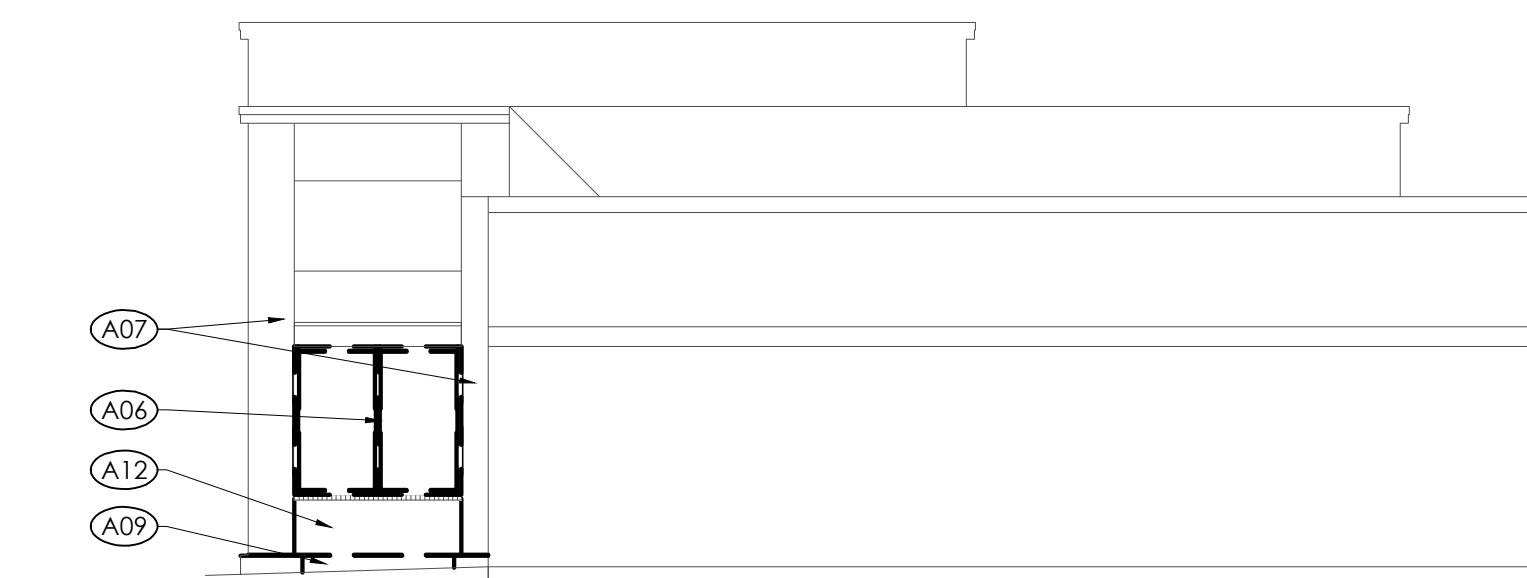
- (A01) REMOVE BRICK VENEER IN THIS AREA TO RELOCATE STRUCTURAL BRACING. REFER TO STRUCTURAL DRAWINGS.
- (A02) REMOVE BRICK VENEER IN AREA OF NEW BAKERY.
- (A03) NOT USED.
- (A04) NOT USED.
- (A05) REMOVE EDGE AS REQUIRED FOR NEW WORK - TO BE REINSTALLED. REFER TO NEW WALL SECTIONS FOR MORE INFORMATION.
- (A06) REMOVE STOREFRONT WINDOW AT END OF CART WALL AS INDICATED. RETURN TO ALDI REP.
- (A07) CART WALL EXTERIOR PILASTER TO REMAIN.
- (A08) NOT USED.
- (A09) REMOVE PORTION OF CONCRETE BUMPER AS INDICATED.
- (A10) NOT USED.
- (A11) NOT USED.
- (A12) CART WALL TO REMAIN.



4 Demo Front Elevation
SCALE: 1/8" = 1'-0"



5 Demo Side Elevation
SCALE: 1/8" = 1'-0"

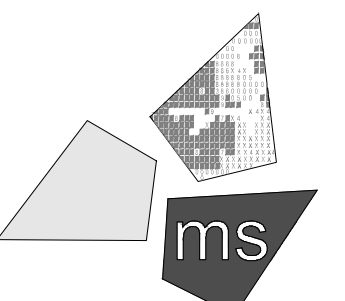


6 Demo Side Elevation
SCALE: 1/8" = 1'-0"

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A Client Review	06/10/16
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Revisions:	Date:
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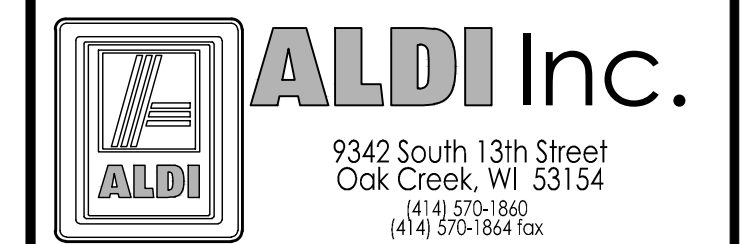
ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

DRAWN BY: MAP/MJB/ACC

REVIEWED BY: EME/MJB

Seal

PRELIMINARY - NOT FOR CONSTRUCTION



ALDI Inc. Store #01
Oak Creek, WI - Bakery
6810 South 27th Street
Oak Creek, WI 53154
Milwaukee County
Project Name & Location:

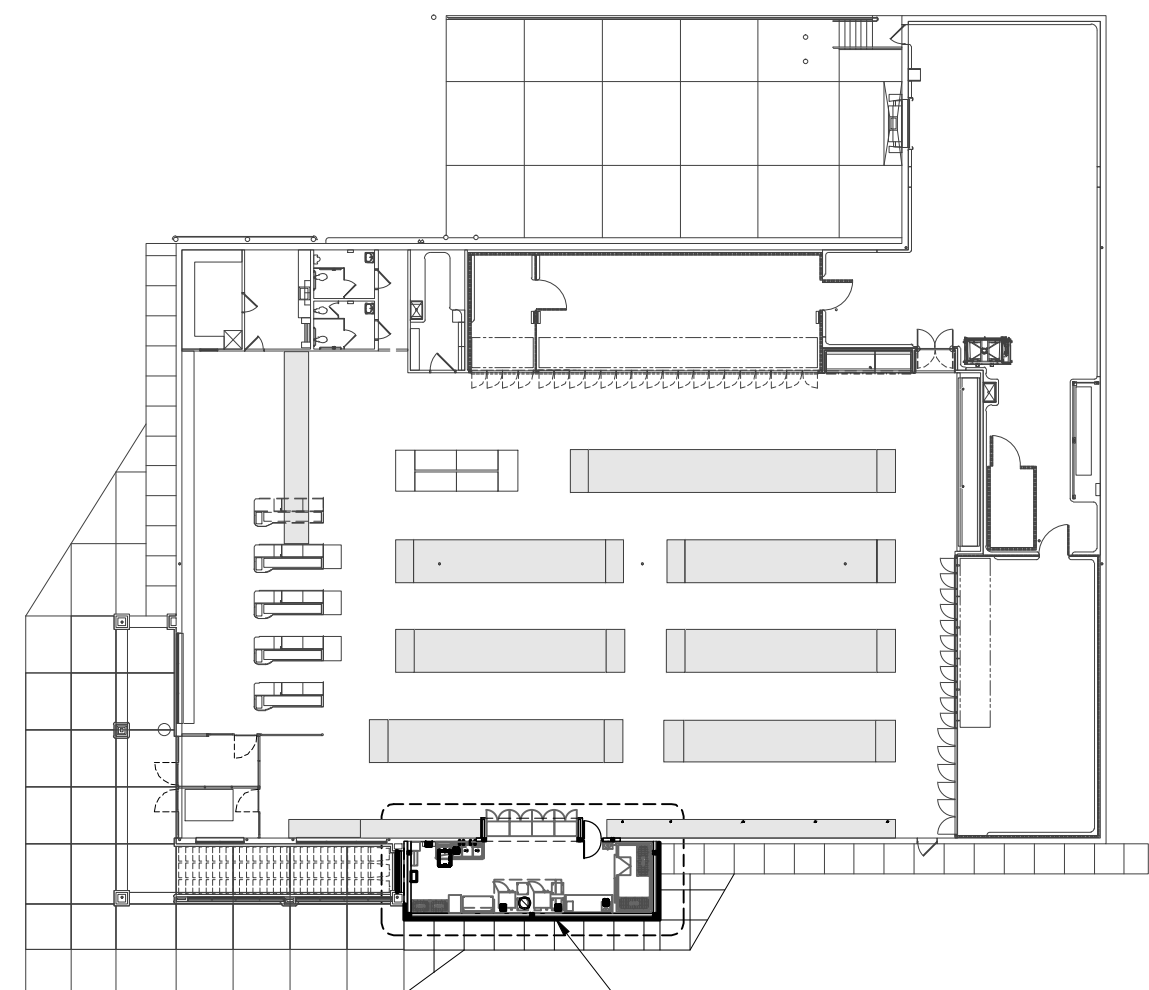
Ext. Elevations & Demo. Elevations
Drawing Name:

Prototype Rls. 05/13/16 Project No. 40321-17

Type: RHSD-V3

A-201

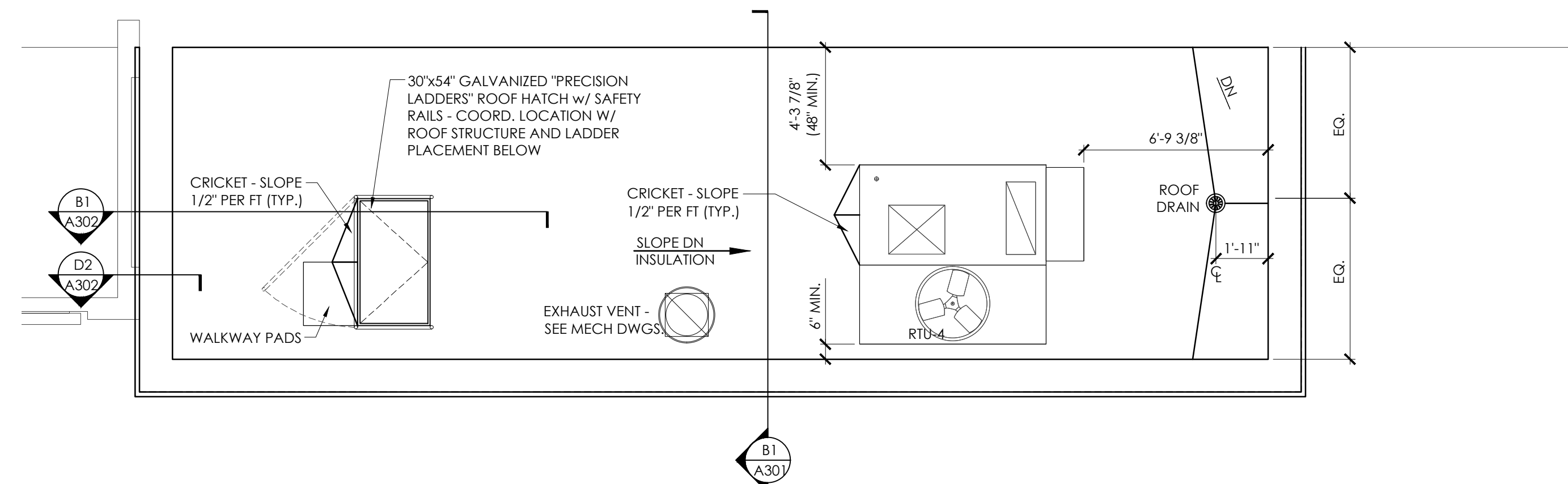
Scale: As Noted Drawing No.



5 Key Plan
SCALE: N.T.S.

ROOF PLAN NOTES

1. ROOF SYSTEM PERFORMANCE REQUIREMENTS
 - A. ACCELERATED WEATHERING: ROOFING SYSTEM SHALL WITHSTAND 2000 HOURS OF EXPOSURE WHEN TESTED ACCORDING TO ASTM G 152, ASTM G 154, OR ASTM G 155.
 - B. IMPACT RESISTANCE: ROOFING SYSTEM SHALL RESIST IMPACT DAMAGE WHEN TESTED ACCORDING TO ASTM D 3746 OR ASTM D 4272.
 - C. ROOFING SYSTEM DESIGN: TESTED BY A QUALIFIED TESTING AGENCY TO RESIST THE FOLLOWING UPLIFT PRESSURES:
 - 1.1. CORNER UPLIFT PRESSURE: 72.2 LBF/SQ. FT.
 - 1.2. PERIMETER UPLIFT PRESSURE: 47 LB/SQ. FT.
 - 1.3. FIELD-OF-ROOF UPLIFT PRESSURE: 37.6 LBF/SQ. FT.



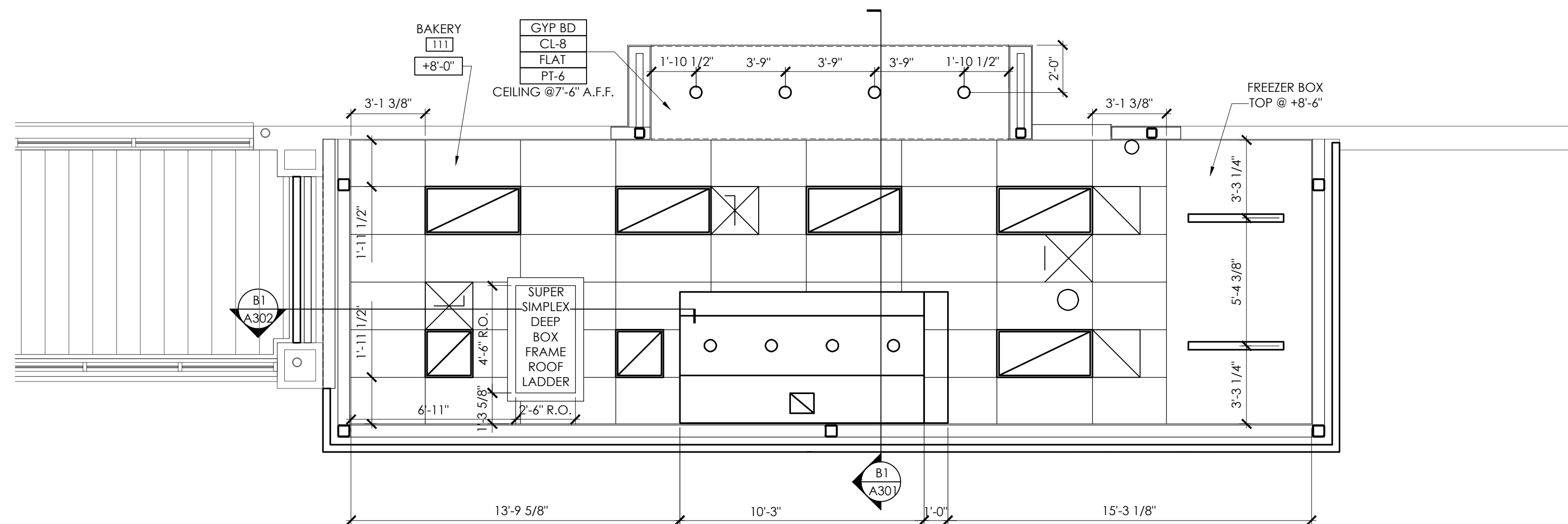
3 Roof Plan
SCALE: 1/4" = 1'-0"

CEILING PLAN LEGEND:

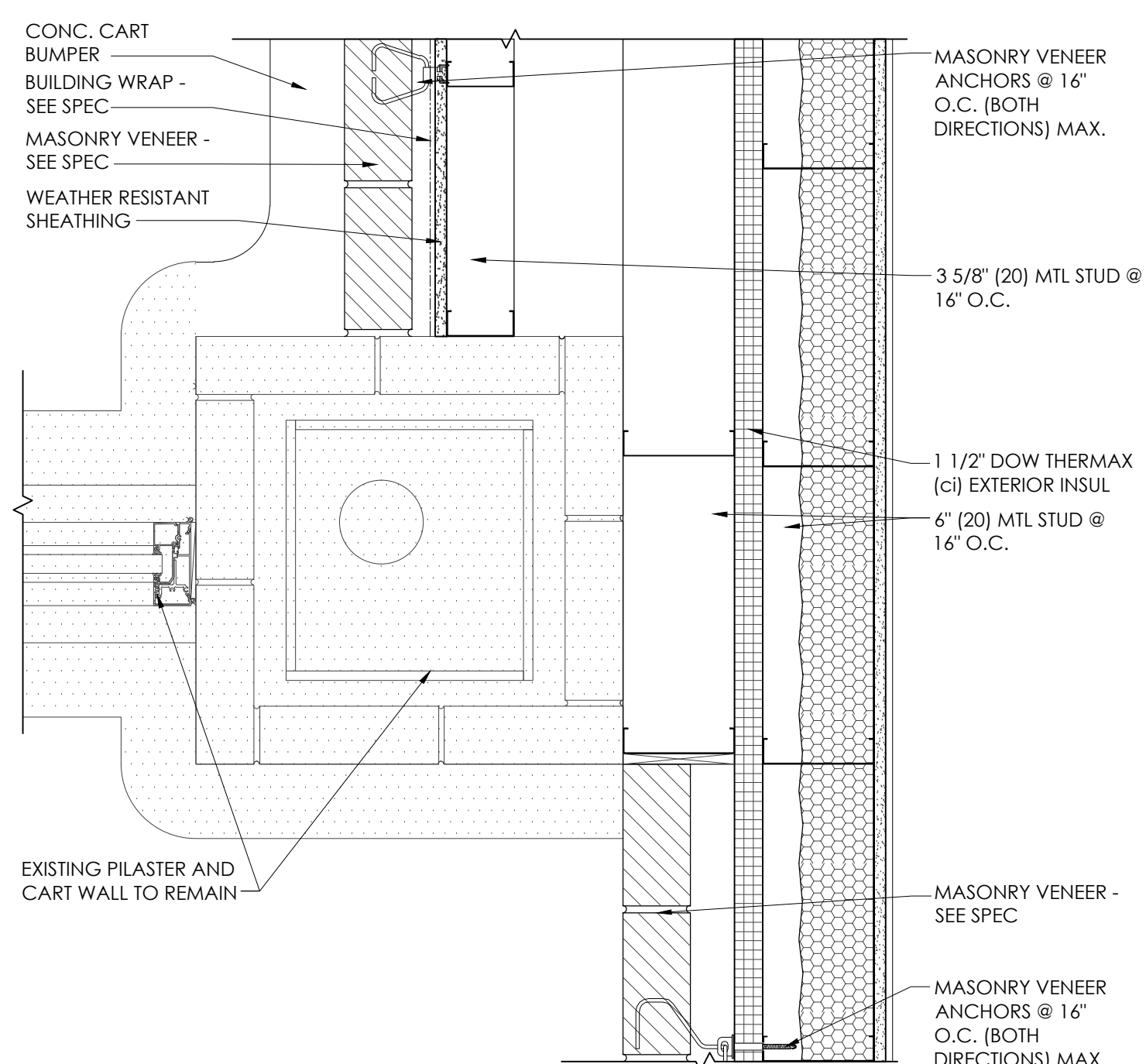
RECESSED CAN LIGHT	○
SPRINKLER HEAD	⊗
EXIT SIGN	⊕
EMERGENCY LIGHT	⊕
2' X 4' RECESSED LIGHT FIXTURE	▭
1' X 4' RECESSED LIGHT FIXTURE	▭
WALL PACK OR SCONCE	□
4' STRIP LIGHT FIXTURE	—
8' STRIP LIGHT FIXTURE	—
RETURN AIR GRILLE	⊠
SUPPLY DIFFUSER	⊠
SHADED FIXTURES ARE NIGHT LIGHTS - SEE LIGHTING PLAN	

CEILING PLAN NOTES:

1. COORDINATE WITH STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL FOR ALL ITEMS PROVIDED BY THOSE DISCIPLINES. CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT ALL CEILING MOUNTED ELEMENTS WITH ALL OTHER CEILING MOUNTED EQUIPMENT AND STRUCTURE AND CORRECTING ANY INTERFERENCE PRIOR TO INSTALLATION.
2. ALL DIMENSIONS ARE TO FACE OF WALL FINISH UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS TO LIGHT LOCATIONS ARE TO CENTERLINE OF FIXTURE.
4. CAULK ALL SUSPENDED CEILING TO WALL INTERSECTIONS - SEE SPEC SECTION 079200.



2 Reflected Ceiling Plan
SCALE: 1/4" = 1'-0"



4 Plan Detail
SCALE: 1 1/2" = 1'-0"

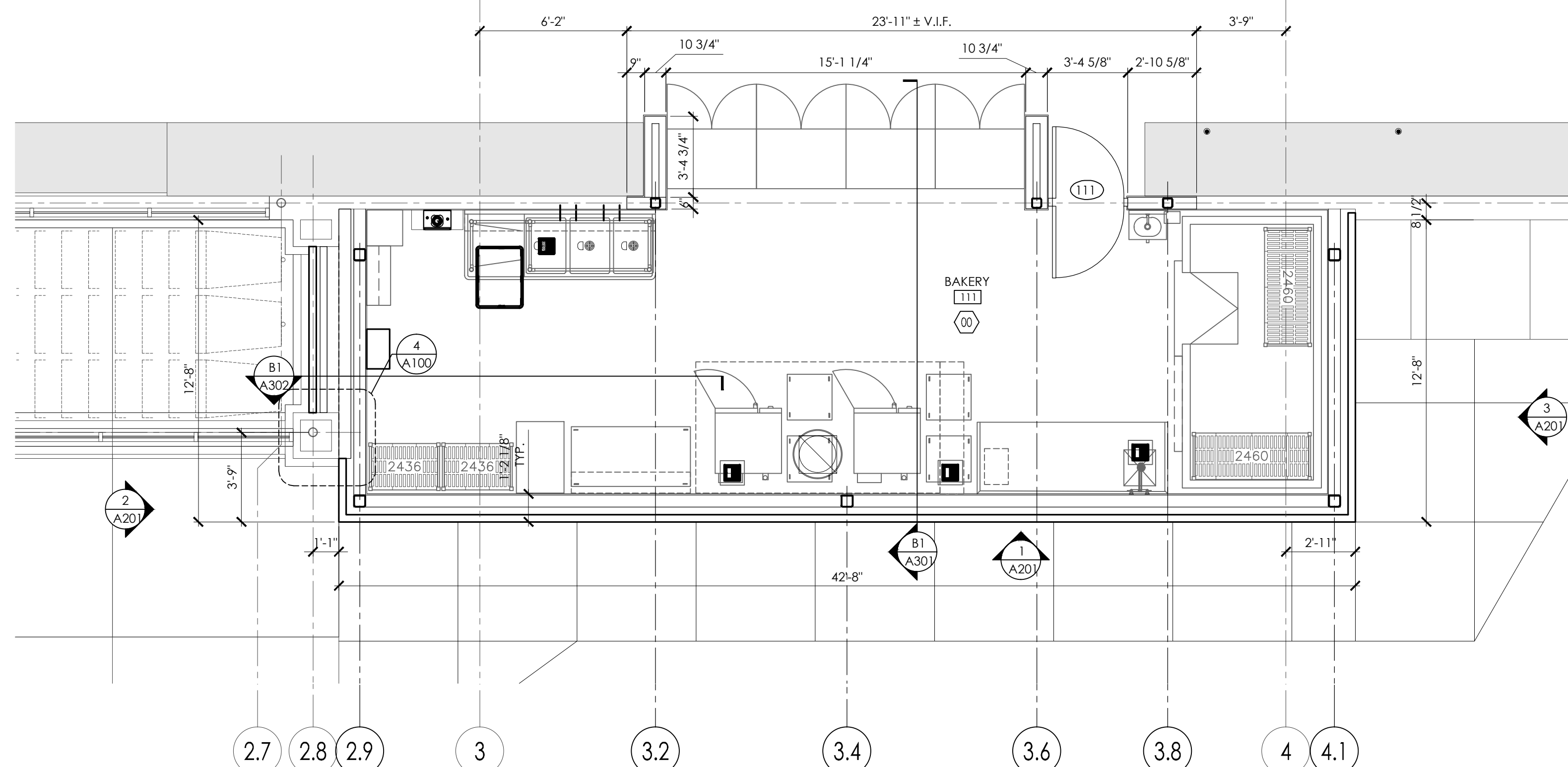
FLOOR PLAN NOTES:

1. REFER TO DRAWING A-601 FOR COLOR/ FINISH/ MATERIAL SCHEDULES.
2. ALL PARTITION DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE (IE. CLEAR)
3. PROVIDE BLOCKING AS NEEDED FOR ALL WALL MOUNTED ITEMS
4. FLAT STEEL IS REQ'D AT MERCH. FIXTURES COORD LOCATIONS w/ ALDI REP.
5. REFER TO DRAWING A-601 FOR INTERIOR METAL STUD INFORMATION

(X) INDICATES COLUMN DESIGNATION

FLOOR FINISH SCHEDULE

(00)	MATCH EXISTING QUARRY TILE - PROVIDED BY OWNER
------	--



1 Floor Plan
SCALE: 1/4" = 1'-0"

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A Client Review	06/10/16
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Revisions:	Date:
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ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

DRAWN BY: MAP/MJB/ACC
REVIEWED BY: EME/MJB

Seal
PRELIMINARY - NOT FOR CONSTRUCTION

ALDI Inc.
9342 South 13th Street
Oak Creek, WI 53154
(414) 570-1860
(414) 570-8644 fax

ALDI Inc. Store #01
Oak Creek, WI - Bakery
6810 South 27th Street
Oak Creek, WI 53154
Milwaukee County
Project Name & Location:

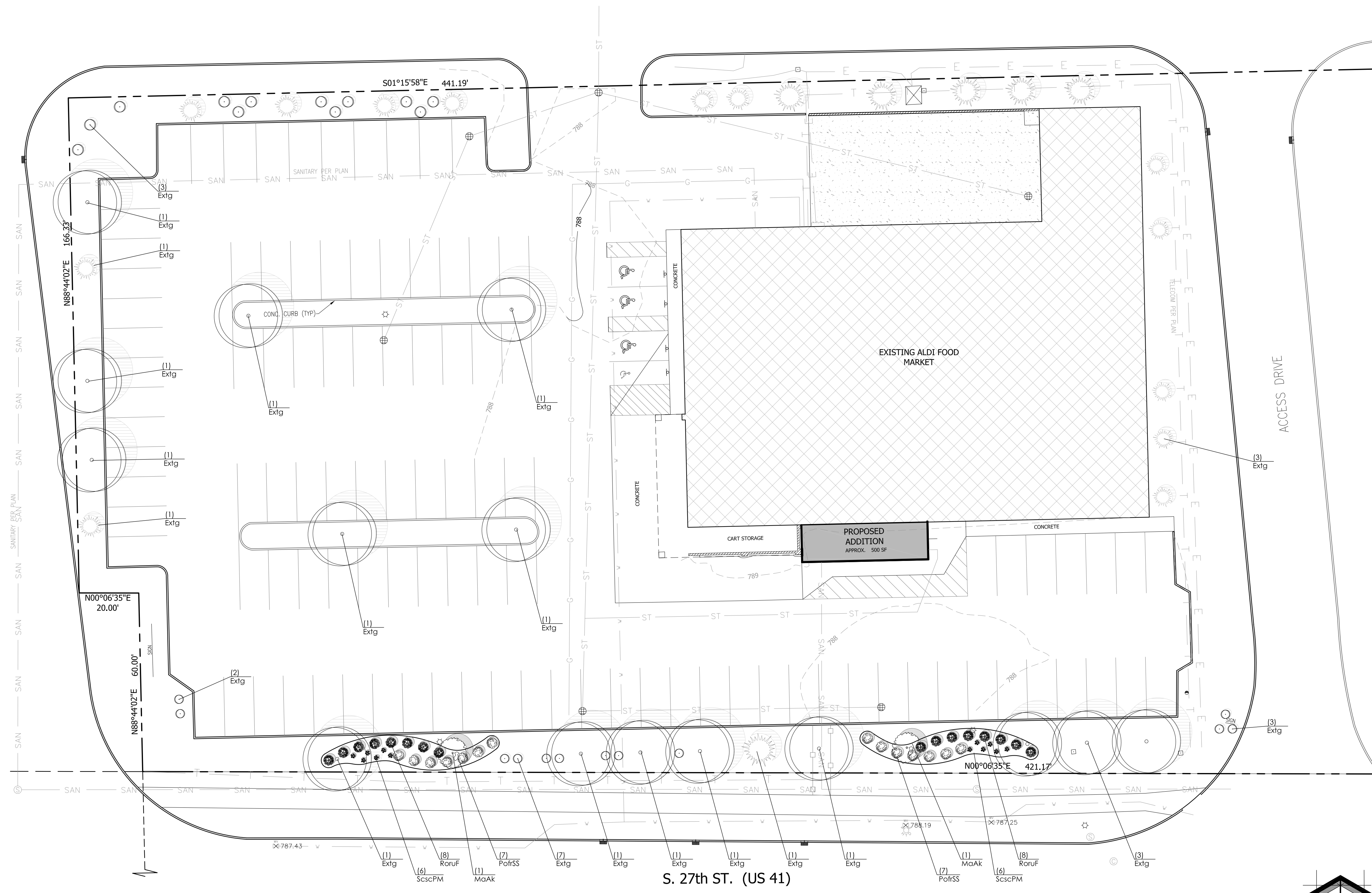
Bakery Plans

Drawing Name:	Project No.
Prototype Rls. 05/13/16	40321-17
Type: RHSD-V3	
	A-100
Scale: As Noted	Drawing No.

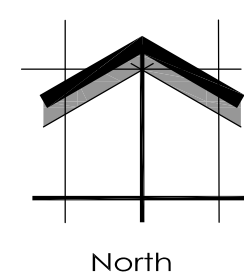
LANDSCAPE PLAN GENERAL NOTES

** PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH. **

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THIS PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014.
- DEVIATIONS FROM THE APPROVED ALDI OAK CREEK PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD. CURRENTLY THERE ARE NO KNOWN DISEASED, NOXIOUS, OR INAPPROPRIATE MATERIALS ON SITE. IF DISEASED, NOXIOUS, OR INAPPROPRIATE MATERIALS ARE DISCOVERED PRIOR OR DURING CONSTRUCTION, THE DEVELOPER WILL SUBCONTRACT THE APPROPRIATE SPECIALIST TO COMPLETE THE REMOVAL.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD:
ONE - 2 CUBIC FOOT BALE OF PEAT MOSS. 2 POUNDS OF 5-10-5 GARDEN FERTILIZER. 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND 1/3 PEAT MOSS. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" DIAMETER MULCH RING ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2-3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- RECOMMENDED SEED MIX:
PREMIUM 60 GRASS SEED MIX REINDER'S (262) 786-3300
20% AMERICAN KENTUCKY BLUE GRASS
20% ALPINE KENTUCKY BLUE GRASS
20% LANGARA KENTUCKY BLUE GRASS
20% VICTORY CHEWINGS FESCUE
10% FIESTA III PERENNIAL RYE GRASS
10% CUTLER PERENNIAL RYE GRASS
APPLY AT A RATE OF 175 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION.
- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE & ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL WATERED & REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED. NO EXCEPTIONS WILL BE GRANTED.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.
- MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- PER ALDI SPECIFICATIONS, TWO LAYERS OF WEED BARRIER MADE FROM FIBERGLASS AND ULTR-VIOLET LIGHT RESISTANT MATERIAL SHALL BE PLACED IN ALL PLANTING BEDS UNDERNEATH SHREDDED BARK MULCH. MAKE PROPER OPENINGS FOR ALL PLANT MATERIAL TO ALLOW FOR GROWTH AND PLANT SURVIVABILITY.
CONTRACTOR NOTE:
BEFORE SITE GRADING AND DEMOLITION IS TO BEGIN FOR PROPOSED NEW PAVEMENT, THE AREA IS TO BE STAKED AND ALL TREE AND SHRUBS THAT ARE TO BE PRESERVED ARE TO BE TAGGED BY LANDSCAPE ARCHITECT AND RELOCATED BY LANDSCAPE CONTRACTOR. IF REQUIRED A TREE PRESERVATION PLAN WILL BE PRODUCED AND COORDINATED WITH CITY STAFF. DEMOLITION CONTRACTOR TO COORDINATE W/ LANDSCAPE ARCHITECT, OWNER AND LANDSCAPE CONTRACTOR.



S. 27th ST. (US 41)



SCALE: 1" = 20'-0"

1 PROPOSED PARTIAL LANDSCAPE PLAN

Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
Broadleaf Deciduous Tree						
2	MaAk		Malus 'Adirondack'	Adirondack Flowering Crab	1 1/2" Cal - B&B	
-	Extg		Existing	Existing	Existing	
Conifer Evergreen Tree						
-	Extg		Existing	Existing	Existing	
Broadleaf Deciduous Shrub						
14	PofrSS		Potentilla fruticosa 'Settling Sun'	Settling Sun Shrubby Cinquefoil	18" - 24" - Cont	
16	RoruF		Rosa rugosa 'Fox'	Foxi Pavement Rose	18" - 24" - Cont	
-	Extg		Existing	Existing	Existing	
Conifer Evergreen Shrub						
-	Extg		Existing	Existing	Existing	
Perennial Grass						
12	ScscPM		Schizachyrium scoparium 'Prairie Munchkin'	Prairie Munchkin Little Bluestem	1-Gal - Cont	

Project:
ALDI Food Store
6810 S. 27th Street
Oak Creek, WI 53154

Issuance and Revisions:

Date	Number	Description
05/24/16		Plan Commission Submittal

24
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Sheet Title:
PROPOSED LANDSCAPE PLAN,
GENERAL NOTES,
AND PLANT MATERIAL TABLE

Date of Drawing: 05/24/16
Scale: 1" = 20'-0"
Drawn By: MCD
Job Number: L16-030
Sheet Number:

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800) 242-8511, (262) 432-7910 (877) 500-5952
www.DiggersHotline.com OR

811
Know what's below.
Call before you dig.

LSP1.1

NOT FOR CONSTRUCTION - PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY - DO NOT SCALE THESE DRAWINGS-

Project:

ALDI
Food Store

6810 S. 27th Street
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Sheet Title:

PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS

Date of Drawing: 05/24/16

Scale: As Noted

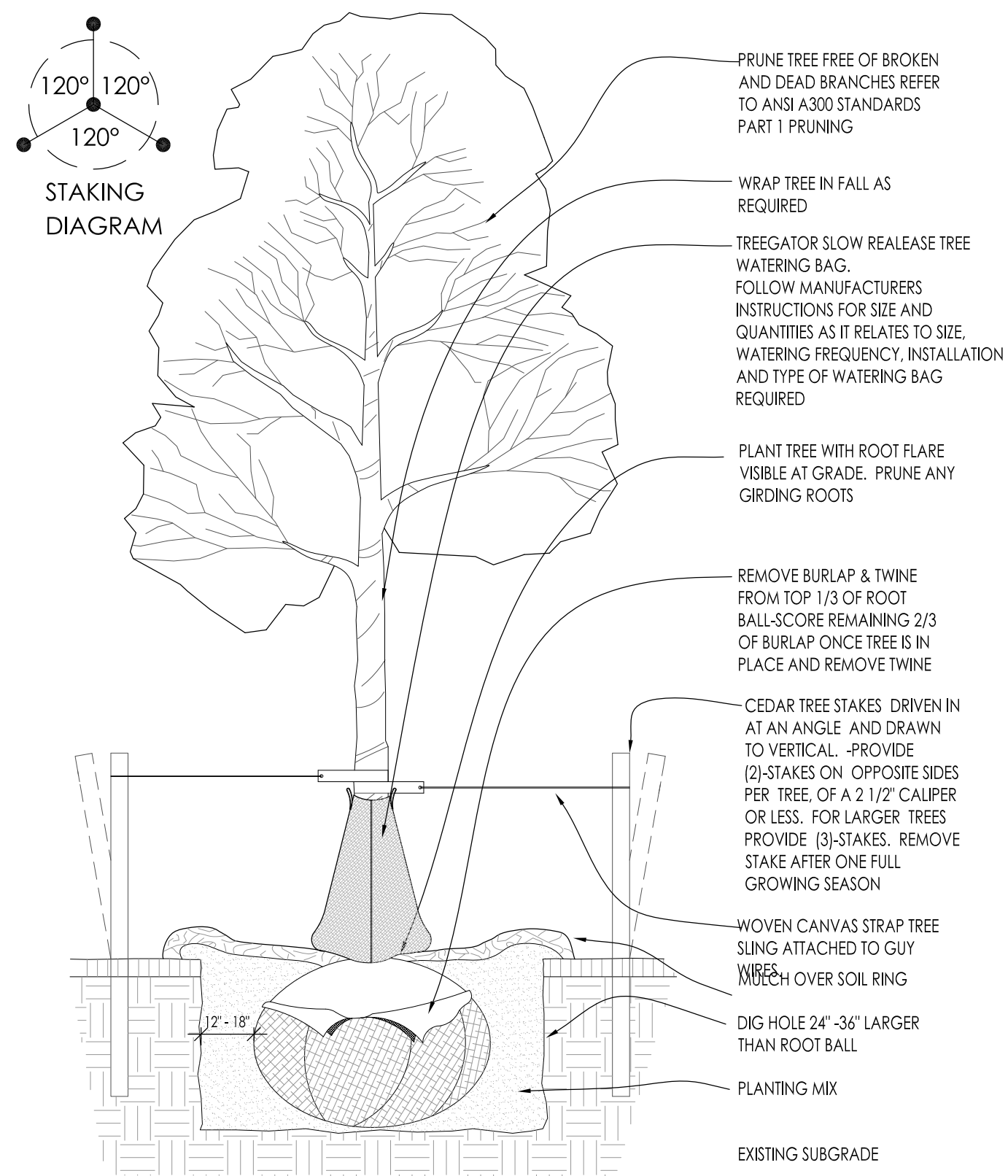
Drawn By: MCD

Job Number: L16-030

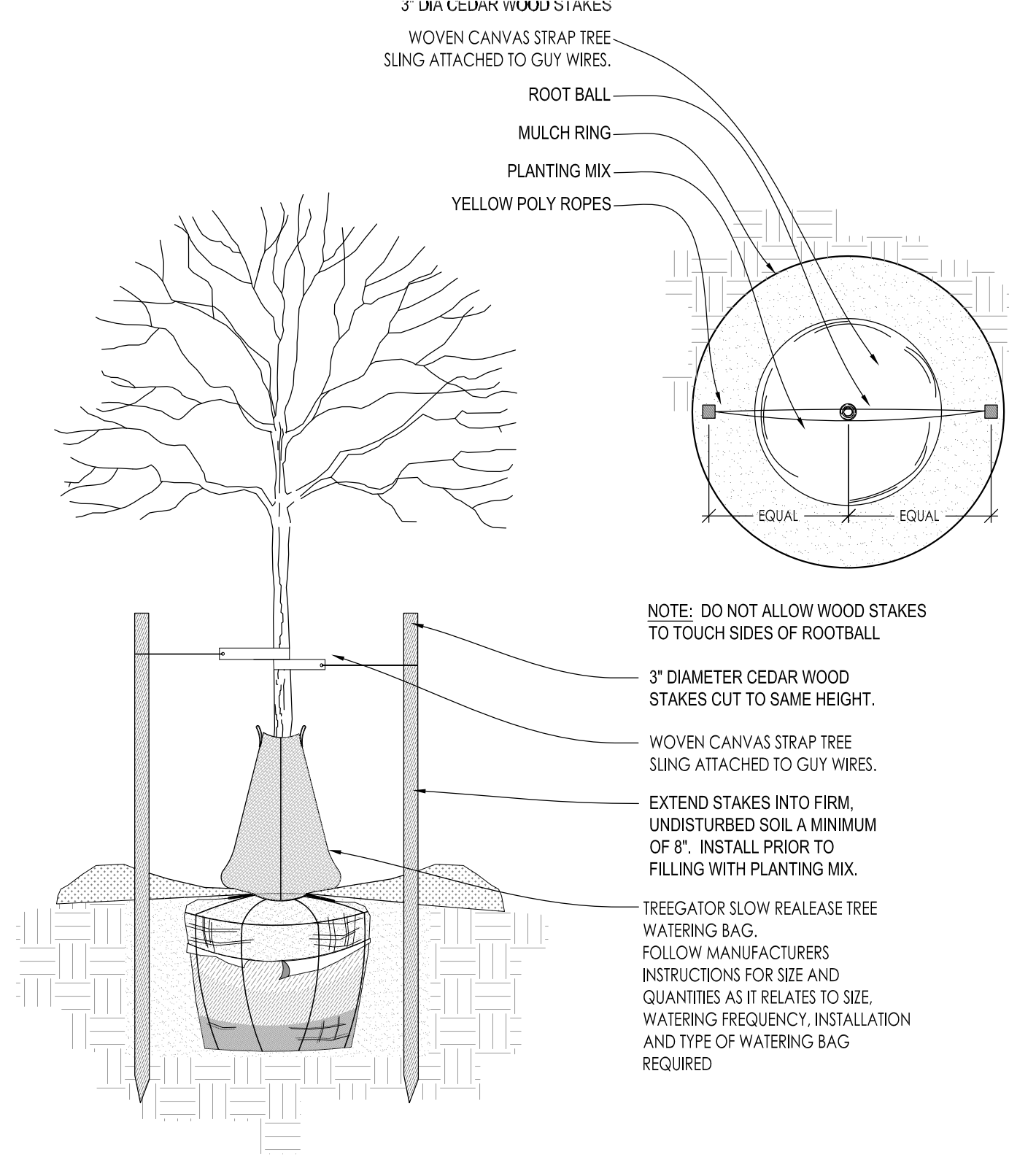
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LSP1.2

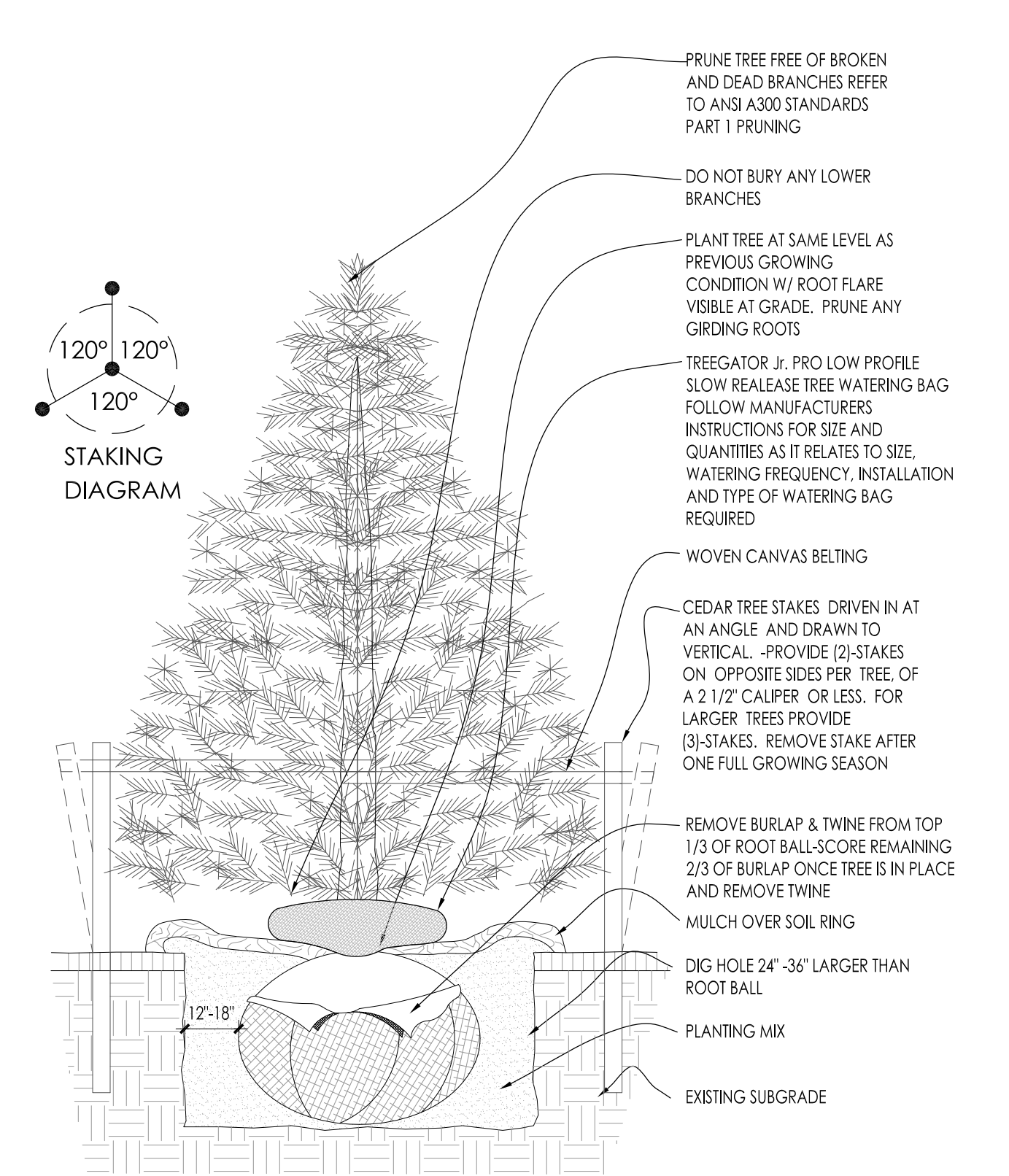
NOT FOR CONSTRUCTION - PRELIMINARY - FOR ESTIMATING AND REVIEW ONLY - DO NOT SCALE THESE DRAWINGS-



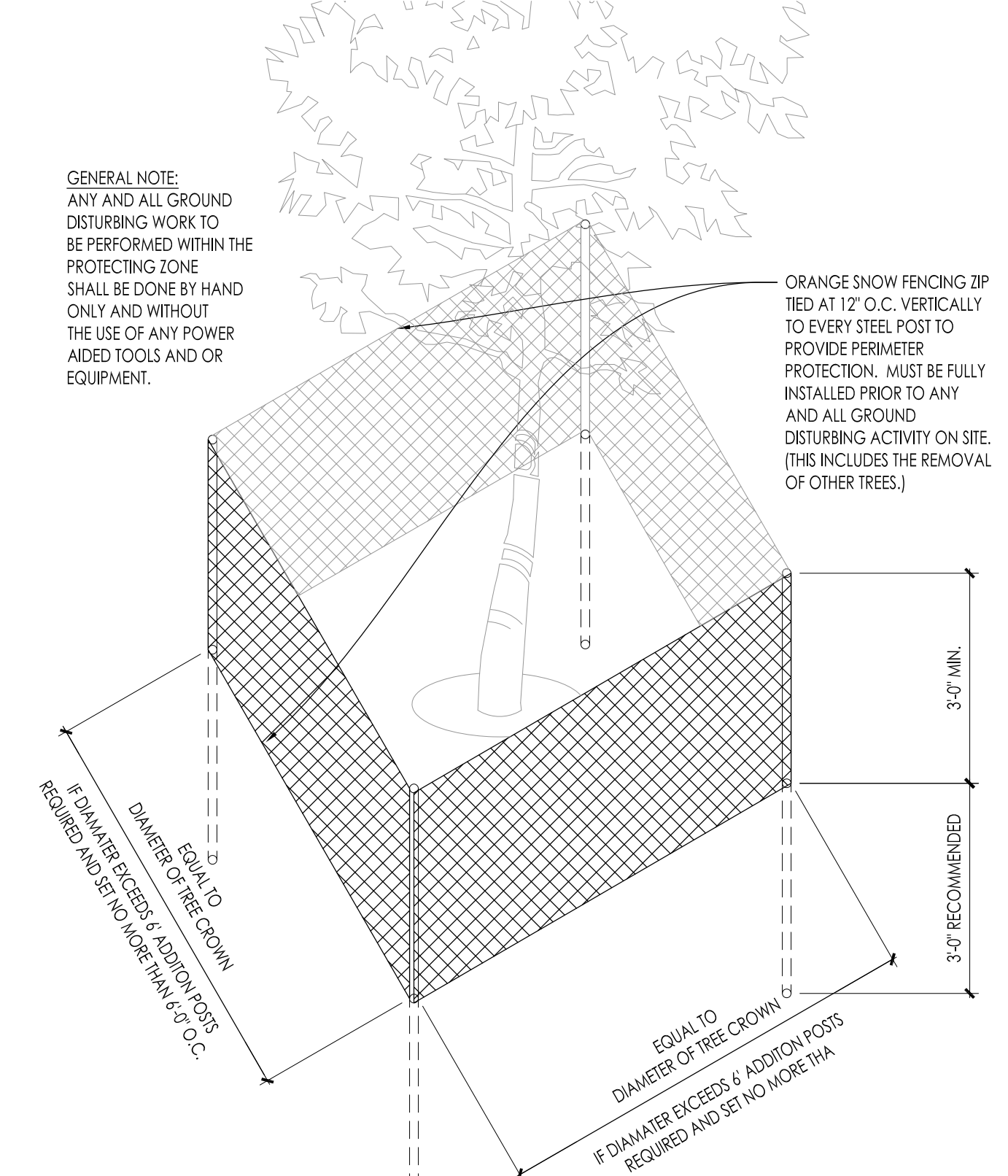
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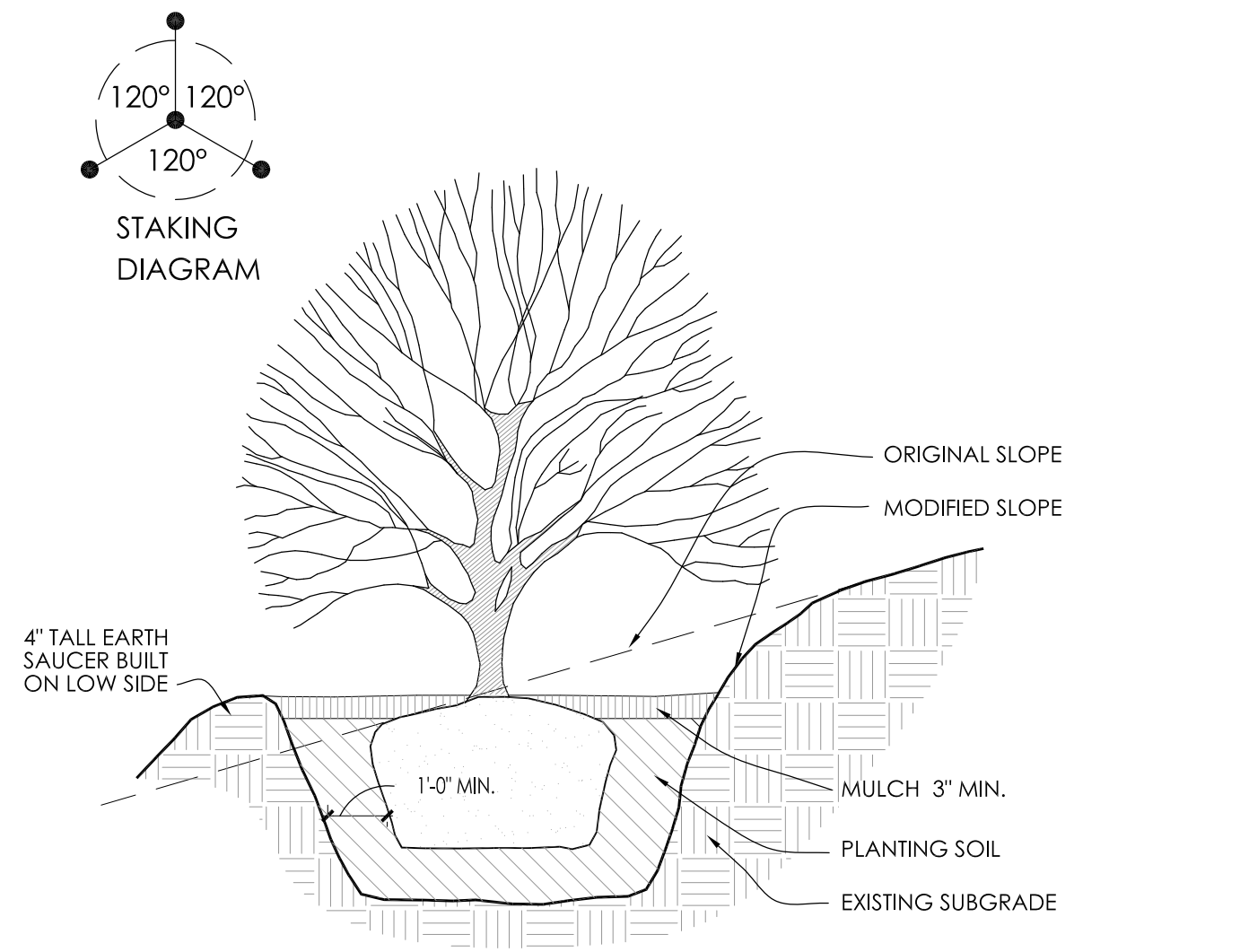
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



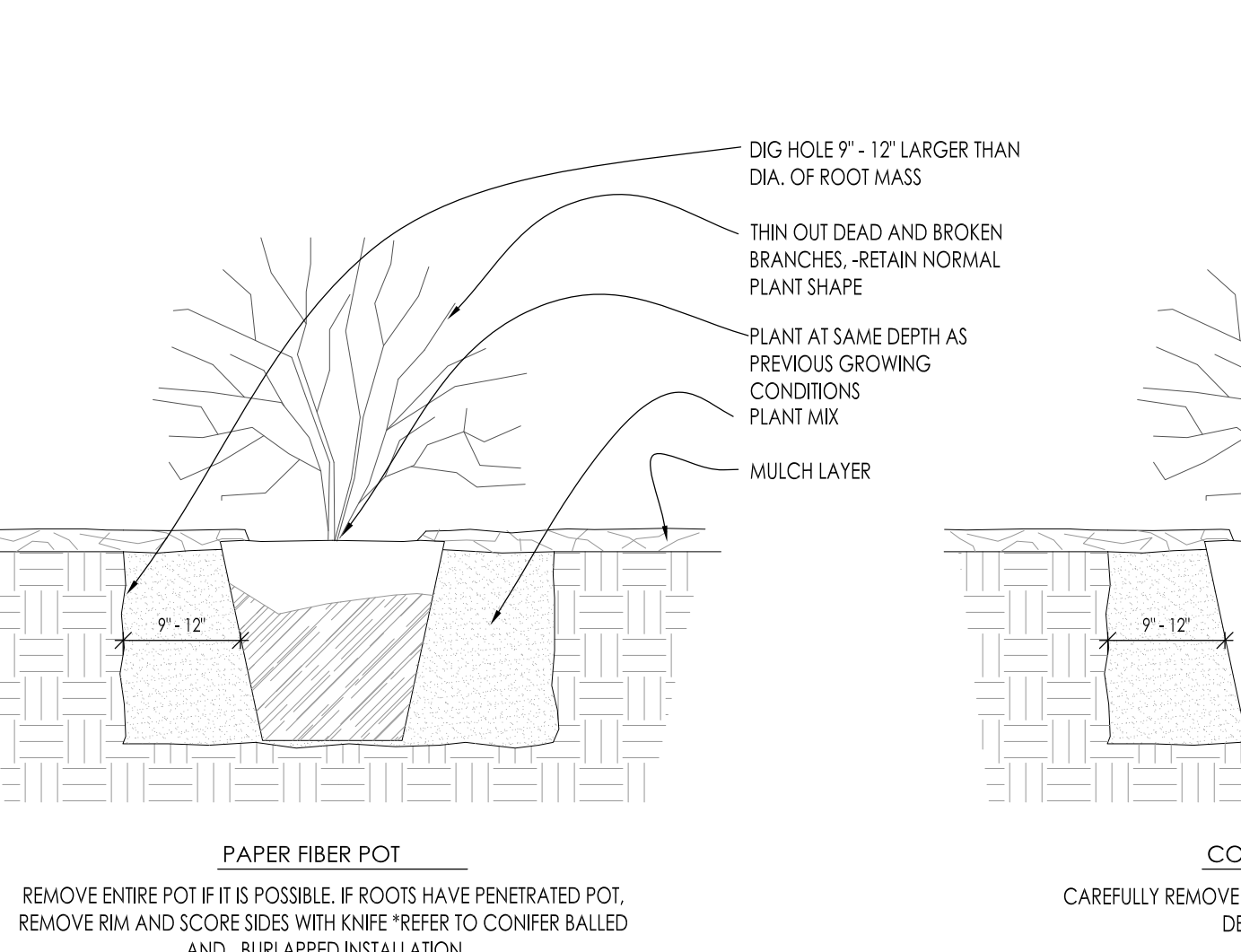
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



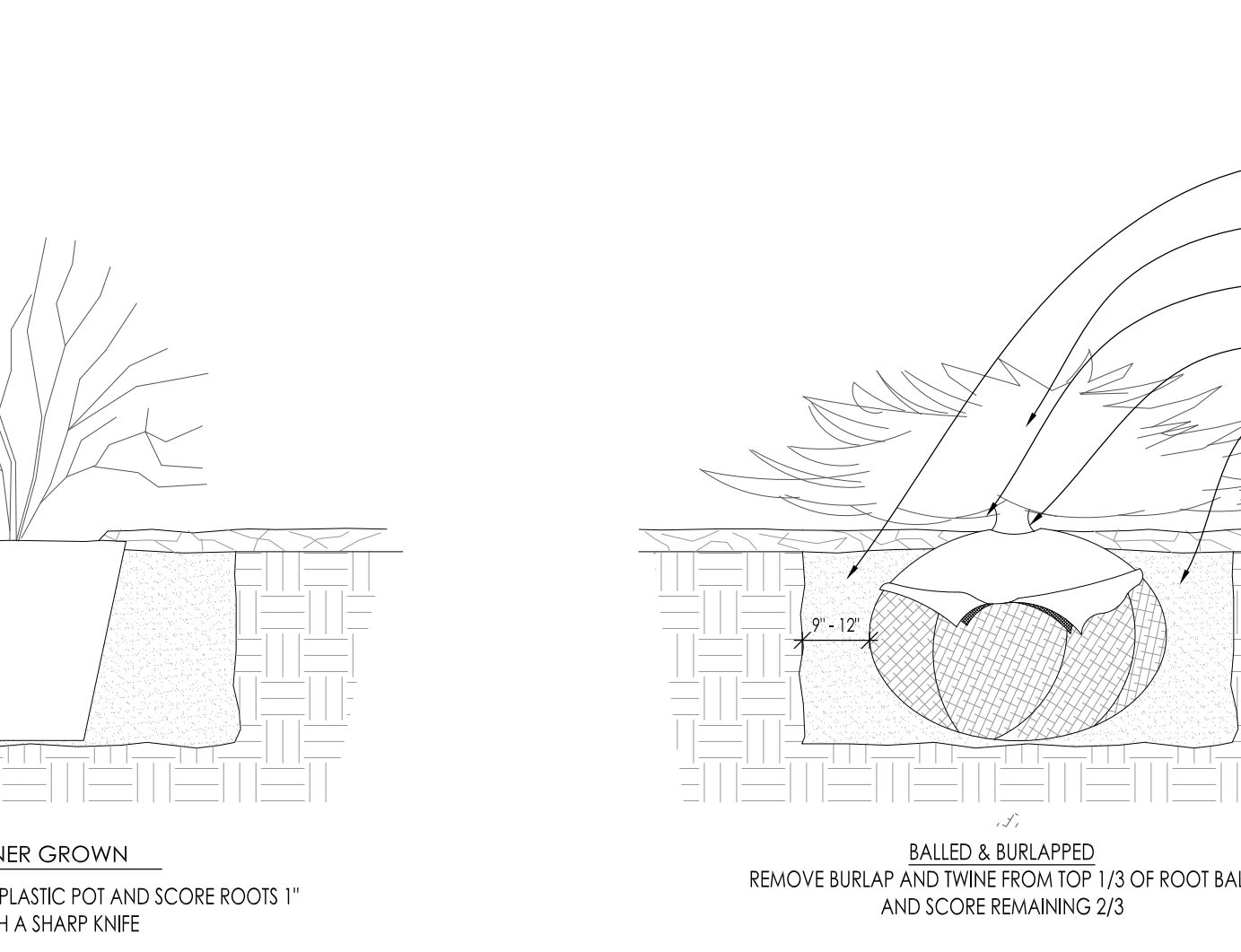
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



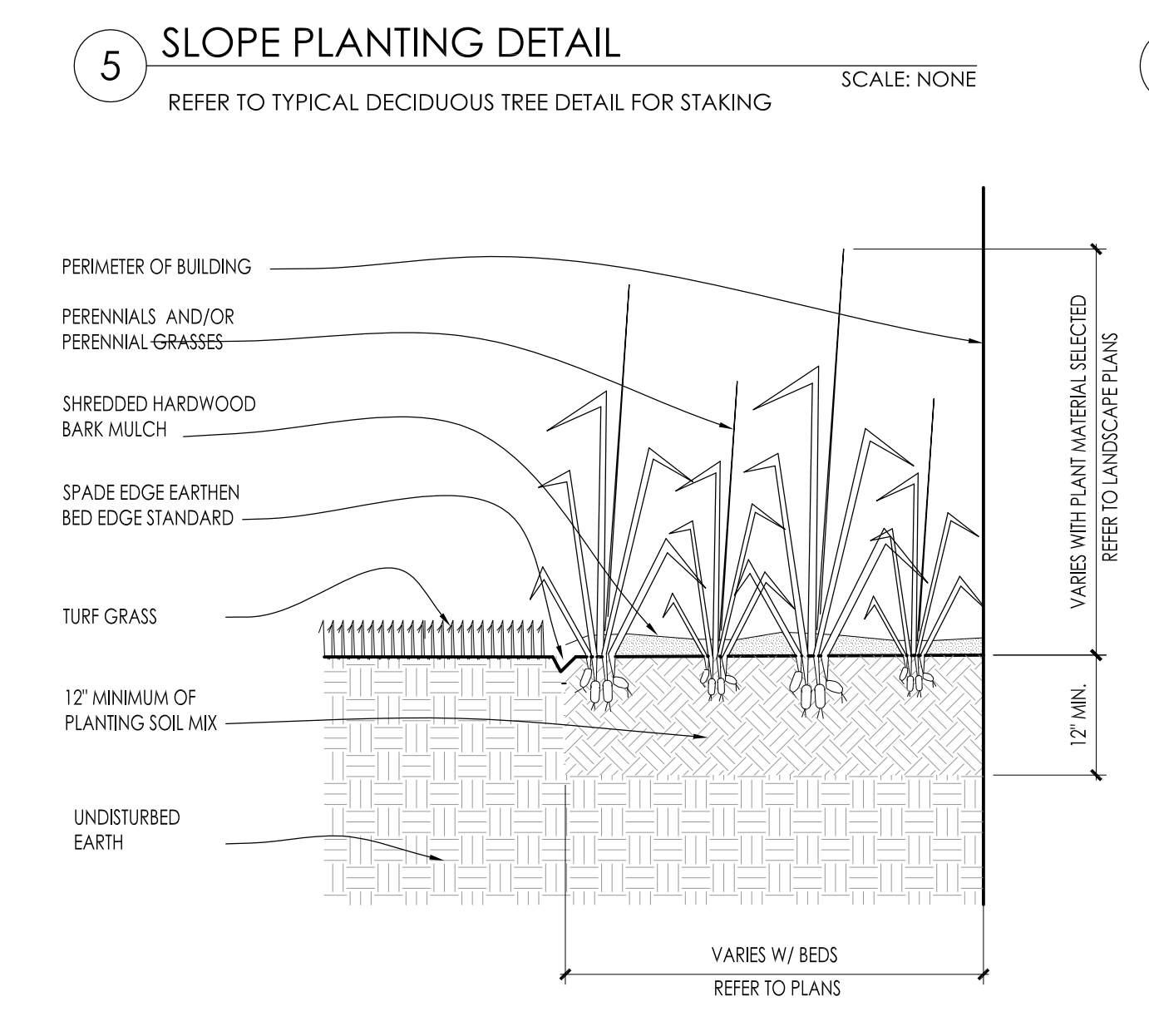
5 SLOPE PLANTING DETAIL SCALE: NONE REFER TO TYPICAL DECIDUOUS TREE DETAIL FOR STAKING



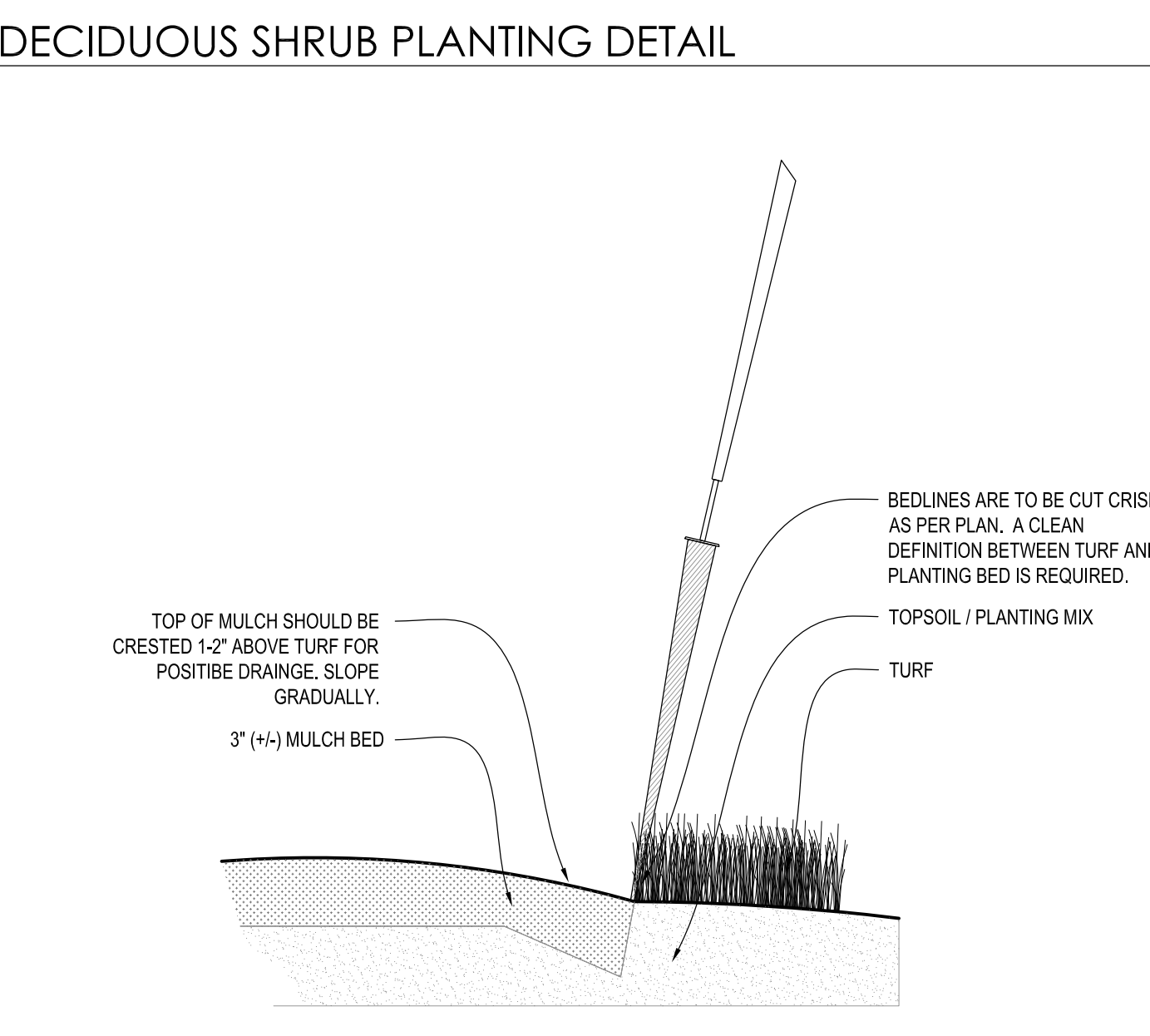
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



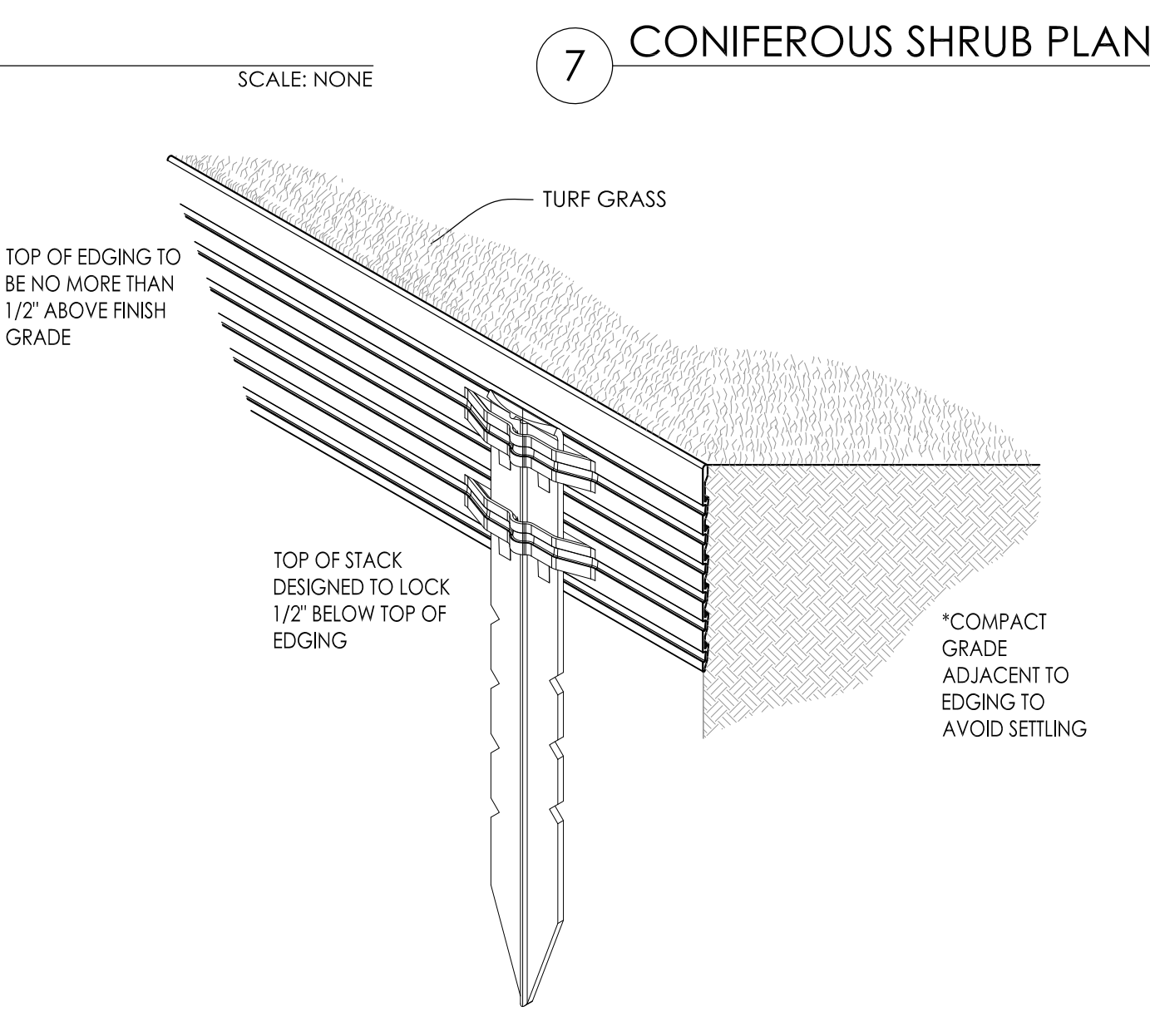
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



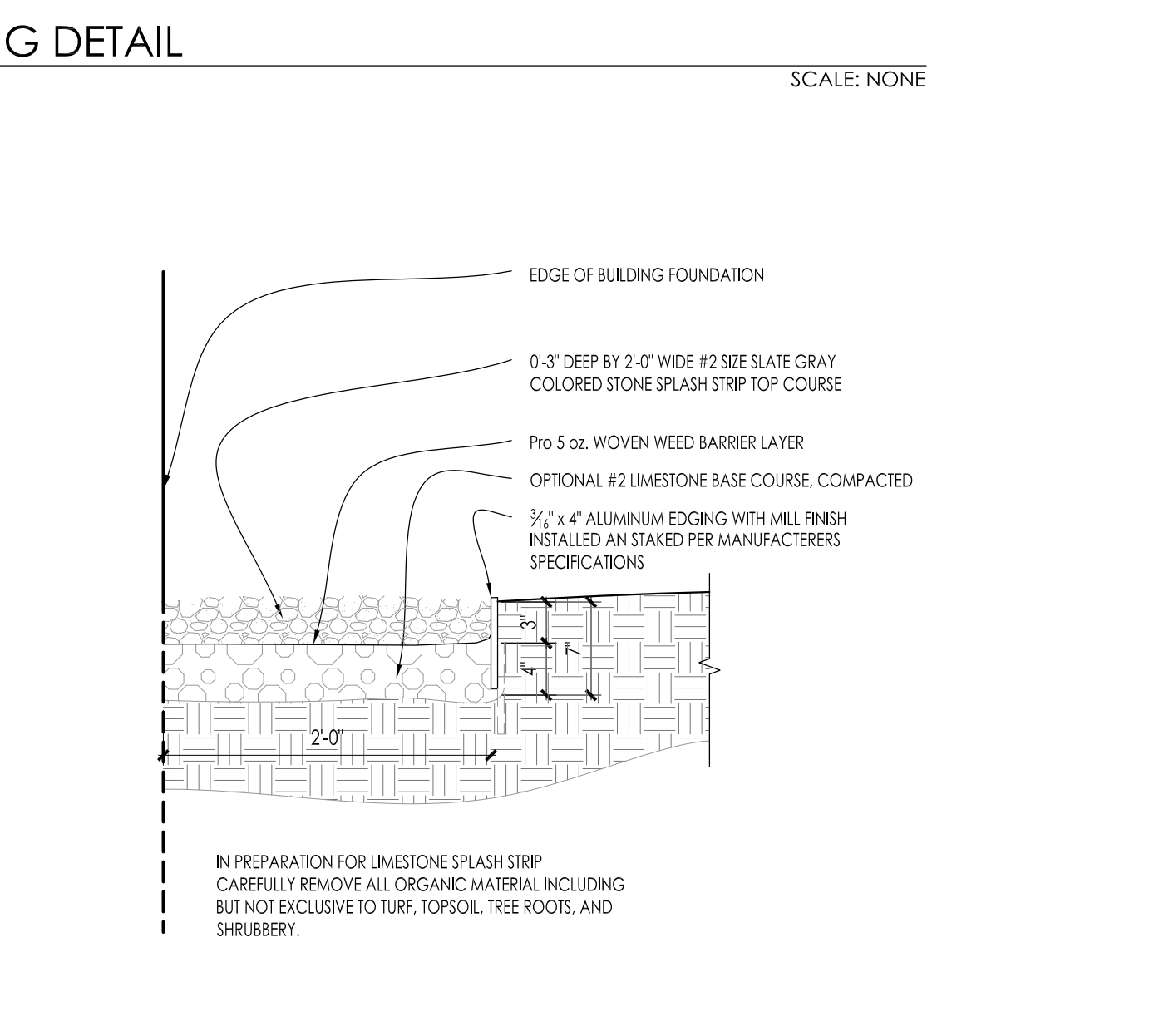
8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL SCALE: 1/2\"/>



11 COMPACTED GRAVEL SPLASH STRIP SCALE: 1\"/>