



PLAN COMMISSION MEETING AGENDA

**TUESDAY, April 8, 2014
AT 6:00 P.M.**

-
- 1) ROLL CALL
 - 2) Minutes of the March 25, 2014 meeting
 - 3) Significant Common Council Actions
 - 4) OLD BUSINESS
 - a) SIGN APPEAL – Consider a request for sign appeal for the property at 6462 S. 27th St. submitted by Mark Lampe, Tri City National Bank (NDC LLC) that would allow a business with only an internal entrance to the building to erect a 38 square-foot tenant sign on the façade of the building (Tax Key No. 715-9019). Follow this item on Twitter [@OakCreekPC#OCPCTriCity](#).
 - 5) NEW BUSINESS
 - a) MINOR LAND DIVISION - Review a Certified Survey Map submitted by Tyson Tlachac for the properties at 9921 S. Shepard Ave. and 635 E. Fitzsimmons Rd. (Tax Key Nos. 923-9022 & 923-9025). Follow this item on Twitter [@OakCreekPC#OCPCTlachac](#).
 - b) CONDITIONS AND RESTRICTIONS – Review conditions and restrictions for an indoor commercial recreation facility as a conditional use submitted by John Schlueter, Weasler Number 1, LLC, located at 7265 S. 1st St. (Tax Key No. 765-9054-001). Follow this item on Twitter [@OakCreekPC#OCPChasingTales](#).
 - c) PLAN REVIEW – Review site and building plans submitted by Carlo Pedone for an addition to the Trattoria diCarlo building located at 8469 S. Howell Ave. (Tax Key No. 828-9029). Follow this item on Twitter [@OakCreekPC#OCPcdiCarlo](#).
 - d) CERTIFIED SURVEY MAP - Review a Certified Survey Map submitted by Wispark, LLC, for the properties at 405 W. Oakwood Rd., 641 W. Oakwood Rd., 10303 S. Howell Ave., 10711 S. Howell Ave. (Tax Key Nos. 955-1001-000, 975-1004, 955-1002-000, 974-1003-000). Follow this item on Twitter [@OakCreekPC#OCPCOakView](#).
 - e) PLAN REVIEW – Review an amendment to the 2013 City of Oak Creek 5-Year Park and Open Space Plan and make a recommendation to the Common Council. Follow this item on Twitter [@OakCreekPC#ParkPlan](#).
 - 6) ADJOURN

PLEASE NOTE

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 768-6511, (FAX) 768-9587, (TDD) 768-6513 or by writing to the ADA Coordinator at the Health Department, City Hall, 8640 South Howell Avenue, Oak Creek, Wisconsin 53154. There is the potential that a quorum of the Committee of the Whole will be present at this meeting. Copies of staff reports and other supporting documentation are available for review at the Department of Community Development, City Hall, 8640 South Howell Avenue during operating hours. (7:30 am-4 pm weekdays).

MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, March 25, 2014

Mayor Scaffidi called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Dickmann, Commissioner Johnston, Commissioner Carrillo, Mayor Scaffidi, Commissioner Siepert, Alderman Michalski, Commissioner Chandler, Alderman Bukiewicz and Commissioner Correll. Also present were Kari Papelbon, Planner, and Mike Kressuk, Assistant Fire Chief.

Alderman Michalski moved to approve the minutes of February 25 and March 11, 2014. Commissioner Siepert seconded. Roll call for the February 25, 2014 minutes: Commissioner Dickmann abstained, Commissioner Johnston - aye, Commissioner Carrillo - aye, Alderman Bukiewicz - aye, Mayor Scaffidi - aye, Alderman Michalski - aye, Commissioner Correll abstained, Commissioner Siepert - aye, Commissioner Chandler - aye. Motion carried. Roll call for March 11, 2014 minutes: Commissioner Dickmann - aye, Commissioner Johnston - aye, Commissioner Carrillo - aye, Alderman Bukiewicz abstained, Mayor Scaffidi - aye, Alderman Michalski - aye, Commissioner Correll abstained, Commissioner Siepert - aye, Commissioner Chandler - aye. Motion carried.

Ms. Papelbon updated the Commission on the significant Common Council actions.

Sign Appeal Hearing
6462 S. 27th Street
Tax Key No. 715-9019

The public hearing notice was read into the minutes. Mayor Scaffidi called three calls for public comment. First call: no comments were heard. Second call: no comments were heard. Third and final call was made for public comments. Hearing none, Mayor Scaffidi closed the public hearing.

Sign Appeal
6462 S. 27th Street
Tax Key No. 715-9019

Commissioner Correll asked why the Applicant was requesting the sign after being in that location for years. It was stated that a sign is within a portion of the right-of-way that will be taken by the County. As there was not a representative for this application, the Plan Commission held decision.

Temporary Use Permit
501 W. Rawson Ave.
Tax Key No. 765-9046

Blain's Farm & Fleet is requesting a temporary use permit that would allow them to operate a temporary garden center in their parking lot at 501 W. Rawson Avenue.

The garden center would be located at the eastern side of the parking lot using 68 parking spaces (highlighted on the site plan). The garden center will consist of one tent, one aluminum structure with a cloth shade, multiple metal racks of garden products, trees and shrubs, and other garden supplies (photo included in your packet). The garden center will be enclosed by a split rail fence supported

with concrete blocks to provide a barrier between traffic and customers. When Farm & Fleet remodeled, they installed an underground electrical system to supply power to the garden center area. Water will be supplied from the main building using garden hoses. They will not have a heating system.

The garden center will begin operation in mid-April. This permit will allow the center to operate until July 25, 2014. Before the applicant can open the garden center, they will need to receive tent permits.

Commissioner Correll moved that the Plan Commission approve the temporary use permit for the temporary garden center at 501 W. Rawson Avenue subject to the following conditions:

1. That all building and fire codes are met.
2. That the temporary use shall expire on July 25, 2014.
3. That the applicant receive a tent permit prior to opening.

Commissioner Siepert seconded. Roll call: all voted aye. Motion carried.

Temporary Use Permit
7501 S. Howell Avenue
Tax Key No. 782-9036

West View Gardens is requesting a temporary use permit that would allow them to operate a temporary garden center in the parking lot of Classic Lanes at 7501 S. Howell Avenue. The garden center would be located at the south side of the parking lot as indicated on the site plan included in your packet. The garden center will consist of one hoop tent with the purpose of selling plants, flowers and produce. Classic Lanes will furnish water as needed and allow access to restroom facilities for employees and customers. The business will operate seven days a week from 9am – 6pm.

This will be the fourth year in-a-row that West View Gardens has operated their greenhouse at this location. There have been no complaints about the operation. Staff recommends that no signage be allowed to be painted or affixed to the exterior of the hoop house and that the applicant is limited to one, 32 square-foot sign.

If the applicant is granted a temporary use permit the applicant will need to receive a tent permit prior to opening.

There was a discussion relating to the sign. The Commission suggested a more professional looking sign.

Alderman Bukiewicz moved that the Plan Commission approve the temporary use permit for the temporary garden center at 7501 S. Howell Avenue from May 1, 2014 through July 4, 2014 with the following conditions:

1. That all building and fire codes are met.
2. That the temporary use shall expire on July 4, 2014.
3. Allow one sign no larger than 32 square feet.
4. That the applicant obtains a tent permit prior to opening.

Commissioner Dickmann seconded. Roll Call: All voted aye. Motion carried.

**Temporary Use Permit
9035 S. Howell Avenue
Tax Key No. 859-9035**

Stein Gardens & Gifts is requesting a temporary use permit that would allow them to operate a temporary garden center, Stein Just Plants seasonal flower mart, in the Kohl's parking lot at 9035 S. Howell Avenue. Stein has received landowner permission to operate in 2014.

The garden center would be located in the southeast corner of the parking lot using approximately 16 parking spaces (highlighted on the site plan). The garden center will consist of one tent, multiple metal racks of garden products, small shed and other garden supplies (photo included in your packet). The garden center will be enclosed by a wood picket fence to provide a barrier between traffic and customers. The site will be powered by an on-site generator which was used in prior years. The water will be supplied by a private fire hydrant similar to what was done in 2013. Staff received no complaints about the operation of Just Plants in 2013.

If granted, the garden center will be installed in April and operate from the last week in April through the first week in July. Before the applicant can open the garden center, they will need to receive a tent permit.

Alderman Michalski moved that the Plan Commission approve the temporary use permit for the temporary garden center at 9035 S. Howell Avenue subject to the following conditions:

1. That all building and fire codes are met.
2. That the temporary use shall expire on July 8, 2014.
3. That the applicant receives a tent permit prior to opening.

Commissioner Siepert seconded. Roll call: all voted aye. Motion carried.

**Conditional Use Permit
7265 S 1st Street
Tax Key No. 765-9054-001**

The Applicant is requesting approval of a conditional use permit for an indoor commercial recreation facility at 7265 S. 1st Street. Cindy Zielinski, Chasing Tales, Inc. will occupy a portion (Suite A) of the existing building as a family play center with limited food concessions, special event space, and office space.

Indoor commercial recreation facilities are considered conditional uses in the M-1, Manufacturing District. The proposal does not include any changes to the exterior of the building or site. No outdoor storage is requested.

Target ages for the center are under 1 year up to 5 years during the weekdays, and up to 10 years during the evenings and weekends. This will not be a drop-off or day care facility; rather, children must be accompanied and supervised by a parent/guardian at all times. Proposed hours of operation are:

- Monday, Wednesday, Thursday - 9:00 AM to 6:00 PM
- Friday – 9:00 AM to 7:00 PM
- Saturday – 10:00 AM to 7:00 PM
- Sunday – 11:00 AM to 6:00 PM

Currently, the parking lot is approved for 63 stalls to be shared by all tenants of the building. Based on the proposed use, at least one parking stall is required for every four patrons plus one space for each employee during the largest work shift. Assuming each child is accompanied by a parent/guardian and four employees are working concurrent hours, this would equate to:

- 5-9 parking stalls during non-party/field trip weekdays
- 12-17 stalls during non-party weekdays with field trips
- 11-19 stalls during non-party weekend days
- 31-49 stalls during weekends with parties
- 16-26 stalls during special events

Staff recognizes that the parking figures are based on admission estimates and that there will not necessarily be one parent/guardian per child at the facility. Similarly, the parking requirements are based on the number of patrons, including children. It is very likely that the child-to-parent/guardian ratio will be higher than 1:1, reducing the number of necessary parking stalls.

Trash receptacles currently exist on the property within an enclosure west of the retaining wall. No new trash receptacles are proposed. No sign details have been included as part of this proposal. Should the applicant wish to add a monument or wall sign a permit will be required.

If the Plan Commission recommends Common Council approval of the Conditional Use Permit, staff will prepare conditions and restrictions for review at the April 8, 2014 meeting.

Discussion ensued with questions being answered by staff.

Commissioner Dickmann moved that the Plan Commission recommends that the Common Council approve a conditional use permit allowing indoor commercial recreation facility located at 7265 S. 1st Street. Commission Chandler seconded. Roll call, all voted aye. Motion carried.

Plan Review
Dunkin' Donuts
8750 S. Howell Avenue
Tax Key No. 860-9996

The Applicant is requesting site, landscaping and sign plan approval for the property at 8750 S. Howell Ave. Plan Commissioners will recall that the southern suite in the existing commercial building on this property was granted a Conditional Use Permit for a restaurant with drive-through for Dunkin' Donuts in January of this year. The Applicant has agreed to widen the southeast entrance, add a rumble strip instead of a center landscape island, and add directional aids (pavement marking and directional sign). Two (2) additional directional signs will be placed at the eastern entrance. Two walls signs have been requested as part of this application, one will be on the west elevation, it will be a stacked sign, the other one will the south elevation and that is an inline sign. The Plan Commission can permit end cap tenants to have more than one sign. The monument sign will remain the same except for the new tenant and it must remain 10 feet from the property line. There is a proposed menu board on the west, it is 66.7 square feet it will have the attachments on the side for the different menu items. The applicant has proposed vegetative screening to screen the menu board from Howell Avenue. The clearance and order canopy will be lite according to the plan. It cannot be screened from Howell Avenue due to its height, the Comprehensive Plan calls for eliminating excessive signage, staff is recommending

that either the canopy be changed in some way or eliminated or replaced with a speaker box or bollard.

Two minor modifications will be made to the existing building - the addition of the drive-through window and several awnings (brown or orange). These awnings are similar to the vinyl awning over the drive-through window proposed in 2008. It was noted in that report that Staff would prefer the Applicant "create a drive through cover that matches features found on the building. Therefore the (vinyl) awning should be replaced with a metal flat roof canopy similar to the entrances for all of the tenants in the center." There are no other awnings on the building that are similar to those proposed in the submitted plans; however, it will be the Plan Commission's decision as to whether the proposed awnings are acceptable.

The Commissioners made the following comments:

- The proposed awnings do not match what is already on the building.
- No landscaping should block the hydrant along Howell.
- The existing fence screening needs attention.
- Making the drive-through order canopy color as neutral as possible to blend in with the building.

Alderman Bukiewicz moved that the Plan Commission approve the site, landscaping and signage plans submitted by Jerry Mortier, The Redmond Co., for the property located at 8750 S. Howell Avenue with the following conditions.

1. That the plans are updated to include a decorative fence or wall in connection with the vegetative screening for the menu board.
2. That the illuminated clearance/order canopy uses a blended color to match the existing building.
3. That all building and fire codes are met.

Commissioner Correll seconded. Roll call: all voted aye. Motion carried.

Alderman Michalski moved for adjournment. Commissioner Correll seconded. Roll call: all voted aye. Meeting adjourned.



Significant Common Council Actions

ITEM: 3

DATE: April 8, 2014

Summary of Significant Common Council Actions March 31, 2014

1. Approved: Resolution No. 11470-033114 approving an intergovernmental memorandum of understanding between the City of Franklin and the City of Oak Creek documenting cost-sharing pertaining to the development of the South 27th Street corridor plan.

A handwritten signature in cursive script that reads "Kari Papelbon".

Kari Papelbon, CFM, AICP
Planner



Plan Commission Report

ITEM: 4a

DATE: April 8, 2014

PROJECT: Sign Appeal – Tri City National Bank

ADDRESS: 6462 S. 27th Street

STAFF RECOMMENDATION: Staff does not make recommendations on Sign Appeals.

TAX KEY NO: 715-9019

Ownership: NDC LLC

Size: 5.96 acres

Existing Zoning: B-4, Highway Business District, RR, Regional Retail Overlay District

Adjacent Zoning: north – B-4 CCU, Highway Business District Conforming Conditional Use Rs-5, Mobile Home Park District
east – Rm-1, Multi-Family Residential
south – B-4, Highway Business District, RR, Regional Retail Overlay District
west – City of Franklin

Comprehensive Plan: Planned Business

Wetlands: None

Floodplain: None

Official Map: None

Commentary: The applicant is seeking a variance from Municipal Code Section 17.0706(j)(2), which states that individual tenants in buildings with internal entrances only shall not be permitted a wall sign.

The proposed sign will be 4-feet by 9-feet in size and be 38-square feet in area which is in compliance with the sign code. Included in your packet is a graphic illustrating how the sign will look on the western elevation of the building. This request is similar to other businesses in the City which have a bank located inside the building of other grocery stores in the City.

If granted this variance would allow a business with only an internal entrance to the building to erect a 38 square-foot tenant sign on the façade of the building located at 6462 S. 27th Street.

When considering a variance, the Plan Commission must make the final decision on appeals using the following criteria:

- a. There shall be no public harm and there shall be a public benefit.
- b. Variance considerations shall include enhancement of the overall character of a neighborhood or mitigation of unusual site conditions.
- c. The sign will not result in an undue concentration of signage which renders it difficult or confusing to read existing signs.

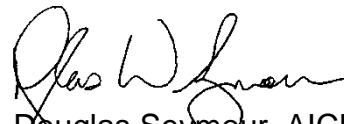
- d. The effect a proposed sign may have on depreciating property values of a neighborhood.
- e. The Plan Commission in its deliberation of an adjustment may consider the location of the proposed sign, the height, the size, the appearance, number, and location of other signs in the vicinity of the proposed sign, and any other factor as the Plan Commission deems appropriate.

Prepared by:



Peter Wagner
Zoning Administrator/Planner

Respectfully Submitted:

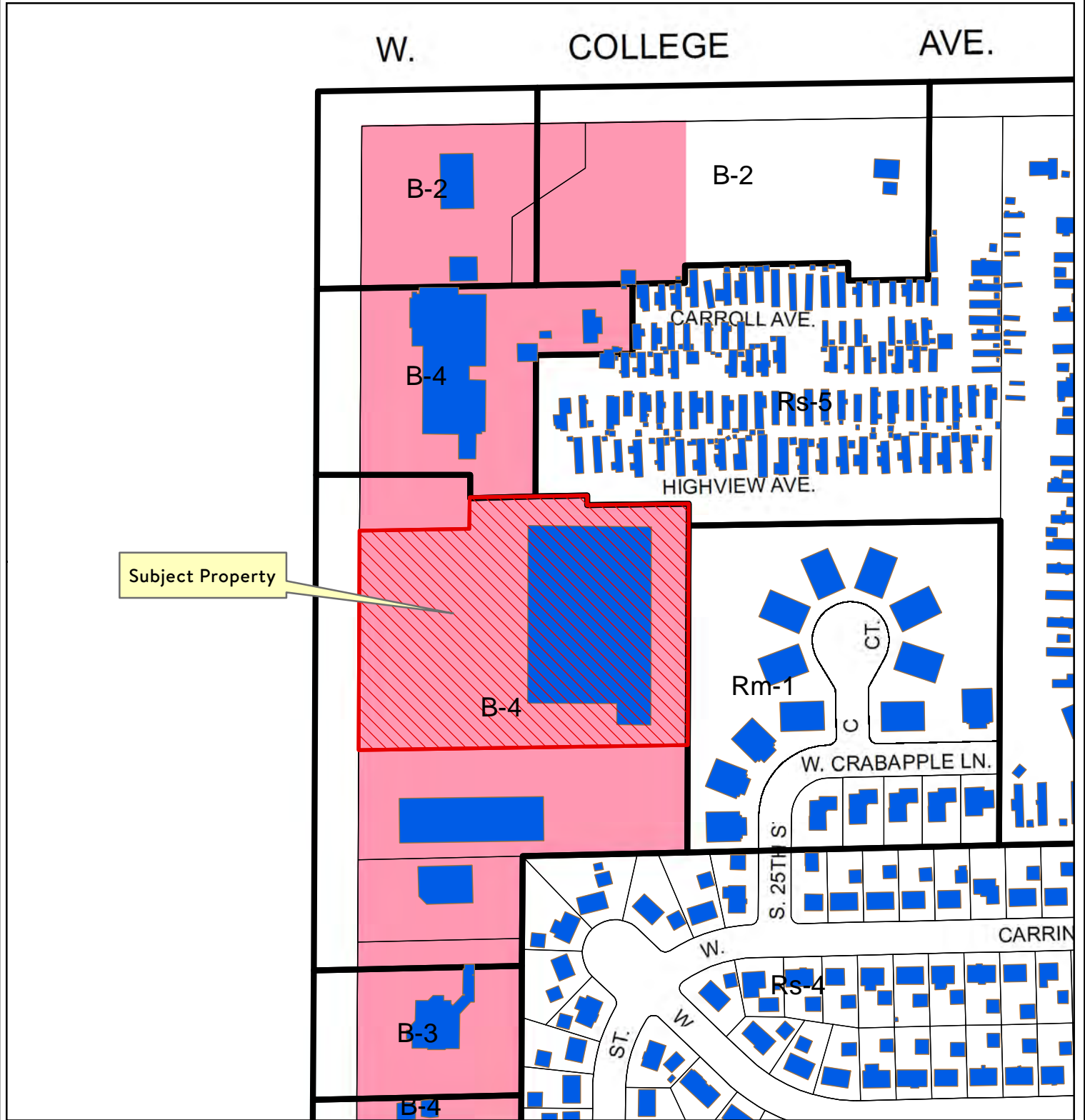


Douglas Seymour, AICP
Director of Community Development

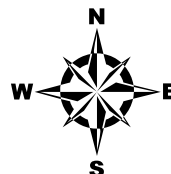
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Location Map

6462 S. 27th St.



Subject Property



Legend	
	6462 S. 27th St.
	Existing Street Pattern
	Flood Fringe (FF)
	Shoreland Wetland Conservancy (C-1)
	Lakefront Overlay District (LOD)
	Mixed Use Neighborhood Overlay (NO)
	Mixed Use Office Overlay (OO)
	Regional Retail Overlay District (RR)



- A** Refurbish an Existing Set of Channel Letters and Logo
- One (1) Set - Internally Illuminated
- New Red Acrylic Faces #2283 *— MATCH PICK u Same.*
- New Red Trim Cap
- New Red LED
- Re-paint Raceway to match building fascade (match required)

ATTENTION: PROOF ALL DRAWINGS CAREFULLY! IT IS THE RESPONSIBILITY OF THE CUSTOMER TO APPROVE COLOR, STYLE, SHAPE, PROPORTION OF GRAPHICS AND LOGOS, AND SPELLING OF TRADEMARKS AND SERVICEMARKS

LMS
LMS Sign & Electrical Service
 4811 W. Woolworth Avenue - Milwaukee, WI 53218
 T 414.982.3635 F 414.760.0474

PROJECT / LOCATION:
 TRI CITY NATIONAL BANK
 6400
 SOUTH 27TH STREET
 OAK CREEK, WI

ACCOUNT REP: MARY KOWALSKI
 PROJECT MANAGER:
 DRAWN BY: MM
 Underwriters Laboratories Inc. ELECTRICAL TO USE UL LISTED COMPONENTS AND SHALL MEET ALL N.E.C. STANDARDS.
ALL ELECTRICAL SIGNS ARE TO COMPLY WITH UL 48 AND ARTICLE 600 OF THE N.E.C. STANDARDS, INCLUDING THE PROPER GROUNDING AND BONDING OF ALL VIGNS.

DATE: 11.13.13
 SCALE: 3/8"=1'-0"
 SHEET #: 1 of 1
 DESIGN ORDER #: 0000
 FILE NAME: TCNB_CL

REVISIONS:

 Colors Depicted in This Rendering May Not Match Actual Finished Materials. Refer To Product Samples For Exact Color Match.
 CLIENT APPROVAL/DATE: _____

This original drawing is provided as part of a planned project and is not to be exhibited, copied or reproduced without the written permission of LMS Sign Service, or its authorized agent.
 © 2013



Plan Commission Report

ITEM: 5a

DATE: April 8, 2014

PROJECT: Certified Survey Map – Tyson Tlachac and David & Maura Keane

ADDRESS: 9921 S. Shepard Ave. and 635 E. Fitzsimmons Rd.

TAX KEY NO: 923-9022 & 923-9025

STAFF RECOMMENDATION: That the Plan Commission recommends to the Common Council that the certified survey map submitted by Tyson Tlachac and David & Maura Keane for the properties at 9921 S. Shepard Ave. and 635 E. Fitzsimmons Rd. be approved subject to any technical corrections being made prior to recording.

Ownership: Tyson Tlachac, 9921 S. Shepard Ave., Oak Creek, WI 53154
David & Maura Keane, 635 E. Fitzsimmons Rd., Oak Creek, WI 53154

Size: Lot 1 = 1.224 acres (53,318.7 sf); Lot 2 = 0.289 acres (12,599.9 sf)

Existing Zoning: Rs-3, Single Family Residential

Adjacent Zoning: North – Rs-3, Single Family Residential
East – Rs-3, Single Family Residential
South – Rs-3, Single Family Residential
West – Rs-3, Single Family Residential

Comprehensive Plan: Single Family Residential

Wetlands: N/A

Floodplain: N/A

Official Map: N/A

Commentary: The Applicants are requesting approval of a Certified Survey Map that will reconfigure a portion of the lots at 9921 S. Shepard Ave. and 635 E. Fitzsimmons Rd. The Keanes will be selling a 30' x 84' (2,520 sf) piece of their land on the east to Mr. Tlachac. Following the reconfiguration, both lots will exceed the minimum lot size requirement of 12,000 square feet. This reconfiguration brings Mr. Tlachac's western property boundary in line with the western property boundaries of the two lots to the south, which also border the Keanes' eastern property boundary. No other changes are proposed.

Prepared by:

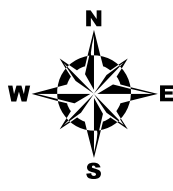
Kari Papelbon, CFM, AICP
Planner


Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

Location Map

635 E. Fitzsimmons Rd. & 9921 S. Shepard Ave.

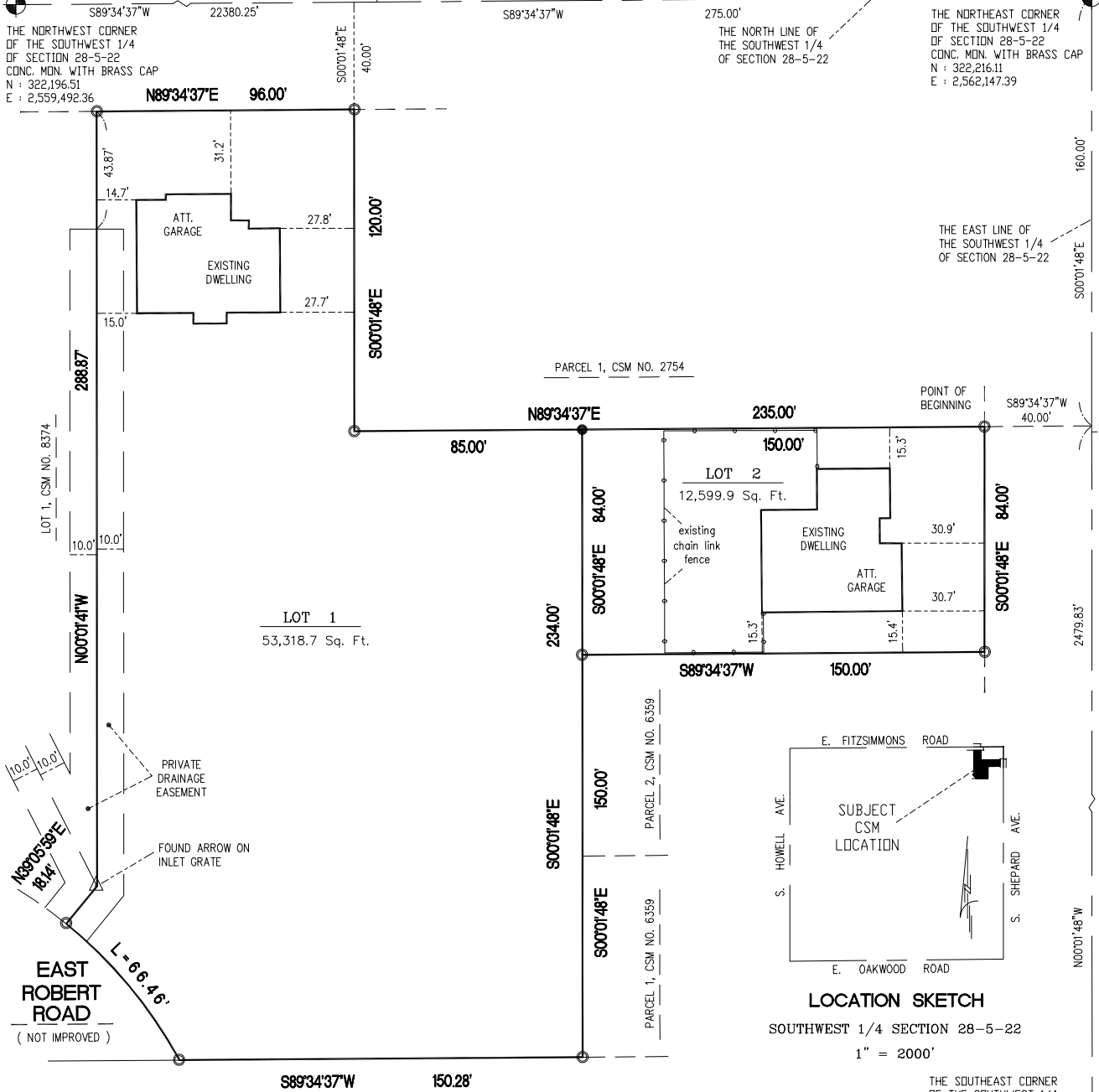


Legend	
	635 E. Fitzsimmons & 9921 S. Shepard
	Existing Street Pattern
	Floodfringe

CERTIFIED SURVEY MAP NO. _____

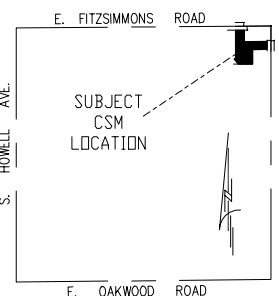
BEING A REDIVISION OF LOT 2, CERTIFIED SURVEY MAP NO. 8374 AND PARCEL 3, CERTIFIED SURVEY MAP NO. 6359, BEING A PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 28, TOWN 5 NORTH, RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

E. FITZSIMMONS ROAD



LOT 1
53,318.7 Sq. Ft.

LOT 2
12,599.9 Sq. Ft.



LOCATION SKETCH
SOUTHWEST 1/4 SECTION 28-5-22
1" = 2000'

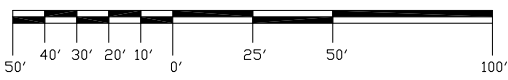
UNPLATTED LANDS

CURVE DATA

RADIUS	CHORD	BEARING	DELTA
170.00'	66.05'	N39°41'53"W	22°23'57"

- DENOTES SET 3/4" X 18" LONG IRON REBAR WEIGHING 15 LBS. PER LINEAL FOOT.
 - o - DENOTES FOUND 1" DIA. IRON PIPE
- ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SOUTHWEST 1/4 OF SECTION 28-5-22, WHICH IS ASSUMED TO BEAR N 00°01'48" W, STATE PLANE COORDINATE SYSTEM SOUTH ZONE DATUM, DATED DEC. 2011.

SCALE : 1" = 60'





Plan Commission Report

ITEM: 5b
DATE: April 8, 2014

PROJECT: Conditions and Restrictions – John Schlueter, Weasler Number 1, LLC

ADDRESS: 7265 S. 1st St.

TAX KEY NO: 765-9054-001

STAFF RECOMMENDATION: That Plan Commission recommends that the Common Council adopt the conditions and restrictions as part of the conditional use permit for an indoor commercial recreation facility located at 7265 S. 1st St. after a public hearing.

Ownership: Weasler Number 1, LLC, P.O. Box 170107, Milwaukee, WI 53217

Size: 1.941 acres

Existing Zoning: M-1 (PUD), Manufacturing; FF, Flood Fringe; FW, Floodway

Adjacent Zoning: North – M-1 (PUD), Manufacturing; FF, Flood Fringe; FW, Floodway
East – M-1 (PUD), Manufacturing
South – M-1 (PUD), Manufacturing; FW, Floodway
West – M-1, Manufacturing; FF, Flood Fringe; FW, Floodway

Comprehensive Plan: Planned Industrial.

Wetlands: None.

Floodplain: Flood Fringe and Floodway exist on the western portion of the parcel.

Official Map: N/A.

Commentary: At the March 25, 2014 meeting, the Plan Commission recommended Common Council approval of a conditional use permit for an indoor commercial recreation facility at 7265 S. 1st St. The business, Chasing Tales, Inc., will be owned and operated by Cynthia Zielinski within Suite A of the existing manufacturing building on the property.

Staff has prepared conditions and restrictions for this conditional use permit for the Commission's review. If the Plan Commission is comfortable with the conditions and restrictions, the appropriate action would be to recommend that the Common Council adopt them as part of the conditional use permit.

Prepared by:

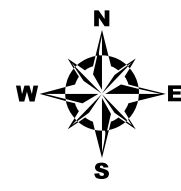
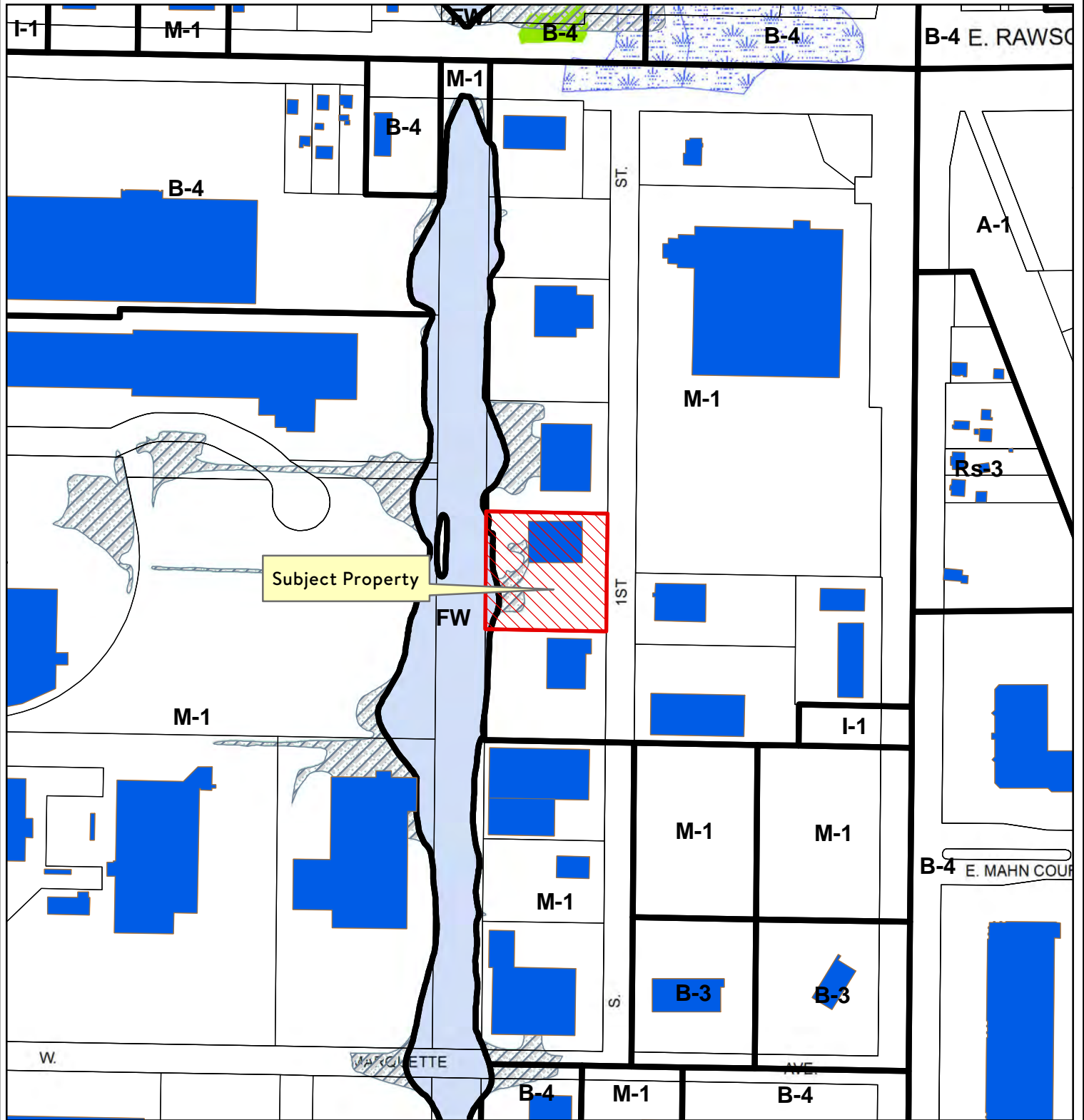
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

Location Map

7265 S. 1st St.



Legend	
	7265 S. 1st St.
	Existing Street Pattern
	Floodfringe
	Wetland
	Floodway
	Flood Fringe (FF)
	Shoreland Wetland Conservancy (C-1)
	Lakefront Overlay District (LOD)
	Mixed Use Neighborhood Overlay (NO)
	Mixed Use Office Overlay (OO)
	Regional Retail Overlay District (RR)

City of Oak Creek – Conditional Use Permit
DRAFT Conditions and Restrictions

Applicant: John Schlueter, Weasler Number 1, LLC. Approved by Plan Commission: 4/8/2014
Property Address: 7265 S. 1st St. Approved by Common Council: 5/6/2014
Tax Key Number: 765-9054-001 (Ord. #TBD)
Conditional Use: Indoor Commercial Recreation Facility

1. LEGAL DESCRIPTION

Lot 2 of Certified Survey Map No. 7840, recorded on November 15, 2006, as Document No. 09340122, being a redivision of Parcel 1 of Certified Survey Map No. 3251 and Parcels 1 and 2 of Certified Survey Map No. 3690, being a part of the Northeast ¼ and Southeast ¼ of the Northeast ¼ of Section 8, Town 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. A precise detailed site plan for the area affected by the conditional use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

- 1) **General Development Plan**
 - a) detailed building locations with setbacks
 - b) square footage of building
 - c) areas for future expansion
 - d) area to be paved
 - e) access drives (width and location)
 - f) sidewalk locations
 - g) parking layout and traffic circulation
 - i) location
 - ii) number of employees
 - iii) number of spaces
 - iv) dimensions
 - v) setbacks
 - h) location of loading berths
 - i) location of sanitary sewer (existing and proposed)
 - j) location of water (existing and proposed)
 - k) location of storm sewer (existing and proposed)
 - i) including detention/retention basins if needed
 - l) precise location of outdoor storage
 - m) location of wetlands (field verified)
 - n) location, square footage and height of signs
 - o) a description of the vehicles, materials and equipment to be stored at the site
- 2) **Landscape Plan**
 - a) screening plan for outdoor storage
 - b) number, initial size and type of plantings
 - c) parking lot screening/berming
- 3) **Building Plan**
 - a) architectural elevations
 - b) building floor plans
 - c) materials of construction
- 4) **Lighting Plan**
 - a) types of fixtures
 - b) mounting heights
 - c) type of poles
 - d) photometrics of proposed fixtures
- 5) **Grading, Drainage and Stormwater Management Plan**
 - a) contours (existing and proposed)
 - b) location of storm sewer (existing and proposed)
 - c) location of stormwater management structures and basins (if required)
- 6) **Fire Protection**
 - a) location of existing and proposed fire hydrants (public and private)
 - b) interior floor plan
 - c) materials of construction

B. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.

C. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building

permits.

- D. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, etc.) shall be subject to approval by the City Engineer.
- E. If required by the City of Oak Creek, public easements for telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted; provided there is access to each of the aforementioned systems and their appurtenances.
- F. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- G. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit.

3. PARKING AND ACCESS

- A. Parking requirements for this project shall be provided in accordance with Section 17.0403 of the Municipal Code.
- B. Where 90° parking is indicated on the site plans, individual-parking stalls shall be nine (9) feet in width by eighteen (18) feet in length. The standards for other types of angle parking shall be those as set forth in Section 17.0403(d) of the Municipal Code.
- C. Movement aisles for 90° parking shall be at least twenty-two (22) feet in width.
- D. All off-street parking areas shall be surfaced with an all-weather wearing surface of plant mix asphaltic concrete over crushed stone base subject to approval by the City Engineer. A proposal to use other materials shall be submitted to the Plan Commission and the Engineering Department for approval.
- E. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.
- F. All driveway approaches to this property shall be in compliance with all the standards set forth in Chapter 6 of the Oak Creek Municipal Code. Any off-site improvements shall be the responsibility of the property owner.
- G. All off street parking areas shall be landscaped in accordance with Sections 17.0330 & 17.0403 of the Municipal Code.

4. LIGHTING

All plans for new outdoor lighting shall be reviewed and approved by the Electrical Inspector in accordance with Section 17.0808 of the Municipal Code.

5. LANDSCAPING

- A. The site containing this conditional use shall be maintained in accordance with the site, building, and landscaping plans approved by the City of Oak Creek Plan Commission August 22, 2006.

B. Parking Lot Screening. Those parking areas for five (5) or more vehicles if adjoining a residential zoning district line or public right-of-way shall be screened from casual view by an earth berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way. All screening materials shall be placed and maintained at a minimum height of three (3) feet.

1. At least one ornamental deciduous tree, no less than 2.5" caliper, shall be incorporated into the design for every 35 linear feet of public street frontage.
2. At least 25% of the total green space area shall be landscaped utilizing plant materials, other than maintained turf, that contribute to ground coverage.
3. For purposes of determining the number of plants necessary to meet the minimum 25% ground coverage requirement, plant types are categorized by their general size and potential mature at-grade coverage area.

<u>Plant Type</u>	<u>Area of Coverage Provided</u>
Evergreen Tree (>8' Dia.)	75 sq. ft.
Large Shrub (6-8' Dia.)	38 sq. ft.
Medium Shrub (4-6' Dia.)	20 sq. ft.
Small Shrub (2-4' Dia.)	12 sq. ft.
Perennial (4.5" Pot)	6 sq. ft.

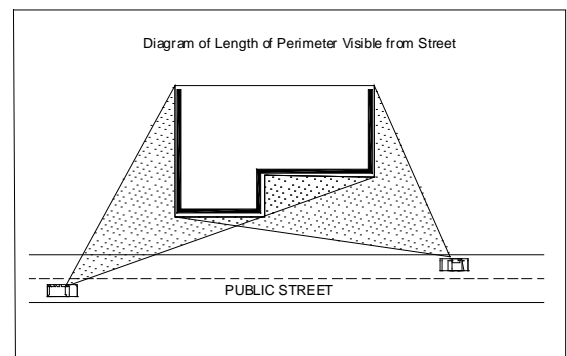
* Note shade and ornamental trees are not considered a plant type contributing to "at grade" coverage.

4. To assure a diversity of color, texture and year-round interest, the total number of plant materials must be comprised of a minimum 25% evergreens, but no more than 70%.
- C. Interior Landscape Area. All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape islands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. Landscape islands or peninsulas shall be dispersed throughout the off-street parking area. Landscape islands shall provide a minimum 30-inch clear area for vehicle overhang and snow storage. One shade tree shall be provided within the interior planting area for every 300 square feet of interior landscaping.
- D. Perimeter Landscape Area. In an effort to prevent adjacent parking lots from becoming one large expanse of paving, perimeter landscaping shall be required. The perimeter strip shall be a minimum 5 feet in width. A minimum of one tree and five shrubs is required for every 35 linear feet of the perimeter of the parking area and located within the perimeter landscape area.
- E. Landscaping Adjacent to Buildings. There shall be a minimum three-foot landscaped area provided between the edge of pavement and the entrance elevation of the building.
- F. Screening of Trash. Trash receptacles shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- G. Screening of Ground Mounted Mechanical Equipment. Ground mounted mechanical equipment shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- H. Screening of Roof Mounted Mechanical Equipment - Roof mounted mechanical equipment shall be screened from casual view.

- I. Retaining Walls. No retaining wall shall exceed four (4) feet in height unless it has been designed and its construction supervised by a Professional Engineer. A retaining wall may be stepped to achieve greater height. Each step of the wall shall be no more than four (4) feet in height and shall be set back a minimum of three (3) feet from the previous step. Acceptable materials for retaining walls are: segmental masonry type, timber, railroad ties, or concrete
- J. Berms. Side slopes of berms shall not exceed a gradient of 1-ft. vertical to 3-ft. horizontal unless approved by the City Engineer.
- K. Buffer Yards. Appropriate buffers shall be provided between dissimilar uses as set forth in Section 17.0205 (d) of the Municipal Code, and in accordance with the plans approved by the Plan Commission on May 23, 2000 and September 24, 2013.
- L. Submittal Requirements. A Landscape Plan (to scale) must be submitted which includes details of all proposed landscaping, buffering and screening, including the estimated cost of the landscaping. These plans shall be prepared by a landscape professional and show the location and dimensions of all existing and proposed structures, parking, drives, right-of-ways and any other permanent features, and all other information required by the Plan Commission, including but not limited to the following:
 - 1. A plant list and coverage chart showing the location, quantity, size (at time of planting and at maturity), spacing and the scientific and common names of all landscape materials used.
 - 2. The location and type of existing trees over four (4) inches in diameter (measured six (6) inches above the ground) within the area to be developed.
 - 3. The location and percent of slope of all proposed berms using one (1) foot contours.
 - 4. Detailed sections showing elevations of all proposed architectural features, such as walls, lighting or water features.
 - 5. Methods used in staking, mulching, wrapping or any other early tree care used.
 - 6. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule.

6. ARCHITECTURAL STANDARDS

- A. The site and building containing this conditional use shall be constructed and maintained in accordance with the site, building, landscaping and lighting plans dated August 9, 2006 and approved by the City of Oak Creek Plan Commission on August 22, 2006. Any changes to these plans shall be submitted to the Plan Commission for their review and approval.
- B. No building shall be permitted if the design or exterior appearance is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
- C. No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades of surrounding properties and presents an attractive appearance to the public. Predominant exterior building materials must be of high quality. These include, but are not limited to brick, stone and tinted/textured concrete masonry units (CMUs). Smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel



panels are not permitted as a primary exterior building material.

- D. The facade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with glass, brick or decorative masonry material.
- E. Material and color samples shall be submitted to the Plan Commission for review and approval.
- F. The Plan Commission has the discretion to adjust this minimum for building additions.
- G. The relative proportion of a building to its neighboring buildings or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.
- H. Each principal building shall have a clearly defined, highly visible customer entrance with features such as canopies or porticos, arcades, arches, wing walls, and integral planters.
- I. Sides of a building that are visible from adjoining residential properties and/or public streets should contribute to the pleasing scale features of the building by featuring characteristics similar to the front façade of the building.
- J. Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.
- K. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule; as well as the approved protection of the identified wetlands and woodlands on the approved plan.

7. BUILDING AND PARKING SETBACKS

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure	40'	20'	20'
Accessory Structure*	40'	20'	20'
Off-street Parking	40'	0'	0'

** No accessory structures shall be permitted in the front yard.*

8. MAINTENANCE AND OPERATION

- A. The number, size, location and screening of appropriate solid waste collection units shall be subject to approval of the Plan Commission as part of the required site plan. Solid waste collection and recycling shall be the responsibility of the owner.
- B. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the owners.

9. SIGNS

All signs shall conform to the provisions of Sec. 17.0706 of the Municipal Code. All signs must be approved by the Plan Commission as part of the site plan review process.

10. PERMITTED USES

- A. All permitted uses in the M-1, Manufacturing (PUD) zoning district.
- B. One (1) indoor commercial recreation facility (no outdoor storage).
- C. Usual and customary accessory uses to the above listed permitted uses.

11. TIME OF COMPLIANCE

The operator of the conditional use shall commence operations in accordance with these conditions and restrictions for the conditional use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a conditional use permit. This conditional use approval shall expire within twelve (12) months after the date of adoption of the ordinance if an occupancy permit has not been issued for this use. The applicant shall re-apply for a conditional use approval, prior to recommencing work or construction.

12. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, ordinances, and orders not heretofore stated or referenced, is mandatory.

13. VIOLATIONS & PENALTIES

Any violations of the terms of this conditional use permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances. If the owner, applicant or operator of the conditional use permit is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12 month period the city shall have the right to revoke this conditional use permit, subject to the provisions of paragraph 14 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this conditional use permit or to seek an injunction regarding any violation of this conditional use permit or any other city ordinances.

14. REVOCATION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code.

15. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner's authorized representative

Date

(please print name)



Plan Commission Report

ITEM: 5c
DATE: April 8, 2014

PROJECT: Plan Review – Carlo Pedone, Trattoria diCarlo

ADDRESS: 8469 S. Howell Ave.

TAX KEY NO: 828-9029

STAFF RECOMMENDATION: That Plan Commission approves the site, building, and landscaping plans submitted by Carlo Pedone, Trattoria diCarlo, for the property located at 8469 S. Howell Ave. with the condition that all building and fire codes are met.

Ownership: Fait Family Limited Partnership, 1399 Spring Valley Rd., Burlington, WI 53105

Size: 3.906 acres

Existing Zoning: B-2, Community Business; B-3, Office and Professional Business

Adjacent Zoning: North – B-3, Office and Professional Business; B-2, Community Business
East – Rs-3, Single Family Residential
South – B-3, Office and Professional Business
West – M-1 (PUD), Manufacturing

Comprehensive Plan: Planned Office.

Wetlands: Yes, on the west.

Floodplain: None.

Official Map: N/A.

Commentary: The Applicant is requesting site, building, and landscaping plan approval for an addition to the existing building on the property at 8469 S. Howell Ave. The 41' 9" x 18' 6 1/2" (774 sf) single-story addition will be located on the northwestern portion of the existing building and meets all required setbacks.

The addition will not add to the existing dining space for the restaurant; rather, it will contain dishwashing stations, storage, and coolers. No additional employees are anticipated as a result of the new construction.

Although 2-3 parking/loading spaces will be eliminated, 90 parking stalls will remain for use by the restaurant and optical center. Based on the types of uses on this property and the number of employees during the largest shifts (30 for the restaurant, 3 for the optical center), only 57 stalls are required. Staff does not foresee issues with reducing the number of parking stalls in the immediate location of the proposed addition. However, per comments received from the Fire Department, the northern access drive must remain a minimum of 18' wide. As shown, the addition and curbing will reduce the width of the drive by over 3 feet. The addition must also have sprinklers and fire alarms installed.

The plans indicate that the addition will be constructed of EIFS. According to Section 17.1009(a)(2), EIFS is not permitted as a primary exterior building material, but is allowed as an accent material comprising a maximum of 25% of the visible perimeter of the building. The Plan Commission may modify the standards in this section of the Code by 3/4 majority vote, although it should be noted that the addition is not within the visible perimeter.

A landscape bed will be added between the extended curb and the addition. No other landscaping is proposed.

Prepared by:

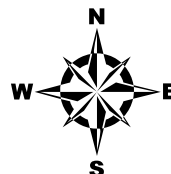
Kari Papelbon, CFM, AICP
Planner




Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

Location Map

8469 S. Howell Ave.



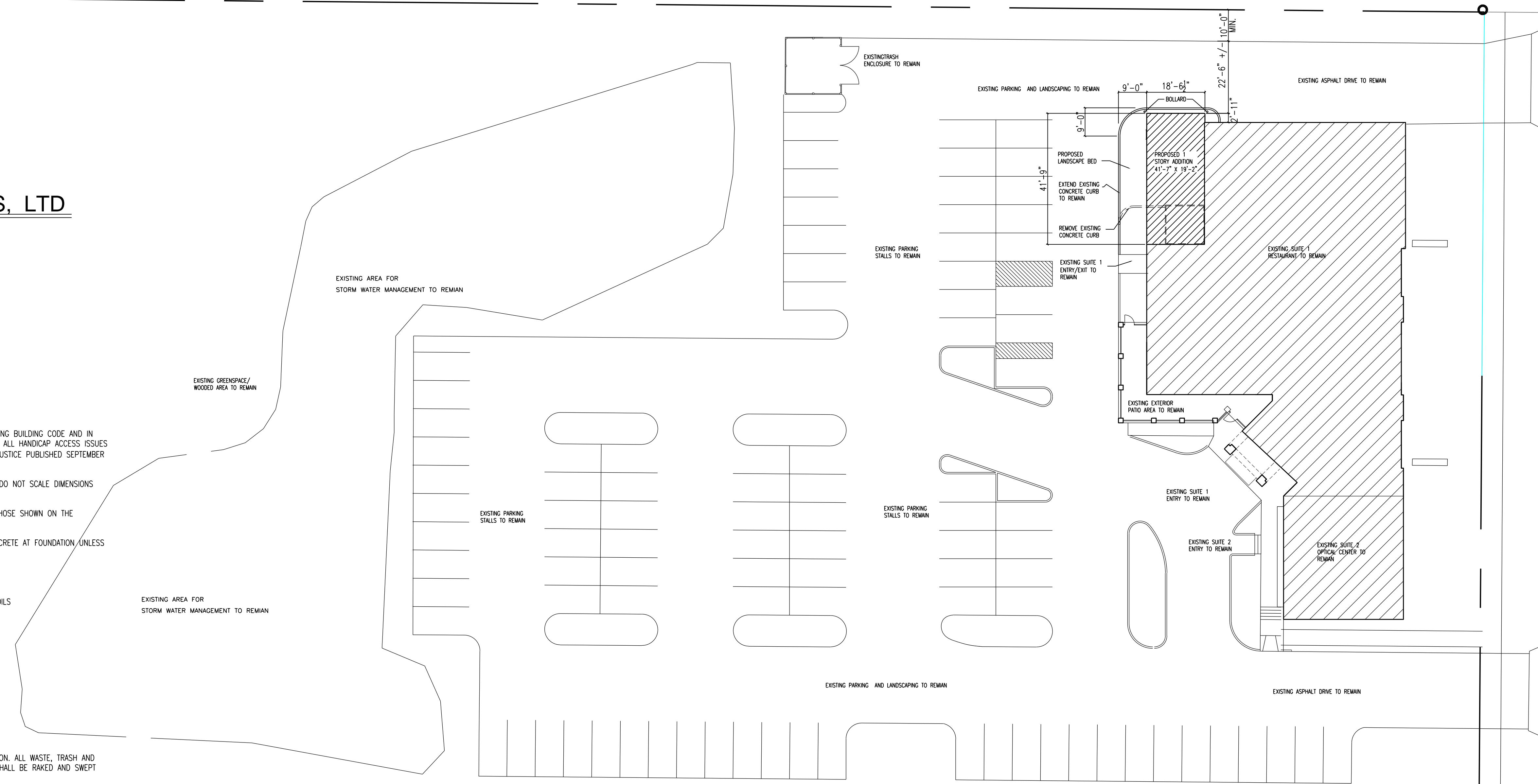
Legend	
	8469 S. Howell Ave.
	Existing Street Pattern
	Wetland

PROJECT:
NEW ADDITION
 PROJECT FOR:
Trattoria diCarlo
 8469 S. HOWELL.
 OAK CREEK, WI 53154

ARCHITECT:
STELLING & ASSOCIATES ARCHITECTS, LTD
 181 WEST CHESTNUT STREET
 BURLINGTON, WI 53105

GENERAL CONSTRUCTION NOTES

- THIS FACILITY WILL REMAIN IN OPERATION DURING THIS ADDITION REMODELING.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2009 INTERNATIONAL BUILDING CODE, THE 2009 INTERNATIONAL EXISTING BUILDING CODE AND IN CONJUNCTION WITH WISCONSIN S.P.S. 360-366 AND ALL OTHER STATE LAWS AND LOCAL CODES AND ZONING ORDINANCES. ALL HANDICAP ACCESS ISSUES COMPLY WITH ICC/ANSI 117.1, REVISION 2003 AND 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN FROM THE DEPT. OF JUSTICE PUBLISHED SEPTEMBER 15, 2010. THIS PROJECT IS SUBJECT TO FIELD INSPECTION.
- IF YOU BELIEVE THAT THERE ARE DISCREPANCIES IN THE PLANS OR QUESTIONS ARISE, NOTIFY THE ARCHITECT IMMEDIATELY. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS; CONFORM TO ALL DIMENSIONS INDICATED. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- THE CONTRACTOR SHALL REPORT IMMEDIATELY TO THE ARCHITECT ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS.
- ARCHITECTURAL FLOOR PLANS - ALL DIMENSIONS ARE TO THE FACE OF STUDS AT ALL FRAMING AND TO THE FACE OF CONCRETE AT FOUNDATION UNLESS OTHERWISE INDICATED.
- DESIGN ASSUMPTIONS:
 SOIL: BEARING CAPACITY ASSUMED TO BE 2,000 PSF. VERIFY EXISTING CONDITIONS AND REMEDIATION REQUIREMENTS WITH THE SOILS ENGINEERING REPORT AS NECESSARY.
 CONCRETE:
 ULTIMATE COMPRESSIVE STRENGTH (F_c) = 3,000 PSI
 MODULUS OF ELASTICITY RATIO (M) = 9
 FLEXURE-EXTREME FIBER IN COMPRESSION (F_c) = 1,350 PSI
 SLABS AND FOOTING SHEAR (V) = 110 PSI
 BEARING (F_c) ON FULL AREA = 750 PSI
 JOISTS AND RAFTERS:
 GRADE SPRUCE-PINE-FIR NO. 1/NO. 2 OR BETTER = 1,275 PSI
 EXTREME FIBER IN BENDING (F_b) SINGLE = 1,400,000 PSI
 MODULUS OF ELASTICITY (E) = 1,400,000 PSI
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING SITE AND RETURNING IT TO ITS ORIGINAL CONDITION. ALL WASTE, TRASH AND RUBBISH SHALL BE REMOVED FROM THE SITE BY THE CONTRACTORS AND AT THE CONTRACTORS EXPENSE AND THE SITE SHALL BE RAKED AND SWEEP CLEAN AT THE COMPLETION OF THE PROJECT.
- MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES. THIS FACILITY TO REMAIN IN OPERATION THROUGHOUT THIS CONSTRUCTION PROCESS.
- USE ALL MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE WITHIN THIS SITE TO THE PUBLIC, NEIGHBORS AND OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.
- BARRICADE ADJACENT TO OPEN DEPRESSIONS AND HOLES OCCURRING AS PART OF THE WORK.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS AND SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY VARIANCE OR DISCREPANCIES AFFECTING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES AND OTHER DEVICES AS REQUIRED.
- ALL PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE SEALED FOR ENERGY LOSS AND/OR RODENT INFILTRATION.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY STATE CONDITIONAL APPROVAL AND LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- TEMPORARY UTILITIES SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AND ALL UTILITY FEES SHALL BE PAID BY THE OWNER.
- ALL SUB-CONTRACTORS MUST VISIT THE CONSTRUCTION SITE TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS. IF ANY QUESTIONS REGARDING EXISTING CONDITIONS AFFECTING SUB-CONTRACTOR EXIST, ADVISE OWNER IMMEDIATELY.
- PROVIDE ALL INSULATION AS INDICATED ON THE PLANS AND AS REQUIRED BY CODES, INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- PROVIDE GROUND FAULT CIRCUIT PROTECTION FOR ALL EXTERIOR ELECTRIC OUTLETS OR AS DIRECTED PER N.E.C. GUIDELINES.
- CONTRACTOR RESPONSIBLE FOR PATCHING AND REPAIR OF ALL AREAS OF EXISTING BUILDING THAT WERE ALTERED BY NEW CONSTRUCTION AND TIE IN BY MATCHING EXISTING FLOOR AND WALL FINISHES. CONTRACTOR TO REVIEW OPTIONS OF FINAL FIT AND FINISH SELECTIONS WITH OWNER. (MAINTAIN FLUSH CONDITIONS WHERE NEW AND EXISTING WALLS TIE IN WITH EACH OTHER). GENERAL CONTRACTOR TO MINIMIZE IMPACT OF NEW CONSTRUCTION ON EXISTING BUILDING. CONFIRM IMPACT OF ALL WORK WITH OWNER PRIOR TO STARTING CONSTRUCTION.
- HVAC CONTRACTOR TO REVIEW EXISTING SYSTEM TO VERIFY EFFICIENCY AND CAPACITY OF EXISTING SYSTEM WITH THE NEW WORK. VERIFY ALL OPTIONS WITH GENERAL CONTRACTOR AND OWNER. FINAL DESIGN SIZE BY SUPPLIER. ALL REQUIRED CALCULATIONS AND ASSOCIATED STATE AND/OR CITY SUBMITTALS BY HVAC CONTRACTOR AND OR HIS SUPPLIER/SYSTEM DESIGNER.
- ELECTRICAL CONTRACTOR TO REVIEW EXISTING ELECTRICAL SERVICE AND PROVIDE ELECTRICAL PLAN AND SERVICE CHANGE RECOMMENDATION FOR NEW WORK AND TIE IN WITH EXISTING
- PLUMBING CONTRACTOR TO REVIEW EXISTING SYSTEM AND ALL ASSOCIATED TIE-INS TO BUILDING AND LOCAL SANITARY AND EXISTING STORM SYSTEM. VERIFY ADEQUACY OF SUPPLY AND HOT WATER SYSTEM AND PROVIDE FOR ANY OWNER REQUESTED UPGRADES. ALL REQUIRED CALCULATIONS AND ASSOCIATED STATE AND/OR CITY SUBMITTALS BY PLUMBING CONTRACTOR AND OR HIS SYSTEM DESIGNER.



PLAN NORTH
SCHEMATIC SITE PLAN
 SCALE: 1" = 20'-0"

REINFORCED MASONRY

- ALL REINFORCED CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING:
 A. ACI 530.1/ASCE 6/TMS 602 "SPECIFICATION FOR MASONRY STRUCTURES".
 B. ACI 530/ASCE 5/TMS 402 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES".
- CONCRETE BLOCK SHALL CONFORM TO ASTM C-90. THE REQUIRED STRENGTH ON THE NET CROSS SECTIONAL AREA OF THE CONCRETE BLOCK SHALL BE A MINIMUM OF 1,900 PSI.
- MORTAR SHALL BE TYPE M OR S, CONFORMING TO ASTM C270.
- GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS; CONFORM TO ASTM C476, AND HAVE A SLUMP BETWEEN 8" TO 10". GROUT MAY BE PLACED BY THE "HIGH LIFT METHOD" CONFORMING TO THE GROUTING PATTERNS REQUIRED BY THE CONTRACT DRAWINGS.
- THE REQUIRED MINIMUM 28 DAY COMPRESSIVE STRENGTH OF THE COMBINATION OF CONCRETE BLOCK, GROUT AND MORTAR ON THE NET AREA OF THE CONSTRUCTION (f_m) SHALL BE A MINIMUM OF 1,500 PSI.
- ALL CONCRETE BLOCK MASONRY UNITS SHALL BE LAID IN RUNNING BOND, UNLESS NOTED ON THE DRAWINGS.
- MASONRY BLOCK CELLS CONTAINING VERTICAL REINFORCING SHALL BE GROUTED SOLID. FILLING CELLS WITH MORTAR IS UNACCEPTABLE.
- THE BASE OF EACH CELL IN WHICH REINFORCING BAR IS PLACED MUST HAVE A CLEAN OUT HOLE.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60. VERTICAL REINFORCING BARS SHALL BE LAPPED PER SCHEDULE. MECHANICAL SPLICES MAY BE USED IN LIEU OF LAP SPLICES.
- PROVIDE CONTINUOUS REINFORCED BOND-BEAMS IN ALL REINFORCED MASONRY WALLS AT THE TOP, AND AS REQUIRED IN THE CONTRACT DRAWINGS. BOND-BEAMS AT THE TOP OF THE WALL SHALL BE CONTINUOUS AT MASONRY CONTROL JOINTS. ALL OTHER BOND-BEAMS SHALL NOT BE CONTINUOUS AT MASONRY CONTROL JOINTS. BOND-BEAM REINFORCING SHALL EXTEND INTO AND BE CONTINUOUS WITH ALL INTERSECTING BOND-BEAMS.
- PROVIDE CONTROL JOINTS IN MASONRY WALLS AS FOLLOWS:
 A. EXTERIOR CONCRETE MASONRY 25' O.C. TYPICAL
 12' MAX. FROM CORNERS
 B. INTERIOR CONCRETE MASONRY 25' O.C. TYPICAL
 12' MAX. FROM CORNERS
- REINFORCED MASONRY WALLS SHALL HAVE #8 GAUGE (LADDER TYPE) HORIZONTAL REINFORCING AT SPACING AS NOTED ON CONTRACT DRAWINGS, BUT AT A MAXIMUM OF 16" O.C. VERTICALLY.

CONCRETE REINFORCING

- DETAILING, FABRICATION AND ERECTION OF REINFORCING STEEL SHALL CONFORM TO THE FOLLOWING:
 A. ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT".
 B. ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
 C. MSP2 - "CRSI MANUAL OF STANDARD PRACTICE".
 D. AWS D1.4 - "STRUCTURAL WELDING CODE - REINFORCING STEEL".
 E. WRI - "WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE".
- STEEL REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60, DEFORMED. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- THE REINFORCEMENT FABRICATOR SHALL PROVIDE AND SCHEDULE ON SHOP DRAWINGS ALL REQUIRED REINFORCING STEEL AND NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN PLACE AT THE CORRECT LOCATIONS.
- UNLESS SHOWN ON THE DRAWINGS OTHERWISE, THE REQUIRED CLEARANCE FOR REINFORCEMENT SHALL BE PER ACI 318:
 A. CONCRETE PLACED DIRECTLY ON EARTH 3"
 B. CONCRETE EXPOSED TO EARTH OR WEATHER #5 & LARGER 2"
 #5 & SMALLER 1 1/2"
 C. CONC. NOT EXPOSED TO EARTH OR WEATHER #14 & LARGER 3 1/2"
 #11 & SMALLER 3/4"
- THE CONTRACTOR SHALL REFER TO TYPICAL DETAILS SHOWN ON THE CONTRACT DRAWINGS FOR ADDITIONAL REINFORCING REQUIREMENTS.
- WHERE REINFORCEMENT IS REQUIRED IN SECTIONS, REINFORCEMENT IS CONSIDERED TYPICAL WHERE EVER THE SECTION APPLIES.
- WELDED WIRE FABRIC SHALL HAVE A MINIMUM OF 6" LAP AND BE TIED TOGETHER.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF COMPLETION OF REINFORCEMENT INSTALLATION AND ALLOW AT LEAST 24 HOURS BEFORE SCHEDULED CONCRETE PLACEMENT FOR THE ARCHITECT TO INSPECT REINFORCEMENT.

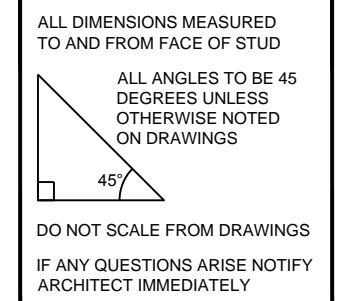
NOTE:
 - ALL WORK MUST BE COMPLETED IN STRICT CONFORMANCE WITH THE 2009 INTERNATIONAL BUILDING CODE WITH WISC. SPS 360-366, AND ALL REFERENCES MADE THEREIN. ALL HANDICAP ACCESS ISSUES COMPLY WITH ICC/ANSI 117.1, REVISION 2003 AND 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN FROM THE DEPT. OF JUSTICE PUBLISHED SEPTEMBER 15, 2010. SHOULD ANY CODE RELATED QUESTIONS ARISE, CONTACT ARCHITECT IMMEDIATELY.

INDEX OF DRAWINGS

- A1 SCHEMATIC SITE PLAN
- A2 SCHEMATIC FLOOR AND ROOF PLAN
- A3 SCHEMATIC WALL SECTION AND ELEVATIONS
- A4 EIFS DETAILS

PROJECT NOTES:

- *EXISTING SITE & ZONING TO REMAIN = B-2 COMMUNITY BUSINESS DISTRICT
- *EXISTING BUILDING TO REMAIN
- *PROPOSED KITCHEN/DISHWASHING ADDITION WILL NOT RESULT IN ANY CHANGE TO EXISTING DINING AREA SQ.FT. OR NUMBER OF EMPLOYEES, PATRONS OR PARKING STALL REQUIRED.
- EXISTING BUSINESS USE TO REMAIN THE SAME
- *TOTAL LOT SQFT = 170,160.4 SQFT
- *TOTAL PARKING LOT = 47,223 SQFT
- *REQ INTERIOR TOTAL GREENSPACE 5% = 2361 SQFT
- *TOTAL INTERIOR GREEN SPACE = 4171 SQFT
- PARKING REQUIREMENTS:
 *SUITE #1 - RESTAURANT
 *REQ PARKING (1 SPACE PER 150 SQ.FT OF GROSS DINING AREA PLUS 1 SPACE PER EMPLOYEE FOR LARGEST WORK SHIFT)
 *NO CHANGE IN SIZE OF EXISTING DINING AREA WITH THIS PROPOSED KITCHEN/DISHWASHING ADDITION.
 EXISTING DINING AREA 740 SQFT
 PROPOSED DINING AREA 474 1318 SQFT
 MAX EMPLOYEE 30
 * TOTAL PROPOSED DINING APK. 2058 SQ.FT. / 150 SQ.FT. = 14 STALLS REQ.
 * TOTAL REQ PARKING STALLS [14+30] = 44 STALLS
 *SUITE #2 - OPTICAL CENTER:
 *REQ. PARKING (5 SPACES PER DOCTOR PLUS 1 SPACE PER EMPLOYEE FOR LARGEST WORK SHIFT)
 2 DOCTORS
 MAX EMPLOYEE 3
 * TOTAL DOCTORS TIMES 5 = 10 STALLS REQ.
 * TOTAL REQ PARKING STALLS [10+3] = 13 STALLS
 * TOTAL PARKING STALLS PROVIDED = 93 STALLS > REQ. [44+13]=57 STALLS
 * TOTAL ADA PARKING STALLS REQUIRED BY STATE CODE (62.1106)
 76 - 100 PARKING STALLS = 4 ADA STALLS REQ.
 * TOTAL ADA PARKING STALLS PROVIDED = 4 STALLS



- GENERAL CONTRACTOR TO DISTRIBUTE ALL SHEETS TO SUBCONTRACTORS! DO NOT DISTRIBUTE PARTIAL SETS.

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 FAX: (262) 768-1971

PROJECT DESCRIPTION:
NEW ADDITION
 PROJECT FOR:
TRATTORIA diCARLO
 8469 S. HOWELL AVE
 OAKCREEK, WI. 53154

DRAWING DESCRIPTION:
SCHEMATIC SITE PLAN, INDEX, GENERAL NOTES AND SITE LOCATOR MAP

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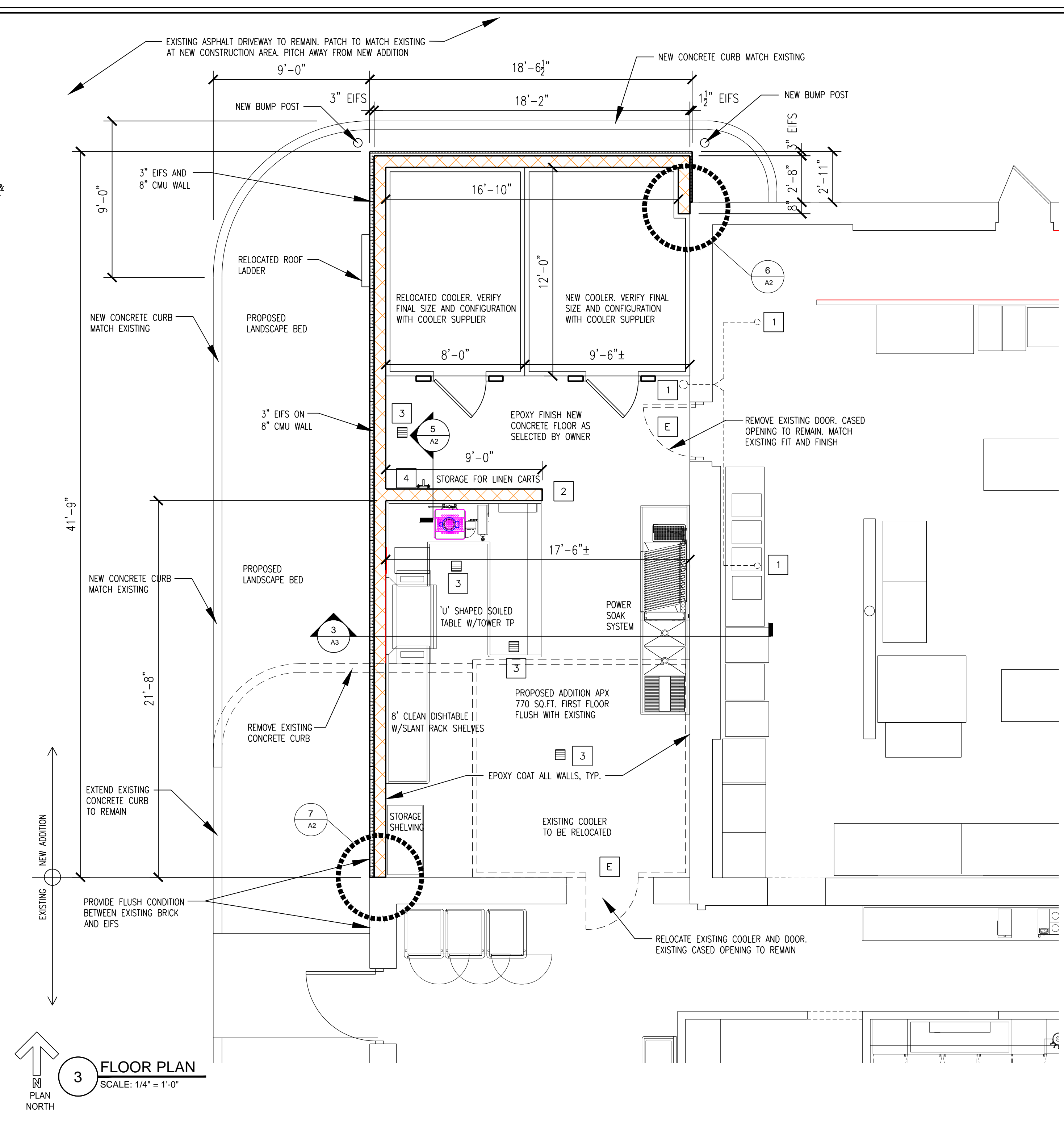
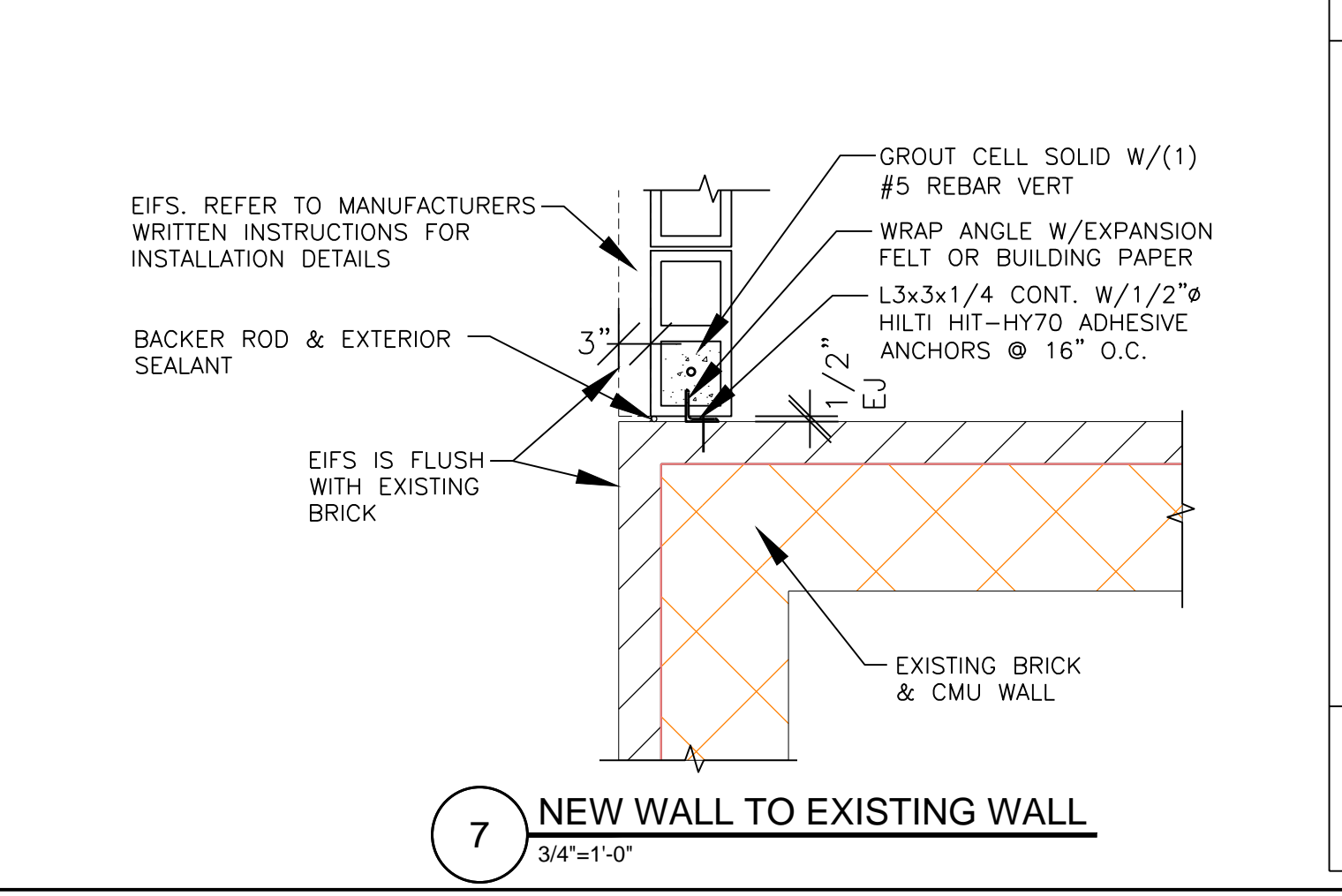
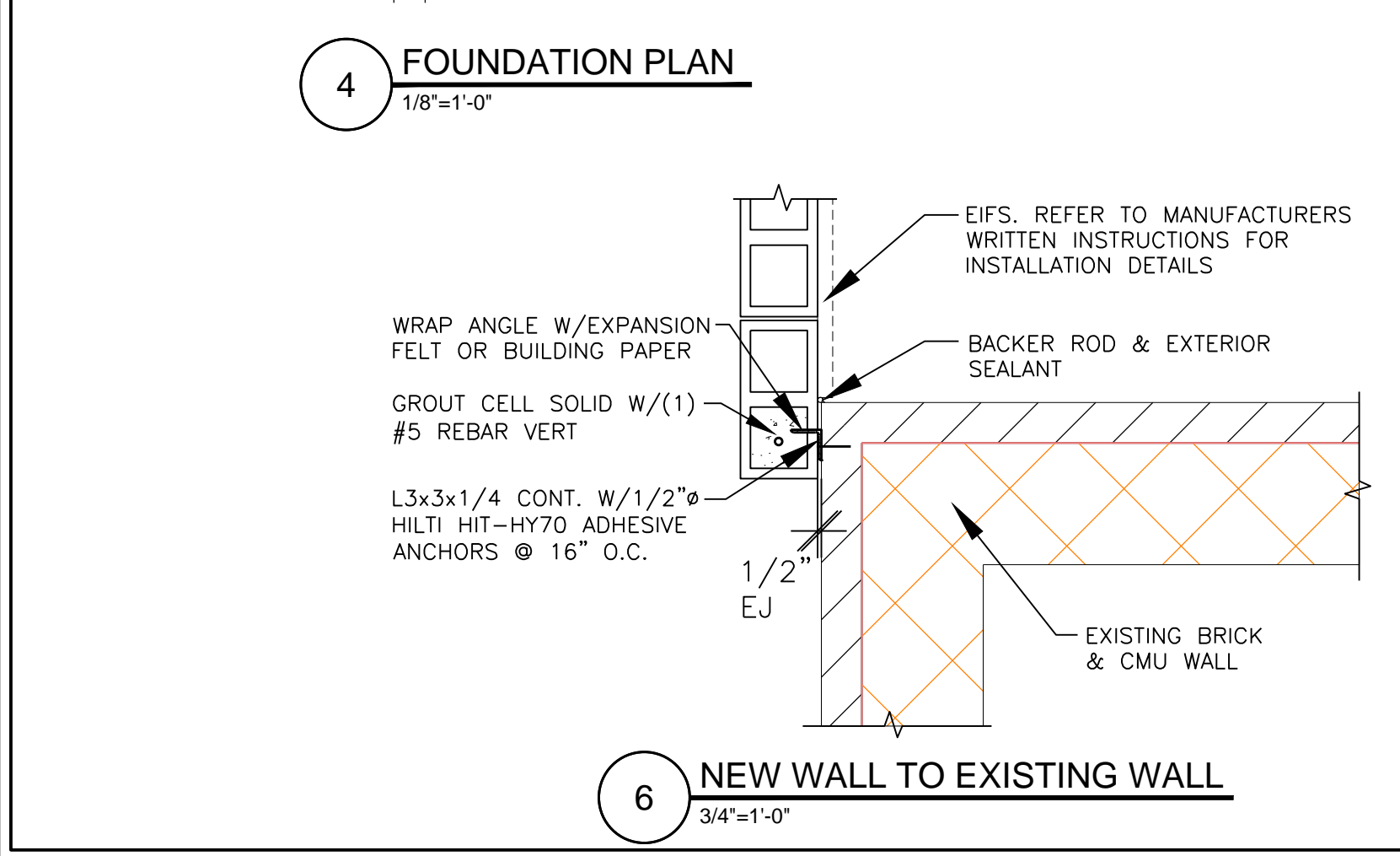
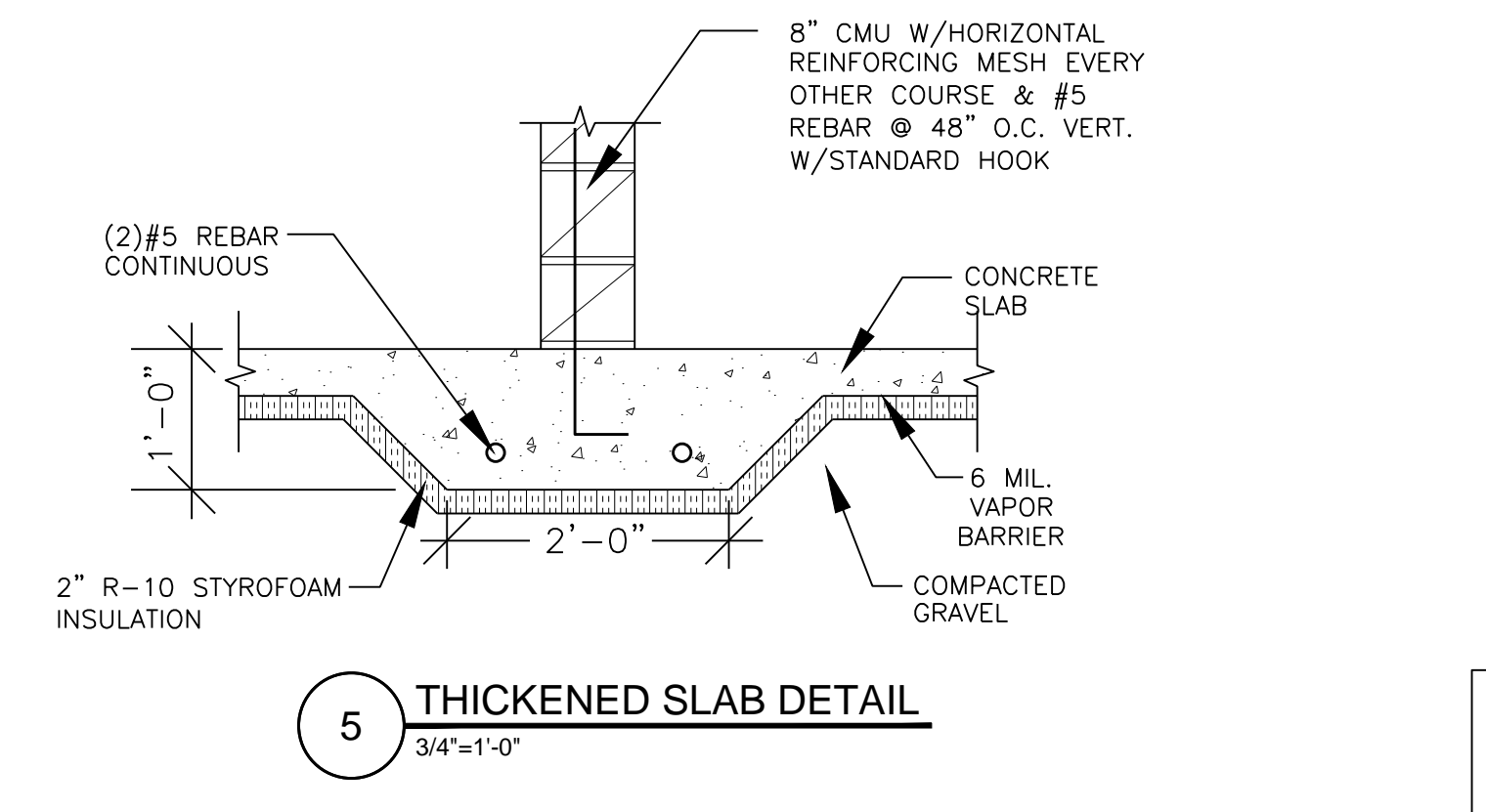
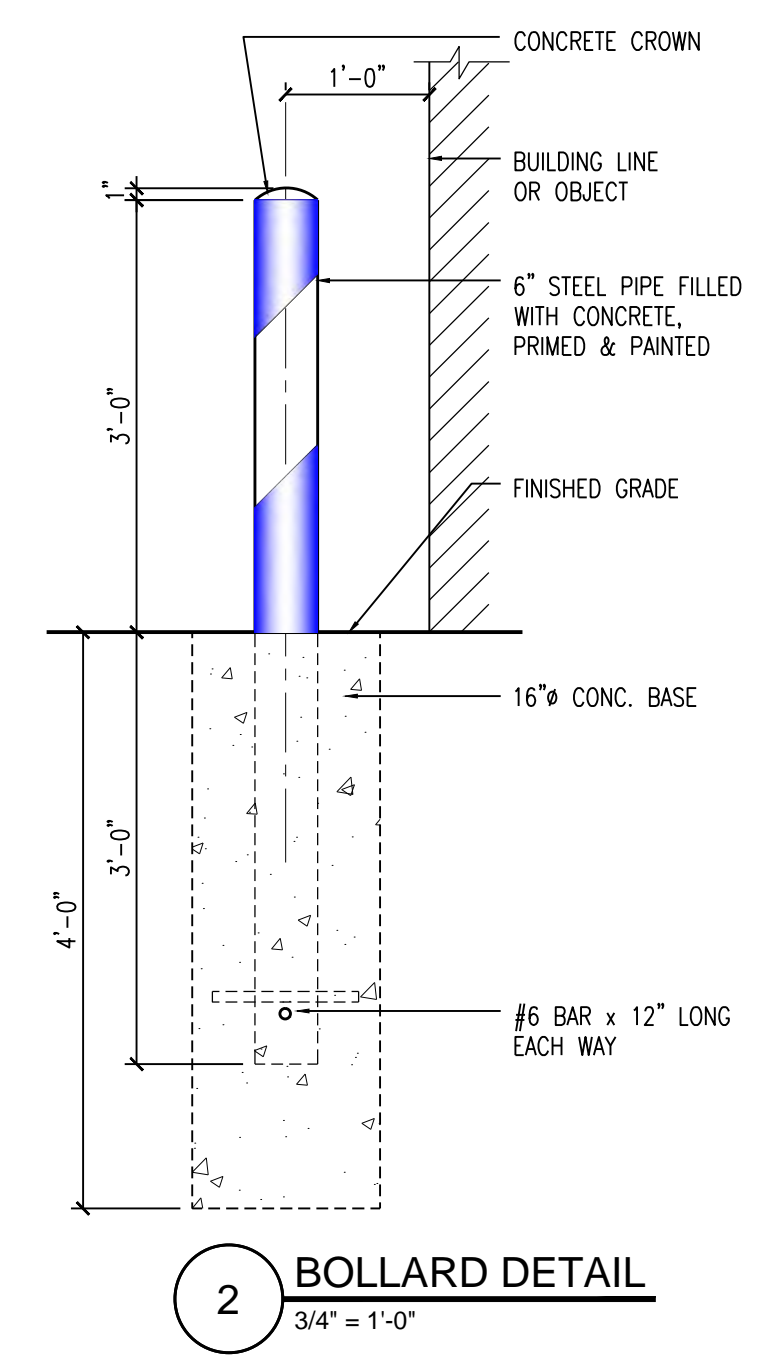
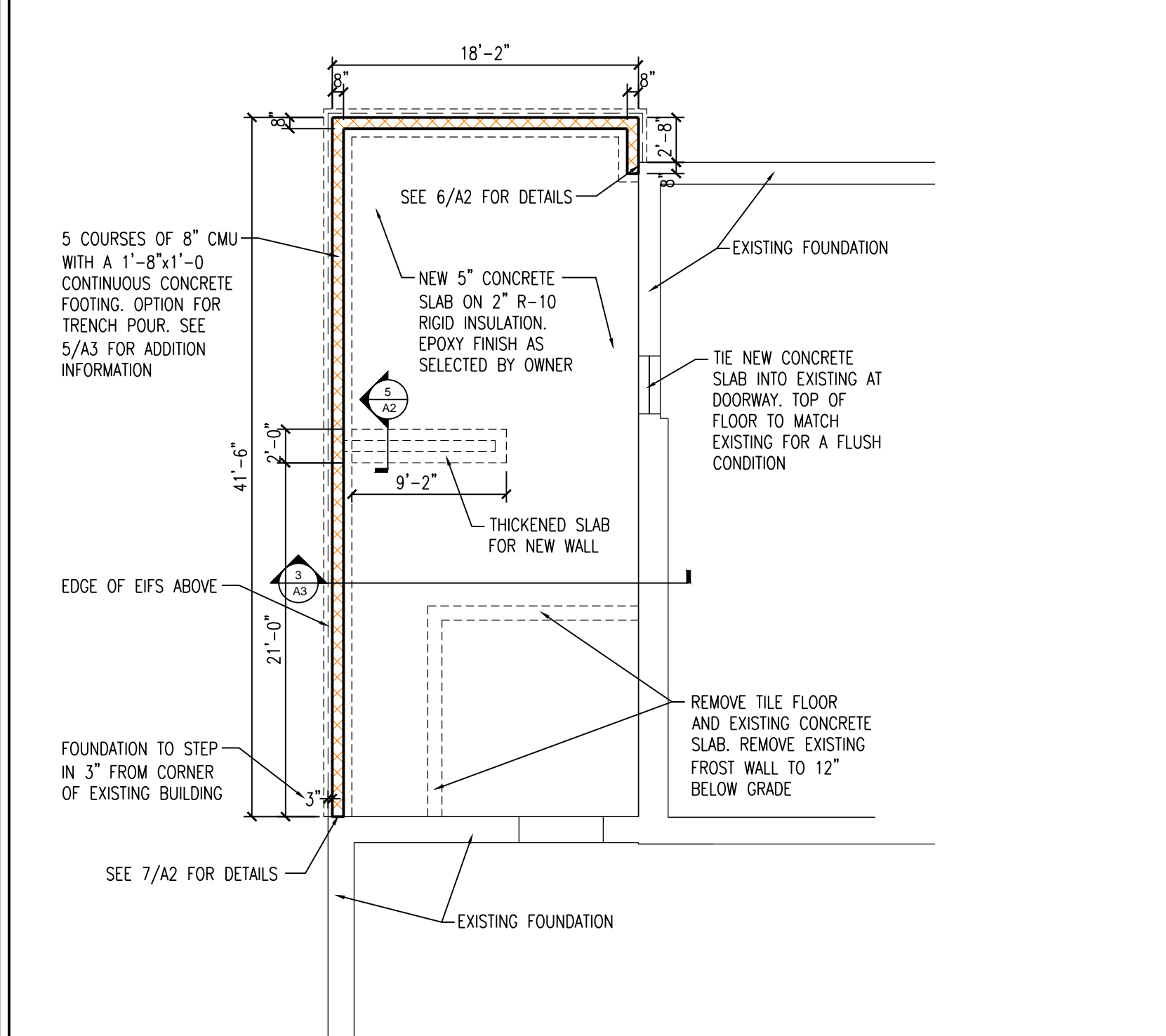
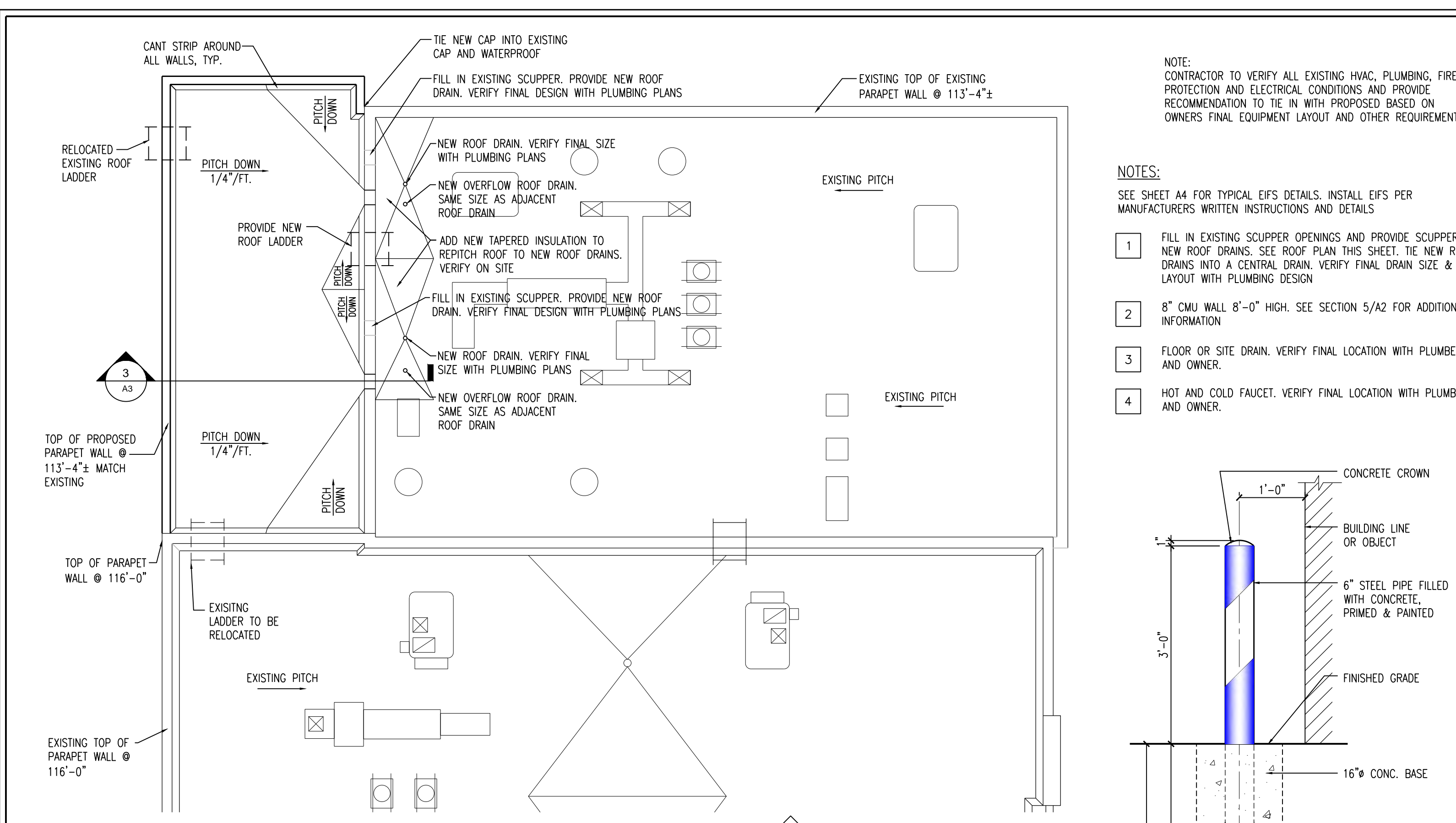
APPROVED:

DRAWN BY:
DJR

DATE:
2-20-14

ARCHITECTS PROJECT NUMBER:
12016

SHEET NUMBER:
A1
 1 OF 4



PROJECT ADDRESS:
 TRATTORIA DICARLO
 8469 HOWELL AVE
 OAK CREEK, WI 53154

PROJECT CODE DATA:

CODES:
 2009 INTERNATIONAL BUILDING CODE
 WISCONSIN SPS 360-366
 ICC/ANSI A117.1 - 2003 & ADA
 STANDARDS FOR ACCESSIBLE DESIGN - 2010

PROJECT DESCRIPTION NOTE:
 THIS SUBMITTAL IS FOR A SMALL KITCHEN ADDITION TO AN EXISTING ONE STORY WITH PARTIAL BASEMENT AND PARTIAL SLAB ON GRADE CMU AND WOOD FRAME STRUCTURE WITH NON SEPARATED "B", "S" AND "A" USES. THE NEW CONSTRUCTION WILL BE POURED CONCRETE FOOTINGS WITH CMU FROSTWALLS WITH CONCRETE SLAB FLOOR, EXTERIOR LOAD BEARING CMU WALLS WITH LOW PITCH "FLAT" ENGINEERED WOOD "T"-JOIST ROOF FRAMING. THE EXISTING PREVIOUSLY APPROVED SPACES HOUSE AN EYE CARE CLINIC AND A RESTAURANT. THE NEW ADDITION WILL BE ATTACHED TO THE RESTAURANT AND PROVIDE EXPANDED DISHWASHING AND INDOOR COOLER SPACE. ONE EXISTING EXTERIOR EXIT DOOR WILL BE REMOVED AND THE PREVIOUS EXTERIOR COOLER ACCESS OPENING WILL BE UTILIZED AS INTERIOR ACCESS FROM THE NEW ADDITION INTO THE EXISTING KITCHEN PROVIDING CONTINUOUS CIRCULATION IN THE EXPANDED AREA. THE EXISTING MEN'S AND WOMEN'S RESTROOMS WILL BE SHARED BY THE NEW SPACE. A MINIMAL INCREASE IN COMMERCIAL KITCHEN CAPACITY OF (3.6) PEOPLE WILL NOT REQUIRE ADDITIONAL TOILET FIXTURES AS THE EXISTING IS OVERSIZED BY 1 TOILET FOR WOMEN AND 1 TOILET/JURNAL FOR MEN WITH 1 ADDITIONAL LAVATORY EACH DUE TO MULTIPLE SEPARATE TOILET ROOM LOCATIONS EACH. OVERALL BUILDING AREA IS TO BE INCREASED BY APPROXIMATELY 763 SQ. FT. AND THE NEW TOTAL AREA IS WELL UNDER THE PERMITTED AREA OF 18,000 SQ. FT. PER TABLE 503 AND SECTION 506.3 (300% SPRINKLER INCREASE). NO ADDITIONAL EXITING WILL BE REQUIRED DUE TO SECTIONS NOTED BELOW.

NONSEPARATED USE:
 NEW: 1 STORY ADDITION, WITH AUTOMATIC SPRINKLER SYSTEM
 TYPE OF CONSTRUCTION: V-B / 1 STORY ADDITION, SLAB ON GRADE
 BUILDING HEIGHT: MATCH EXISTING
 USER GROUP: "A-2" ASSEMBLY (RESTAURANT/COMM. KITCHEN)
 "B" BUSINESS (EYE CARE CLINIC)
 "S-2" STORAGE (PARTIAL BASEMENT)
 (NOTE: "B" AND "S" USES NOT IN SCOPE OF PROJECT)

BUILDING AREA:
 FIRST FLOOR (EXISTING) 9,368.0 SQ. FT. GROSS
 FIRST FLOOR (ADDITION) 762.6 SQ. FT. GROSS
 TOTAL AREA OF ENLARGED BUILDING 10,130.6 SQ. FT. GROSS

AS PER TABLE 1015.1 SPACES WITH ONE EXIT ALLOW AN "A" OCCUPANCY WITH A MAXIMUM OCCUPANT LOAD OF 49 TO USE ONE EXIT. WE HAVE 2 EXITS FROM THE KITCHEN DIRECTLY TO THE EXTERIOR AND 2 ADDITIONAL ACCESS POINTS TO ADJACENT EXTERIOR EXITS.

AS PER SECTION 1016.1 WE HAVE AN EXIT ACCESS TRAVEL DISTANCE "A" OCCUPANCY WITH SPRINKLERS OF LESS THAN 250'-0".

AS PER SECTION 1014.3 AND 1028.8 WE HAVE COMMON PATHS OF EGRESS OF LESS THAN 75'-0" FOR "A" USE WITH LESS THAN 50 OCCUPANTS.

ALLOWABLE BUILDING AREA: TABLE 503:
 ASSUME "A" USE AT 6,000 SQ. FT./1 STORY X 300% AND 1 ADDIT. STORY 18,000 SQ. FT./2 STORY PERMITTED SEE BUILDING AREA CALC. NEXT COLUMN

REVISIONS:

APPROVED:

DRAWN BY: DJR

DATE: 2-20-14

ARCHITECTS PROJECT NUMBER: 12016

SHEET NUMBER: A2

NOTE:
 GENERAL CONTRACTOR TO DISTRIBUTE ALL SHEETS IN SET TO SUBCONTRACTORS! DO NOT DISTRIBUTE PARTIAL SETS

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 181 W. CHESTNUT STREET
 BURLINGTON, WI 53105
 TELEPHONE: (262) 769-9725 FAX: (262) 769-1971

PROJECT DESCRIPTION:
 NEW ADDITION
 PROJECTOR:
 TRATTORIA DICARLO
 8469 S. HOWELL AVE
 OAKCREEK, WI. 53154

SCHEMATIC FLOOR PLAN, ROOF PLAN, AND BLDG NOTES

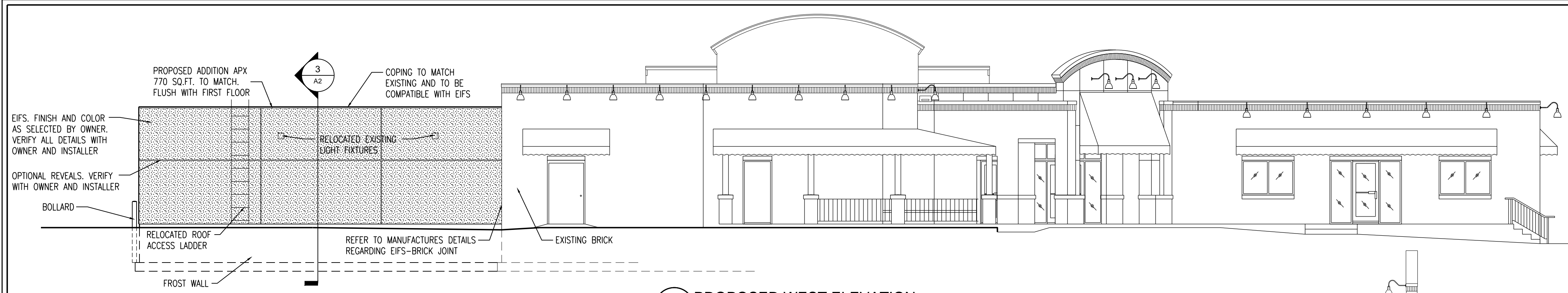
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ALL DIMENSIONS MEASURED TO AND FROM FACE OF STUD

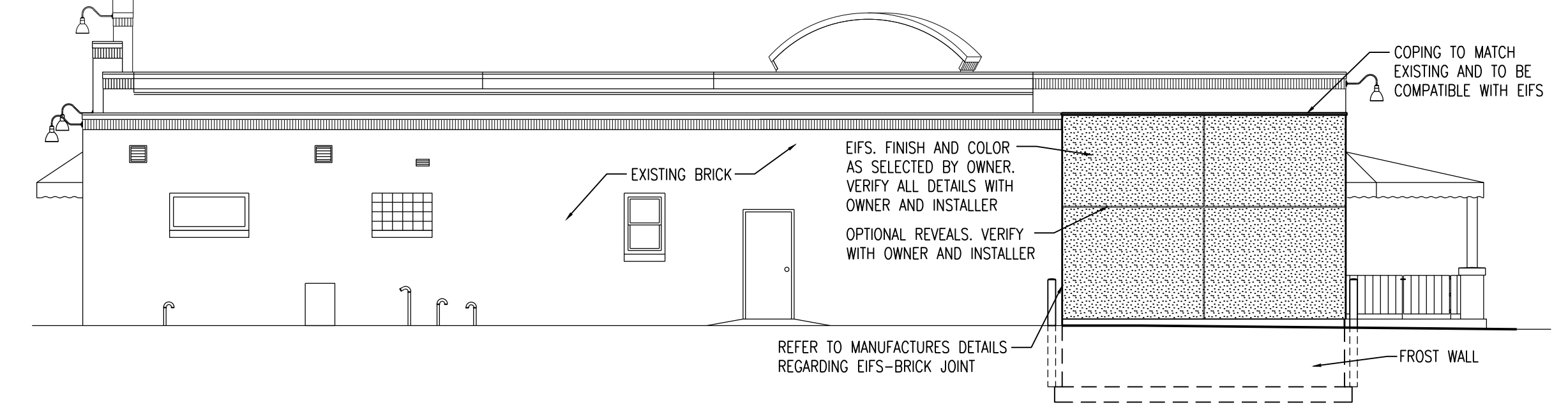
ALL ANGLES TO BE 45 DEGREES UNLESS OTHERWISE NOTED ON DRAWINGS

DO NOT SCALE FROM DRAWINGS IF ANY QUESTIONS ARISE NOTIFY ARCHITECT IMMEDIATELY

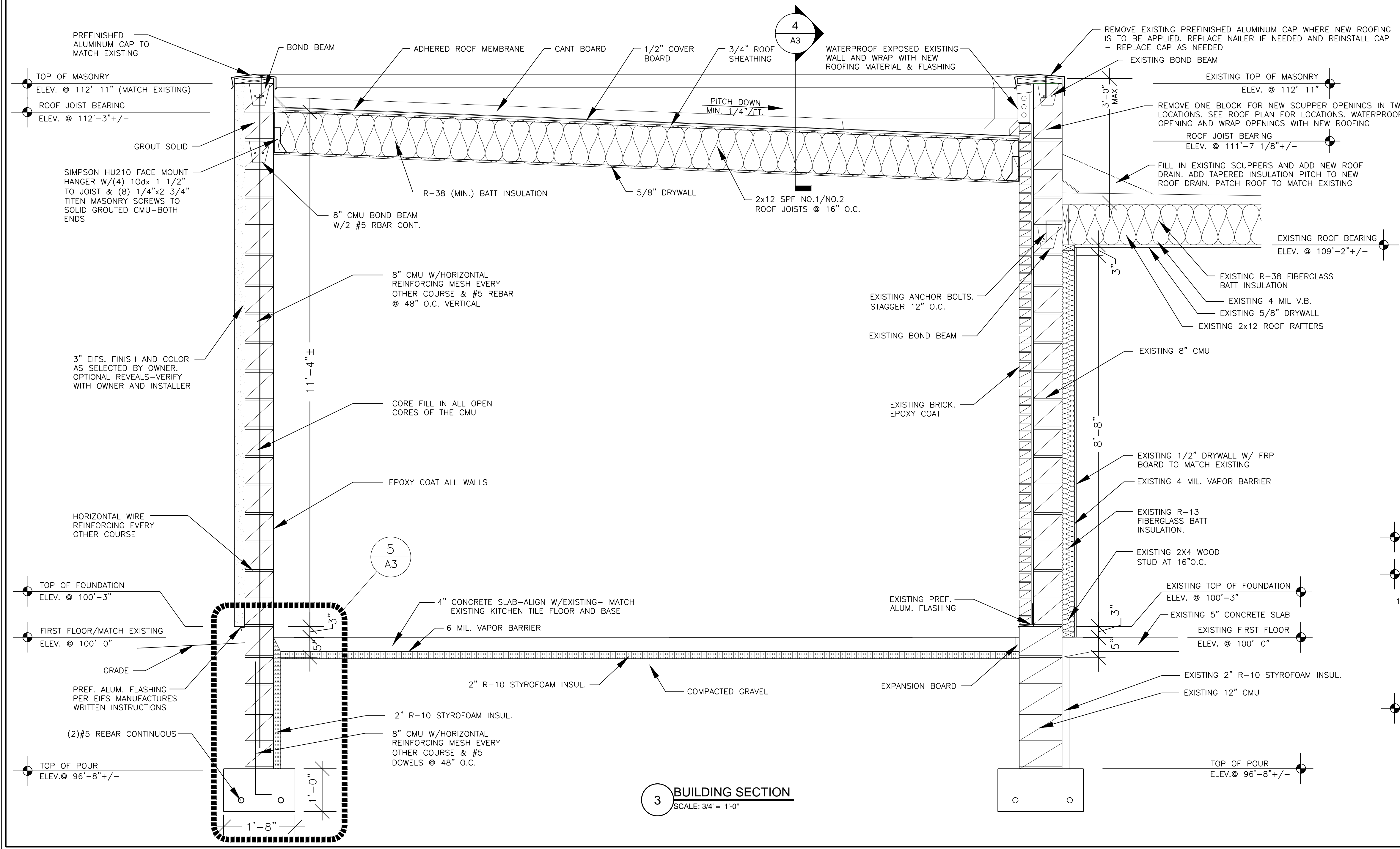
2 OF 4



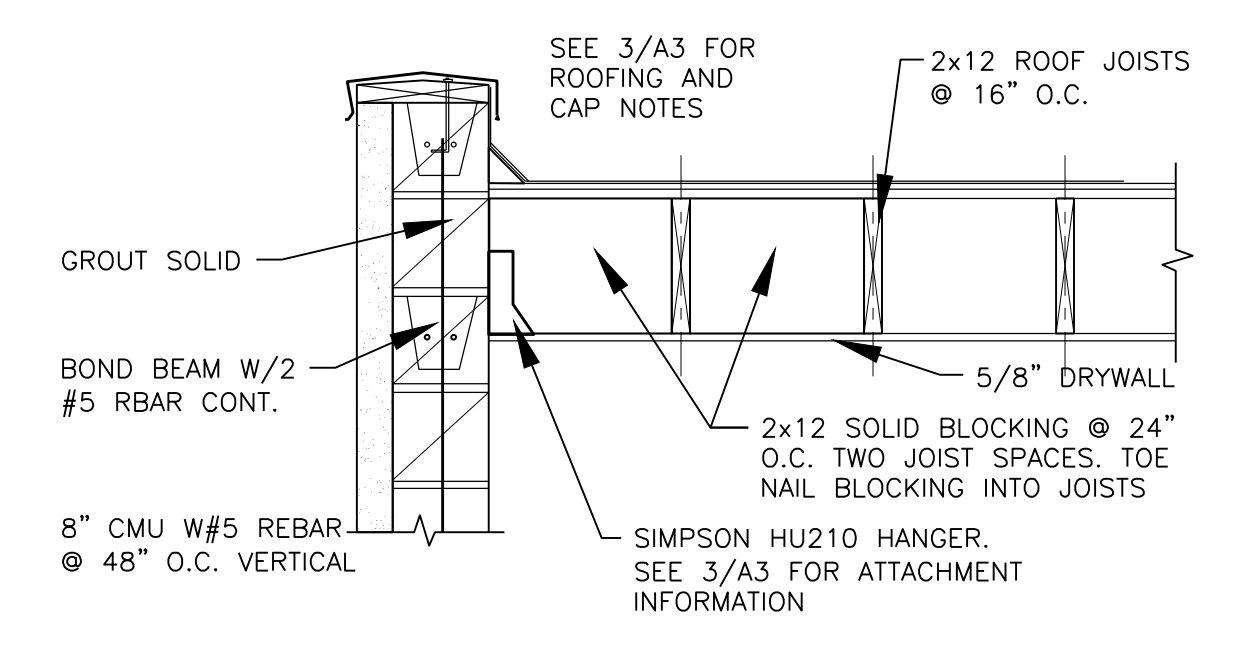
1 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"



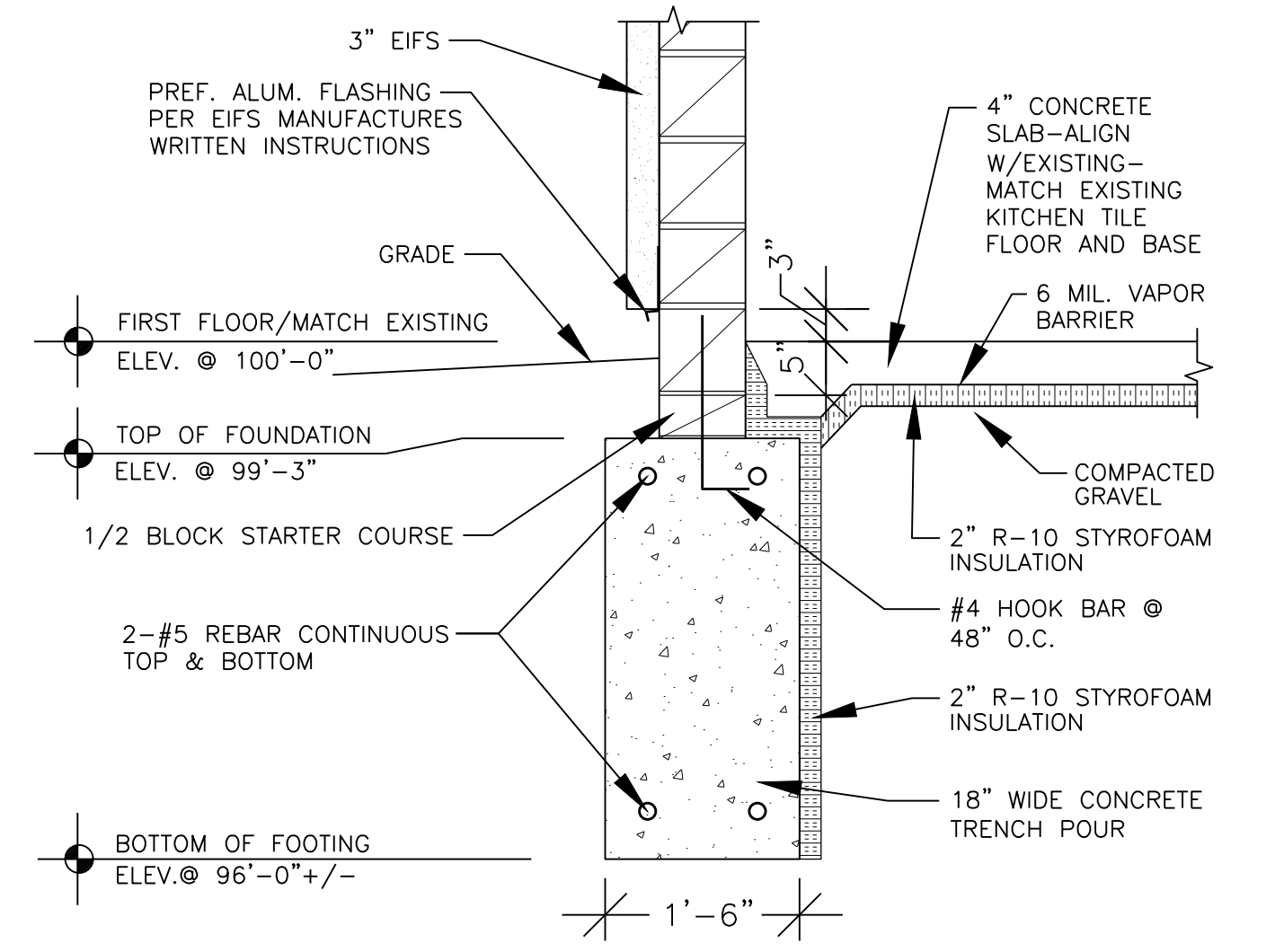
2 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION
SCALE: 3/4" = 1'-0"



4 ENDWALL SECTION
SCALE: 3/4" = 1'-0"



5 ALTERNATE FOUNDATION
SCALE: 3/4" = 1'-0"

NOTE
GENERAL CONTRACTOR TO DISTRIBUTE
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DO NOT DISTRIBUTE PARTIAL SETS

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TRATTORIA diCARLO
8469 S. HOWELL AVE
OAKCREEK, WI 53154

SCHEMATIC ELEVATIONS, AND WALL SECTION

PROJECT DESCRIPTION: **NEW ADDITION**
PROJECTOR: **TRATTORIA diCARLO**

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REVISIONS:

APPROVED:

DRAWN BY: **DJR**

DATE: **2-20-14**

ARCHITECTS PROJECT NUMBER: **12016**

SHEET NUMBER: **A3**
3 OF 4

OS 0.0.01

Normal Impact: SUBSTRATE, DRYVIT ADHESIVE, EPS INSULATION, DRYVIT BASE COAT, DRYVIT REINFORCING MESH EMBEDDED IN DRYVIT BASE COAT, DRYVIT FINISH, BY OTHERS, DRYVIT OUTSULATION SYSTEM.

High Impact: SUBSTRATE, DRYVIT ADHESIVE, EPS INSULATION, DRYVIT BASE COAT, PANZER 15 OR 20 REINFORCING MESH EMBEDDED IN DRYVIT BASE COAT, DRYVIT REINFORCING MESH EMBEDDED IN DRYVIT BASE COAT, DRYVIT FINISH, BY OTHERS, DRYVIT OUTSULATION SYSTEM.

Outsulation® System

Notes:
 1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD MESH™ OR STANDARD PLUS MESH™. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

dryvit®

APPROVED BY:	REV.	DATE
DM	1	05/04

OS 0.0.03

BY OTHERS - DRYVIT OUTSULATION SYSTEM

FRAMING, SUBSTRATE, DRYVIT ADHESIVE, EPS INSULATION, DRYVIT REINFORCING MESH EMBEDDED IN DRYVIT BASE COAT, DRYVIT FINISH, WRAP DRYVIT DETAIL MESH® 51 MM (2") MINIMUM AT UNDERSIDE OF EPS, DRYVIT COMPATIBLE SEALANT WITH BOND BREAKER, BY OTHERS, 203 MM (8") MIN ABOVE FINISHED GRADE OR AS REQUIRED BY LOCAL CODE, DRYVIT DRYFLEX™ WATER RESISTANT BASE COAT AND DRYVIT FINISH.

Outsulation® System

Notes:
 1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD MESH™ OR STANDARD PLUS MESH™. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
 2. EXPANSION JOINT IS REQUIRED ALONG TOP OF FOUNDATION IF 610 MM (2'-0") DIMENSION IS EXCEEDED.
 3. SLOPE GRADE AWAY FROM WALL.
 4. STOP FINISH APPROXIMATELY 51 MM (2") BELOW GRADE.

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APPROVED BY:	REV.	DATE
DM	1	05/04

OS 0.0.04

STEP #1: APPLY DRYVIT AQUAFASH™ SYSTEM AT SILL, EXTENDING UP JAMBS MINIMUM 64 MM (2 1/2") AND INSTALL CORNER SPLICES (SEE NOTE 3)

STEP #2: APPLY DRYVIT AQUAFASH™ SYSTEM AT JAMBS LAPPING OVER SILL APPLICATION (SEE NOTE 3)

STEP #3: APPLY DRYVIT AQUAFASH™ SYSTEM AT HEAD LAPPING OVER JAMB APPLICATION (SEE NOTE 3)

Outsulation® System

Notes:
 1. DRYVIT AQUAFASH™ SHALL EXTEND TO INTERIOR FACE OF FRAMING.
 2. REFER TO OS 0.0.05, 0.0.06 FOR INTEGRATION OF SILL FLASHING.
 3. DRYVIT FLASHING TAPE SURFACE CONDITIONER™ AND DRYVIT FLASHING TAPE™ MAY BE USED IN LIEU OF AQUAFASH™ SYSTEM.

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APPROVED BY:	REV.	DATE
DM	3	05/04

OS 0.0.11

EPS INSULATION (SEE NOTE 1)

BACK WRAP INSULATION BOARD WITH DRYVIT DETAIL MESH®

DRYVIT DETAIL MESH 241 MM (9 1/2") X 305 MM (12") (TYP) (SEE NOTE 2)

Outsulation® System

Notes:
 1. LOCATE INSULATION BOARDS SUCH THAT BOARD EDGES DO NOT ALIGN WITH CORNERS OF PENETRATION.
 2. APPLY A PIECE OF 241 MM (9 1/2") X 305 MM (12") DETAIL REINFORCING MESH DIAGONALLY AT EACH CORNER.

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APPROVED BY:	REV.	DATE
DM	1	05/04

OS 0.0.21

BY OTHERS - DRYVIT OUTSULATION SYSTEM

SUBSTRATE, DRYVIT ADHESIVE, EPS INSULATION, DRYVIT REINFORCING MESH EMBEDDED IN DRYVIT BASE COAT, DRYVIT FINISH

203 MM (8") MIN. SEE NOTES 2 AND 3

Outsulation® System

Notes:
 1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD MESH™ OR STANDARD PLUS MESH™. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
 2. DOUBLE WRAP OUTSIDE CORNERS WITH REINFORCING MESH OR USE CORNER MESH.
 3. DO NOT LAP REINFORCING MESH WITHIN 203 MM (8") OF A CORNER.

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APPROVED BY:	REV.	DATE
DM	1	05/04

OS 0.0.27

BY OTHERS - DRYVIT OUTSULATION SYSTEM

SUBSTRATE, WRAP DRYVIT DETAIL MESH® 51 MM (2") MIN. AT UNDERSIDE OF EPS (SEE NOTE 2), OPTIONAL SECONDARY SEAL, BY OTHERS, DRYVIT DEMANDIT® OR COLOR PRIME™ ON SURFACES TO RECEIVE SEALANT, DRYVIT-COMPATIBLE SEALANT WITH CLOSED CELL BACKER ROD, BY OTHERS, 19 MM (3/4") MIN., 19 MM (3/4") MIN., DRYVIT DEMANDIT® OR COLOR PRIME ON SURFACES TO RECEIVE SEALANT, OPTIONAL SECONDARY SEAL, DRYVIT ADHESIVE, EPS INSULATION, DRYVIT REINFORCING MESH EMBEDDED IN DRYVIT BASE COAT, DRYVIT FINISH

Outsulation® System

Notes:
 1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD MESH™ OR STANDARD PLUS MESH™. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
 2. AS AN OPTION, THE REINFORCED BASE COAT EDGE WRAP MAY BE EXTENDED ONTO THE FRAMING.

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APPROVED BY:	REV.	DATE
DM	1	05/04

OS 0.0.30

19 MM (3/4") MIN.

DRYVIT DETAIL MESH® EMBEDDED IN DRYVIT BASE COAT

OVERLAP 64 MM (2 1/2")

FRAMING MEMBER, SUBSTRATE, DRYVIT ADHESIVE, EPS INSULATION, DRYVIT REINFORCING MESH EMBEDDED IN DRYVIT BASE COAT, DRYVIT FINISH

BY OTHERS - DRYVIT OUTSULATION SYSTEM

Outsulation® System

Notes:
 1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD MESH™ OR STANDARD PLUS MESH™. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
 2. SLOPE BOTTOM EDGE OF REVEAL FOR POSITIVE DRAINAGE.

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APPROVED BY:	REV.	DATE
DM	1	05/04

EIFS DETAILS

1 EIFS DETAILS N.T.S.

NOTE
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ALL DIMENSIONS MEASURED TO AND FROM FACE OF STUD

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APPROVED BY:	REV.	DATE
DM	1	05/04

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BURLINGTON, WI 53105
TELEPHONE: (262) 769-8725 FAX: (262) 769-1971

NEW ADDITION

TRATTORIA diCARLO

8469 S. HOWELL AVE
OAKCREEK, WI 53154

EIFS DETAILS

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REVISIONS:

APPROVED:

DRAWN BY: DJR

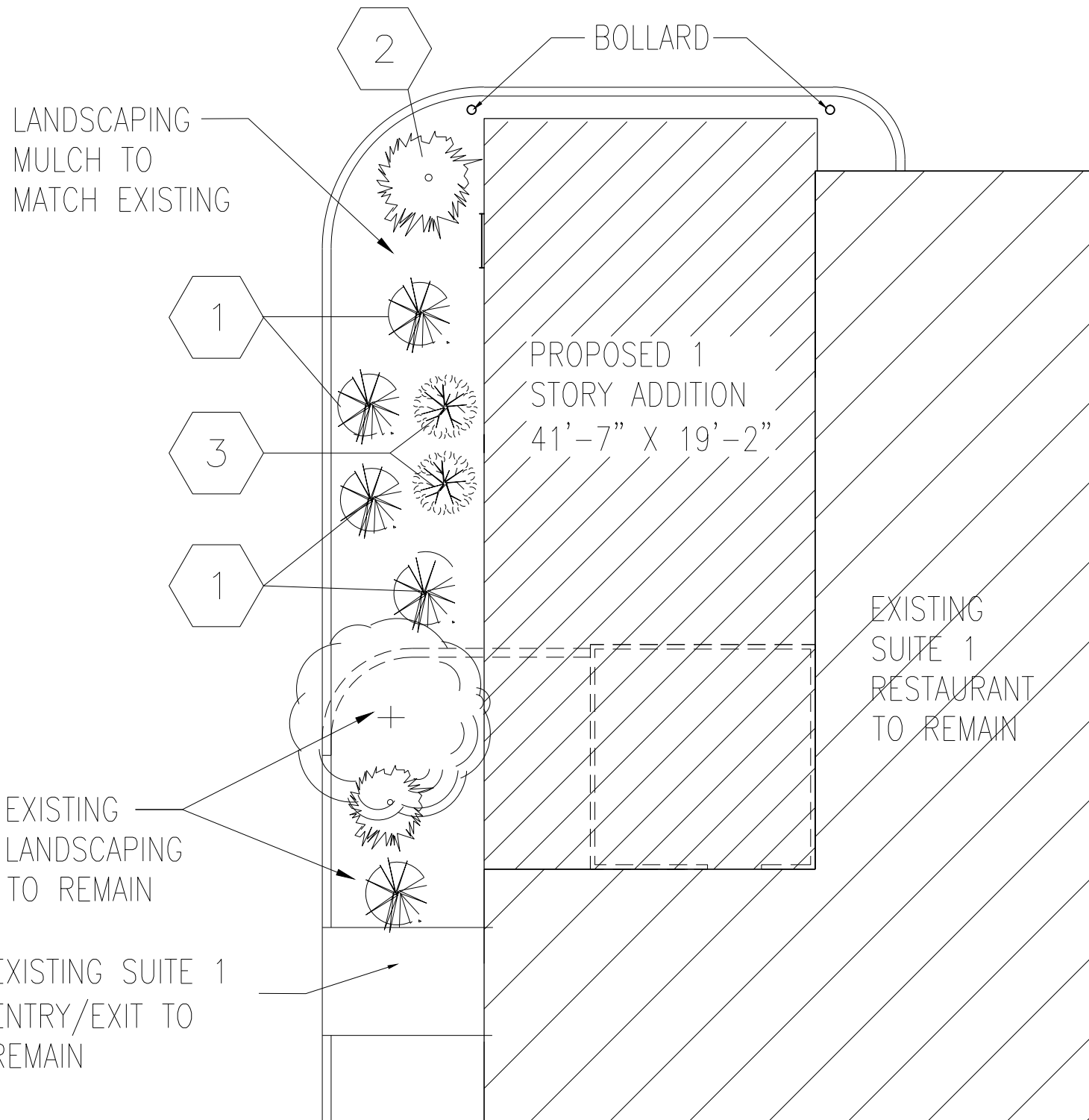
DATE: 2-20-14

ARCHITECTS PROJECT NUMBER: 12016

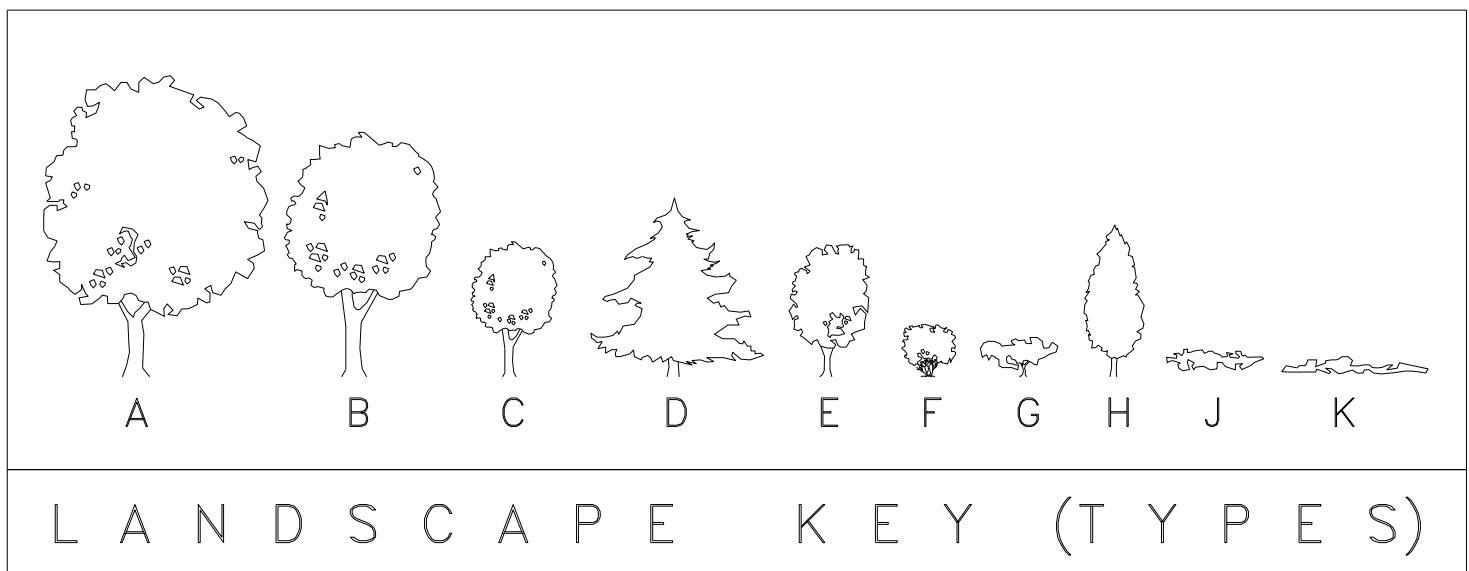
SHEET NUMBER: **A4**

4 OF 4

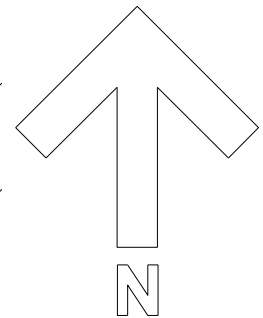
EXISTING ASPHALT DRIVE TO REMAIN



P L A N T I N G S K E Y :						
SYMBOL	PLANTING SIZE	BOTANICAL NAME	COMMON NAME	CONIFEROUS DECIDUOUS	QUANTITY	TYPE
1.	MIN. 24"	SPIREA JAPONICA	GOLDMOUND SPIREA	D	4	G
2.	MIN. 24"	PRUNUS X CISTENA	PURPLE LEAF SAND CHERRY	D	1	F
3.	MIN. 24"	TAXUS CUSPIDATA	JAPANESE UPRIGHT YEW	C	2	H



1 SCHEMATIC LANDSCAPING PLAN
1/8"=1'-0"



STELLING & ASSOCIATES
ARCHITECTS, LTD.
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BURLINGTON, WI. 53105
PH: (262) 763-8725 FX: (262) 763-1971

TRATTORIA diCARLO
8469 S. HOWELL AVE
OAK CREEK, WI 53154

NEW ADDITION
LANDSCAPING PLAN

12016
DATE 3-31-14

AL100
1 OF 1



Plan Commission Report

ITEM: 5d

DATE: April 8, 2014

PROJECT: Certified Survey Map – Wispark, LLC

ADDRESS: 641 W. Oakwood Rd., 10303 S. Howell Ave., 10711 S. Howell Ave.

TAX KEY NO: 975-1004, 955-1002-000, 974-1003-000

STAFF RECOMMENDATION: That the Plan Commission recommends to the Common Council that the certified survey map submitted by Wispark, LLC, for the properties at 641 W. Oakwood Rd., 10303 S. Howell Ave., 10711 S. Howell Ave. be approved subject to any technical corrections being made prior to recording.

Ownership: Wispark, LLC, 301 W. Wisconsin Ave., Ste. 400, Milwaukee, WI 53203

Size: Lot 1 = 72.4683 acres; Lot 2 = 4.0695 acres; Lot 3 = 17.8402 acres; Lot 4 = 5.4458 acres

Existing Zoning: M-1 (PUD), Manufacturing Planned Unit Development

Adjacent Zoning: North – Rs-1, Single Family Residential; Rs-3, Single Family Residential; I-1, Institutional; M-1, Manufacturing
East – B-2 (CCU), Community Business; P-1 (CCU), Park District; A-1, Limited Agricultural; Rs-3, Single Family Residential; I-1, Institutional
South – P-1, Park District; I-1, Institutional; FW, Floodway; FF, Flood Fringe; C-1, Shoreland Wetland Conservancy
West – I-1, Institutional; M-1 (PUD/CU), Manufacturing Planned Unit Development with Conditional Use; FW, Floodway; M-1 (PUD), Manufacturing Planned Unit Development; FF, Flood Fringe; C-1, Shoreland Wetland Conservancy

Comprehensive Plan: Planned Industrial, Resource Protection Area

Wetlands: Yes, per CSM 8154.

Floodplain: N/A

Official Map: N/A

Commentary: The purpose of the Certified Survey Map (CSM) is to adjust property lines and acreages in a CSM previously approved last month. Below are the changes to the lot sizes:

Lot	Previous Acreage	New Acreage
1	72.4684	72.4683
2	3.9875	4.0695
3	17.6598	17.8402
4	5.7081	5.4458

All proposed lots are compliant with the requirements of the M-1, Manufacturing district. No other changes are proposed.

Prepared by:

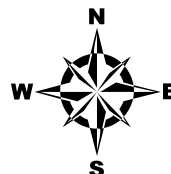
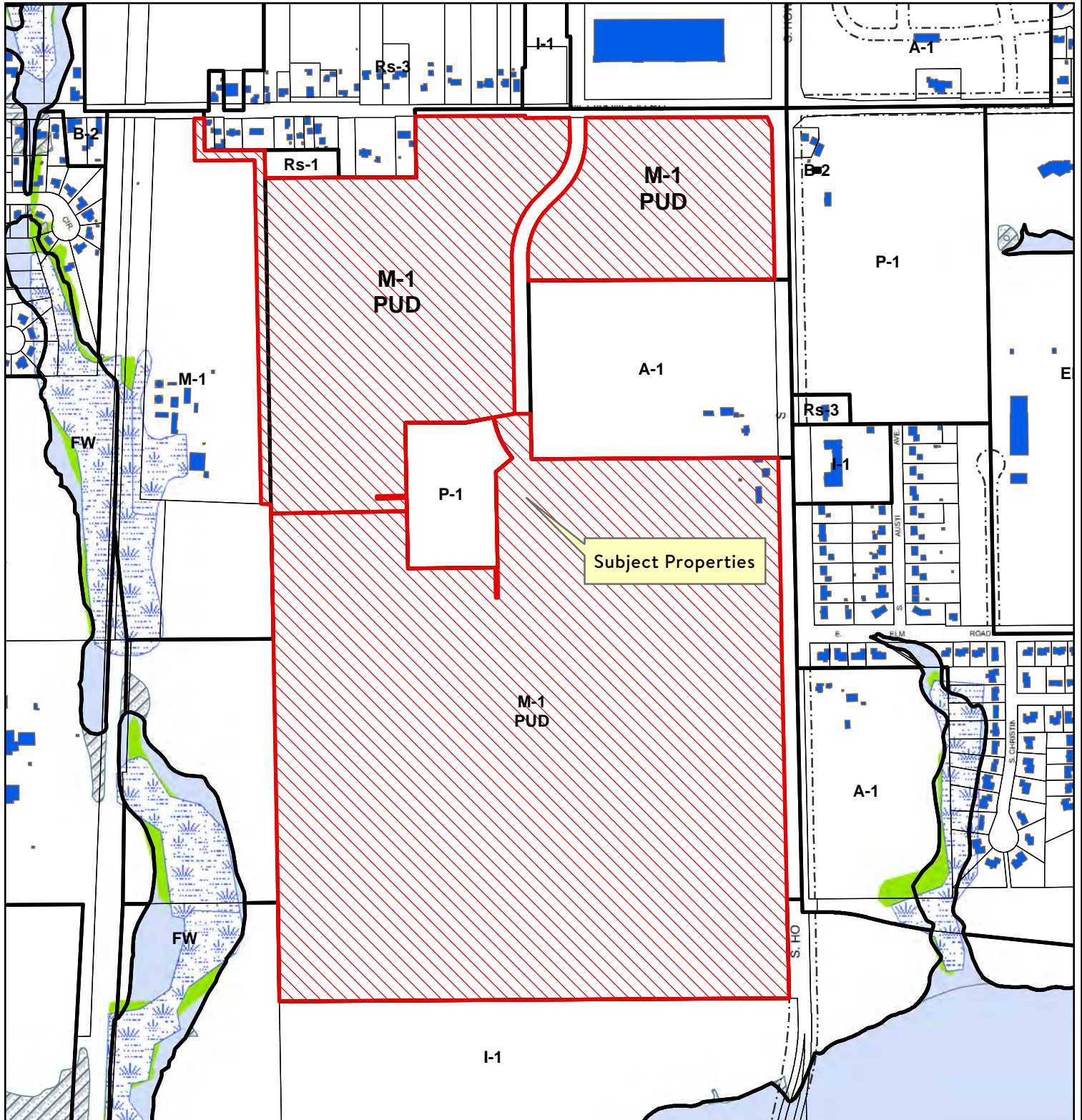
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

Location Map

641 W. Oakwood Rd., 10303 S. Howell Ave., 10711 S. Howell Ave.



Legend	
	641 W. Oakwood Rd., 10303 & 10711 S. Howell Ave.
	Existing Street Pattern
	Floodfringe
	Wetland
	Floodway
	Flood Fringe (FF)
	Shoreland Wetland Conservancy (C-1)
	Lakefront Overlay District (LOD)
	Mixed Use Neighborhood Overlay (NO)
	Mixed Use Office Overlay (OO)
	Regional Retail Overlay District (RR)

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF ALL OF LOT 3 OF CERTIFIED SURVEY MAP NO. _____, LOCATED IN THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHEAST 1/4; NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4; AND NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

WEST OAKWOOD ROAD

N. LINE NE 1/4 SEC 32-5-22 N89°44'40"E 2619.93'

NE CORNER OF THE NE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP

CSM NO. 6871

CSM NO. 7186

NO DIRECT ACCESS

LOT 1 CSM NO. _____

NW CORNER OF THE NE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP

OAKVIEW PARKWAY

PARCEL 1 CSM NO. 3925

W. LINE NE 1/4 SEC 32-5-22 N01°02'39"W 26511.52'

E. LINE NE 1/4 SEC 32-5-22 N01°06'28"W 2645.07'

OAKVIEW PARKWAY

UNPLATTED LANDS

OUTLOT 1 CSM NO. _____

LOT 2 CSM NO. _____

LOT 1
3,156,717 SQ. FT.
72.4683 ACRES

SW CORNER OF THE NE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP

W. ELM RD.

E. ELM RD.

S. LINE NE 1/4 SEC 32-5-22 N89°36'09"E 2622.79'

N. LINE SE 1/4 SEC 32-5-22

SE CORNER OF THE NE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP

OUTLOT 1 CSM NO. 8154

W. LINE SE 1/4 SEC 32-5-22 N0°57'46"W 2644.64'

LOT 4
237,219 SQ. FT.
5.4458 ACRES

OAKVIEW PARKWAY

NO DIRECT ACCESS

LOT 2
177,268 SQ. FT.
4.0695 ACRES

LOT 3
777,120 SQ. FT.
17.8402 ACRES

E. LINE SE 1/4 SEC 32-5-22 N01°13'09"W 2646.81'

LOT 4 CSM NO. _____

UNPLATTED LANDS

UNPLATTED LANDS

SW CORNER OF THE SE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP



SCALE IN FEET

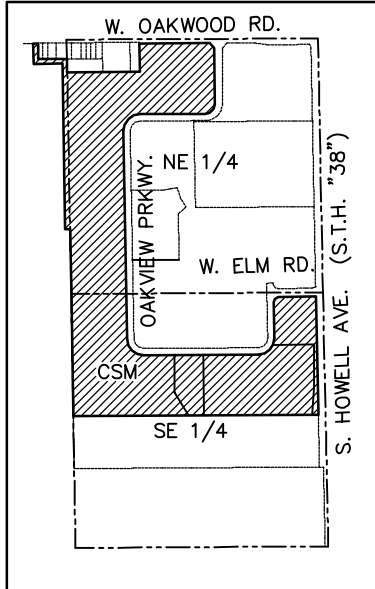


SE CORNER OF THE SE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP

DATED THIS _____ DAY OF APRIL, 2014
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF ALL OF LOT 3 OF CERTIFIED SURVEY MAP NO. _____, LOCATED IN THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHEAST 1/4; NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4; AND NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



VICINITY MAP

NE 1/4 SEC. 32-5-22
SE 1/4 SEC. 32-5-22
SCALE: 1"=2000'

LEGEND:

- 1" IRON PIPE FOUND & ACCEPTED
- 3/4" REBAR FOUND & ACCEPTED
- ⊕ CHISELED CROSS FOUND & ACCEPTED
- MAG ● MAG NAIL FOUND & ACCEPTED
- SET ○ 1"X18" IRON PIPE SET WT. 1.13 LBS/LIN. FT.
- NO DIRECT VEHICULAR ACCESS
- WETLAND (SEE NOTE BELOW)

PREPARED FOR:

WISPARK LLC
301 WEST WISCONSIN AVENUE
SUITE 400
MILWAUKEE, WI 53203

PREPARED BY:

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
N22 W22931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
262.513.0666 PHONE | 262.513.1232 FAX

LINE TABLE		
LINE	BEARING	LENGTH
L1	S45°15'20"E	70.71'

CURVE TABLE					
CURVE	ARC	RADIUS	CHORD BEARING	CHORD	CENTRAL ANGLE
C1	156.95'	100.00'	S44°42'26.5"W	141.33'	89°55'33"
C2	269.15'	170.00'	S44°18'53"W	241.91'	90°42'40"
C3	265.13'	170.00'	S45°43'08.5"E	239.06'	89°21'23"
C4	269.47'	170.00'	N44°11'30"E	242.13'	90°49'18"
C5	227.00'	170.00'	N51°20'58"E	210.51'	76°30'24"
C6	42.47'	170.00'	N05°56'19"E	42.36'	14°18'54"
C7	78.54'	50.00'	N43°46'51"E	70.71'	90°00'00"
C8	560.22'	5000.00'	S01°57'43.5"W	559.93'	06°25'11"

NOTES:

CSM NO. _____ RECORDED ON _____ AT MILWAUKEE CO. REGISTER'S OFFICE AS DOC. _____

WETLAND LOCATIONS BASED ON WETLAND DELINEATION REPORT DATED DECEMBER 5, 2008 AS PREPARED BY NATURAL RESOURCES CONSULTING, INC., WITH SUPPLEMENT REPORT BY WETLAND & WATERWAY CONSULTING, LLC DATED DECEMBER 23, 2012 AND WETLAND FILL PERMIT LETTERS ISSUED BY WDNR AND USACOE DATED OCTOBER 30, 2013 AND JUNE 14, 2013, RESPECTIVELY.

THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER FEMA MAP PANEL NUMBER 55079C0231E, EFFECTIVE DATE: SEPTEMBER 26, 2008.

BEARING BASIS
ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, WAS USED AS NORTH 01°06'28" WEST.

PROJECT CONVERSION FACTOR: GRID/0.99994301 = GROUND

SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

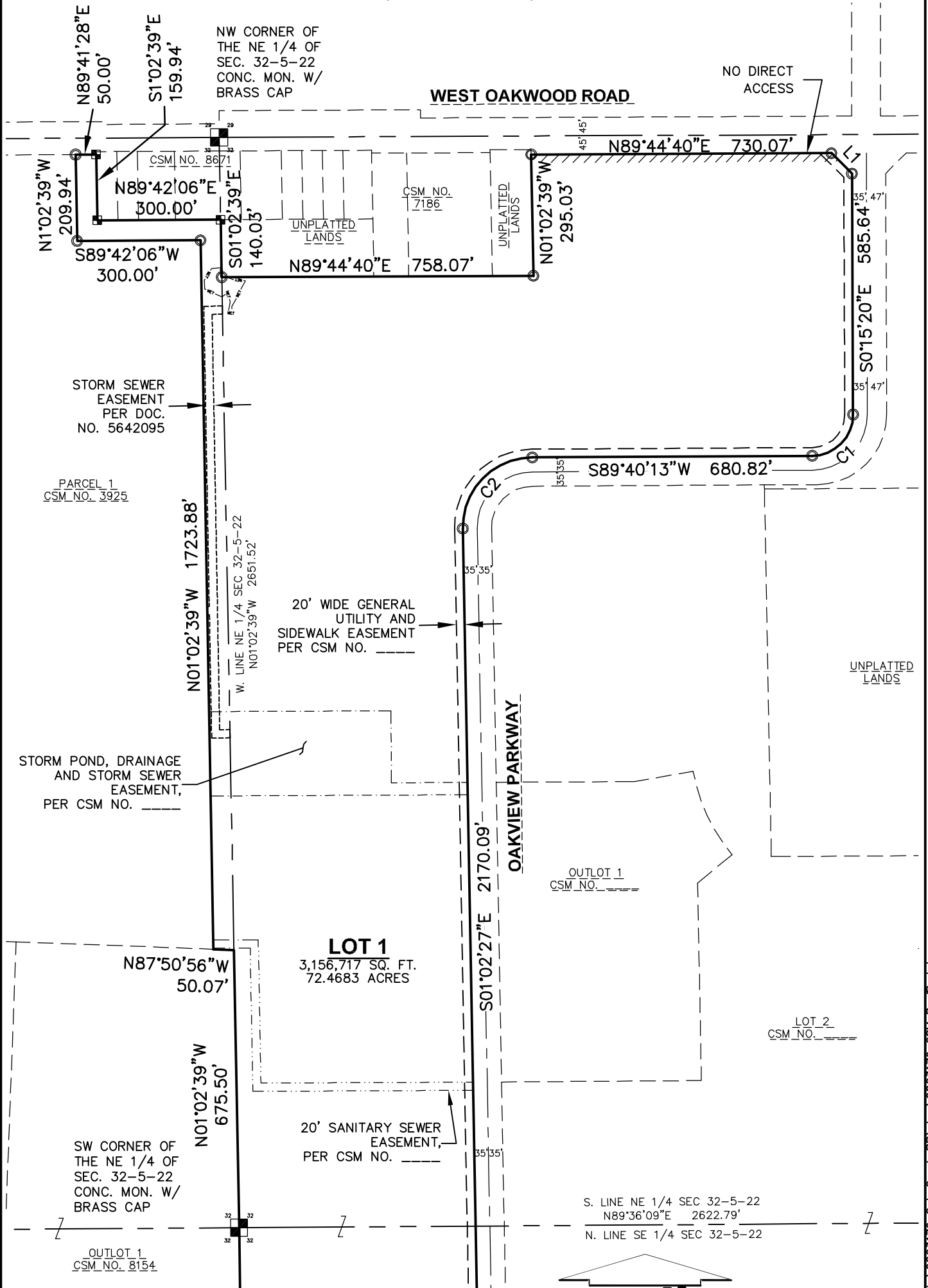
ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.

ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

DATED THIS _____ DAY OF APRIL, 2014
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF ALL OF LOT 3 OF CERTIFIED SURVEY MAP NO. _____, LOCATED IN THE
NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHEAST 1/4; NORTHEAST
1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4; AND NORTHEAST 1/4
AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF
OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



J:\USD Projects\08C3179 Oak Creek BP\dwg\08C3179 CSM ProjRed.dwg

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF ALL OF LOT 3 OF CERTIFIED SURVEY MAP NO. _____, LOCATED IN THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHEAST 1/4; NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4; AND NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

SW CORNER OF THE NE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP

OUTLOT 1 CSM NO. 8154

S. LINE NE 1/4 SEC 32-5-22
N89°36'09"E 2622.79'
N. LINE SE 1/4 SEC 32-5-22

20' WIDE GENERAL UTILITY AND SIDEWALK EASEMENT PER CSM _____

LOT 1
3,156,717 SQ. FT.
72.4683 ACRES

LOT 2
CSM NO. _____

OAKVIEW PARKWAY

N00°57'46"W 1271.96'

W. LINE SE 1/4 SEC 32-5-22
N0°57'46"W 2644.64'

STORM POND, DRAINAGE AND STORM SEWER EASEMENT, CSM NO. _____

LOT 2
177,268 SQ. FT.
4.0695 ACRES

LOT 3
777,120 SQ. FT.
17.8402 ACRES

N89°36'09"E 1194.11'

321.45' 307.96' 564.70'

N00°23'51"W 391.57'

N51°02'17"W 277.12'

N00°23'51"W 630.60'

1200.81' 166.42' 1123.06'

S89°37'55"W 2553.49'

31' WISCONSIN ELECTRIC POWER CO. EASEMENT PER DOC. NO. 3227177

100' WIDE ADDITIONAL RIGHTS GRANTED PER DOC. NO. 3227177

LOT 4
CSM NO. _____

UNPLATTED LANDS

UNPLATTED LANDS

SW CORNER OF THE SE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP

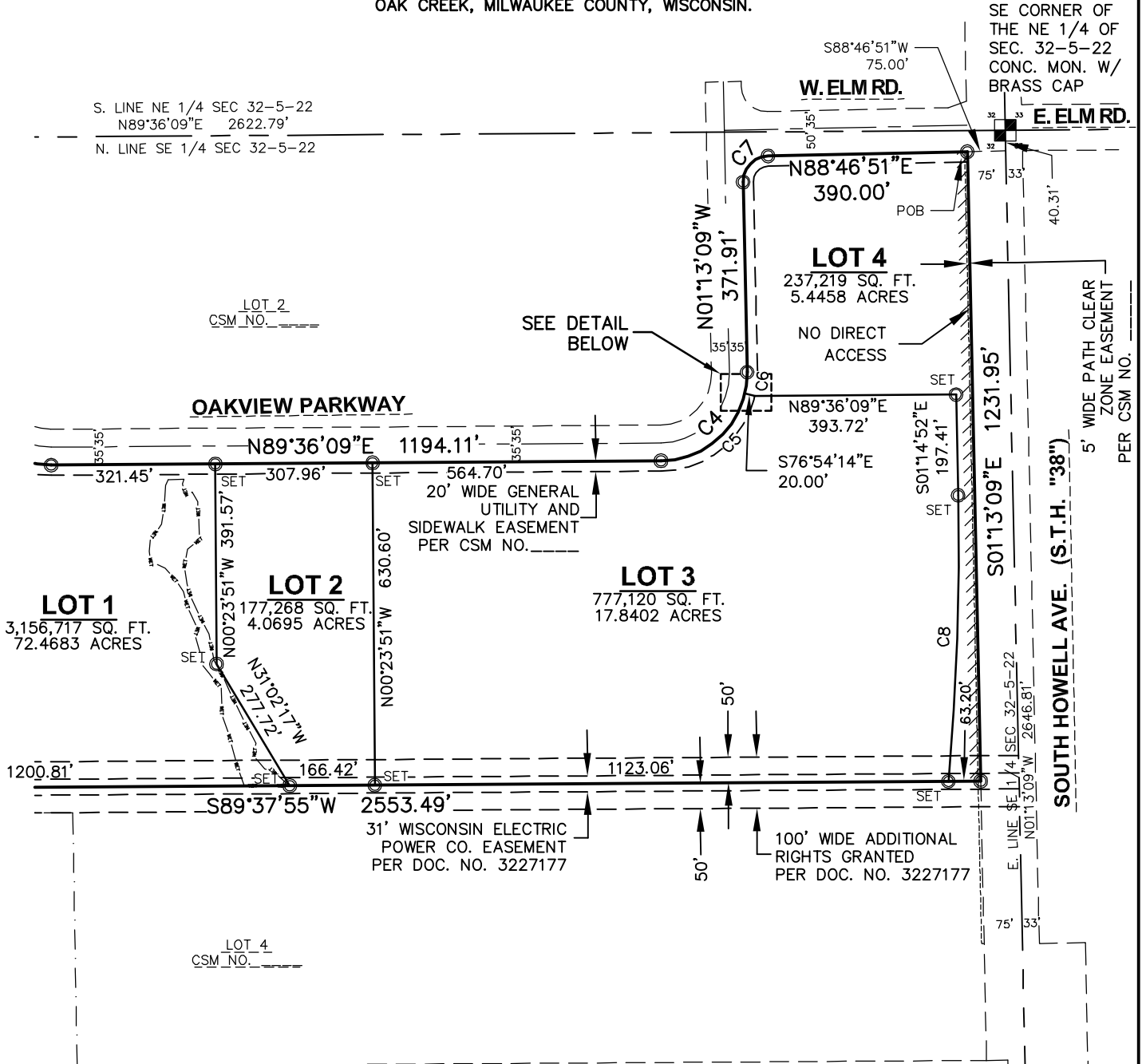


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 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4; AND NORTHEAST 1/4
 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF
 OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

S. LINE NE 1/4 SEC 32-5-22
 N89°36'09"E 2622.79'
 N. LINE SE 1/4 SEC 32-5-22

SE CORNER OF
 THE NE 1/4 OF
 SEC. 32-5-22
 CONC. MON. W/
 BRASS CAP



5' WIDE PATH CLEAR
 ZONE EASEMENT
 PER CSM NO. _____

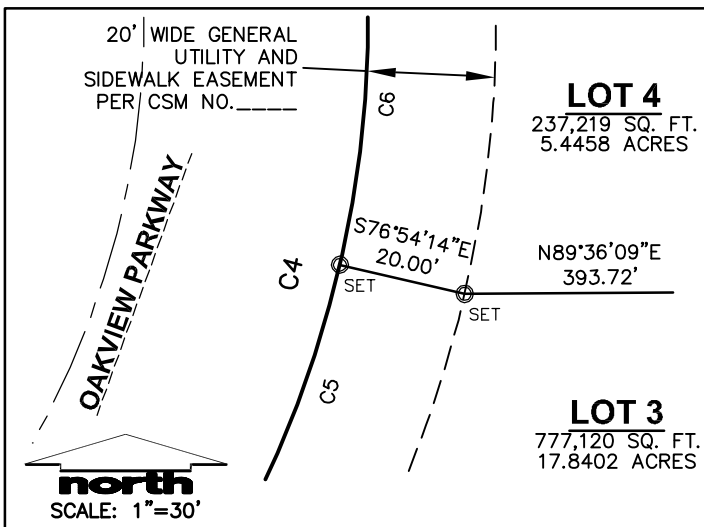
north

SCALE IN FEET

300' 0 300'

UNPLATTED
 LANDS

SE CORNER OF
 THE SE 1/4 OF
 SEC. 32-5-22
 CONC. MON. W/
 BRASS CAP





Plan Commission Report

ITEM: 5e

DATE: April 8, 2014

PROJECT: Plan Amendment: Park & Open Space Plan 2013

STAFF RECOMMENDATION: That the Plan Commission recommends to the Common Council that the 2013 Parks and Open Space Plan is amended as proposed.

Commentary: In December of last year, the Common Council approved the 2013 Parks and Open Space Plan. Since that time, the development of Drexel Town Square's open area has been finalized. The open space on the western portion of the site is to become a future city park. Included in your packet are illustrations showing where and how this open space area will be developed. This area of the park is approximately 16.5 acres in size. The intent of this park is to enhance the existing wetlands that exist and provide a recreational trail that will accommodate pedestrians and bicyclists. This trail will connect to 6th Avenue and to the existing Oak Leaf bike trail segment that follows along W. Drexel Avenue.

Prior to the adoption of the Park and Open Space Plan, staff was unaware of the ownership and use of this area, and as a result this park was not included in the plan. Now that the future use and ownership of the open space has been determined, staff is proposing the following amendments to the plan:

Page	Section	Proposed Change
4	Introduction	Insert 8. Wetland Enhancement Plan Drexel Town Square...
14	Map 1	Create outline of the future Wetland Enhancement Park (WEP)
15	Map 2	Create outline of the future WEP
16	Map 3	Create outline of the future WEP
17	Map 4	Create outline of the future WEP
21	Natural Resource Parks	Insert section describing WEP, "This future park will encompass approximately 16.5 acres. This park will preserve the existing wetlands and provide passive recreation such as walking trails."
22	Map 5	Create outline of the future WEP
23	Table 5	Add WEP in table under Natural Resource Park
24	Map 6	Create outline of the future WEP
28	Map 7	Create outline of the future WEP
29	Map 8	Create outline of the future WEP
38	Map 9	Create outline of the future WEP
39	Objectives (Chapter 4)	Insert objective 12, "Protect and enhance open space in the Drexel Town Square development."
41	Table 13 (Chapter 4)	Insert for 2014, WEP as development action with a cost of \$250,000

Included in your report is one map of the plan illustrating the proposed amendment for each of the 8 other maps. In addition, an illustration of what the proposed park could look like.

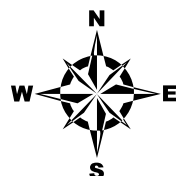
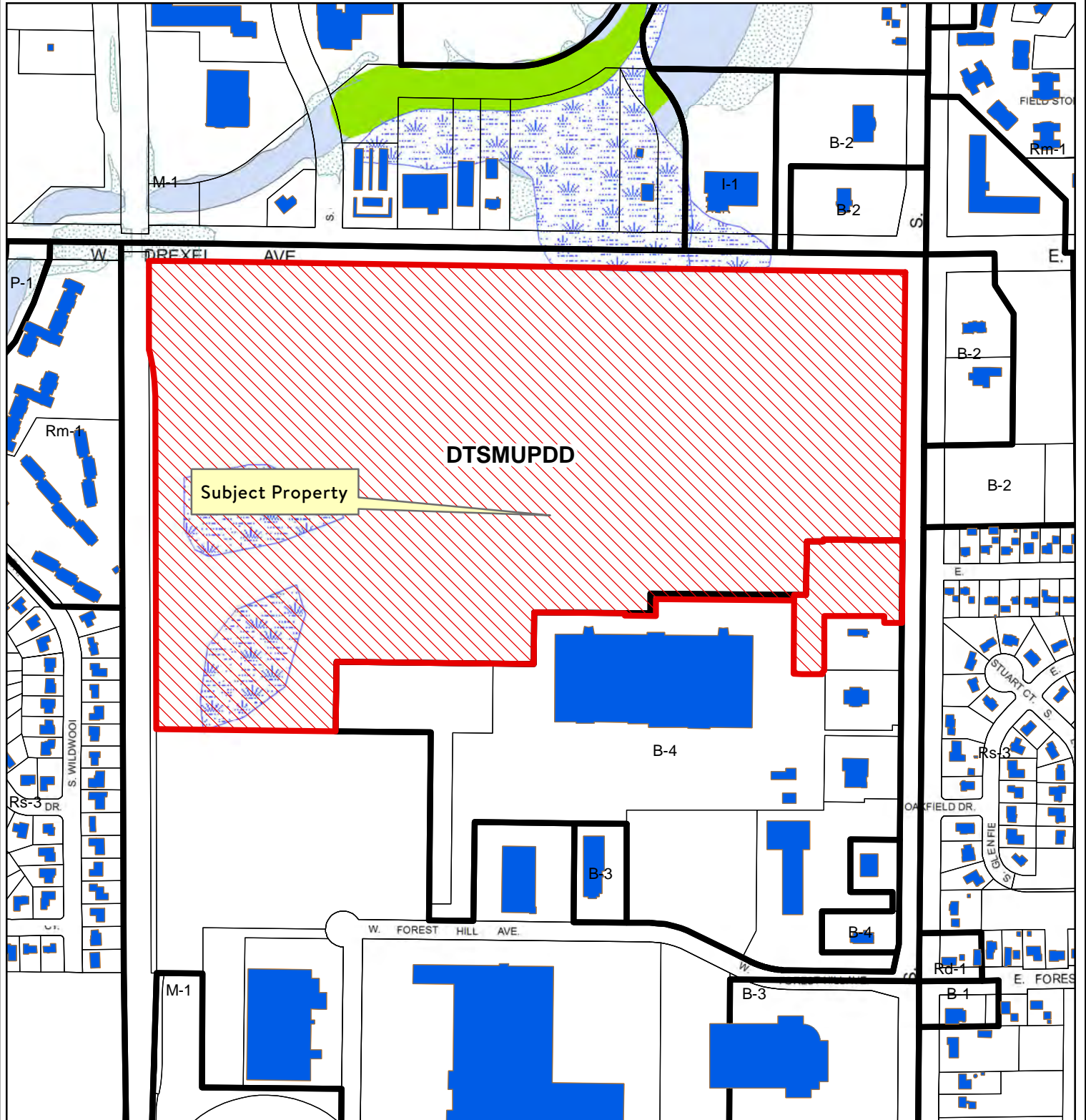
Prepared by:

Peter Wagner
Zoning Administrator/Planner

Respectfully Submitted by:

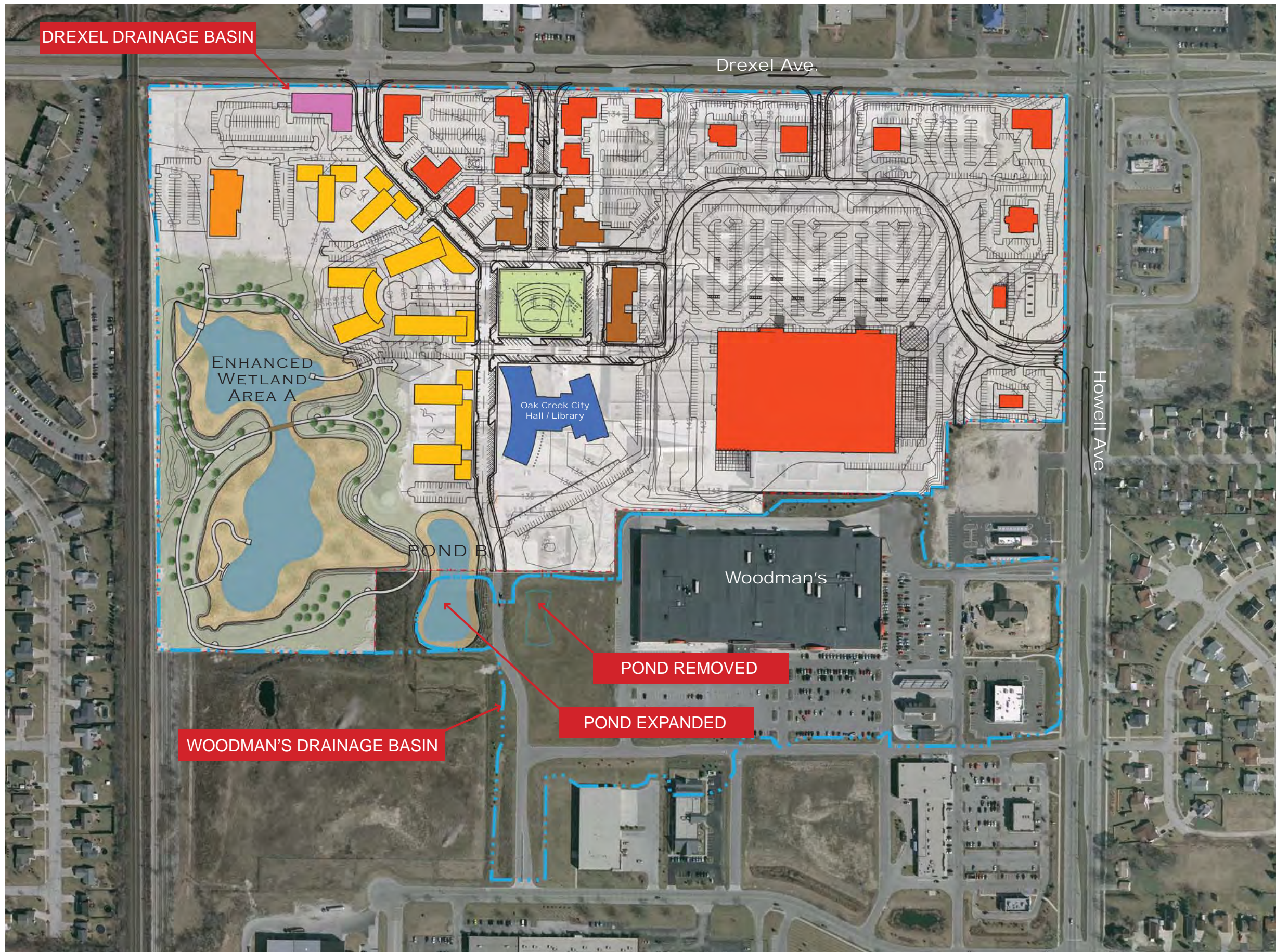
Douglas Seymour, AICP
Director of Community Development

Location Map Drexel Town Square



Legend

- Drexel Town Square
- Wetland
- Floodway
- Flood Fringe (FF)
- Shoreland Wetland Conservancy (C-1)
- Lakefront Overlay District (LOD)
- Mixed Use Neighborhood Overlay (NO)
- Mixed Use Office Overlay (OO)
- Regional Retail Overlay District (RR)



QUICK FACTS:

Q(100-YEAR) = 37.42 CFS COMING FROM UNDERDRAIN

ENHANCED WETLAND AREA A
TRIBUTARY AREA = 9.45 ACRES

23.2 ACRE-FEET OF ACTIVE STORAGE (FROM ELEVATION 126.5 TO 100-YEAR HIGH WATER LEVEL)

BOUNCE IS 4.3 FEET (FROM NORMAL WATER LEVEL TO 100-YEAR HIGH WATER LEVEL)

POND B
TRIBUTARY AREA = 103.19 ACRES

9.5 ACRE-FEET OF ACTIVE STORAGE

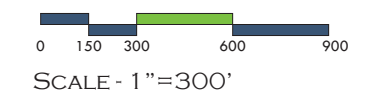
6.6 FEET OF BOUNCE (FROM NORMAL WATER LEVEL TO 100-YEAR HIGH WATER LEVEL)

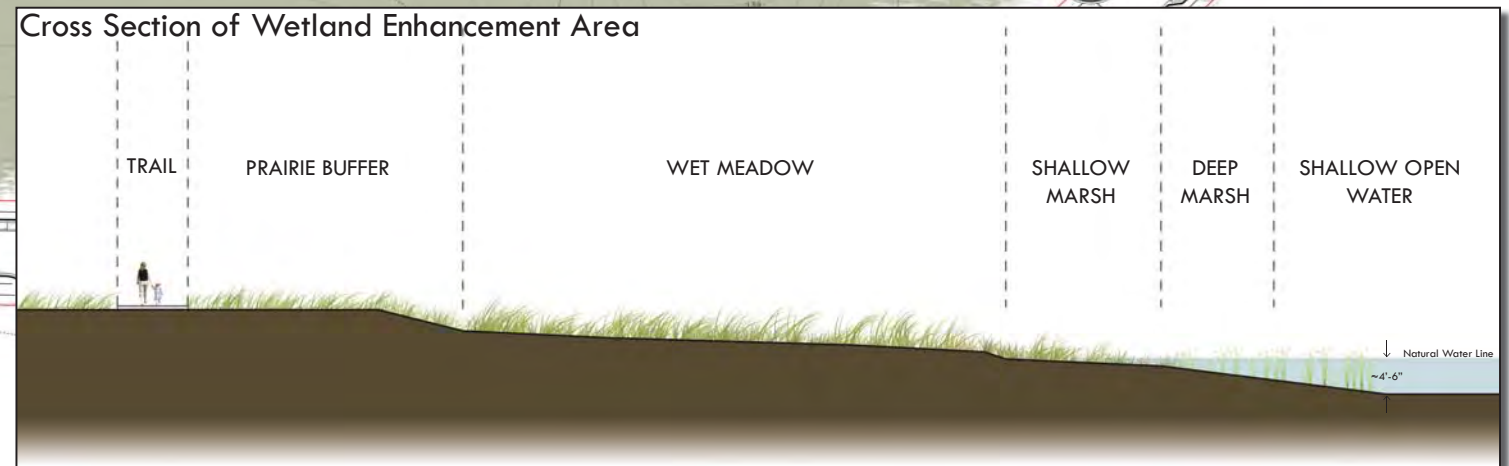
LEGEND:

- RESIDENTIAL
- RETAIL / RESTAURANT
- MIXED USE
- CIVIC
- MEDICAL OFFICE / FITNESS
- HOSPITALITY
- OPEN SPACE

PROPOSED SITE PLAN
DREXEL TOWN SQUARE
OAK CREEK, WISCONSIN

MARCH 13, 2013



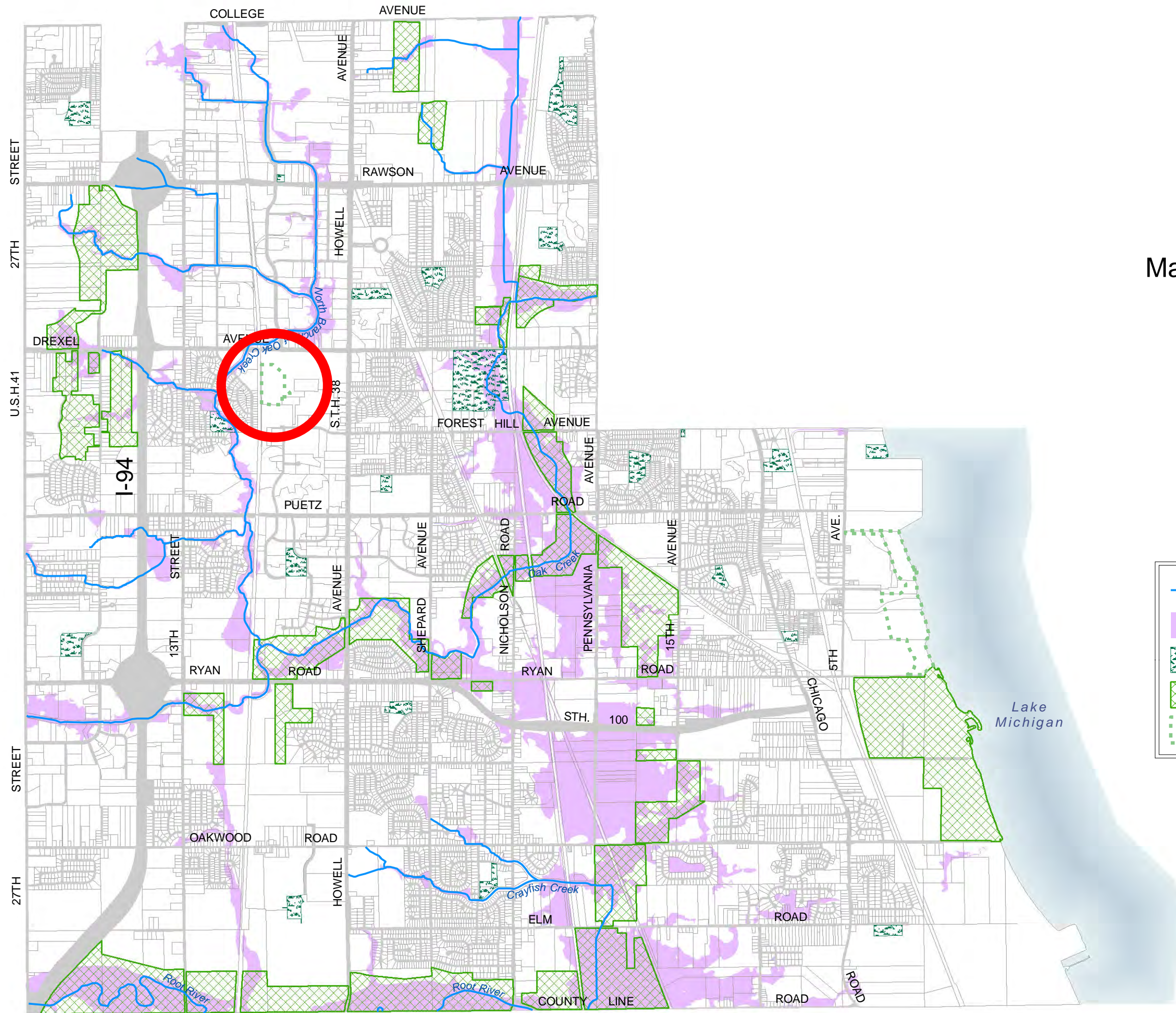




Map 1 City of Oak Creek Major Surface Water Features and Floodland Areas



- Surface Water Features (1)
- Floodland Areas (1)
- City Parks (2)
- County Parks & Parkways (2)
- Future City Park



Source: (1) SEWRPC
(2) City of Oak Creek Department
of Community Development