



PLAN COMMISSION MEETING AGENDA

TUESDAY, January 14, 2014
AT 6:00 P.M.

-
- 1) ROLL CALL
 - 2) Minutes of the December 10, 2013 meeting
 - 3) Significant Common Council Actions
 - 4) OLD BUSINESS
 - a) CONDITIONS & RESTRICTIONS - Review conditions and restrictions for a drive-through as a conditional use, submitted by Jerry Mortier, the Redmond Co., located at 8750 S. Howell Ave. (Tax Key No. 860-9996). Follow this item on Twitter **@OakCreekPC#OCPCDunkinCR**.
 - 5) NEW BUSINESS
 - a) PLAN REVIEW – Review site, building, and landscaping plans for a proposed addition to the Wisconsin Granite Depot building submitted by Pasa Ece for the property located at 6720 S. 27th St. (Tax Key No. 737-9038). Follow this agenda item on Twitter **@OakCreekPC#OCPCWIGranite**.
 - b) CONDITIONS & RESTRICTIONS - Review conditions and restrictions for an environmental contractor's yard with outdoor storage as a conditional use submitted by Dave DeVries, SET Environmental, located at 9730 S. 20th St. (Tax Key No. 903-0015). Follow this item on Twitter **@OakCreekPC#OCPCSET**.
 - c) ZONING TEXT AMENDMENT – Review a proposed amendment to Section 17.0317(c) of the Zoning Ordinance to allow a private indoor child and family recreation center as a conditional use in the M-1, Manufacturing District. **@OakCreekPC#OCPCTextAmend**.
 - d) REZONE & CONDITIONAL USE– Review a request Robert Bach, P2 Development Co., to rezone the property at 1980 W. Rawson Ave. from Rs-4, Single Family Residential to Rm-1, Multifamily Residential with a Conditional Use for a Community-Based Residential Facility (Tax Key No. 736-8995-001). Follow this item on Twitter **@OakCreekPC#OCPCP2Devel**.
 - e) PLAN REVIEW – Review site and building plans for the City Hall and Library building submitted by the City of Oak Creek for the property located at 8040 S. 6th St. (Part of Tax Key Nos. 813-9023-008 & 813-9023-005). Follow this agenda item on Twitter **@OakCreekPC#OCPCCityHallLib**.

- f) **PLAN REVIEW** – Review site and building plans for the Oak Creek Fire Department No. 1 building submitted by the City of Oak Creek for the property located at 255 E. Centennial Dr. (Tax Key No. 860-9037). Follow this agenda item on Twitter **@OakCreekPC#OCPCFireDept.**

6) **ADJOURN**

PLEASE NOTE

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 768-6511, (FAX) 768-9587, (TDD) 768-6513 or by writing to the ADA Coordinator at the Health Department, City Hall, 8640 South Howell Avenue, Oak Creek, Wisconsin 53154. There is the potential that a quorum of the Committee of the Whole will be present at this meeting. Copies of staff reports and other supporting documentation are available for review at the Department of Community Development, City Hall, 8640 South Howell Avenue during operating hours. (8am-5pm weekdays)

MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, December 10, 2013

Mayor Scaffidi called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Dickmann, Commissioner Johnston, Commissioner Carrillo, Alderman Bukiewicz, Mayor Scaffidi, Alderman Michalski, Commissioner Siepert, Commissioner Correll and Commissioner Chandler. Also present were Kari Papelbon, Planner, Pete Wagner, Zoning Administrator/Planner, Assistant Fire Chief Mike Kressuk and Doug Seymour, Director of Community Development

Commissioner Dickmann moved to approve the minutes of the November 26, 2013 regular Plan Commission meeting. Commissioner Siepert seconds. Roll call, all voted aye. Motion carries.

There were no significant Common Council actions.

Note: Items 6b, 6c and 6d were held until further notice.

Conditions and Restrictions
Dunkin Donuts – Drive-through
8750 S. Howell Avenue
Tax Key No. 860-9996

Ms. Papelbon explained that this item was held at the November 26, 2013 meeting due to several concerns raised by the Commission for site circulation and safety. The Planning Department has received updated plans from the applicant. The applicant proposes to add a stop sign and speed bump at the southeast corner of the building and widen the eastern entrance to 24 feet. As mentioned at the last meeting, the southern parking stalls (8) are proposed to be moved 10 feet further south, leaving 24 feet between the end of the parking stall and the edge of the drive through lane.

Commissioner Dickmann asked about the sign package and when does that occur. Ms. Papelbon stated that would occur if there is a change to the existing signs that are on the building right now. It would be another application.

Commissioner Siepert asked about the 10 feet to the south, he stated that there is a sign there that stands in the way.

Mr. Steve Royer, Redmond Company, stated that the ground sign would be removed.

Commissioner Chandler asked about the new directional sign that was depicted on the map and asked if there was more information. Ms. Papelbon stated that the directional sign is for an entrance sign, she stated that staff has not received any detailed plans. Commissioner Chandler stated that on the print out there was an arrow. Mr. Royer stated that was just the direction of cars both entering and exiting at the curb cut. It's a two way curb cut, cars entering on the right and existing on the left. Commissioner Chandler stated that that was one of the Commission's concerns,

Commissioner Correll stated that this is the same scenario we had and that it doesn't make any sense and that it is still a problem. The Commissioners concerns are:

1. The traffic pattern including the stop sign and speed bump

2. Cars leaving the drive through
3. Speeding cars
4. Width of the drive through
5. The eight spaces on the south side
6. Concern for pedestrian traffic
7. Lack of lighting
8. Enforcing 'employee parking'
9. Deliveries
10. Relocation of the sign
11. Minimum parking

Commissioner Correll motioned that the Plan Commission deny to adopt the conditions and restrictions as part of the conditional use permit for restaurant and drive-through facilities located at 8750 S. Howell Avenue without a public hearing.

Doug Seymour, Director of Community Development, stated that the Plan Commission recommended amending the conditional use permit. We are now talking about the mechanics of moving the recommendation forward to the Common Council. The Plan Commission recommended the actual amended CUP but recommended against the conditions and restrictions. If there are certain elements of those conditions and restrictions, rather than recommending against it, the Commission should entertain changes to the document so that there would be consistency with your prior recommendation for approval.

Mayor Scaffidi asked how you see the Commission entertaining changes when there are significant struggles just to accept any kind of a traffic pattern to the left when you come in. Commissioner Correll stated that the Commission's concerns were not addressed. How do we move forward when we have a lot of reservations? Doug Seymour stated that it will go forward to Common Council, it might send mixed signals having the Plan Commission recommend for the change, but against conditions and restrictions.

John Clark, Dunkin Donuts, 210 S. Water St. Milwaukee, WI 53204, stated that looking at a drive through design layout, this is for us ideal. Looking at traffic flow, we are looking at those eight spaces as parking. He stated that this is one of the safer designs he has seen. He understands the concerns, but stated that there is no real cross traffic patterns coming directly into the line of someone walking out of a door and into a traffic pattern. The front entrance and egress in and out of the building, you basically have a patio space with a 45 degree angle before you have to walk into a traffic pattern. With a designed bump-out and make them come out and go around, but in today's design and building layouts and the desire to go in with fast food restaurants and quick service industry with drive-through, that is the only feasible manner for us to actually open any type of restaurants. Is Dunkin Donuts going to go away in a year, anything is possible. We are making great capital investments in the area. Ideally from a safety standpoint, you are not really having cross traffic patterns against traffic. Mr. Clark stated that they are saying that those 8 spaces are going to be a non-parking area, by putting in a no left hand turn.

After a lengthy discussion, the Mayor held the item, indicating that we need to have the same people in front of us at each meeting. Ms. Papelbon, suggested exploring the option of parking by talking to the owner of the Pick n' Save and come up with an agreement for off-site parking on the Pick n' Save parking lot.

**Conditional Use Permit
SET Environmental
9730 S. 20th Street
Tax Key No. 903-0015**

Ms. Papelbon explained the applicant is requesting approval of a conditional use permit for an environmental contractor's yard at 9730 S. 20th Street. They will use the property as their service center for Wisconsin operations. They do environmental abatement; remediation, measurement and control work at specific job sites. All equipment and vehicles used for SET Environmental operations will be stored at their site. Occasionally they will have to have some of the materials brought back to the site in one of their containers. The maximum amount of time that it could stay on the property per Federal Regulations is 10 days. There will be no laboratory or testing facilities at the property. They anticipate 8 employees and up to 15 in a year. No waste materials will be transferred on site, it will remain in the container until it can be properly disposed of. One of the requirements in the code is that the area used for vehicle access, movement and parking as well as storage of equipment must be on a paved surface. Currently the property is partially paved; the applicant has outlined an area where they expect to have parking of their vehicles and some of their equipment that would be the part that would have to be paved. It is recommended that the areas not to be paved on the property be reestablished as grass. No stormwater plans are required at this time.

Alderman Bukiewicz asked if the property was fenced all around. It was confirmed that it was.

Alderman Michalski asked if the hatched area will be paved. Ms. Papelbon explained that this is the area that they have identified they will be parking equipment and vehicles. If that is indeed the area they will be using for parking than it is required to be paved. The recommendation is to have grass where it will not be paved.

Commissioner Correll stated that he would like to see something more defined regarding square footage on what is going to be paved.

Commissioner Chandler asked where the materials will go, where they would be stored. Ms. Papelbon stated that the waste materials would be in a container and that would be on the back of a truck. They would be stored for up to ten days. Commissioner Chandler asked if the materials that are stored on the back of the trucks, would you have multiple trucks with multiple waste materials up to ten days.

Eric Cushman, 5534 Upland Trail, Middleton, Wi, stated that was correct, as an environmental contractor, we provide the City and fire department with another means of cleaning up if there is a spill or chemicals that are left at a site. They will call us in, we will mediate, remove the materials, they are packaged in drums, 55 gallon drums, tankers, they are all sealed, casketed, containers. The drums would be on the back of a 53 foot truck. They are in sealed containers inside a van, most of what we do; we tend to take the material from the facility wherever we did the clean-up directly to the disposal site. We have our own disposal site in Houston, Texas, so we might load up the truck and it might go right down Houston with some of our over the road drivers. We do run into scenarios where we do have to bring the material back to our facility for a few days, but it will not be unloaded and put in a building; it's not going to be transferred or dumped. This is strictly a service center, there will be semis there, and there will be trucks, compressors, service vehicles. There will be no odors or emission. Commissioner Chandler asked if they were okay with paving the area. Mr. Cushman stated that he would discuss with the group, define and delineate the areas we are going to pave and make sure everyone is in

agreement with that.

Ms. Papelbon stated that the only concern with leaving the gravel there is the potential for someone thinking they can store something there in the interim. He stated that they could delineate an area, but this is something they can discuss with staff once they submit their plans saying here is the part we are going to pave.

Alderman Bukiewicz stated this was a good site and asked Assistant Fire Chief Kressuk to comment on the hazmat aspects of it. Assistant Fire Chief Kressuk stated that these are the companies we call to assist in the clean up or that the affected call to assist with the clean-up. As part of the clean-up process they are federally regulated on the methodology they use and how the materials are stored. The applicant would best be suited to answer the regulations of the storage of hazardous materials; there are Federal regulations that specify how they are stored. They need an emergency plan in case of a spill and a notification procedure. Fortunately the materials for clean-up would already be located on site. Our response plan on dealing with this firm would be a little bit unique there would be more of an open dialog as far as what's being stored there and what we can expect. The federal regulations will require and mandate them, when you store materials on site, even for a short amount of time that there is an emergency response plan in place to act as a contingency in case any situations arise.

Mr. Cushman stated he didn't want people to think they are storing material, so if it's a bulk liquid it's a tanker, if it's in drums it's in a dry van. We aren't taking drums off a trailer and putting them in the back yard. We are heavily monitored. Our staff is 40-hour OSHA trained, we comply with Wisconsin DNR, EPA, and our insurance bill is above 6 figures. Because of what we handle our drivers have to have an impeccable record. The industry is very heavily regulated, so for us to have an opportunity to be in a location like this is very exciting and I can't express to everyone here how important it is for you to understand that our company has been around since 1979 and we take what we do very seriously.

Alderman Michalski stated that he would need to see a barrier to separate the parking area from the grass area.

Ms. Papelbon stated that if the Plan Commission wishes for staff to move forward with conditions and restrictions, we can work with the applicant to incorporate the discussion that happened tonight including phasing of parking, making sure that the revised plan shows where the asphalt would be, the barriers to be used, and the time frame.

Commissioner Dickmann stated that if they expanded and wanted to pave more would they have to come back to Plan Commission or could a decision be made at staff level. Ms. Papelbon stated that we would figure that out.

Alderman Michalski motioned that the Plan Commission recommend that the Common Council approve a conditional use permit allowing for an environmental contractor's yard located at 9730 S. 20th Street after a public hearing and subject to conditions and restrictions that will be prepared for the Commission at the next meeting. Commissioner Dickmann second. All voted aye. Motion carries.

**Amendment to Conditional Use Permit
Woodman's Food Market
8151 S. Howell Avenue
Tax Key No. 813-9014-006**

Ms. Papelbon explained that the applicant is requesting approval to amend the existing conditional use permit pertaining to the gas station at 8151 S. Howell Avenue. Currently it is restricted between the hours of 7:00 a.m. to 9:00 p.m. per their conditional use permit. They would like to be able to have an attendant on staff between the hours of 7:00 a.m. and 7:00 p.m. After 7:00 p.m. customers would be allowed to pay at the pump. The pumps are set up to accommodate 24 hour service.

Alderman Michalski wanted it made clear that there would be no oil changes; the only thing that is changing is that gas can be pumped and the customer can pay at the pump. Pete Wagner stated that the way it is written implies that the gas service station would be operated 24 hours a day. He stated that it might be wise to revise the conditions and restrictions to say that the hours of the fueling station is 24/7, not necessarily the entire service station. By revising the conditions and restrictions would effectively prevent oil changes or other automotive services being performed 24-hours a day.

Commissioner Johnston stated that he would take out 'station' altogether and just say 'fuel pumps' 24 hours a day.

Commissioner Siefert asked if there was any way to monitor the station in case of an emergency. Assistant Fire Chief Kressuk cautioned that if you approve a facility that is unmonitored, that there are certain safety features that need to be put into place.

Steve Kaukl, Woodman's Food Market, 2631 Liberty Lane, Janesville, WI stated that Woodman's has 15 stations and 11 of them are operating unattended 24 hours. There is a set of guidelines that the State has and we have met them. The equipment is brand new, state of the art; there is an emergency call box on the front of the station. We also have an emergency shut off at the front of the station.

Ms. Papelbon stated that she would like to revise condition No. 6 under Maintenance and Operation. The revision would include the original language in the conditions and restrictions from the original approval. The revision would be: the hours of operation for the gasoline pumps would be operated 24/7 to make sure that there is that distinction between the service center and fuel pumps.

No. 9 under Time of Compliance we would also make sure that the language is revised to make sure that it's clear that it is fuel pumps and not the service center.

Alderman Bukiewicz motioned to recommend that the Common Council approve a conditional use permit amendment allowing the existing gas pumps located 8151 S. Howell Avenue be operated 24 hours a day after a public hearing and subject to conditions and restrictions with the amended corrections so mentioned. Commissioner Siefert second. All voted aye. Motion carries.

Right of Way
Omar Barasneh
931 and 1101 E. Forest Hill Avenue

Ms. Papelbon explained that the applicant is requesting this right-of-way vacation which began in 2012 be brought forward and completed. The area to be vacated is approximately 80 feet in width at its widest and tapers toward the east, south of 1101 E. Forest Hill Avenue. Originally this right-of-way was intended to connect to Puetz Road; however, the lands are now part of the Oak Leaf Trail and were removed from the Official Map. An officially mapped north-south street

exists to the east of the applicants property that once constructed will connect E. Forest Hill Avenue to Puetz Road. Once vacated, the lands will be distributed to the property owners abutting each side of the right-of-way. Concerns were raised by staff for the location of a potential future driveway. Staff recommends that the Plan Commission include a condition that no new driveways would be allowed within the vacated area.

Mr. Iglinski, 8341 S. Benjamin Drive, asked if his taxes will increase if he accepts the small piece of land. Mr. Seymour stated that yes, but not by very much.

Commissioner Dickmann motioned that the Plan Commission recommends to the Common Council that the unimproved right-of-way of a portion of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 16 (lands between 931 and 1101 E. Forest Hill Avenue be vacated after a public hearing and with the condition that no new driveways are allowed within the vacated area. Alderman Bukiewicz second. All voted aye. Motion carries.

Public Hearing

TIF No. 11 Project Plan and Boundary Amendment

Mayor Scaffidi called three times for comments hearing none he closed the public hearing.

TIF No. 11 Project Plan and Boundary Amendment

Ms. Papelbon explained the purpose of this review is to consider an amendment to the territory as well as amendments to the Project Plan for TID 11. The amendments include:

1. Map 3 – Conceptual Land Uses
2. Map 4 – Proposed Improvements
3. Section IV – Detailed list of estimated project costs
4. Section V – Economic Feasibility Study

The territory to be added to the TID is the 4.4624 acre parcel behind the Woodman's store (outlot 1, pond lot). The total size will be approximately 120 acres.

The district and project plan are being amended to reflect a refinement in project costs as it relates to potential development incentives for projects with the district.

Commissioner Dickmann questioned the benefit of this project by adding the additional areas.

Doug Seymour, Director of Community Development, explained that the 4.4 parcel is an existing property which is owned by Woodman's, we are working with them to incorporate their site as part of planning jointly with Drexel Town Square, in terms of issues such as access and stormwater management. That parcel houses their storm water management pond. Also the location of a roadway, a private roadway at this point, that provides access to Forest Hill Avenue which under the terms of an agreement they have with the City would become a public street which is 6th Street going all the way up to Drexel Avenue. The thought behind incorporating that parcel into the district was to allow for the eventual development of the remnant parcel on the east side of that which is owned by Woodman's now which is a pond. Once the roadway goes in and once we complete the stormwater improvements on the west side, then that site would be available for development.

Commissioner Dickmann also questioned the Detailed list of Estimated Project Costs and stated that it seems like an open ended deal. Doug Seymour stated that to a certain extent there is

some flexibility in terms of project costs and how much you can exceed them. We wanted to make sure that the Council had the flexibility to respond to those situations in a fiscally responsible fashion, without having to go back and amending the project plan again.

Commissioner Siepert asked what the total value was of the TIF district. Doug Seymour stated potentially it is probably between 180 and 200 million dollars. The initial improvements will be constructed beginning next year and occupancy probably in the summer of 2015 which includes the Meijer Store, the library, City Hall, the two mixed use buildings on the north part of the square, a hotel, the first phase of residential apartments, which is going to be a little smaller than anticipated about 147 units and several of the perimeter outlots, to be closely followed by potentially medical office building development. In 2015 you will see all four edges of the square all built up.

Commissioner Bukiewicz stated that one concern that Milwaukee County might have is providing public transportation and access to Drexel Town Square. It is something that we have to consider and that option had to be there.

Commissioner Dickmann motioned that the Plan Commission adopt Resolution No. 2013-03 adding the territory of 400 W. Forest Hill Avenue and amending the Project Plan for Tax Increment District No. 11. Alderman Buckiewicz second. All voted aye. Motion carries.

Commissioner Carrillo motion for adjournment, Commissioner Siepert second. All voted aye. Meeting adjourned at 7:33 p.m.



Significant Common Council Actions

ITEM: 3

DATE: January 14, 2014

Summary of Significant Common Council Actions January 7, 2014

1. Held: Resolution No. 11434-111913, vacating and discontinuing a part of a public street right-of-way in the City of Oak Creek. (Glen Oaks Drive)
2. Approved: Ordinance No. 2702 amending Ordinance No. 2383 to allow the operation of gas pumps 24 hours per day on the property located at 8151 S. Howell Avenue.
3. Approved: Resolution 11449-010714 to amend resolution No. 11442-121713 to add territory to Tax Increment Financing District No. 11 and to amend the Project Plan for Tax Increment District No. 11.

A handwritten signature in black ink that reads "Kari Papelbon".

Kari Papelbon, CFM, AICP
Planner



Plan Commission Report

ITEM: 4a

DATE: January 14, 2014

PROJECT: Conditions & Restrictions – Jerry Mortier, The Redmond Company (Dunkin' Donuts)

ADDRESS: 8750 S. Howell Ave.

TAX KEY NO: 860-9996

STAFF RECOMMENDATION: That Plan Commission recommends that the Common Council adopt the conditions and restrictions as part of the conditional use permit for restaurant with drive-through facilities located at 8750 S. Howell Ave. after a public hearing.

Ownership: Pranke Holding LLC, 241 N. Broadway, Milwaukee, WI 53202

Size: 0.960 acres

Existing Zoning: B-4, Highway Business

Adjacent Zoning: North – B-3, Office and Professional Business
East – B-4, Highway Business
South – B-4, Highway Business
West – B-4, Highway Business

Comprehensive Plan: Planned Mixed Use.

Wetlands: None.

Floodplain: None.

Official Map: N/A.

Commentary: This item was held at the December 10, 2013 meeting due to concerns for site circulation and safety and parking. Updated plans have been submitted and are included in this packet. In addition to installing a stop sign at the southeastern corner of the building and widening the eastern entrance to 24 feet as proposed at the December 10, 2013 meeting, the Applicant is proposing to add an "island barrier" to separate the parking stalls from the drive-through lane and another island between the window and the southeastern corner of the building. A directional sign will alert motorists to the right-turn circulation pattern for the site (i.e., no left-turn from the southern entrance). There are no further changes from the plans reviewed on December 10.

As mentioned in previous meetings, the eight parking stalls on the south end of the parcel will be moved 10 further south to allow a 24-foot-wide aisle to the island barrier. These parking stalls were proposed to be "employee-only." It should be understood that it will be the property owner's responsibility to enforce such a limitation. Staff recommended that the Applicant discuss a parking easement or similar arrangement with the adjacent landowner for use of a portion of the Pick 'n' Save parking lot to the west. This would allow the Applicant to eliminate the problematic 8 parking stalls while maintaining parking availability for customers and/or employees.

Staff continues to be concerned for site circulation with the revised plan. The proposed island barrier does not appear to allow enough clearance for the drive-through turning radius at the southwest corner of the building. When combined with the proposed island at the southeastern corner of the building, the island barrier does not appear to allow enough maneuvering room for a larger vehicle to pass from the drive-through to the rest of the site. Staff also recognizes that there are no dimensions for either island proposed, and that plowing with this configuration will be difficult. However, staff feels that these issues can be

resolved, and that the conditions and restrictions contained in this packet should be recommended for approval.

December 10, 2013

This item was held at the November 26, 2013 meeting due to several concerns raised by the Commission for site circulation and safety. Updated plans have been submitted and are included in this packet. The Applicant proposes to add a stop sign and speed bump at the southeast corner of the building, and widen the eastern entrance to 24 feet. Widening the entrance will eliminate the parking stall immediately east of the trash enclosure and will allow for greater maneuverability in that area.

As was mentioned at the November 26th meeting, the southern parking stalls (8 total) are proposed to be moved 10 feet further south, leaving 24 feet between the end of the parking stall and the edge of the drive-through lane. Dunkin' Donuts has expressed their opinion that the eight southern parking stalls are essential and cannot be eliminated. Peak hours for Dunkin' Donuts are between 6:00 AM and 8:00 AM.

November 26, 2013

At the November 12, 2013 meeting, the Plan Commission recommended Common Council approval of a conditional use permit for a drive-through facility for a proposed Dunkin' Donuts at 8750 S. Howell Ave.

Revised plans were received by staff to include updates to signage details (to be reviewed at a subsequent meeting) and existing property conditions. Further revisions may be required and discussions with the applicant continue.

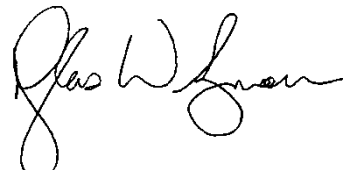
Staff has prepared conditions and restrictions for this conditional use permit for the Commission's review. If the Plan Commission is comfortable with the conditions and restrictions, the appropriate action would be to recommend that the Common Council adopt them as part of the conditional use permit.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

City of Oak Creek – Conditional Use Permit

DRAFT Conditions and Restrictions

Applicant: Jerry Mortier, The Redmond Co.
Property Address: 8750 S. Howell Ave.
Tax Key Number: 860-9996
Conditional Use: Drive-through for Dunkin' Donuts restaurant.

Approved by Plan Commission: 1/14/2014
Approved by Common Council:
(Ord. #TBD)

1. LEGAL DESCRIPTION

COM 109.07 FT S 0D53'30" W OF NW COR OF NW1/4 SEC. 21-5-22 TH S 89D06'30" E 60 FT S 54D06'30" E 279.94 FT S 35D53' 30" W 227.06 FT N 89D06'30" W 82.72 FT TO ELY LI OF AVE N 0D53'30" E 92.61 FT N 54D06'30" W 18.31 FT N 89D06'30" W 60 FT TO W1/4 SEC LI TH N 244 FT TO BEG. EXC MOST WLY PART FOR AVE. CONT.0.960A.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. A precise detailed site plan for the area affected by the conditional use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) **General Development Plan**

- a) detailed building locations with setbacks
- b) square footage of building
- c) areas for future expansion
- d) area to be paved
- e) access drives (width and location)
- f) sidewalk locations
- g) parking layout and traffic circulation
 - i) location
 - ii) number of employees
 - iii) number of spaces
 - iv) dimensions
 - v) setbacks
- h) location of loading berths
- i) location of sanitary sewer (existing and proposed)
- j) location of water (existing and proposed)
- k) location of storm sewer (existing and proposed)
 - i) including detention/retention basins if needed
- l) precise location of outdoor storage
- m) location of wetlands (field verified)
- n) location, square footage and height of signs
- o) a description of the vehicles, materials and equipment to be stored at the site

- b) number, initial size and type of plantings
- c) parking lot screening/berming

3) **Building Plan**

- a) architectural elevations
- b) building floor plans
- c) materials of construction

4) **Lighting Plan**

- a) types of fixtures
- b) mounting heights
- c) type of poles
- d) photometrics of proposed fixtures

5) **Grading, Drainage and Stormwater Management Plan**

- a) contours (existing and proposed)
- b) location of storm sewer (existing and proposed)
- c) location of stormwater management structures and basins (if required)

6) **Fire Protection**

- a) location of existing and proposed fire hydrants (public and private)
- b) interior floor plan
- c) materials of construction

2) **Landscape Plan**

- a) screening plan for outdoor storage

B. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.

C. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

- D. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, etc.) shall be subject to approval by the City Engineer.
- E. If required by the City of Oak Creek, public easements for telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted; provided there is access to each of the aforementioned systems and their appurtenances.
- F. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- G. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit.

3. PARKING AND ACCESS

- A. **Parking and access requirements for this project shall be provided in accordance with Section 17.0403 of the Municipal Code and the plans approved by the Plan Commission on January 14, 2014.**
- B. Where 90° parking is indicated on the site plans, individual-parking stalls shall be nine (9) feet in width by eighteen (18) feet in length. The standards for other types of angle parking shall be those as set forth in Section 17.0403(d) of the Municipal Code.
- C. Movement aisles for 90° parking shall be at least twenty-two (22) feet in width.
- D. All off-street parking areas shall be surfaced with an all-weather wearing surface of plant mix asphaltic concrete over crushed stone base subject to approval by the City Engineer. A proposal to use other materials shall be submitted to the Plan Commission and the Engineering Department for approval. All parking areas and private drives, within a phase, shall be in place prior to the issuance of an occupancy permit for any building in that phase.
- E. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.
- F. All driveway approaches to this property shall be in compliance with all the standards set forth in Chapter 6 of the Oak Creek Municipal Code. Any off-site improvements shall be the responsibility of the property owner.
- G. All off street parking areas shall be landscaped in accordance with Sections 17.0330 & 17.0403 of the Municipal Code.

4. LIGHTING

All plans for new outdoor lighting shall be reviewed and approved by the Electrical Inspector in accordance with Section 17.0808 of the Municipal Code.

5. LANDSCAPING

- A. **The site containing this conditional use shall be maintained in accordance with the site, building, landscaping, and lighting plans dated May 27, 2005 and approved by the City of Oak Creek Plan**

Commission on June 14, 2005. All plans for landscaping changes shall be submitted to the Plan Commission for their review and approval prior to the issuance of an occupancy permit.

B. Parking Lot Screening. Those parking areas for five (5) or more vehicles if adjoining a residential zoning district line or public right-of-way shall be screened from casual view by an earth berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way. All screening materials shall be placed and maintained at a minimum height of three (3) feet.

1. At least one ornamental deciduous tree, no less than 2.5" caliper, shall be incorporated into the design for every 35 linear feet of public street frontage.
2. At least 25% of the total green space area shall be landscaped utilizing plant materials, other than maintained turf, that contribute to ground coverage.
3. For purposes of determining the number of plants necessary to meet the minimum 25% ground coverage requirement, plant types are categorized by their general size and potential mature at-grade coverage area.

<u>Plant Type</u>	<u>Area of Coverage Provided</u>
Evergreen Tree (>8' Dia.)	75 sq. ft.
Large Shrub (6-8' Dia.)	38 sq. ft.
Medium Shrub (4-6' Dia.)	20 sq. ft.
Small Shrub (2-4' Dia.)	12 sq. ft.
Perennial (4.5" Pot)	6 sq. ft.

* Note shade and ornamental trees are not considered a plant type contributing to "at grade" coverage.

4. To assure a diversity of color, texture and year-round interest, the total number of plant materials must be comprised of a minimum 25% evergreens, but no more than 70%.
- C. Interior Landscape Area. All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape islands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. Landscape islands or peninsulas shall be dispersed throughout the off-street parking area. Landscape islands shall provide a minimum 30-inch clear area for vehicle overhang and snow storage. One shade tree shall be provided within the interior planting area for every 300 square feet of interior landscaping.
- D. Perimeter Landscape Area. In an effort to prevent adjacent parking lots from becoming one large expanse of paving, perimeter landscaping shall be required. The perimeter strip shall be a minimum 5 feet in width. A minimum of one tree and five shrubs is required for every 35 linear feet of the perimeter of the parking area and located within the perimeter landscape area.
- E. Landscaping Adjacent to Buildings. There shall be a minimum three-foot landscaped area provided between the edge of pavement and the entrance elevation of the building.
- F. Screening of Trash. Trash receptacles shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- G. Screening of Ground Mounted Mechanical Equipment. Ground mounted mechanical equipment shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.

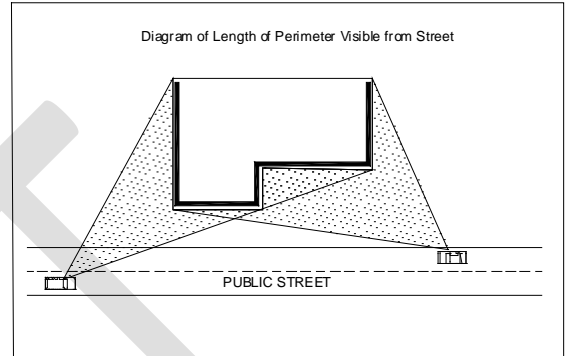
- H. Screening of Outdoor Storage – Outdoor storage shall not be located within the front yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- I. Screening of Roof Mounted Mechanical Equipment - Roof mounted mechanical equipment shall be screened from casual view.
- J. Screening of utility meters. New utility meters shall be screened with a mix of plantings and a screening fence or wall, which shall be approved by the Community Development Department prior to the issuance of building permits. Said screening shall be installed prior to final occupancy.**
- K. Screening of drive-through menu board. The drive-through menu board shall be screened from S. Howell Avenue with a mix of plantings and a screening fence or wall which shall be approved by the Plan Commission and City Forester.**
- L. Retaining Walls. No retaining wall shall exceed four (4) feet in height unless it has been designed and its construction supervised by a Professional Engineer. A retaining wall may be stepped to achieve greater height. Each step of the wall shall be no more than four (4) feet in height and shall be set back a minimum of three (3) feet from the previous step. Acceptable materials for retaining walls are: segmental masonry type, timber, railroad ties, or concrete
- M. Berms. Side slopes of berms shall not exceed a gradient of 1-ft. vertical to 3-ft. horizontal unless approved by the City Engineer.
- N. Buffer Yards. Appropriate buffers shall be provided between dissimilar uses as set forth in Section 17.0205 (d) of the Municipal Code, and in accordance with the plans approved by the Plan Commission on May 23, 2000 and September 24, 2013.
- O. Submittal Requirements. A Landscape Plan (to scale) must be submitted which includes details of all proposed landscaping, buffering and screening, including the estimated cost of the landscaping. These plans shall be prepared by a landscape professional and show the location and dimensions of all existing and proposed structures, parking, drives, right-of-ways and any other permanent features, and all other information required by the Plan Commission, including but not limited to the following:
 - 1. A plant list and coverage chart showing the location, quantity, size (at time of planting and at maturity), spacing and the scientific and common names of all landscape materials used.
 - 2. The location and type of existing trees over four (4) inches in diameter (measured six (6) inches above the ground) within the area to be developed.
 - 3. The location and percent of slope of all proposed berms using one (1) foot contours.
 - 4. Detailed sections showing elevations of all proposed architectural features, such as walls, lighting or water features.
 - 5. Methods used in staking, mulching, wrapping or any other early tree care used.
 - 6. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule.

6. ARCHITECTURAL STANDARDS

A. The site and building containing this conditional use shall be constructed and maintained in accordance with the site, building, landscaping and lighting plans dated May 27, 2005 and approved by the City of Oak Creek Plan Commission on June 14, 2005. Any changes to these plans shall be submitted to the Plan Commission for their review and approval prior to the issuance of an occupancy permit.

B. No building shall be permitted if the design or exterior appearance is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

C. No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades of surrounding properties and presents an attractive appearance to the public. Predominant exterior building materials must be of high quality. These include, but are not limited to brick, stone and tinted/textured concrete masonry units (CMU's). Smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel panels are not permitted as a primary exterior building material.



D. The facade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with glass, brick or decorative masonry material.

E. Material and color samples shall be submitted to the Plan Commission for review and approval.

F. The Plan Commission has the discretion to adjust this minimum for building additions.

G. The relative proportion of a building to its neighboring buildings or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

H. Each principal building shall have a clearly defined, highly visible customer entrance with features such as canopies or porticos, arcades, arches, wing walls, and integral planters.

I. Sides of a building that are visible from adjoining residential properties and/or public streets should contribute to the pleasing scale features of the building by featuring characteristics similar to the front façade of the building.

J. Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.

K. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule; as well as the approved protection of the identified wetlands and woodlands on the approved plan.

7. BUILDING AND PARKING SETBACKS

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure	25'	25'	20'

Accessory Structure*	25'	5'	5'
Off-street Parking	10'	0'	0'

* *No accessory structures shall be permitted in the front yard.*

8. MAINTENANCE AND OPERATION

- A. The number, size, location and screening of appropriate solid waste collection units shall be subject to approval of the Plan Commission as part of the required site plan. Solid waste collection and recycling shall be the responsibility of the owner.
- B. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the owners.
- C. **The fire department connection on the west elevation of the building shall not be blocked with any fencing, signage, or landscaping.**
- D. **The illuminated drive-through menu board shall be turned off during non-business hours.**

9. SIGNS

All signs shall conform to the provisions of Sec. 17.0706 of the Municipal Code and the approved Master Sign Program for this property. The applicant shall submit a sign package with all proposed signs (menu board, wall signs, tenant panel on monument sign, and directional signs) to the Plan Commission for review.

10. PERMITTED USES

- A. All permitted uses in the B-4, Highway Business zoning district.
- B. **One (1) restaurant with drive-through.**
- C. Usual and customary accessory uses to the above listed permitted uses.

11. TIME OF COMPLIANCE

The operator of the conditional use shall commence operations in accordance with these conditions and restrictions for the conditional use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a conditional use permit. This conditional use approval shall expire within twelve (12) months after the date of adoption of the ordinance if an occupancy permit has not been issued for this use. The applicant shall re-apply for a conditional use approval, prior to recommencing work or construction.

12. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, ordinances, and orders not heretofore stated or referenced, is mandatory.

13. VIOLATIONS & PENALTIES

Any violations of the terms of this conditional use permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances. If the owner, applicant or operator of the conditional use permit is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12 month period the city shall

have the right to revoke this conditional use permit, subject to the provisions of paragraph 14 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this conditional use permit or to seek an injunction regarding any violation of this conditional use permit or any other city ordinances.

14. REVOCATION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code.

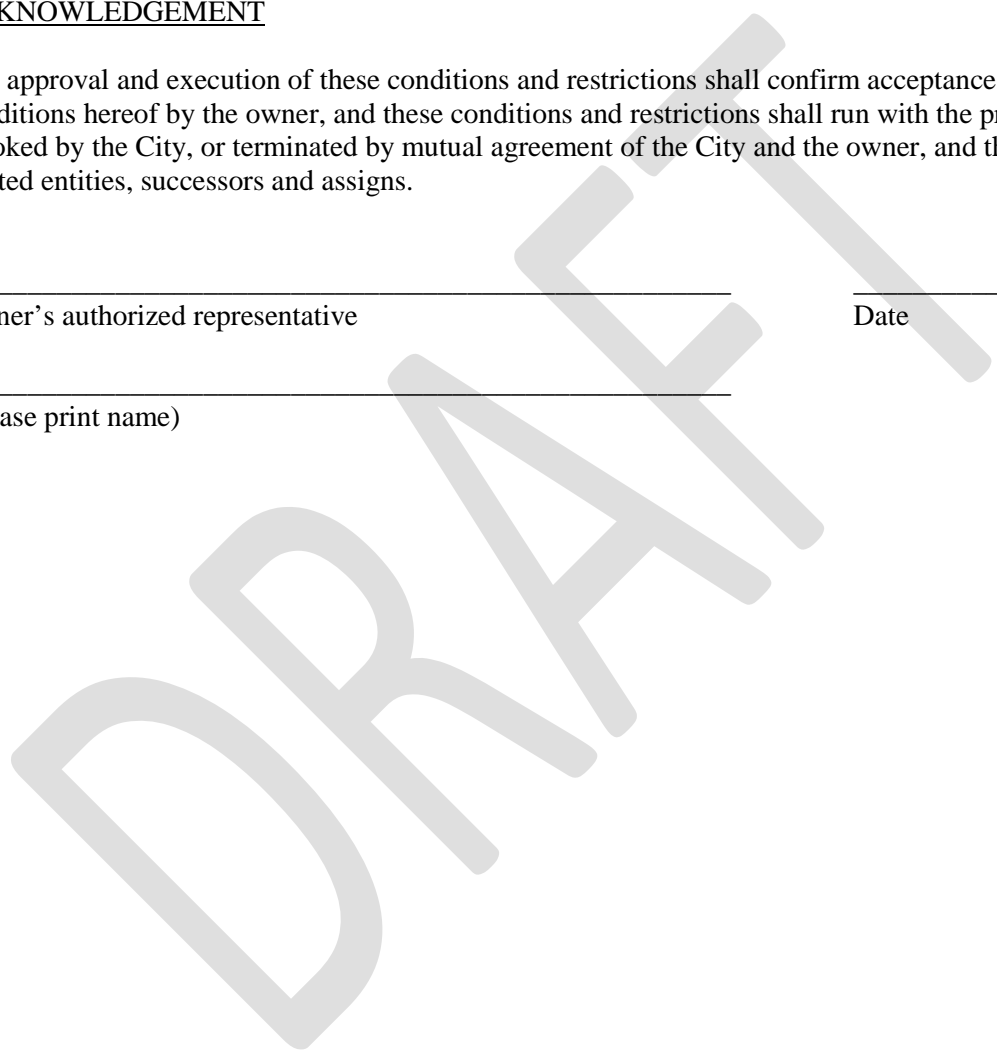
15. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner's authorized representative

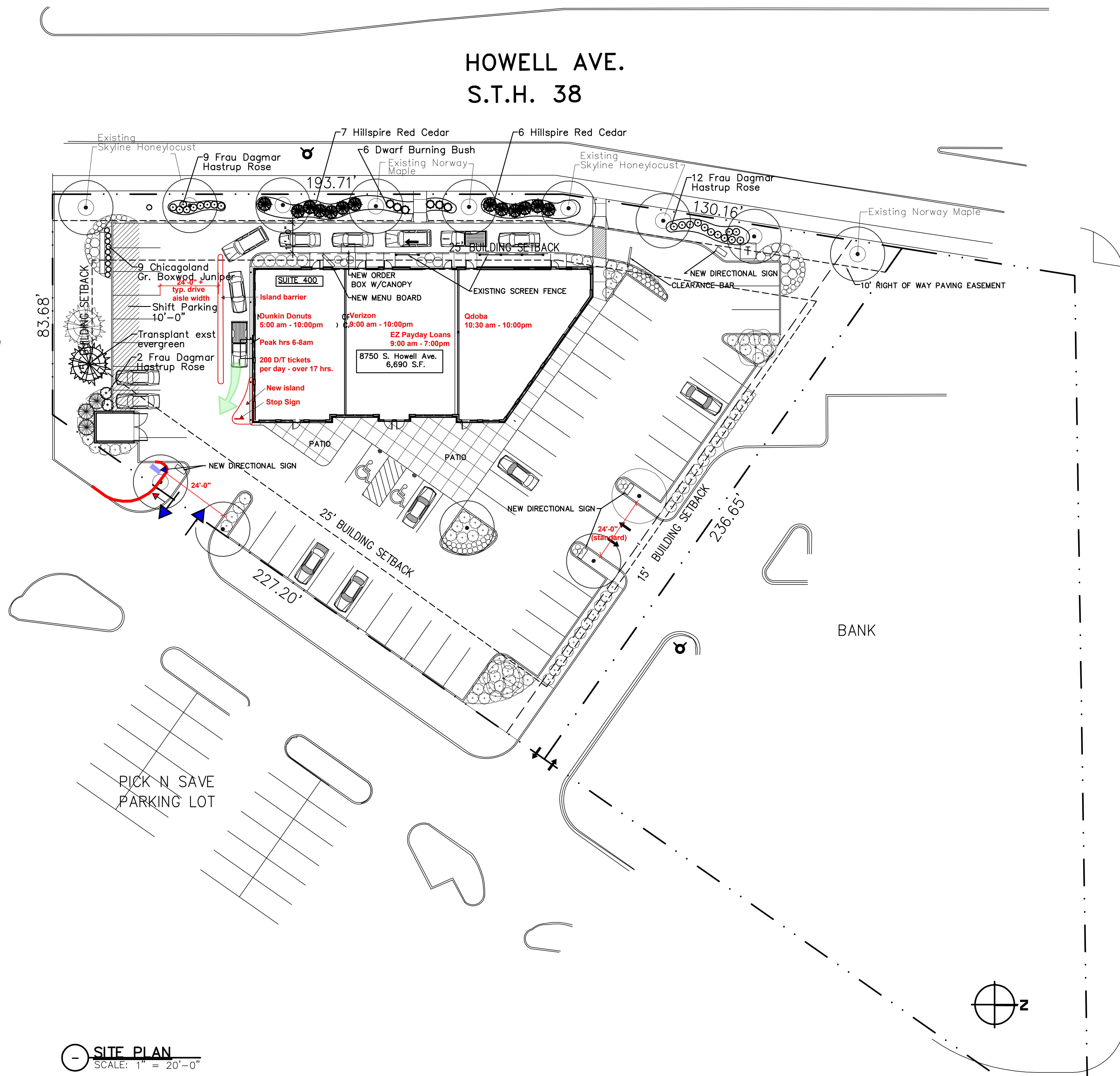
Date

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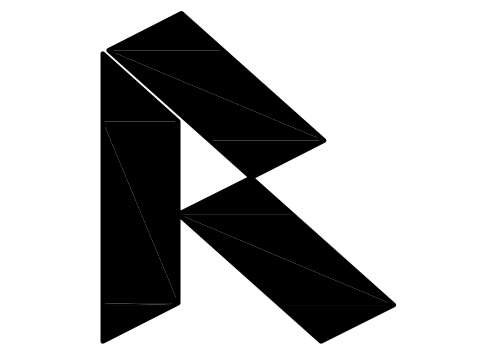


SITE INFORMATION

- TOTAL SITE AREA:**
- 42,407 S.F. (.97 ACRES)
- TOTAL LOT COVERAGE:**
- 29,857 S.F. (.682 ACRES) - 70.4%
- TOTAL OPEN SPACE:**
- 12,550 S.F. (.288 ACRES) - 29.6%
- BUILDING ZONING:**
- B-2
- BUILDING SETBACKS:**
- 25' FRONT YARD BUILDING SETBACK
- 15' SIDE YARD BUILDING SETBACK
- 25' REAR YARD BUILDING SETBACK
- MAX. BUILDING HEIGHT:**
- 50'-0"
- PAVING SETBACKS:**
- 10' RIGHT OF WAY PAVING SETBACK
- 0' FRONT YARD PAVING SETBACK
- 0' SIDE YARD PAVING SETBACK
- 0' REAR YARD PAVING SETBACK
- PARKING REQUIREMENTS:**
- 1 PARKING SPACE FOR EVERY 150 S.F. (RETAIL/RESTAURANT)
- 1 PER EMPLOYEE @ 11 EMPLOYEES
- 56 SPACES REQUIRED
- 54 PROVIDED



HOWELL AVE.
S.T.H. 38



THE REDMOND COMPANY

DESIGN
CONSTRUCTION
CONSULTING
MANAGEMENT
(262) 549-9600 FAX: (262) 549-1314
W228 N745 Westmound Drive
Waukesha, Wisconsin 53186-1725

Dunkin Donuts - Oak Creek
8750 S. HOWELL AVE
OAK CREEK, WI

E. PUETZ RD.

OWNERSHIP AND USE OF DOCUMENTS
The drawings, specifications and other documents furnished by the Designer are the property of the Designer and shall remain the property of the Designer whether or not the Project for which the documents were prepared is completed or abandoned. No part of the drawings, specifications or other documents may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Designer. The Designer shall own the copyright in the drawings, specifications and other documents.

SHEET TITLE
Site Plan

REVISIONS

PROJECT DATA
Date: 11.21.13
Job No.: 14047
Drawn By: JM
SHEET NO.

SP1.1

BUILDING OWNER:
MIKE PRANKE
PRANKE HOLDING LLC
241 N. BROADWAY SUITE 501
MILWAUKEE WI 53202

ARCHITECT:
JERRY MORTIER
THE REDMOND CO
W228 N745 WESTMOUND DR.
WAUKESHA WI 53186
262.897.8753

SITE PLAN
SCALE: 1" = 20'-0"



Plan Commission Report

ITEM: 5a
DATE: January 14, 2014

PROJECT: Plan Review – Pasa Ece, WI Granite Depot

ADDRESS: 6720 S. 27th St.

TAX KEY NO: 737-9038

STAFF RECOMMENDATION: That the Plan Commission approves the site and building plan for the property at 6720 S. 27th St. with the condition that all technical corrections are made.

Ownership: Wisconsin Granite Depot, LLC, 8459 S. River Terr., Franklin, WI 53132

Size: 2.088 acres

Existing Zoning: B-2, Community Business; RR, Regional Retail Overlay

Adjacent Zoning: North – Rd-1, Two-Family Residential; 1-1, (CCU); Rs-4, Single Family Residential
East – Rd-1, Two-Family Residential (PUD)
South – B-4, Highway Business (CU)
West – 27th Street, City limits

Comprehensive Plan: Planned Business

Wetlands: None.

Floodplain: None.

Official Map: A small portion of a cul-de-sac at the end of S. 26th St. on the officially mapped street pattern affects this property.

Commentary: Wisconsin Granite Depot is requesting approval of a 6,704 square-foot addition onto the eastern portion of the existing building at 6720 S. 27th St. Plan Commissioners will recall that the Conditional Use Permit for this property required the submission of an application for an addition to the building within one year of approval.

The addition will serve as supplementary warehouse space for the business, and includes one new loading dock (facing the east). The addition meets all required setbacks and will be constructed with split-face concrete block to match the existing building. While only a portion of the addition will be hidden behind the existing fence, the loading dock area will be completely screened from the northern and eastern property lines. No public access is proposed behind the fence and no changes to the existing parking are proposed. Landscaping will be provided as per the plans approved by the Plan Commission on May 23, 2000 and September 24, 2013.

As a point of clarification, it should be noted that the Conditional use Permit will expire upon issuance of an Occupancy Permit for the addition. Therefore, no outdoor storage of materials will be allowed on the property once the Occupancy Permit is issued. All materials stored outside must be moved into the new addition.

Prepared by:

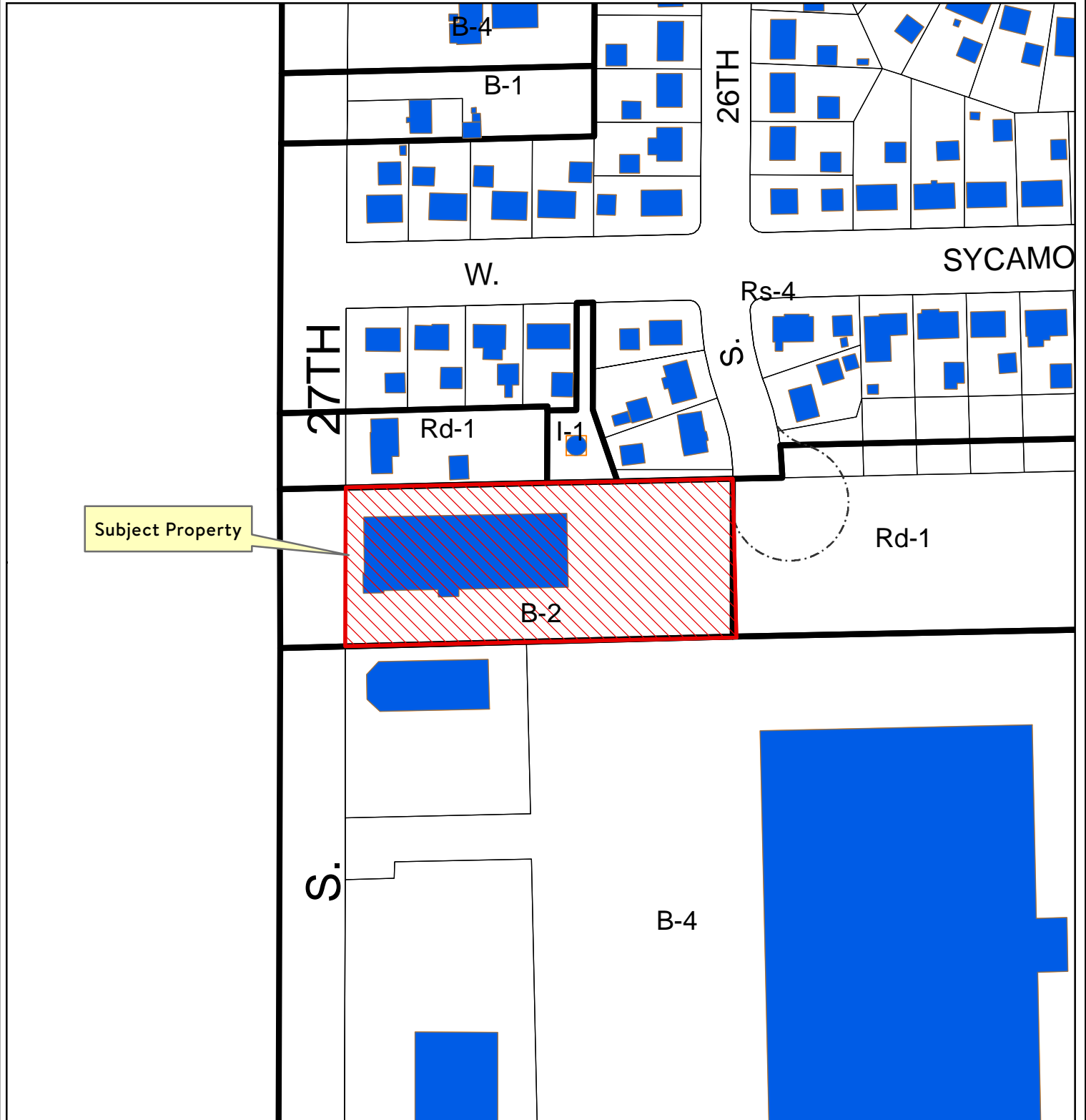
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

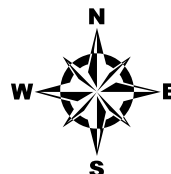
Douglas Seymour, AICP
Director of Community Development

Location Map

6720 S. 27th St.



Subject Property

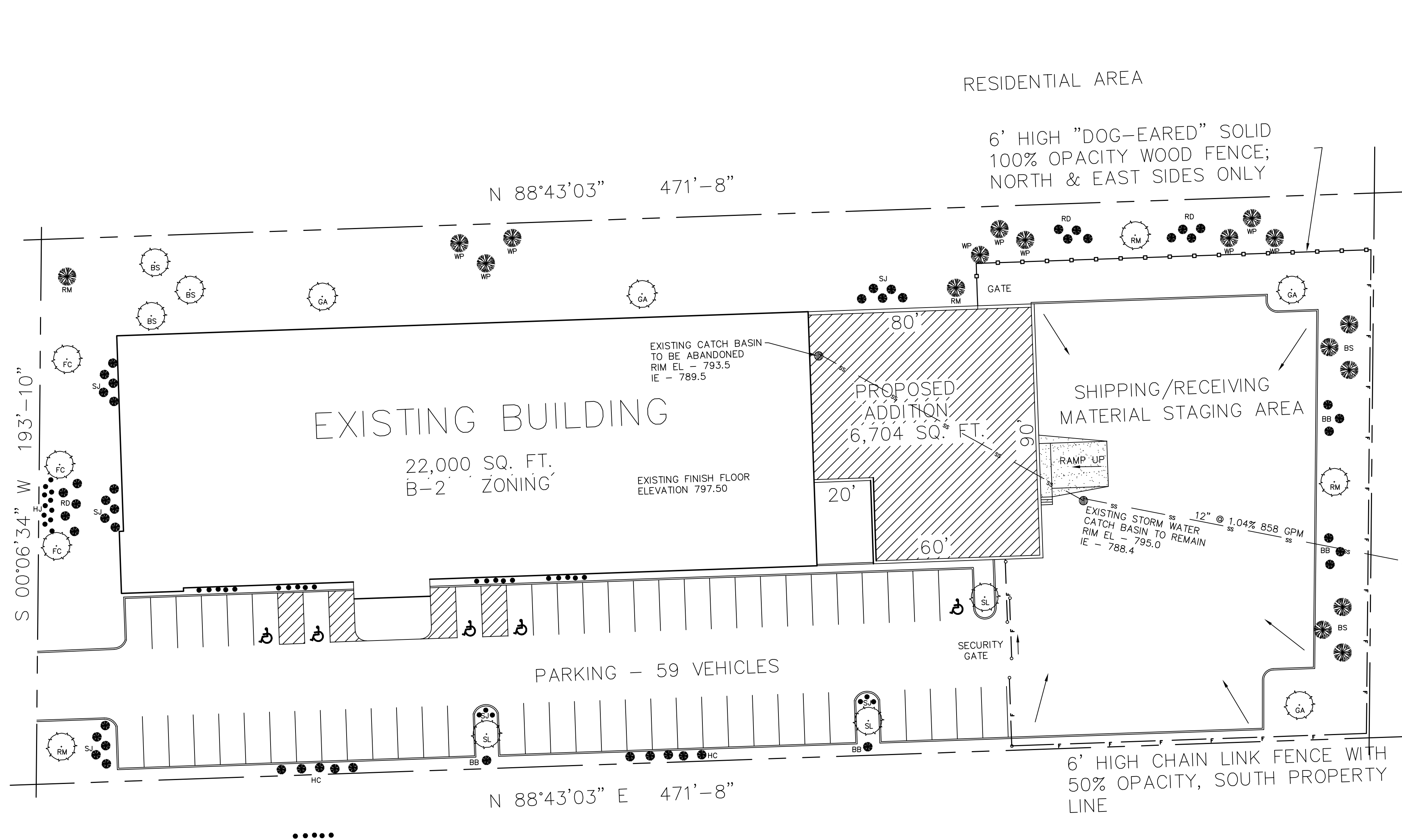


Legend	
	6720 S. 27th St.
	Existing Street Pattern

Wisconsin Granite Depot – Building Addition

6720 S. 27th Street, Oak Creek, Wisconsin

Northbound Lane S. 27th Street



DRAWING INDEX			
SHT.	TITLE	DWG. DATE	REV. NO. / REV. DATE
T-1	TITLE SHEET, SITE PLAN, AND CODE DATA	5 NOV.'13	
A-1	FOOTING & FOUNDATION PLAN, CONSTRUCTION NOTES	5 NOV.'13	
A-2	PROPOSED ADDITION FLOOR PLAN, CONSTRUCTION NOTES	5 NOV.'13	
A-3	CONCRETE MASONRY WALL SECTIONS & DETAILS	5 NOV.'13	
A-4	EXTERIOR BUILDING ELEVATIONS	5 NOV.'13	
A-5	ROOF FRAMING PLAN, ROOF DRAINAGE PLAN	5 NOV.'13	

BUILDING CODE DATA

APPLICABLE CODES

INTERNATIONAL EXISTING BUILDING CODE 2009 (IBC) EXISTING BUILDING ADDITION – LEVEL 3
CHAPTER 9 FOR LEVEL 3 ALTERATIONS
AMERICANS WITH DISABILITY ACT ACCESSIBILITY GUIDELINES (ADAAG)

BUILDING INFORMATION

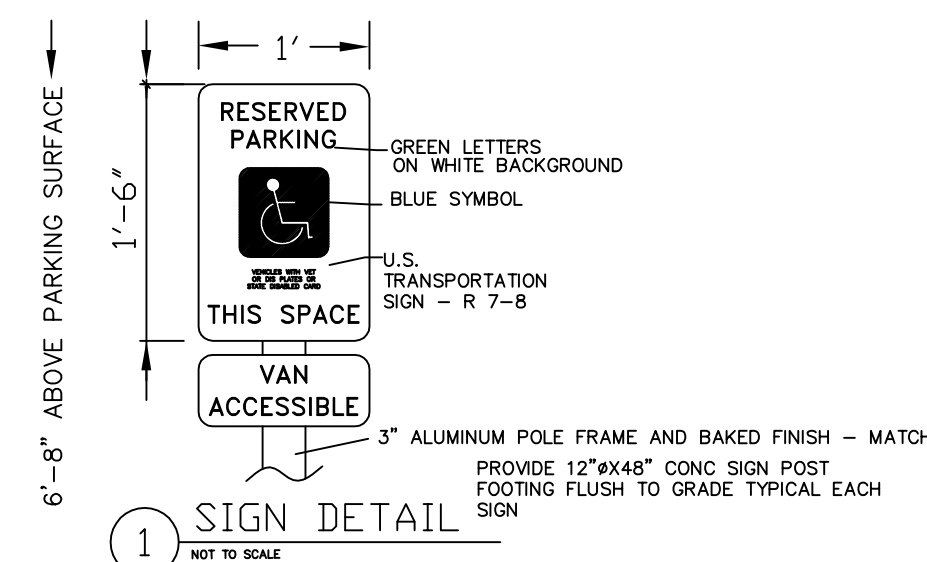
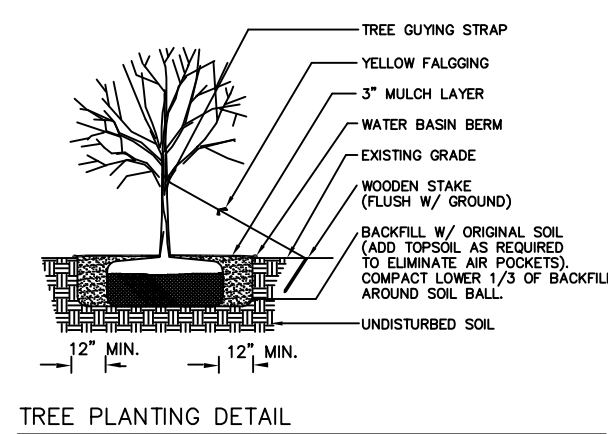
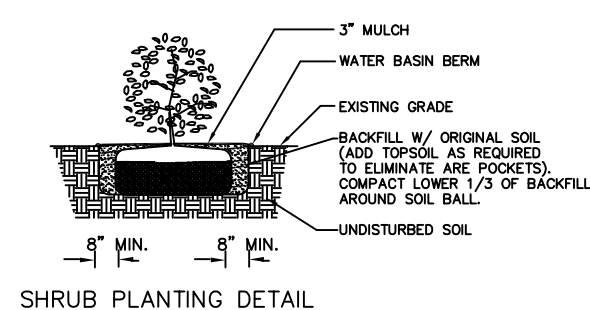
OCCUPANCY CLASSIFICATION – COMMERCIAL WAREHOUSE – STORAGE GROUP S-1
EXISTING BUILDING AREA – 22,000 SQ. FT. PROPOSED ADDITION 6,704 SQ. FT. TOTAL AREA – 28,408 SQ. FT.
ALLOWABLE HEIGHT AND AREA –
BUILDING CLASS OF CONSTRUCTION – TYPE 2, FULLY SPRINKLERED
EXISTING BUILDING HEIGHT 1-STORY, 26', PROPOSED ADDITION HEIGHT 22'

SITE PLAN

GRAPHIC SCALE

EXISTING PLANTING SCHEDULE – YR 2000						
KEY	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	COMMENTS
BS	9	COLORADO BLUE SPRUCE	Picea Pungens	1 1/2"-2" #ABH	B+B	
WP	9	EASTERN WHITE PINE	Pinus Strobus	8"	B+B	
FC	3	FLOWERING CRAB	Malus florabunda	8"	B+B/C.G.	
GA	4	GREEN ASH	Fraxinus Pennsylvanica Lanceolata	1 1/2"-2" #ABH	B+B/C.G.	
RM	5	RED MAPLE	Acer Rubrum	1 1/2"-2" #ABH	B+B/C.G.	
SL	3	SKYLINE LOCUST	Grandisla Triacanthos "skyline"	1 1/2"-2" #ABH	B+B	
SJ	19	SEA-GREEN JUNIPER	Juniperus Chinensis "sea-green"	24"-30" HT.	B+B	
HJ	13	HORIZONTAL JUNIPER	Juniperus Chinensis "hetzi"	30" – 36" HT.	B+B/C.G.	
RD	13	RED TWIGGED DOGWOOD	cornus alba	24"-30" HT.	B+B/C.G.	
HC	15	HIGHBUSH CRANBERRY	viburnum trilobum	24"-30" HT.	B+B/C.G.	
BB	11	CHRIMSON BARBERRY		24"-30" HT.	B+B/C.G.	
GS	15	???				

NOTES: ALL SHRUB BEDS TO HAVE HEAVY-DUTY BLACK VINYL EDGING WITH WEED BARRIER AND SHREDED BARK MULCH AT A DEPTH OF 2"-3". ALL INDIVIDUAL TREES AND LARGE EVERGREENS TO HAVE THE ABOVE EDGING, WEED-BARRIER AND MULCH IN AN 6-FT. DIAMETER. DISTURBED AREAS OF SITE WITHIN CONSTRUCTION LIMIT LINES TO BE SEEDED & MULCHED. PROVIDE 3" OF TOPSOIL FOR ALL NEWLY SODDED AND SEEDED AREAS.



STEVEN ROBERT SHARPE
& ASSOCIATES
5110 South Loomis Road
Waterford, Wisconsin 53185
Ph. (414) 807-4000 CELL (262) 534-3886 OFFICE

Building Addition
Wisconsin Granite Depot
6170 S. 27th Street
Oak Creek, Wisconsin

Drawn: SRS

Checked: SRS

Mr. Pasa Ece
414-248-7997

Date: 5 Nov. '13

Revisions:	
28 NOV. '13	

Project No.
1311500

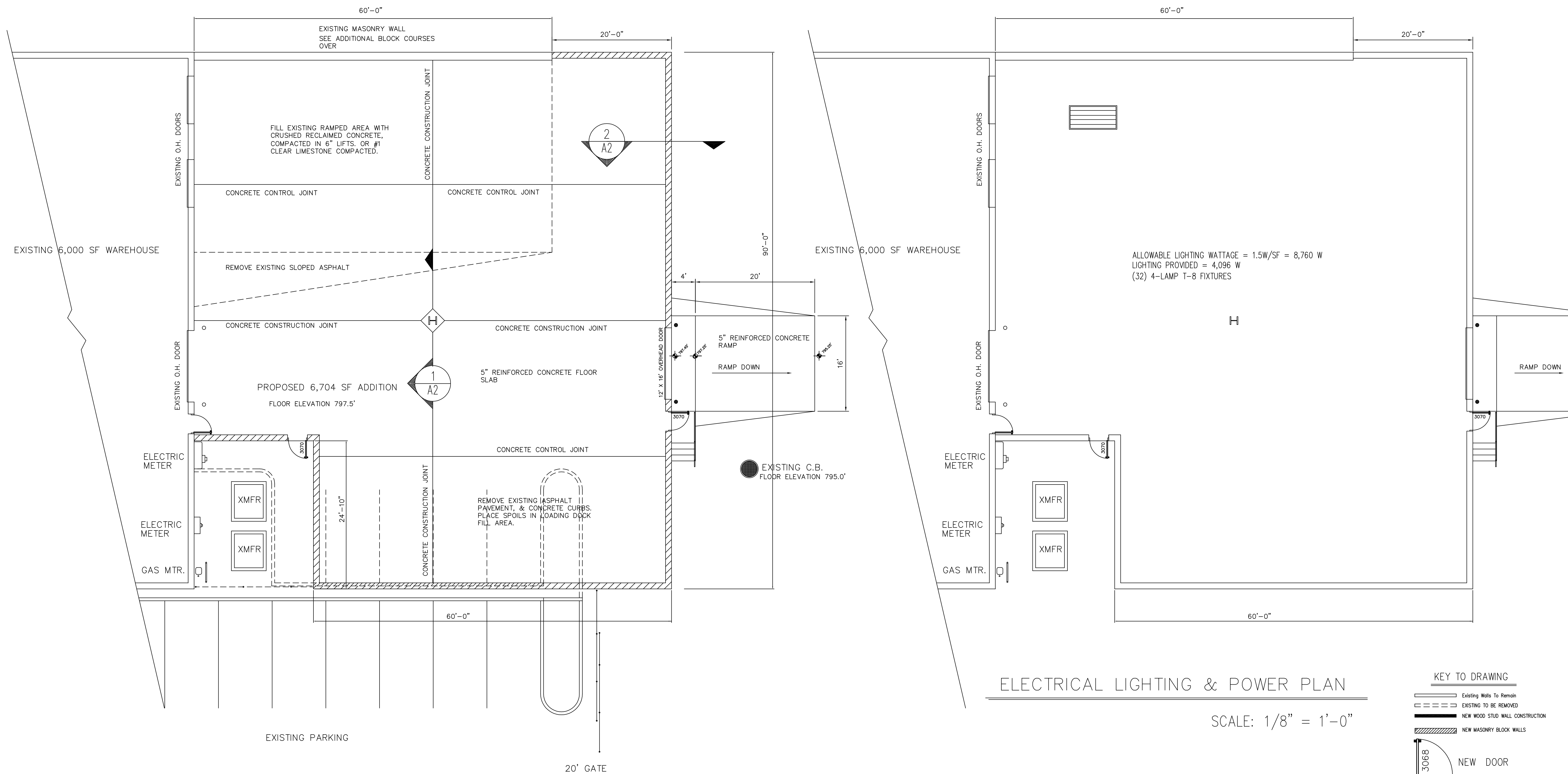
Sheet No.
A1
Of 6 Sheets



DOOR SCHEDULE						
SYM	SIZE	MATERIAL	TYPE	LOCKSET	HEADER	NOTES
A	3070 RH	H.M.		KEYED	PRECAST CONCRETE	LEVER HANDLE
B	12'X16' OVERHEAD	STL. INSUL.			W8X24	AUTOMATIC OPENER

ELECTRICAL PLAN LEGEND	
	DUPLEX RECEPTACLE - MOUNT AT 18" A.F.F. UNLESS NOTED OTHERWISE
	SUSPENDED CHORD DUPLEX OUTLET 36" A.F.F.
	GROUND FAULT INTERRUPTING DUPLEX RECEPTACLE - MOUNT AT 6" ABOVE BACK SPLASH OR COUNTERTOP UNLESS NOTED OTHERWISE
	PHONE/DATA - MOUNT AT 18" A.F.F. UNLESS NOTED OTHERWISE
	NEW SINGLE POLE SWITCH - MOUNT AT 42" A.F.F. UNLESS NOTED OTHERWISE. CONTRACTOR TO PROVIDE AS NEEDED PER LAYOUT AND CODE.
	OCCUPANCY SENSOR SWITCH
	EXIT LIGHT
	EMERGENCY LIGHTING
	5" RECESSED CAN LIGHT
	WALL SCONCE 8"
	SURFACE MOUNT
	SURFACE MOUNT - PENDANT FIXTURE

EQUIPMENT POWER REQUIREMENTS
MODINE HEATERS -

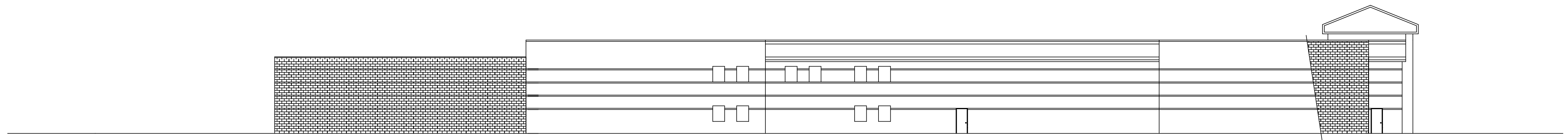


ADDITION FLOOR PLAN - SITE DEMO NOTES
6,704 SF SCALE: 1/8" = 1'-0"

ELECTRICAL LIGHTING & POWER PLAN
SCALE: 1/8" = 1'-0"

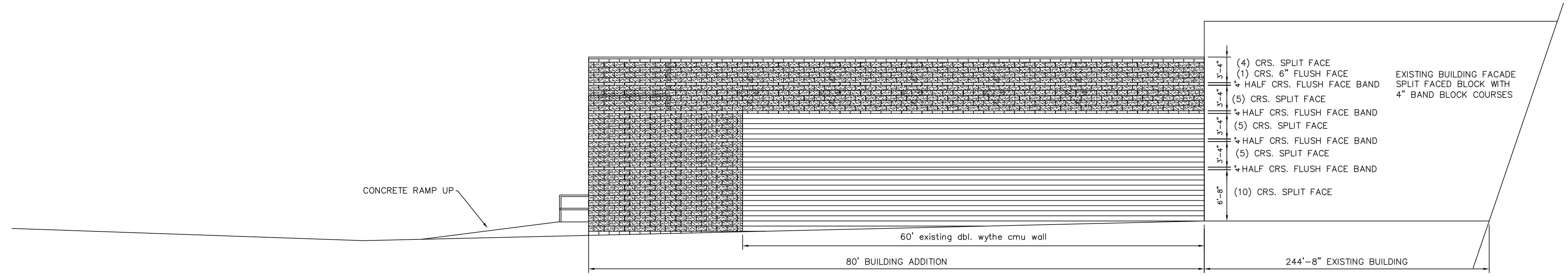
KEY TO DRAWING	
	EXISTING WALLS TO REMAIN
	EXISTING TO BE REMOVED
	NEW WOOD STUD WALL CONSTRUCTION
	NEW MASONRY BLOCK WALLS
	NEW DOOR
	EXISTING DOOR
	RELEASED FOR CONSTRUCTION
	RELEASED FOR BIDS
	RELEASED FOR PLAN REVIEW

STEVEN ROBERT SHARPE ARCHITECT
 Wisconsin Granite Depot
 Draw
 Chec
 GRADE LEVEL
 Date:
 Rev
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 131
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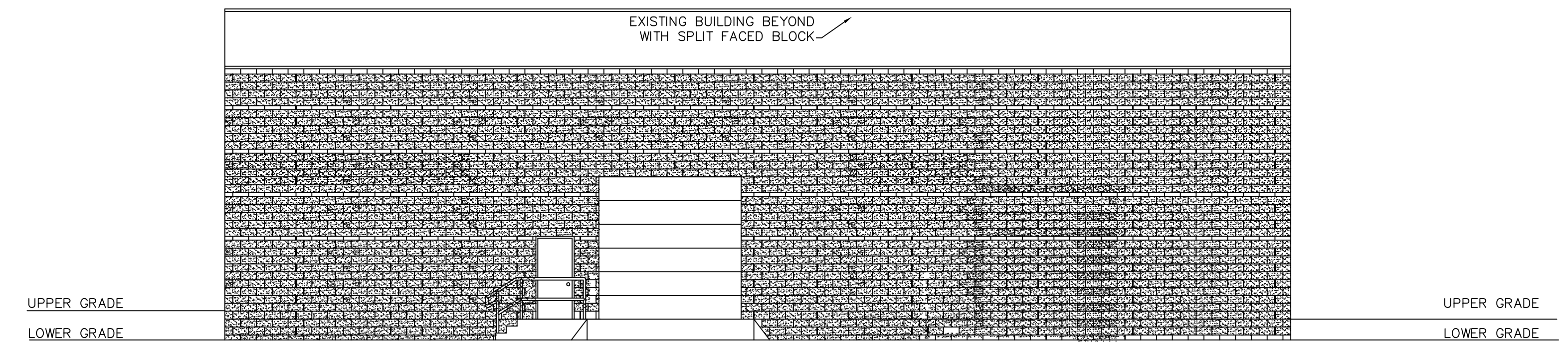
NORTH ELEVATION WITH PROPOSED ADDITION

SCALE: 1/32" = 1'-0"



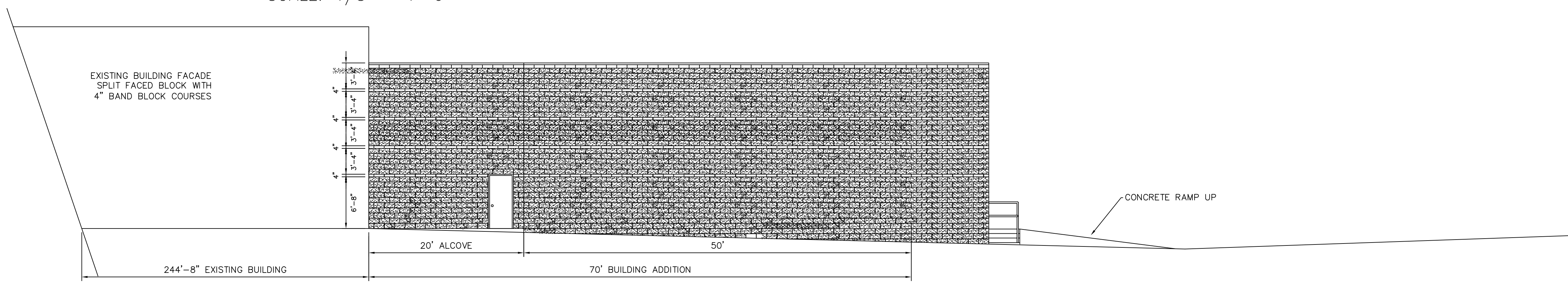
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

RELEASED FOR CONSTRUCTION
RELEASED FOR BIDS
RELEASED FOR PLAN REVIEW

STEVEN ROBERT SHARPE
ARCHITECT
5110 S. Loomis Road
Waterford, Wisconsin 53185
Ph. (262) 534-3886 Voice & Fax (414) 807-4000 Cell

Wisconsin Granite Depot
Proposed Building Addition
6720 S. 27th Street
Oak Creek, Wisconsin

Drawn: srs

Checked: SRS

ADDITION
EXTERIOR
ELEVATIONS

Date: 5 Nov. 13

Revisions:	
25	Nov. 13

Project No.
1311500

Sheet No.

A4
Of 6 Sheets



Plan Commission Report

ITEM: 5b
DATE: January 14, 2014

PROJECT: Conditions and Restrictions – Dave DeVries, SET Environmental, Inc.

ADDRESS: 9730 S. 20th St.

TAX KEY NO: 903-0015

STAFF RECOMMENDATION: That Plan Commission recommends that the Common Council adopt the conditions and restrictions as part of the conditional use permit allowing for an environmental contractor's yard with outdoor storage located at 9730 S. 20th St. after a public hearing

Ownership: Jose L. & Blanca Ibarra, 9730 S. 20th St., Oak Creek, WI 53154

Size: 2.237 acres

Existing Zoning: M-1 (PUD), Manufacturing

Adjacent Zoning: North – M-1 (PUD), Manufacturing; FF, Flood Fringe
East – M-1 (PUD), Manufacturing
South – I-1, Institutional; M-1 (PUD), Manufacturing
West – M-1 (PUD), Manufacturing; FF, Flood Fringe

Comprehensive Plan: Planned Industrial.

Wetlands: Yes, a small amount at the far eastern portion of the property.

Floodplain: None.

Official Map: N/A.

Commentary: At the December 10, 2013 meeting, the Plan Commission recommended Common Council approval of a conditional use permit for an environmental contractor's yard with outdoor storage at 9730 S. 20th St. This property is under contract with SET Environmental, Inc., who will own and operate the environmental contractor's yard.

A main concern raised at the December 10 meeting was paving. Currently, only the driveway up to the eastern corner of the existing building on the property is paved. Parking, travel, and storage areas must be paved in accordance with the Municipal Code and Engineering Design Manual. Staff has prepared conditions and restrictions - including conditions with regard to phasing of the paved parking, vehicle travel areas, and outdoor storage area(s) - for this conditional use permit for the Commission's review. If the Plan Commission is comfortable with the conditions and restrictions, the appropriate action would be to recommend that the Common Council adopt them as part of the conditional use permit.

Prepared by:

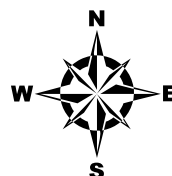
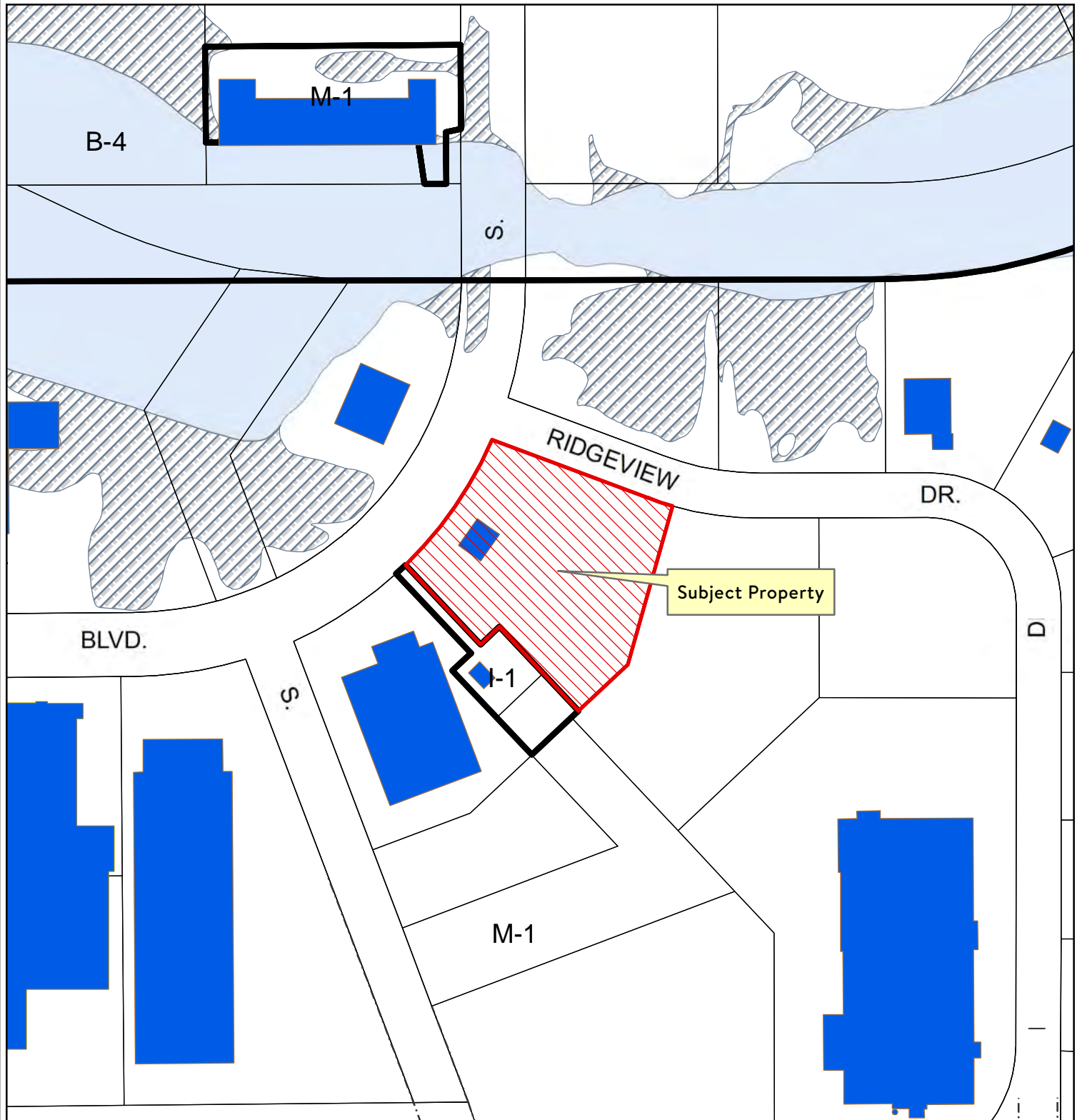
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:

Douglas Seymour, AICP
Director of Community Development

Location Map

9730 S. 20th St.



Legend	
	9730 S. 20th St.
	Existing Street Pattern
	Floodfringe
	Wetland
	Floodway

City of Oak Creek – Conditional Use Permit

DRAFT Conditions and Restrictions

Applicant: Dave, DeVries, SET Environmental, Inc. Approved by Plan Commission: 1/14/2014
Property Address: 9730 S. 20th St. Approved by Common Council: 2/4/2014
Tax Key Number: 903-0015 (Ord. #TBD)
Conditional Use: Environmental Contractor's Yard with outdoor storage.

1. LEGAL DESCRIPTION

Lot 1, Block 6, Southbranch Industrial Park, being a part of the Northwest ¼, Northeast ¼ and Southeast ¼ of Section 30, in Township 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. A precise detailed site plan for the area affected by the conditional use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) **General Development Plan**

- a) detailed building locations with setbacks
- b) square footage of building
- c) areas for future expansion
- d) area to be paved
- e) access drives (width and location)
- f) sidewalk locations
- g) parking layout and traffic circulation
 - i) location
 - ii) number of employees
 - iii) number of spaces
 - iv) dimensions
 - v) setbacks
- h) location of loading berths
- i) location of sanitary sewer (existing and proposed)
- j) location of water (existing and proposed)
- k) location of storm sewer (existing and proposed)
 - i) including detention/retention basins if needed
- l) precise location of outdoor storage
- m) location of wetlands (field verified)
- n) location, square footage and height of signs
- o) a description of the vehicles, materials and equipment to be stored at the site

- b) number, initial size and type of plantings
- c) parking lot screening/berming

3) **Building Plan**

- a) architectural elevations
- b) building floor plans
- c) materials of construction

4) **Lighting Plan**

- a) types of fixtures
- b) mounting heights
- c) type of poles
- d) photometrics of proposed fixtures

5) **Grading, Drainage and Stormwater Management Plan**

- a) contours (existing and proposed)
- b) location of storm sewer (existing and proposed)
- c) location of stormwater management structures and basins (if required)

6) **Fire Protection**

- a) location of existing and proposed fire hydrants (public and private)
- b) interior floor plan
- c) materials of construction

2) **Landscape Plan**

- a) screening plan for outdoor storage

B. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.

C. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

- D. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, etc.) shall be subject to approval by the City Engineer.
- E. If required by the City of Oak Creek, public easements for telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted; provided there is access to each of the aforementioned systems and their appurtenances.
- F. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- G. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit.

3. PARKING AND ACCESS

A. Parking requirements for this project shall be provided in accordance with Section 17.0403 of the Municipal Code and the plans approved by the Plan Commission on January 14, 2014.

B. Where 90° parking is indicated on the site plans, individual-parking stalls shall be nine (9) feet in width by eighteen (18) feet in length. The standards for other types of angle parking shall be those as set forth in Section 17.0403(d) of the Municipal Code.

C. Movement aisles for 90° parking shall be at least twenty-two (22) feet in width.

D. All off-street parking areas, areas over which vehicles will travel, and all areas upon which materials and/or equipment will be stored shall be surfaced with an all-weather wearing surface of plant mix asphaltic concrete over crushed stone base subject to approval by the City Engineer. A proposal to use other materials shall be submitted to the Plan Commission and the Engineering Department for approval. Phasing of the parking area shall include the installation of concrete or similar visual barriers to prevent the parking, travel, or storage of materials on or over future phases/expansion areas. All approved parking areas, private drives, and storage areas as depicted on plans dated October 23, 2013, shall be in place prior to the operation of the business.

E. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.

F. All driveway approaches to this property shall be in compliance with all the standards set forth in Chapter 6 of the Oak Creek Municipal Code. Any off-site improvements shall be the responsibility of the property owner.

G. All off street parking areas shall be landscaped in accordance with Sections 17.0330 & 17.0403 of the Municipal Code.

H. All areas not used for vehicle parking and travel or for the storage of materials and equipment shall be re-established with vegetation.

4. LIGHTING

All plans for new outdoor lighting shall be reviewed and approved by the Electrical Inspector in accordance with Section 17.0808 of the Municipal Code.

5. LANDSCAPING

A. The site containing this conditional use shall be maintained in accordance with the site, building, and landscaping plans dated May 23, 2008 and approved by the City of Oak Creek Plan Commission on August 10, 2010. All plans for landscaping changes shall be submitted to the Plan Commission for their review and approval.

B. Parking Lot Screening. Those parking areas for five (5) or more vehicles if adjoining a residential zoning district line or public right-of-way shall be screened from casual view by an earth berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way. All screening materials shall be placed and maintained at a minimum height of three (3) feet.

1. At least one ornamental deciduous tree, no less than 2.5" caliper, shall be incorporated into the design for every 35 linear feet of public street frontage.
2. At least 25% of the total green space area shall be landscaped utilizing plant materials, other than maintained turf, that contribute to ground coverage.
3. For purposes of determining the number of plants necessary to meet the minimum 25% ground coverage requirement, plant types are categorized by their general size and potential mature at-grade coverage area.

<u>Plant Type</u>	<u>Area of Coverage</u>
	<u>Provided</u>
Evergreen Tree (>8' Dia.)	75 sq. ft.
Large Shrub (6-8' Dia.)	38 sq. ft.
Medium Shrub (4-6' Dia.)	20 sq. ft.
Small Shrub (2-4' Dia.)	12 sq. ft.
Perennial (4.5" Pot)	6 sq. ft.

* Note shade and ornamental trees are not considered a plant type contributing to "at grade" coverage.

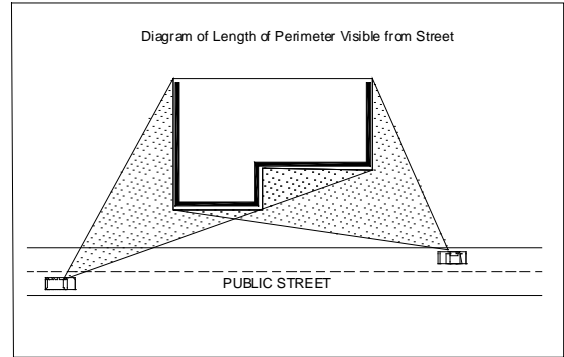
4. To assure a diversity of color, texture and year-round interest, the total number of plant materials must be comprised of a minimum 25% evergreens, but no more than 70%.
- C. Interior Landscape Area. All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape islands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. Landscape islands or peninsulas shall be dispersed throughout the off-street parking area. Landscape islands shall provide a minimum 30-inch clear area for vehicle overhang and snow storage. One shade tree shall be provided within the interior planting area for every 300 square feet of interior landscaping.
- D. Perimeter Landscape Area. In an effort to prevent adjacent parking lots from becoming one large expanse of paving, perimeter landscaping shall be required. The perimeter strip shall be a minimum 5 feet in width. A minimum of one tree and five shrubs is required for every 35 linear feet of the perimeter of the parking area and located within the perimeter landscape area.
- E. Landscaping Adjacent to Buildings. There shall be a minimum three-foot landscaped area provided between the edge of pavement and the entrance elevation of the building.
- F. Screening of Trash. Trash receptacles shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.

- G. Screening of Ground Mounted Mechanical Equipment. Ground mounted mechanical equipment shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- H. Screening of Outdoor Storage – Outdoor storage **shall be located behind the existing fence.**
- I. Screening of Roof Mounted Mechanical Equipment - Roof mounted mechanical equipment shall be screened from casual view.
- J. Retaining Walls. No retaining wall shall exceed four (4) feet in height unless it has been designed and its construction supervised by a Professional Engineer. A retaining wall may be stepped to achieve greater height. Each step of the wall shall be no more than four (4) feet in height and shall be set back a minimum of three (3) feet from the previous step. Acceptable materials for retaining walls are: segmental masonry type, timber, railroad ties, or concrete
- K. Berms. Side slopes of berms shall not exceed a gradient of 1-ft. vertical to 3-ft. horizontal unless approved by the City Engineer.
- L. Buffer Yards. Appropriate buffers shall be provided between dissimilar uses as set forth in Section 17.0205 (d) of the Municipal Code, and in accordance with the plans approved by the Plan Commission on May 23, 2000 and September 24, 2013.
- M. Submittal Requirements. A Landscape Plan (to scale) must be submitted which includes details of all proposed landscaping, buffering and screening, including the estimated cost of the landscaping. These plans shall be prepared by a landscape professional and show the location and dimensions of all existing and proposed structures, parking, drives, right-of-ways and any other permanent features, and all other information required by the Plan Commission, including but not limited to the following:
 - 1. A plant list and coverage chart showing the location, quantity, size (at time of planting and at maturity), spacing and the scientific and common names of all landscape materials used.
 - 2. The location and type of existing trees over four (4) inches in diameter (measured six (6) inches above the ground) within the area to be developed.
 - 3. The location and percent of slope of all proposed berms using one (1) foot contours.
 - 4. Detailed sections showing elevations of all proposed architectural features, such as walls, lighting or water features.
 - 5. Methods used in staking, mulching, wrapping or any other early tree care used.
 - 6. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule.

6. ARCHITECTURAL STANDARDS

- A. The site and building containing this conditional use shall be constructed and maintained in accordance with the site, building, landscaping and lighting plans dated May 23, 2008 and approved by the City of Oak Creek Plan Commission on August 10, 2010. Any changes to these plans shall be submitted to the Plan Commission for their review and approval.**
- B. No building shall be permitted if the design or exterior appearance is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

C. No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades of surrounding properties and presents an attractive appearance to the public. Predominant exterior building materials must be of high quality. These include, but are not limited to brick, stone and tinted/textured concrete masonry units (CMU's). Smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel panels are not permitted as a primary exterior building material.



- D. The facade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with glass, brick or decorative masonry material.
- E. Material and color samples shall be submitted to the Plan Commission for review and approval.
- F. The Plan Commission has the discretion to adjust this minimum for building additions.
- G. The relative proportion of a building to its neighboring buildings or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.
- H. Each principal building shall have a clearly defined, highly visible customer entrance with features such as canopies or porticos, arcades, arches, wing walls, and integral planters.
- I. Sides of a building that are visible from adjoining residential properties and/or public streets should contribute to the pleasing scale features of the building by featuring characteristics similar to the front façade of the building.
- J. Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.
- K. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule; as well as the approved protection of the identified wetlands and woodlands on the approved plan.

7. BUILDING AND PARKING SETBACKS

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure	40'	20'	20'
Accessory Structure*	40'	20'	20'
Off-street Parking	40'	0'	0'

* No accessory structures shall be permitted in the front yard.

8. MAINTENANCE AND OPERATION

- A. The number, size, location and screening of appropriate solid waste collection units shall be subject to

approval of the Plan Commission as part of the required site plan. Solid waste collection and recycling shall be the responsibility of the owner.

B. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the owners.

C. Outdoor storage shall be limited in accordance with Section 5(H). A detailed plan for the storage areas shall be submitted to the Plan Commission for review and approval.

9. SIGNS

All signs shall conform to the provisions of Sec. 17.0706 of the Municipal Code. All signs must be approved by the Plan Commission as part of the site plan review process.

10. PERMITTED USES

A. All permitted uses in the M-1, Manufacturing (PUD) zoning district.

B. One (1) environmental contractor's yard with outdoor storage within the existing fenced area.

C. Usual and customary accessory uses to the above listed permitted uses.

11. TIME OF COMPLIANCE

The operator of the conditional use shall commence operations in accordance with these conditions and restrictions for the conditional use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a conditional use permit. This conditional use approval shall expire within twelve (12) months after the date of adoption of the ordinance if an occupancy permit has not been issued for this use. The applicant shall re-apply for a conditional use approval, prior to recommencing work or construction.

12. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, ordinances, and orders not heretofore stated or referenced, is mandatory.

13. VIOLATIONS & PENALTIES

Any violations of the terms of this conditional use permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances. If the owner, applicant or operator of the conditional use permit is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12 month period the city shall have the right to revoke this conditional use permit, subject to the provisions of paragraph 14 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this conditional use permit or to seek an injunction regarding any violation of this conditional use permit or any other city ordinances.

14. REVOCATION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code.

15. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner's authorized representative

Date

(please print name)

DRAFT



Plan Commission Report

ITEM: 5c

DATE: January 14, 2014

PROJECT: Zoning Text Amendment - Section 17.0317(c), M-1, Manufacturing District Conditional Uses & Section 17.0402, Definitions

STAFF RECOMMENDATION: That the Plan Commission recommends to the Common Council that the M-1, Manufacturing Conditional Uses and Definitions Sections of the Zoning Ordinance be amended as proposed following a public hearing.

Commentary: A request was submitted recently to consider allowing an indoor playground within the M-1, Manufacturing zoning district. Currently, indoor recreation facilities are not allowed as permitted or conditional uses in this district. Staff is proposing an amendment to allow Indoor Commercial Recreation Facilities as Conditional Uses, and to include the following as a definition:

A commercial use, with or without seating for spectators, conducted entirely within a building for recreational activities including, but not limited to, playgrounds, miniature golf courses, driving ranges, batting cages, gymnasiums, tennis courts, volleyball courts, basketball courts, trampoline parks, swimming pools, billiard or pool halls.

If the Plan Commission is comfortable with the above, the appropriate action would be to recommend this zoning text amendment with the proposed definition to the Common Council for approval following a public hearing.

Prepared by:

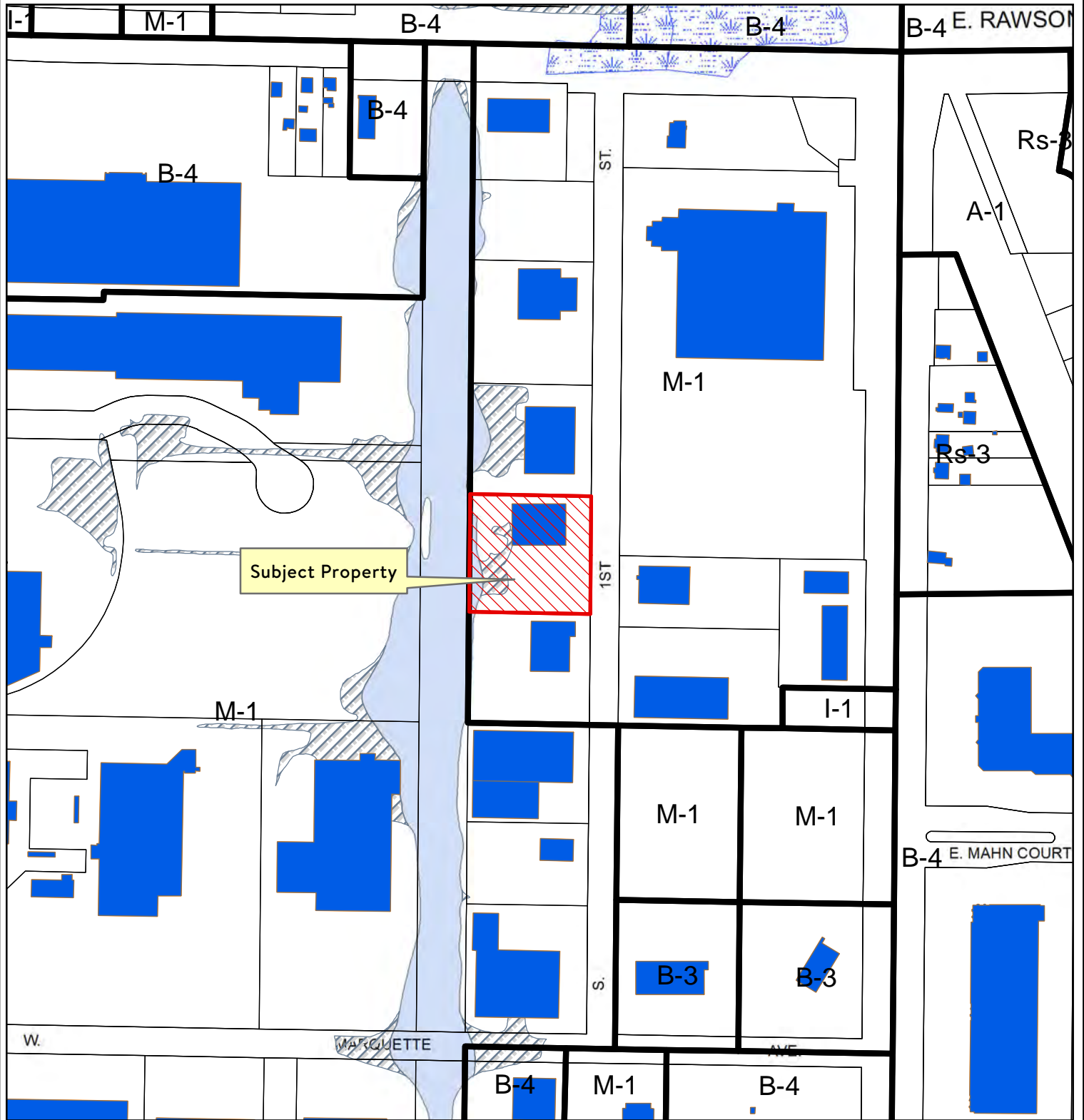
Respectfully Submitted by:

Kari Papelbon, CFM, AICP
Planner

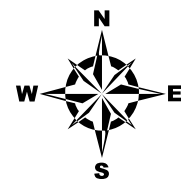
Douglas Seymour, AICP
Director of Community Development

Location Map

7265 S. 1st St.



Subject Property



Legend	
	7265 S. 1st St.
	Existing Street Pattern
	Floodfringe
	Wetland
	Floodway

Proposal for private indoor child and family recreation center
Located at 7265 S. 1st St.

Details of Proposal:

“Chasing Tales” is a proposed family play center that will focus on the social, physical, and intellectual development of children from the ages of 0-5. After school activities for children aged 6-10 will also be offered.

Some of the activities that families will find at Chasing Tales are a large, soft play structure, an open gym area to play games and themed areas for children to discover, explore, and create art, music, theater, construction, science, and role play scenarios. The establishment will be available for open play as well as teacher led activities such as story time, physical fitness, and music that will be created by a certified teacher.

Birthday party hosting will be another service that this business provides. A choice of packages will be provided as well as an a la carte menu to personalize the party to fit the needs of each family.

Special events will be held throughout the year, focused on holiday themes such as Valentine’s Day, Easter, Halloween, Christmas, and New Year’s. At these events families will be able to play games together, create crafts, enjoy snacks, and have a picture taken.

Lastly, summer programs and workshops would be developed for both pre-school and school age children on a range of topics and activities, including but not limited to theater, art, team building, and science.

Hours of Operation:

closed Tuesday

Monday, Wednesday, Thursday 9:00-6:00

Friday 9:00-7:00

Saturday 10:00-7:00

Sunday 11:00-6:00

Frequency of Deliveries:

Deliveries would occur once a week.

Number of Employees:

1 part-time manager to become a full-time employee once the business has grown

3-4 part-time employees mostly on the weekends

More employees will be added as the business grows and there is a greater demand.

Employees per shift:

During weekday hours there would be 1 employee to open the business with a second employee coming in after the first hour. 2 employees would be there until closing. There would be 2 shifts per day.

Weekend hours would require 2-3 employees be present during all open hours. In addition, there would be 1 employee to host each birthday party scheduled for those days.

Description of any interior/exterior modifications to the property:

Removal of carpeting and laying vinyl tile in its place.

Add a door to an existing office.

Install a larger utility tub and counter.

Build a knee wall around 2 areas in the warehouse, one approximately 400 square feet and the other 500-600 square feet. In those walled off areas either lay vinyl tile or use a commercial-grade concrete paint on the floor.

Outside Storage:

None

Landlord has agreed to let me use existing dumpster. If the need arises I would need one additional dumpster.

Parking Stalls:

There are currently 40 parking stalls to be shared with all the tenants of the building.



Plan Commission Report

ITEM: 5d

DATE: January 14, 2014

PROJECT: Rezone and Conditional Use – Robert Bach, P2 Development, Inc.

ADDRESS: 1980 W. Rawson Ave.

TAX KEY NOS: 736-8995-001

STAFF RECOMMENDATION: That the Plan Commission recommends to the Common Council that the property at 1980 W. Rawson Ave. be rezoned from Rs-4, Single Family Residential to Rm-1, Multifamily Residential with a Conditional Use for a community-based residential facility in excess of sixteen (16) dwelling units per structure after a public hearing.

Ownership: Legacy/Rawson, LLC, 1694 First St., Highland Park, IL 60035

Size: 6.295 acres

Existing Zoning: Rs-4, Single Family Residential

Adjacent Zoning: North – Rm-1 (PUD), Multifamily Residential
East – Interstate 94; Rs-4, Single Family Residential
South – P-1, Park District
West – Rs-4, Single Family Residential

Comprehensive Plan: Mixed Residential.

Wetlands: Yes, on the northern portion of the property.

Floodplain: N/A.

Official Map: An officially-mapped street exists on the western portion of the property.

Commentary: P2 Development, Inc. is requesting that the property at 1980 W. Rawson Ave. be rezoned from Rs-4, Single Family Residential to Rm-1, Multifamily Residential with a conditional use. in anticipation of constructing two proposed 2-story community-based residential facility buildings on the property, to be known as Lake Terrace South. The existing buildings on the property will be removed prior to construction. Each new building will contain approximately 45 dwelling units (90 total units) with living, dining, activity, and office space. Site, building, landscaping, and related plans will be reviewed at a later date should the rezone be approved.

This type of facility will serve “frail elderly and residents with memory-related syndromes such as dementia and Alzheimer’s” on a 24/7/365 basis. Peak employee shifts and visiting times are between 2 and 6 PM. It is anticipated that approximately 3-5 deliveries per week will occur. Parking is shown on the plans in conformance with setback requirements; however, due to the nature of the proposed use, fewer than the required number of parking stalls (135) are shown on the plans. Most of the residents are expected to be non-ambulatory and will not drive. The parking, as shown, will primarily accommodate staff and visitors. A request for a modification to the minimum parking requirement has been submitted.

According to the Comprehensive Plan, this area has been identified for Mixed Residential. A community-based residential facility in this area would be in conformance with the goals, objectives, and policies of the Comprehensive Plan. Its proximity to multifamily residential development to the north, setback from the single-family residential neighborhood to the west, and location on Rawson Avenue are positive attributes that contributed to staff recommendation for approval.

If the Plan Commission recommends Common Council approval of the Conditional Use Permit, staff will prepare conditions and restrictions for review at the January 28, 2014 meeting.

Prepared by:



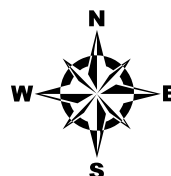
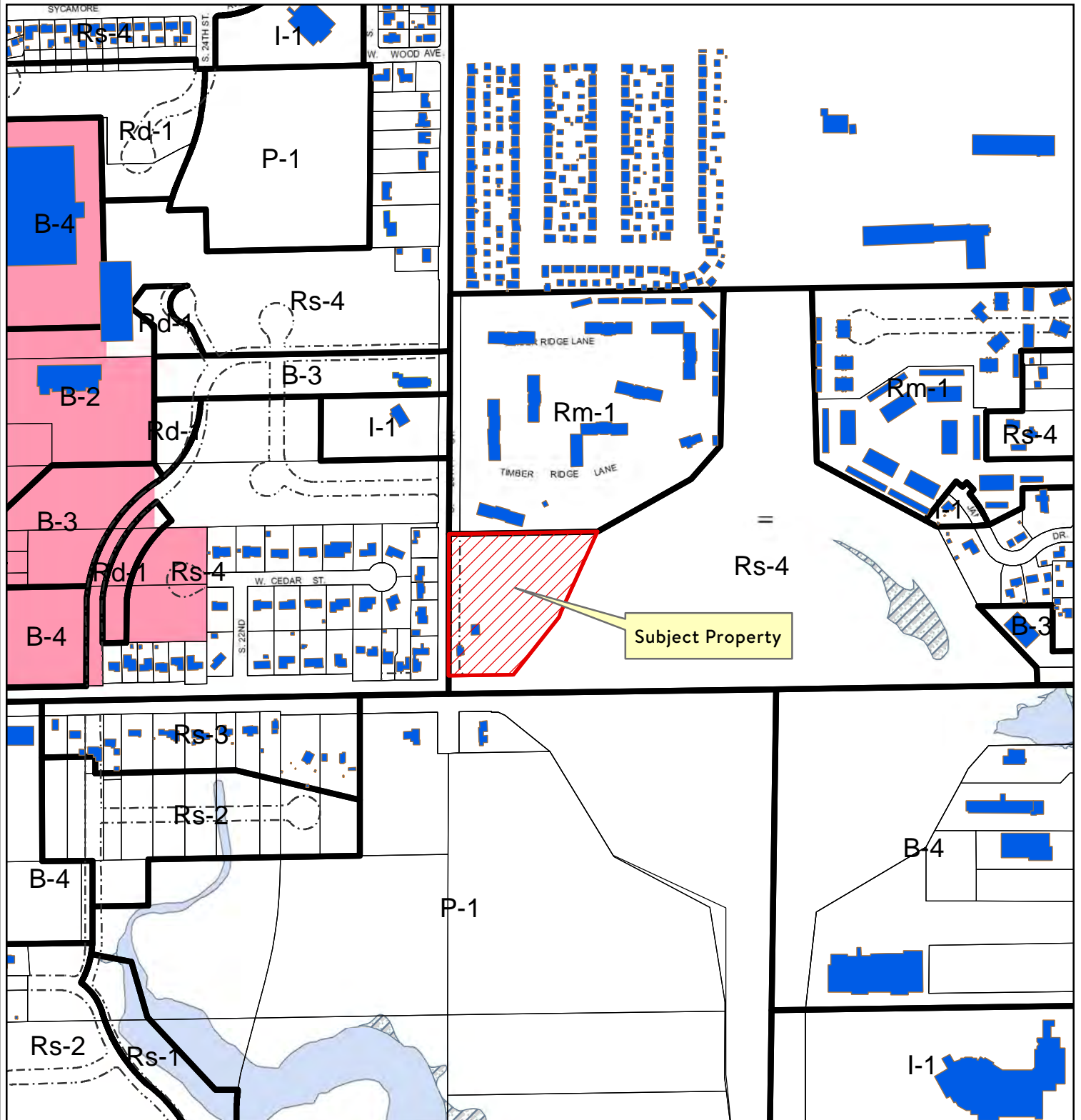
Kari Papelbon, CFM, AICP
Planner

Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map 1980 W. Rawson Ave.



Legend	
	Parcels 2012 selection 4
	Existing Street Pattern
	Floodfringe
	Wetland
	Floodway
	Flood Fringe (FF)
	Shoreland Wetland Conservancy (C-1)
	Lakefront Overlay District (LOD)
	Mixed Use Neighborhood Overlay (NO)
	Mixed Use Office Overlay (OO)
	Regional Retail Overlay District (RR)

Hours of Operation: 24/7/365 Peak periods, M-F 2pm-6pm shift change and visiting

Frequencies of Deliveries: 3 to 5 deliveries per week.

Number of employees per shift: 1st Shift: 12; 2nd Shift 8; 3rd Shift 5

A summary of operations:

Lake Terrace provides care, room, meals, and activities in a secure, safe environment for the frail, elderly and memory care residents. Those served are the frail elderly and residents with memory-related syndromes such as dementia and Alzheimer's. Most residents utilize a wheelchair to help ambulate and very few drive. Care and staffing are provided on a 24/7/365 day a year basis. Founded in 1988, the family owned, for-profit care organization currently employs over 75 caregivers, nurses, employees and administrative staff, all located on a three building, 105 bed campus located at 6801 S. Loomis Road in Greendale. Current occupancy is at 85% campus-wide and rising. Referral sources include hospitals, rehabilitation centers, senior apartments, social service agencies and private referral agencies, with the projected need for facilities and services continuing to follow overall demographic trends for the next 20 plus years. Lake Terrace looks to add an additional 90 units at the proposed site in Oak Creek, which is located within 5 miles of the current, land-locked campus.

Request for Minimum Parking Standards Modification

We wish to request a modification to the minimum parking standards for our CBRF project. Our experience has been that do to the clients that will reside at these two facilities are primarily non ambulatory. At our most recent building of the same size (48 units located at 68th & Loomis in Greendale) we have only 2 residents that drive. Our parking is primarily for employees and visitors. We hope that you will consider our request.

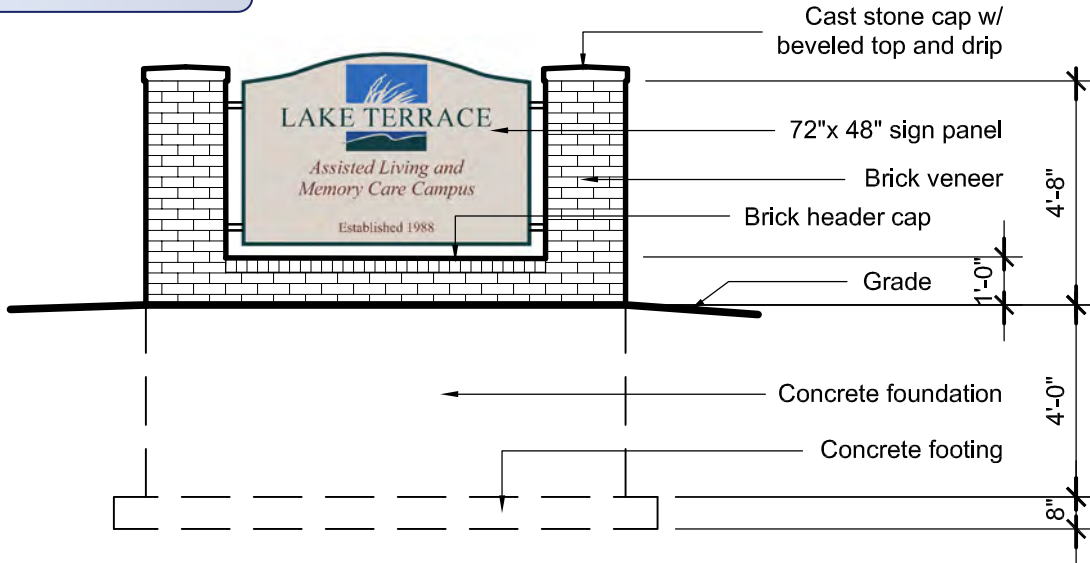
Thank you,

Robert Bach

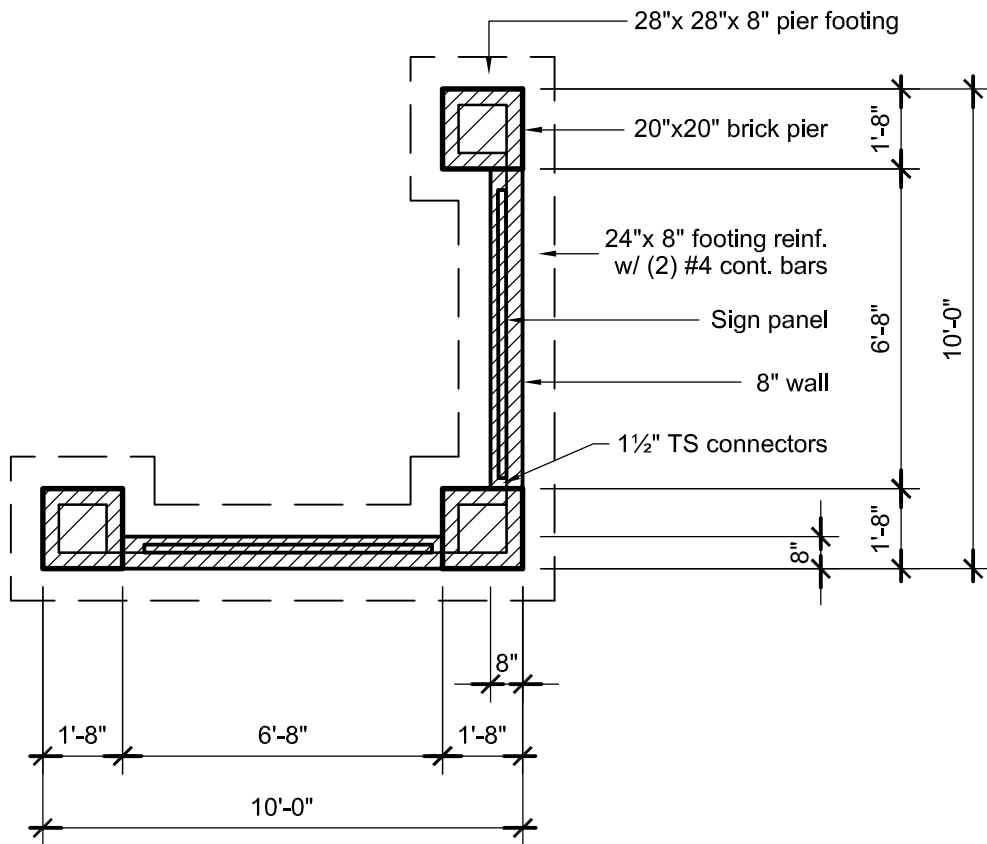
P2 Development Co.

RECEIVED

By Kari Papelbon at 9:31 am, Dec 17, 2013



ELEVATION



PLAN

MAIN SITE SIGN

1/4" = 1'-0"

RECEIVED
By Kari Papelbon at 9:30 am, Dec 17, 2013

PROJECT DATA

OWNER/DEVELOPER
P2 Development Company LLC
2644 Cedar Sauk Road
Saukville, WI 53080
Robert Bach
(262) 377-7259
Robert3Bach@aol.com

ARCHITECT
American Design & Build, Inc.
3350 S. River Road
West Bend, WI 53095-7884
J. Patrick Stors
(262) 334-3811
pat@amdbi.com

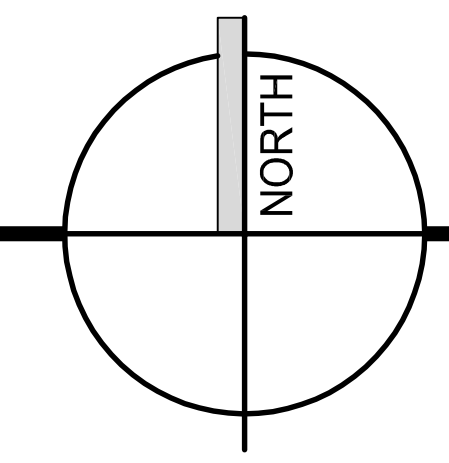
CIVIL ENGINEER
Quam Engineering, LLC
544 S. Main Street, Suite B
West Bend, WI 53095
Kevin Parish
(262) 338-6641
kjparish@sbcglobal.net

SITE DATA

TOTAL LOT	
LOT AREA.....	274,230.85 sq.ft. 6.295 Acres
BUILDING FOOTPRINTS.....	43,816 sq.ft.
BUILDING AREA.....	87,056 sq.ft.
F.A.R.....	31.748%
PAVEMENT AREA.....	52,174 sq.ft.
"GREEN" AREA.....	178,241 sq.ft.
G.A.R.....	64.997%
PARKING.....	72 spaces + 11 handicap spaces
NORTH PARCEL	
PARCEL AREA.....	218,875.85 sq.ft. 5.025 Acres
BUILDING FOOTPRINTS.....	43,816 sq.ft.
BUILDING AREA.....	87,056 sq.ft.
F.A.R.....	39.774%
PAVEMENT AREA.....	44,578 sq.ft.
"GREEN" AREA.....	126,761 sq.ft.
G.A.R.....	57.91%
FUTURE R.O.W. AREA.....	18,991.46 sq.ft. 0.596 Acres
PARCEL AREA EXCLUDING FUTURE R.O.W.....	199,884.39 sq.ft. 4.589 Acres
"GREEN" AREA EXCLUDING FUTURE R.O.W.....	107,770 sq.ft.
G.A.R. EXCLUDING FUTURE R.O.W. AREA.....	49.24%
PARKING.....	72 spaces + 11 handicap spaces
SOUTH PARCEL	
PARCEL AREA.....	55,354.69 sq.ft. 1.270 Acres



SITE PLAN



1" = 40'

P2 DEVELOPMENT COMPANY LLC
General Contracting / Construction Management
2644 Cedar Sauk Rd., Saukville, WI 53080
Phone: 262 377-7259 Fax: (262) 289-6907 www.p2development.com

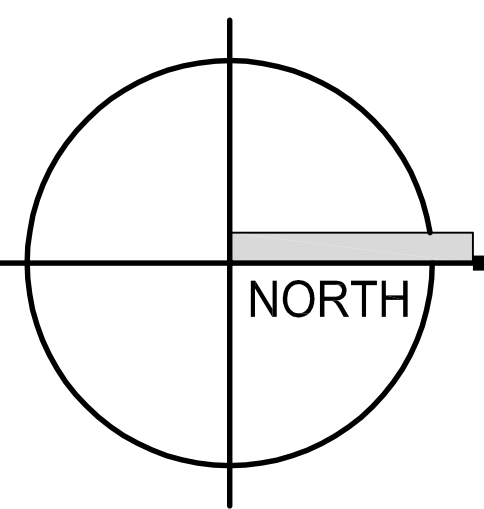
PROPOSED CBRF-CNA
LAKE TERRACE SOUTH
1950 W. RAWSON AVENUE
CITY OF OAK CREEK, MILWAUKEE COUNTY

Document Date	10 DEC 2013
Project Number	13029
Sheet Title	SITE PLAN
Sheet Number	

A-100



SECOND FLOOR PLAN



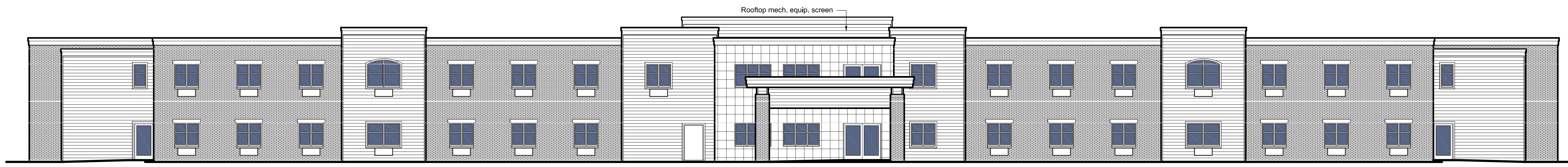
3/32" = 1'-0"

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 General Contracting / Construction Management
 2644 Cedar Sauk Rd., Saukville, WI 53080
 Phone: 262 377-7259 Fax: (262) 289-6907 www.p2development.com

PROPOSED CBRF-CNA
LAKE TERRACE SOUTH
 1950 W. REAWSON AVENUE
 CITY OF OAK CREEK, MILWAUKEE COUNTY

Issue
Document Date 10 DEC 2013
Project Number 13029
Sheet Title 2nd FLOOR PLAN
Sheet Number

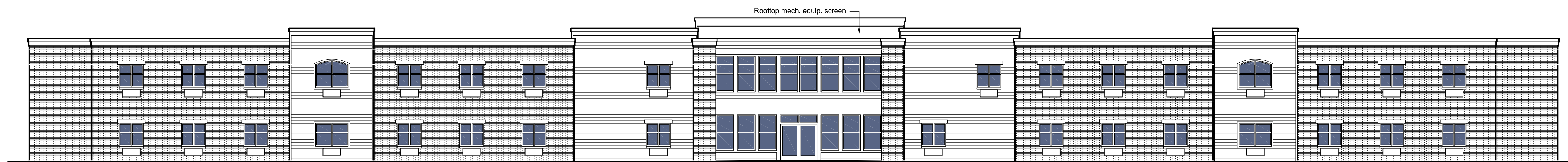
A-102



EAST ELEVATION

Building "A"

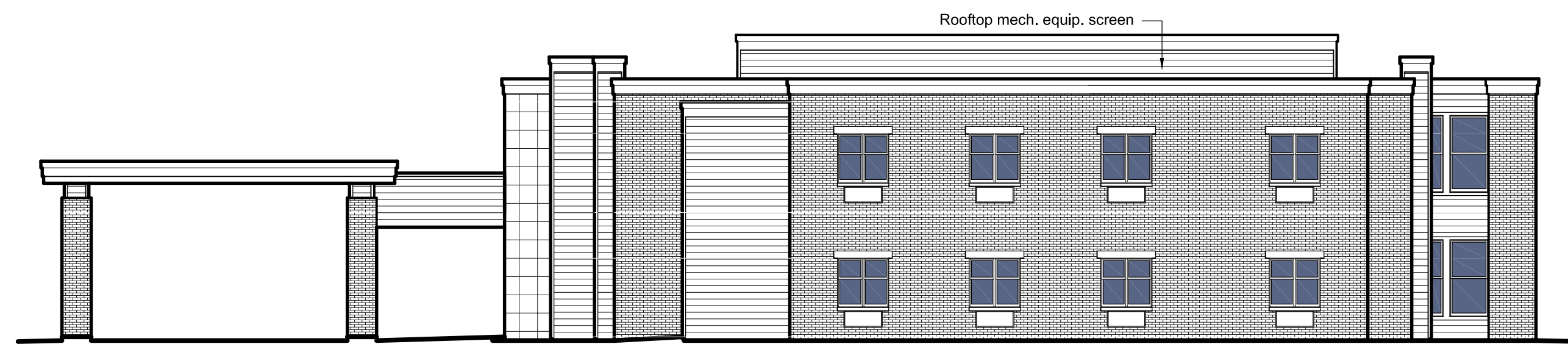
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WEST ELEVATION

Building "A"

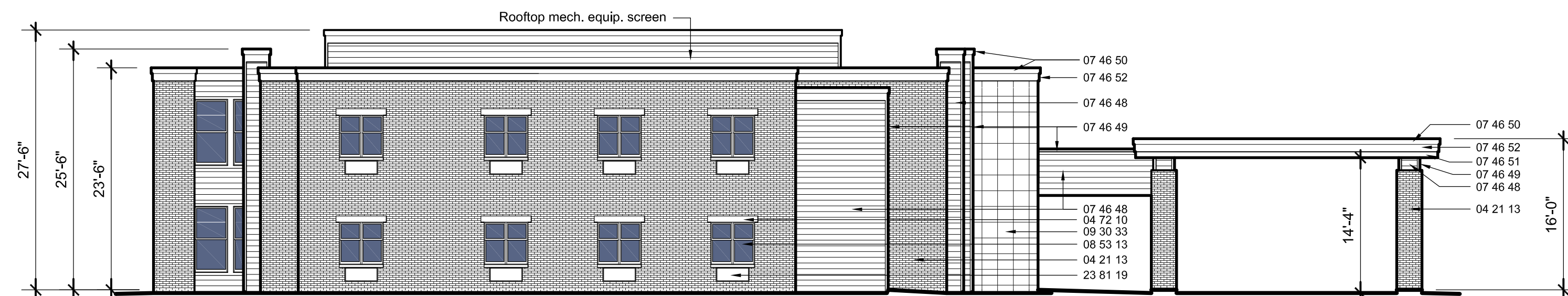
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NORTH ELEVATION

Building "A"

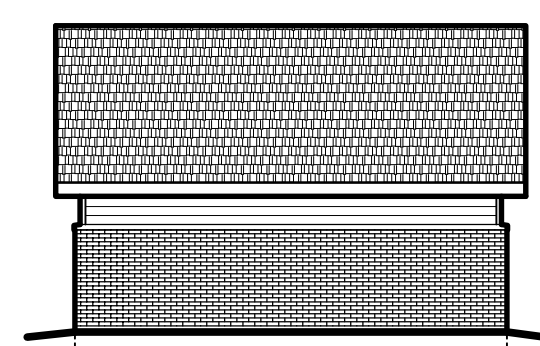
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SOUTH ELEVATION

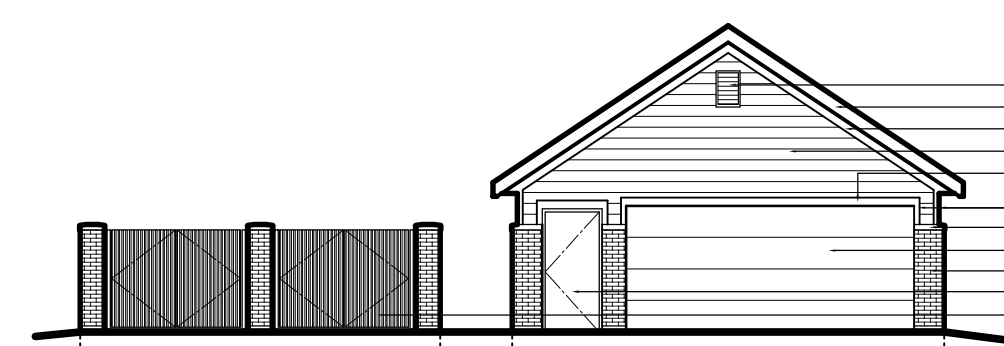
Building "A"

3/32" = 1'-0"



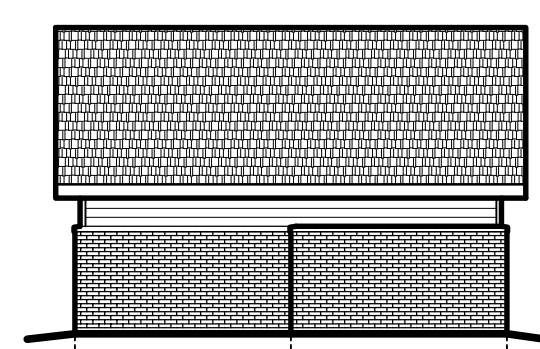
EAST

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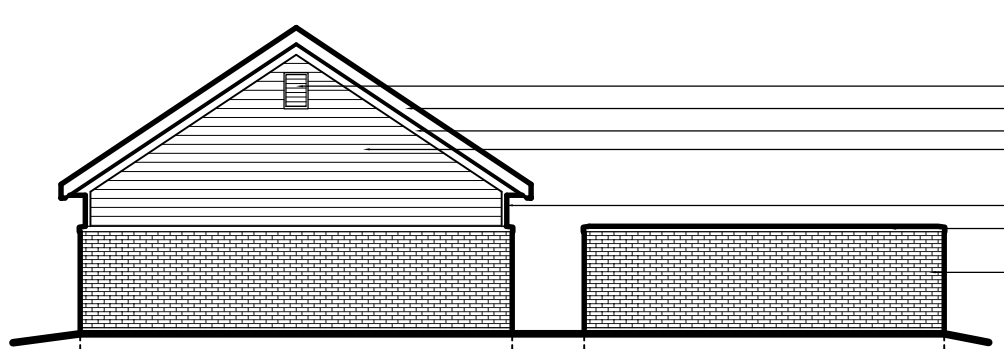
SOUTH ELEVATION

Maintenance Bldg. and Dumpster Corral 3/32" = 1'-0"



WEST

3/32" = 1'-0"



NORTH ELEVATION

Maintenance Bldg. and Dumpster Corral 3/32" = 1'-0"

- 10 71 13
- 07 46 51
- 07 46 52
- 07 46 48
- 07 46 49
- 07 46 49
- 14 85 30
- 08 96 13
- 04 21 13
- 08 13 14
- 32 31 00

- 10 71 13
- 07 46 51
- 07 46 52
- 07 46 48
- 07 46 49
- 14 85 30
- 04 21 13

EXTERIOR MATERIALS

- 04 21 13 Brick Veneer. Hanson Brick Greenwood Blend. 1/2 lap running bond. Natural gray mortar.
- 04 21 14 Brick Veneer. Hanson Brick Greenwood Blend. Soldier course. Natural gray mortar.
- 04 72 10 Cast Stone Masonry. Nom. 4" thick x 8" high lintels. Color: Match Chilton Stone sills.
- 04 85 30 Natural Thin Veneer. Buechel Stone Corp. BSC-304-NTVSILL sill stone. Chilton Stone.
- 07 46 48 Fiber-cement board lap siding. James Hardie International. Select CedarMill® 7/8". Color: JH10-30 Woodland Cream
- 07 46 49 Fiber-cement board. James Hardie International. HardieTrim® 3/4 Rustic. 3/4" x 3 1/2" corner trim and casing. Color: JH10-30 Woodland Cream.
- 07 46 50 Fiber-cement board. James Hardie International. HardieTrim® 3/4 Rustic. 3/4" x 7 1/2" fascia. Color: JH10-30 Woodland Cream.
- 07 46 51 Fiber-cement board. James Hardie International. HardieTrim® 3/4 Rustic. 3/4" x 9 1/4" fascia. Color: JH10-30 Woodland Cream.
- 07 46 52 Fiber-cement board. James Hardie International. HardieTrim® 3/4 Rustic. 3/4" x 11 1/4" fascia. Color: JH10-30 Woodland Cream.
- 08 13 13 Hollow metal door. 18ga. urethane core primed embossed raised panel half-light steel door. One coat eggshell finish alkyd paint - color: white
- 08 41 13 Wide-stile Aluminum Storefront Glazing System. Nom. 2" x 5" thermally broken white pre-finished aluminum framing with 1" argon filled low-e glazing.
- 08 36 13 Pre-finished steel flush panel sectional upward acting door with standard 2" track, weatherstripping, bulb astragal and standard lock. Color: White
- 08 53 13 Vinyl Windows. Vinyl Kraft Windows or similar. Single-hung units with Energy Kraft glass system. Color: White exterior, oak interior.
- 08 91 19 Louver vent. Vinyl attic vent louver with screen. Nom. 16"x24". Color: White
- 09 30 33 Tiling. Nom. 20" x 20" x 3/8" porcelain stone tile.
- 23 81 19 Packaged room HVAC unit. See HVAC plans. Exterior louver color: White
- 32 31 00 Galvanized steel chain link double gate with cedar privacy slats.

PROPOSED CBRF-CNA

LAKE TERRACE SOUTH

1950 W. REAWSON AVENUE
 CITY OF OAK CREEK, MILWAUKEE COUNTY

Issue

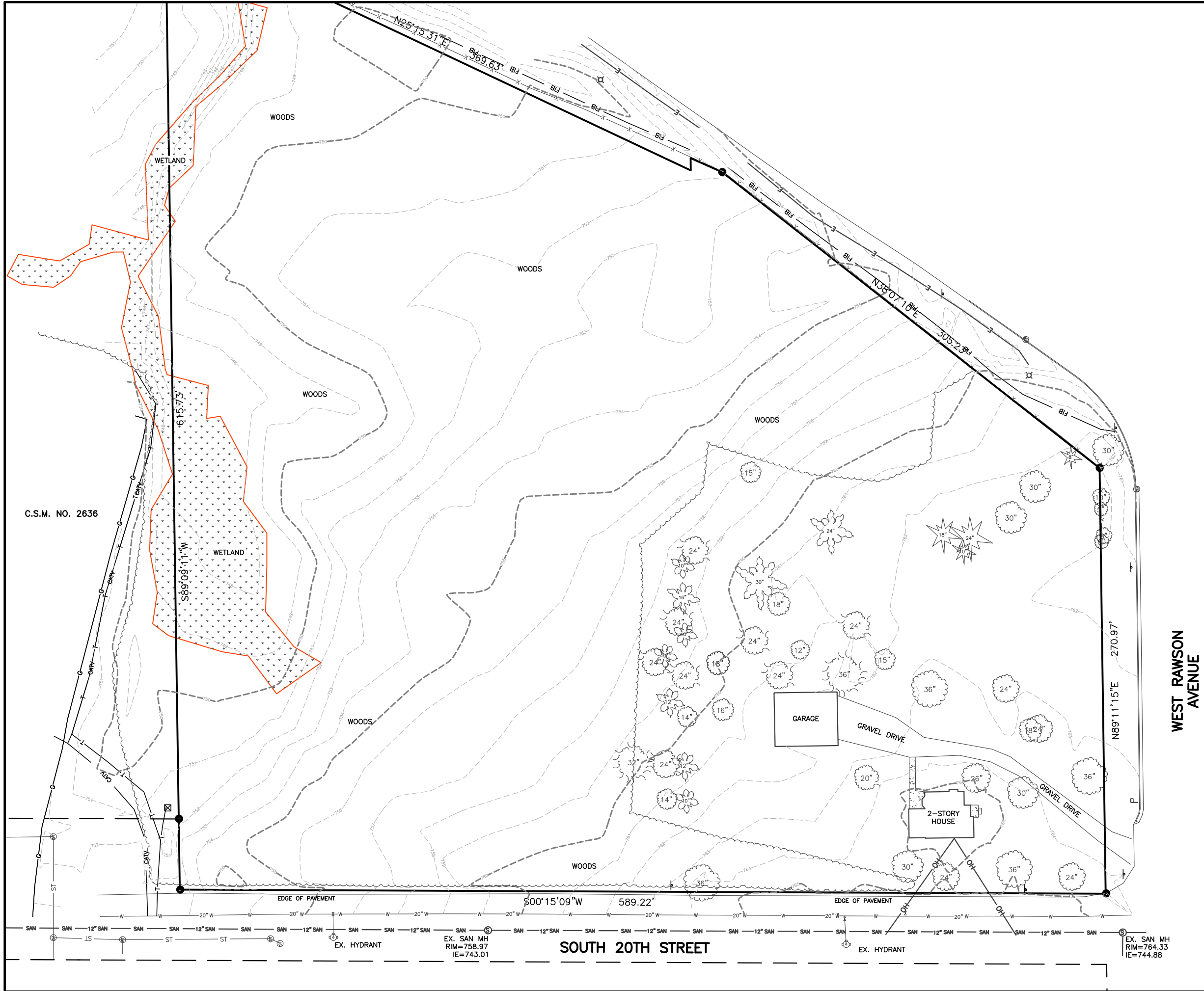
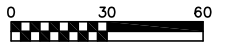
Document Date
10 DEC 2013

Project Number
13029

Sheet Title
ELEVATIONS "A"

Sheet Number

A-201



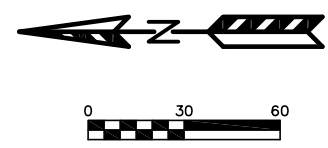
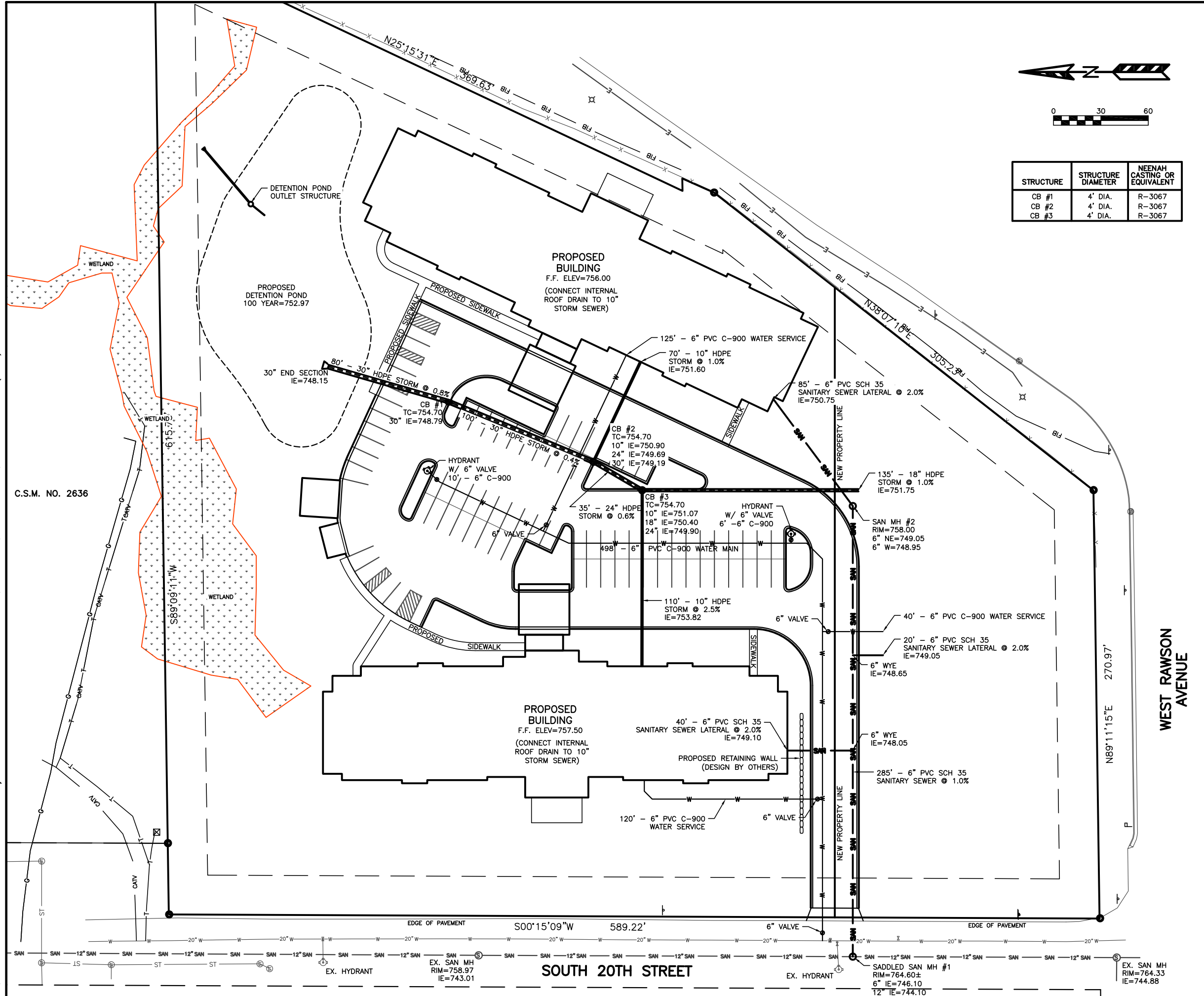
WEST RAWSON AVENUE

SOUTH 20TH STREET

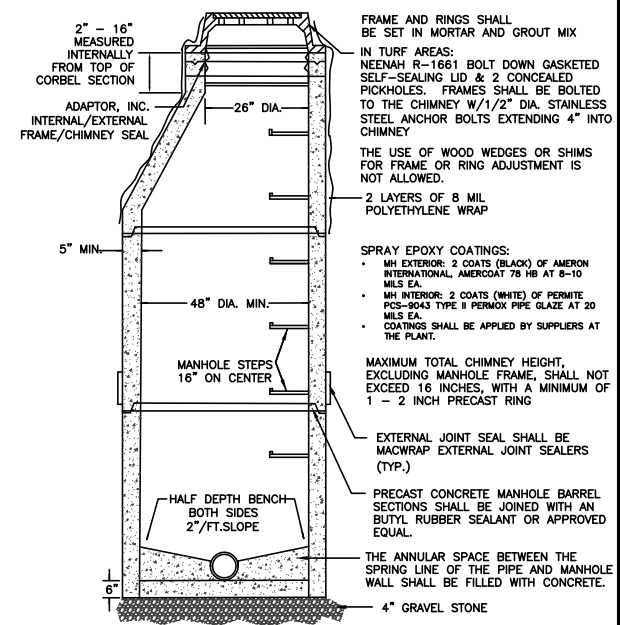
LAKE TERRACE CBRF - WEST RAWSON AVENUE
EXISTING SITE PLAN
PAGE: 1 OF 4
DATED: DECEMBER 11, 2013

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

544 South Main Street, Suite B; West Bend, Wisconsin 53095
Phone (262) 338-6641; www.quamengineering.com



STRUCTURE	STRUCTURE DIAMETER	NEENAH CASTING OR EQUIVALENT
CB #1	4' DIA.	R-3067
CB #2	4' DIA.	R-3067
CB #3	4' DIA.	R-3067



UTILITY NOTES:
ALL SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF OAK CREEK AND WISCONSIN DSPS STANDARDS.
THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.
MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
ALL UNDERGROUND EXTERIOR NON-METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORDANCE WITH 182.0715(2r) OF STATE STATUTES.
ALL EXISTING PUBLIC VALVES AND HYDRANTS WILL ONLY BE OPERATED BY THE CITY OF OAK CREEK UTILITY DEPARTMENT PERSONNEL.
THE SANITARY SEWER LATERAL, WATER SERVICE AND STORM SEWER STUB FOR THE PROPOSED SOUTHERN LOT SHALL BE PLUGGED AND MARKED PER THE CITY OF OAK CREEK STANDARDS.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

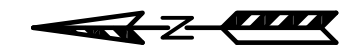
TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

LAKE TERRACE CBRF - WEST RAWSON AVENUE
UTILITY PLAN
PAGE: 3 OF 4
DATED: DECEMBER 11, 2013

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

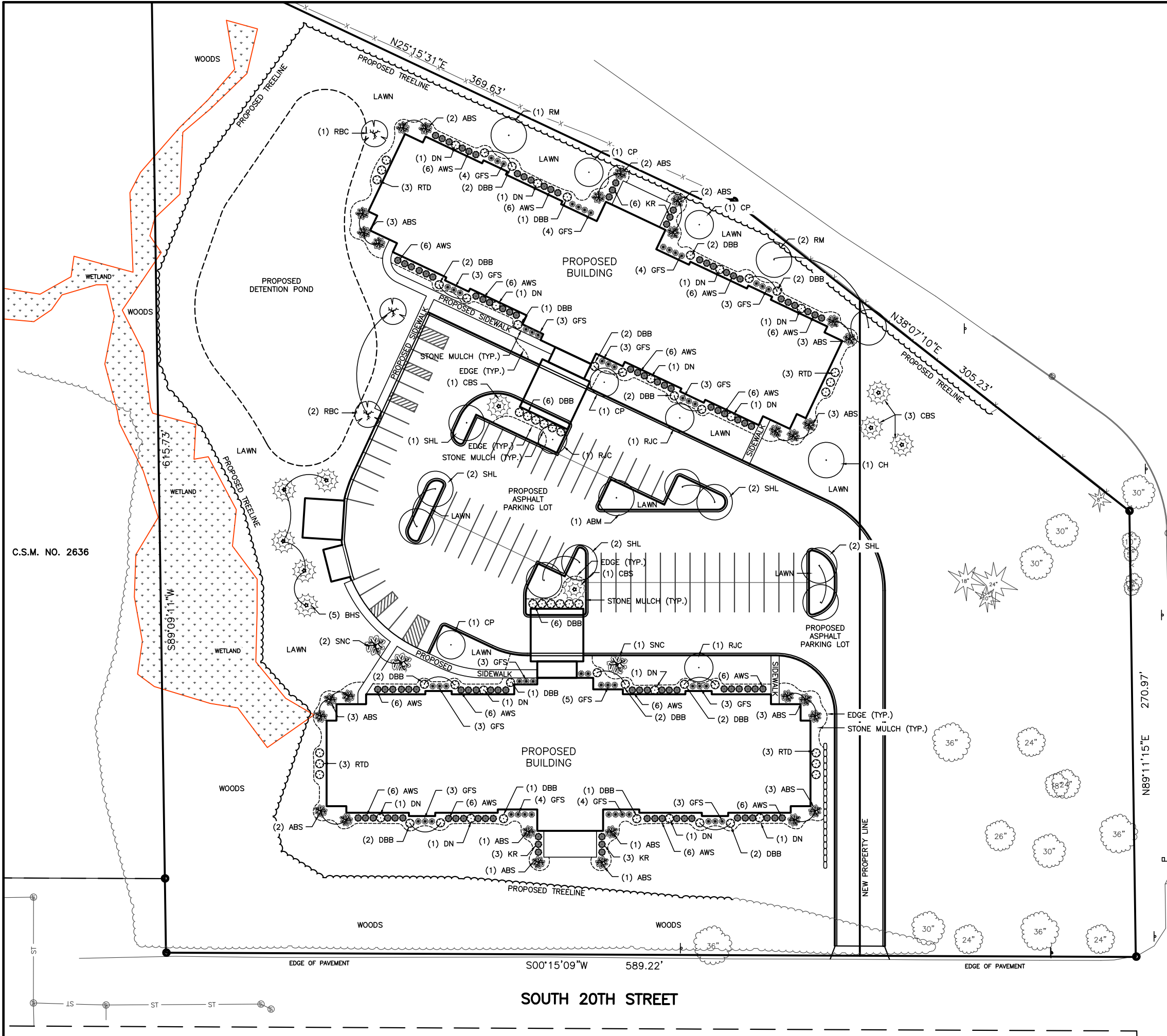
544 South Main Street, Suite B; West Bend, Wisconsin 53095
Phone (262) 338-6641; www.quamengineering.com



PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
ABM	1	2 1/2"	Autumn Blaze Maple	BB
CH	1	2 1/2"	Common Hackberry	BB
RBC	3	10"	River Birch Clump	BB
RM	3	2 1/2"	Red Maple	BB
SHL	9	2"	Skyline Honeylocust	BB
CP	4	2"	Callery Pear	BB
RJC	3	1 1/2"	Red Jade Crab	BB
SNC	3	1 1/2"	Spring Snow Crab	BB
BHS	5	6"	Black Hills Spruce	BB
CBS	5	5"	Colorado Blue Spruce	BB
ABS	28	5"	Autumn Brilliance Serviceberry	BB
AWS	96	18"	Anthony Waterer Spirea	Pot
DBB	38	24"	Dwarf Burning Bush	Pot
DN	13	24"	Diablo Nine Bark	Pot
GFS	55	18"	Gold Flame Spirea	Pot
KR	12	2 G	Knockout Rose	Con
RTD	12	24"	Bailey's Red Twig Dogwood	Pot
	50	1 Gal	Perennials	Con
			Autumn Joy Sedum	
			Black Eyed Susan	
			Dwarf Fountain Grass	
			Midnight Wine Daylily	
			Stella de Oro Daylily	

- NOTES:
- 1) New lawn areas and existing lawn areas disturbed by construction to receive topsoil (minimum 4"), and to be seeded (Madison Parks seed mix), fertilized (starter fertilizer), and mulched with straw.
 - 2) Lawn areas in drainage swales and detention areas to receive topsoil, seed (no mow mix), starter fertilizer, and Curlex erosion control fabric (installed per manufacturers specifications).
 - 3) Drainage swales and lawns with slopes steeper than 3/1 shall be mulched with erosion control fabric (installed per manufacturer's specifications).
 - 4) Foundation planting beds to be mulched with #2 washed stone mulch spread to a depth of 3" over weed barrier fabric.
 - 5) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch planting rings (4" diameter) spread to a depth of 3".
 - 6) Designated planting beds to be separated from lawn areas with 5" black vinyl edge.
 - 7) Owner will be responsible for selecting and locating perennials.



WEST RAWSON AVENUE

SOUTH 20TH STREET

LAKE TERRACE CBRF - WEST RAWSON AVENUE
 LANDSCAPE PLAN
 PAGE: 4 OF 4
 DATED: DECEMBER 11, 2013

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
 544 South Main Street, Suite B; West Bend, Wisconsin 53095
 Phone (262) 338-6641; www.quamengineering.com



Plan Commission Report

ITEM: 5e
DATE: January 14, 2014

PROJECT: Plan Review – City Hall & Library (City of Oak Creek)

ADDRESS: 8040 S. 6th St.

TAX KEY NO: Part of 813-9023-008 & 813-9023-005

STAFF RECOMMENDATION: That the Plan Commission approves the site and building plans for the City Hall and Library building at 8640 S. 6th St. subject to the following conditions:

1. That detailed landscaping plans be approved by the Director of Community Development, upon recommendation of the City Forester, prior to the issuance of building permits.
2. That detailed lighting plans be approved by the Director of Community Development, upon recommendation of the Electrical Inspector prior, to the issuance of building permits.
3. That all applicable building and fire codes are met.
4. That plans addressing grading, drainage, and stormwater quality (including the use of stormwater best management practices) be approved by the City Engineer prior to the issuance of building permits.
5. That detailed plans for signage be approved by the Plan Commission or Director of Community Development prior to the issuance of building permits.

Ownership: City of Oak Creek

Size: 7.2322 acres

Existing Zoning: DTSMUPDD, Drexel Town Square Mixed Use Planned Development District

Adjacent Zoning: North – DTSMUPDD, Drexel Town Square Mixed Use Planned Development District
East – DTSMUPDD, Drexel Town Square Mixed Use Planned Development District
South – DTSMUPDD, Drexel Town Square Mixed Use Planned Development District
West – DTSMUPDD, Drexel Town Square Mixed Use Planned Development District

Comprehensive Plan: Planned Mixed Use.

Wetlands: N/A.

Floodplain: N/A.

Official Map: Officially mapped streets exist on the overall parcel.

Commentary: This is a review of site, building, landscaping and lighting plans for the proposed City Hall and Library building in the Drexel Town Square Mixed Use Planned Development District. The review of these site and building plans are governed by the general development plan and regulating plan for the Drexel Town Square Mixed Use Planned Development.

Under the terms of the adopted regulating plan, the Oak Creek Plan Commission is charged with interpreting and assuring compliance with the DTSMUPDD. Building permits will not be issued without Plan Commission approval. The review process should:

- Allow for the successful implementation of the general urban design patterns as in the DTSMUPDD.
- Allow designers and developers reasonable flexibility in the creation of specific designs to meet current and future market and economic realities.
- Generate and sustain economic and social value as subareas develop and redevelop over time.
- Ensure high quality development that creates a vibrant, diverse, clean, safe, destination.
- Create meaningful community places for current and future users through the integration of buildings, site, and landscape features.
- Ensure that building and site designs create an attractive, interactive environment for pedestrians, cyclists, and motorists.

The plans as presented generally conform to the general development plan and regulating plan. This development is considered a first generation proposal by the plan. The regulating plan allows for greater flexibility in the review of first generation development proposals.

The City Hall and Library building falls within the civic subdistrict of the regulating plan, which requires the building design to “front the town square to the north.” As indicated on the submitted plans, the main entrance is facing the town square.

In the interest of clarity, this review will be segmented into sections corresponding with the sections of the DTSMUPDD.

Active Streets and Sustainability/Walkability

According to the regulating plan, the most critical requirement for active pedestrian streets is a sense of enclosure. As such, the plan establishes build-to zones (BTZ), landscape zones (LZ), and a mixed building and landscape zone (MLZ). You will notice that the north and west sides of the property have been identified as a landscape zone. Landscape zones are defined in the regulating plan thusly:

“**Landscape zone (LZ)**, in which a strong landscape perimeter is intended to replace the building edge. In order to do this, landscape zones must include multiple layers of continuous elements such as hedges, decorative fences, and closely spaced trees. The goal is to create a strong, rhythmic system of elements that clearly designates the public walkways/easements and acts as an attractive, pedestrian friendly feature. Typical lot edge landscapes with sparsely placed plant materials should not be considered adequate. Longer landscape zones, which extend for more than 100’, should be more elaborate and wider with more layers of elements (e.g., a hedge, decorative fence and double tree line). Other features might be used to create a surrogate building face with free-standing pergolas, arbors, loggias, arcades, and garden walls.”

Landscaping elements, specifically with regard to tree and plant lists, are currently in the finalization stage. Included in your packets are general plans to indicate where trees and vegetation will be located. Unless the Commission directs otherwise, the final landscape plan will be approved by the Director of Community Development and City Forester prior to the issuance of building permits.

Parking

The DTSMUPDD regulating plan identifies an approximate parking demand for civic uses of 3.5 – 5 spaces per 1000 gsf (gross square feet). Based on the size of the City Hall and Library building (98,526 sf), this would equate to 344-492 spaces.

Parking is provided both on the streets surrounding the property as well as a parking lot to the south. Approximately 11 on-street angled stalls are illustrated on the north, approximately 15 on-street parallel stalls are illustrated on the east, approximately 7 on-street parallel stalls are illustrated on the south (south of the parking lot), and approximately 7 on-street parallel stalls are illustrated on the west. These numbers do not include potential on-street parking across the street on any side.

The parking lot will accommodate 98 vehicles, 4 of which are dedicated for disabled access. Employee and public parking will be within this lot, with access to a public entrance on the south side of the building. A dedicated pedestrian walkway is provided from the south end of the parking lot, through landscape islands to provide an additional buffer, directly to the south plaza in line with the entrance. A concrete speed bump between the northern and middle pedestrian islands will aid in preventing vehicle-pedestrian conflicts and provide traffic calming within the parking lot.

City vehicles will be parked in the underground garage, accessed via the ramp on the southeast side of the building. Vehicles may enter via the west entrance south of the Library to access the book drop, which is separated from the main parking lot via a landscaped island and dedicated aisle to the main parking lot entrance/exit. This allows for minimal potential conflict amongst vehicles.

Due to the proximity to the large parking lot for Meijer, additional on-street parking within Drexel Town Square, the ability to add parking via parking structure in the future, and the desire to reduce unnecessary parking throughout Drexel Town Square, Staff recommends that the Plan Commission approve the parking as presented.

Maintenance and Operation

Service areas have been located to the south of the building as much as possible. City vehicles, as mentioned previously, will utilize the ramp leading to the underground garage south of the City Hall portion of the building (east). Trash and recycling containers will be located behind an enclosure constructed with similar architecture and materials as the main building. These containers have been located such that trucks have adequate maneuverability within the parking lot.

Landscape, Streetscape, Community Places, Signage & Lighting

Two signs are shown on the building: one at the west entrance for the Library and a matching sign at the east entrance for the City Hall. Both signs are integrated into the street-level architecture and design.

While detailed signage plans were not included in the initial submittal, they appear to be consistent with the first generation development proposal and the regulating plan. Detailed sign plans will need to be approved (either by the Commission or Director of Community Development) prior to the issuance of building permits.

A complete lighting photometric plan will be submitted at a later date. This plan will need to be approved by the Electrical Inspector prior to the issuance of building permits, and will meet the outdoor lighting requirements of the regulating plan. Detailed plans for the illuminated clock tower are also forthcoming and will need approval.

Part of the streetscape also includes public sidewalks and the treatment of stormwater. Although pedestrian infrastructure and stormwater for the entire Drexel Town Square development are being designed as a whole, there remain requirements to address stormwater quality on a site-specific basis. Sidewalks for this site are outside of the project scope for the building and will be included in the street infrastructure design. These plans have not yet been finalized and will be reviewed by the Engineering Department throughout the process. As noted above, final landscaping plans for the site also will be approved at a later date.

Building Design Guidelines

The design of the 2-story brick / stone building is consistent with the designs presented as part of the first generation development proposal. Its unique design joins two wings via public lobby space, conference rooms, a multipurpose room, and the Council Chambers. The color scheme for the exterior of the building is light stone or brick with copper-colored metal accents.

The clock tower itself sets the City Hall and Library building apart from other buildings in Drexel Town Square and serves as a focal point. A water feature is also proposed on the southern plaza, providing a complementary aesthetic to the northern plaza without detracting from the clock tower.

Glazing requirements for civic buildings include a minimum of 40% of the glazing zone along the street frontage. Clear, non-tinted glazing should be maximized between 2 and 8 feet above grade. There is an option for substitutions to the street level window glazing requirement in the DTSMUPDD. Such substitutions can be in the form of "awnings, canopies, lighting fixtures, banners, projecting signs, hanging planters, landscaped planter beds, free standing moveable planters, benches, and landscaped seating niches." In the current plans, the building has 32% glazing. However, staff feels that there are several opportunities to reach the 40% through the use of landscaping and other exterior lighting features that are currently being designed.

Windows are prominent on both sides of the building, which either protrude from the façade in the Library's case, or are set back from the wall plane in the City Hall's case. Windows are framed in painted steel to match exterior door frames and canopies. Half clerestories bring additional light to the interior of the eastern and western portions of the building, and add dimension to the roof.

Summary Recommendation

Based on the information above, it appears that the submitted site and building plans meet the requirements of the DTSMUPDD. If the Plan Commission is comfortable with conditions prepared by Staff, at a later date, the appropriate action would be to approve the site and building plans. Such approval will allow the project to move forward to meet deadlines associated with bidding and construction.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

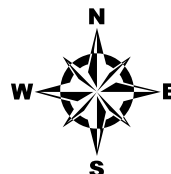
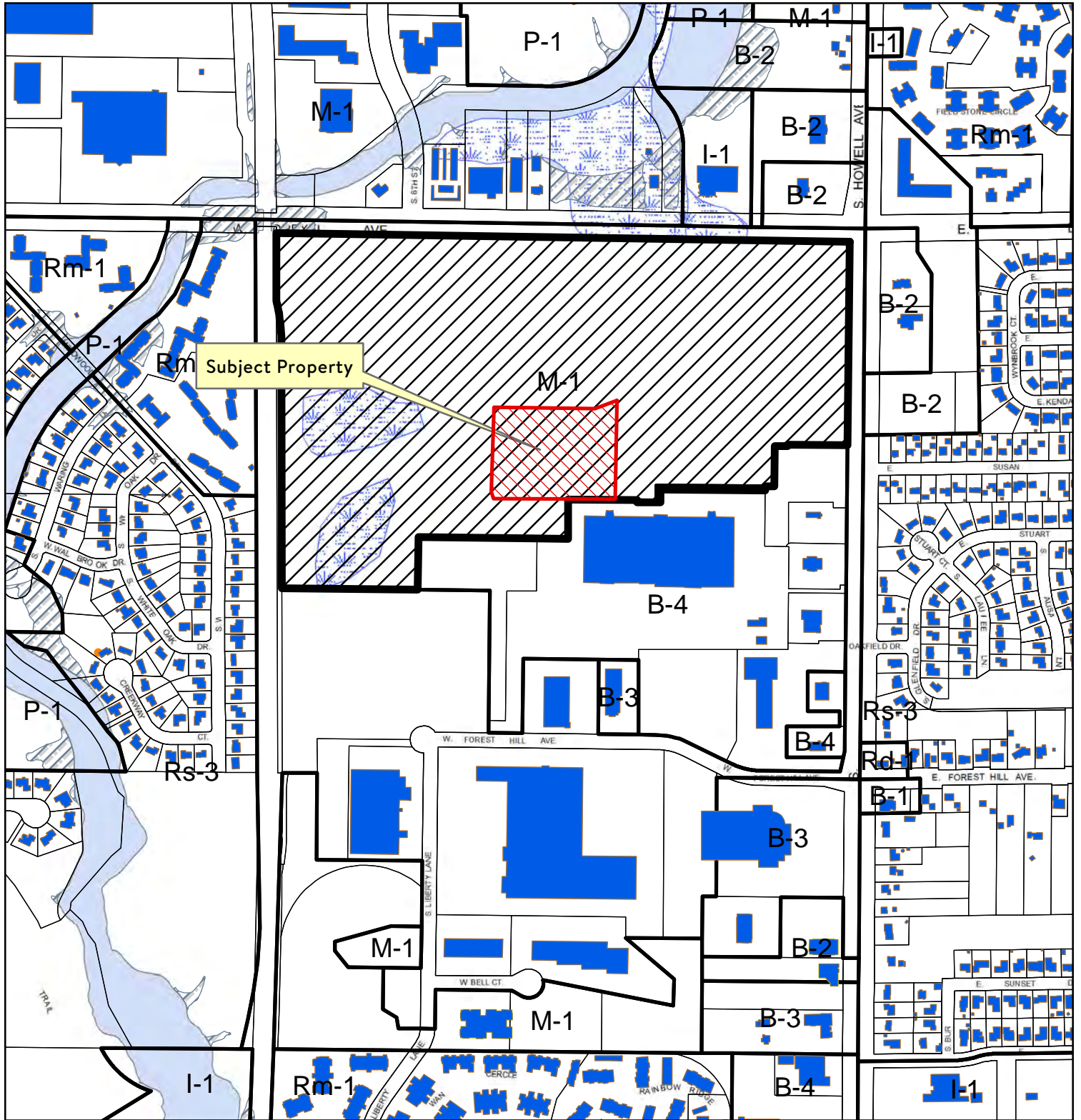
Respectfully Submitted by:



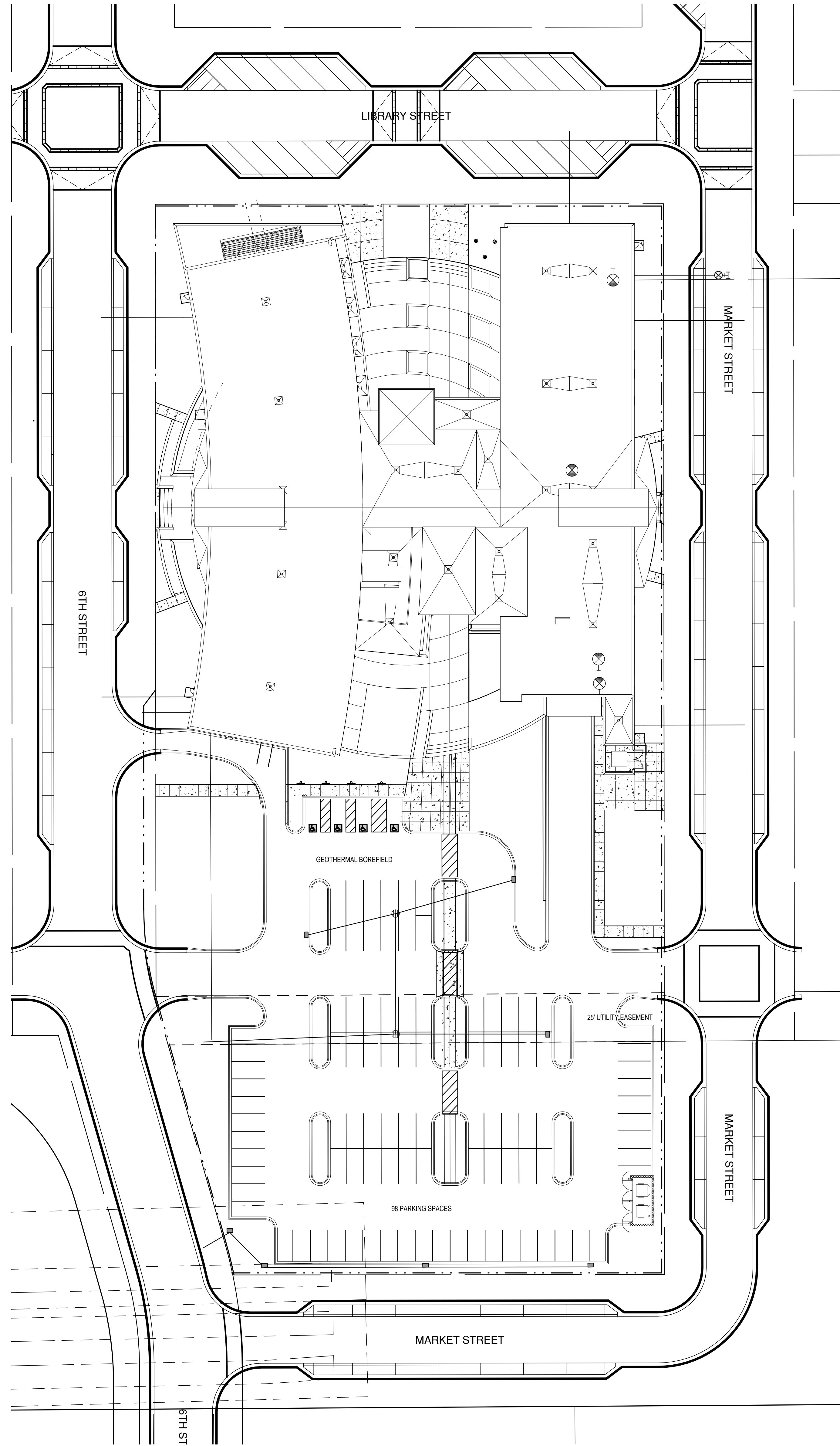
Douglas Seymour, AICP
Director of Community Development

Location Map

8040 S. 6th St.



Legend	
	Drexel Town Square
	Floodfringe
	Wetland
	Floodway



North
ARCHITECTURAL SITE PLAN
Scale: 1" = 30'-0"

Office Locations:

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215 North Water Street
Suite 250
Milwaukee, Wisconsin 53202

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F: 414.226.0224

Sheboygan
1202A North 8th Street
PO Box 955
Sheboygan, Wisconsin 53082

T: 920.459.4200
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www.brayarch.com

Project Title:
**City of Oak Creek
New City Hall & Library
8050 S. 6th Street
Oak Creek, WI**

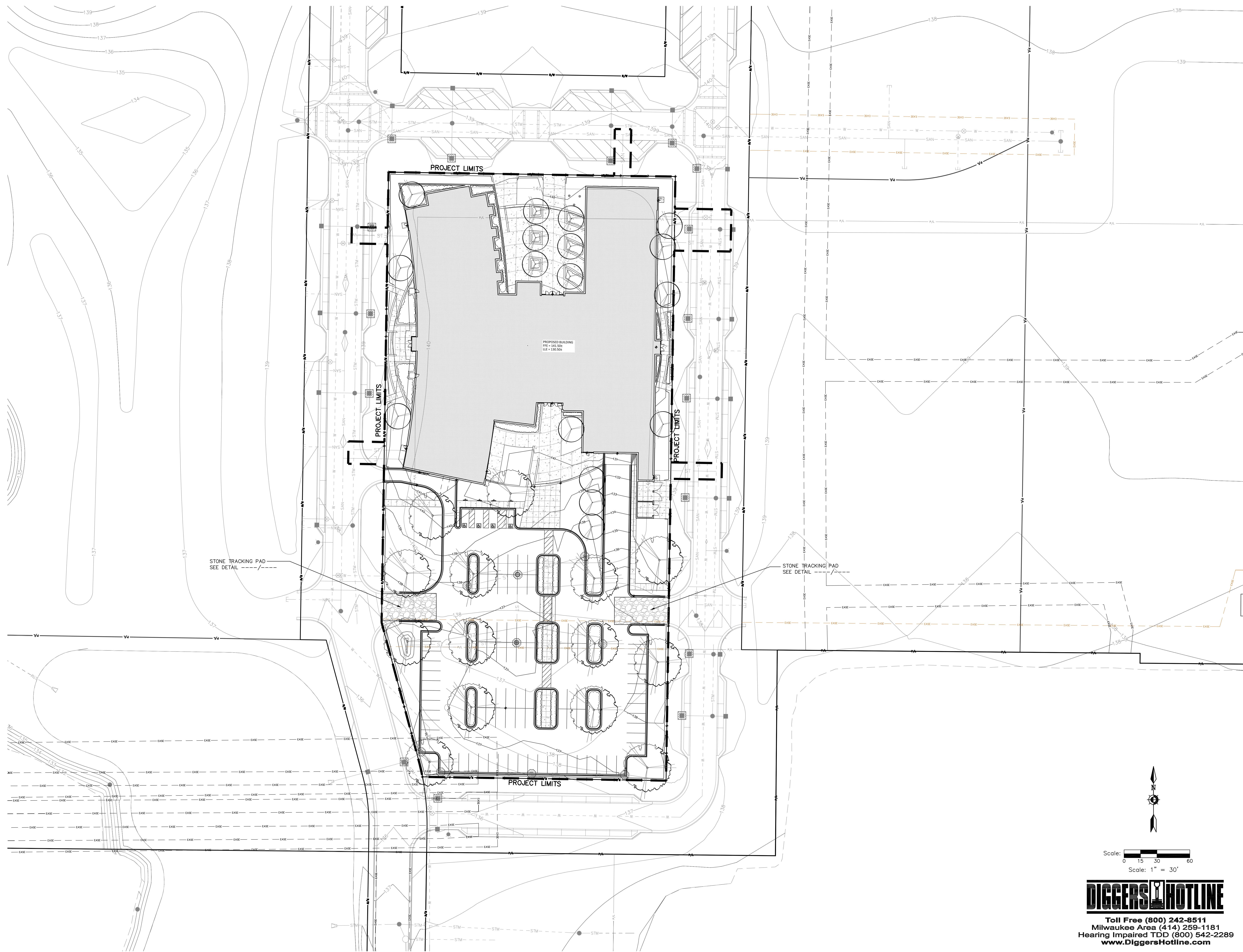
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Issued For:
50% PROGRESS SET

Issue Dates:
January 9, 2014

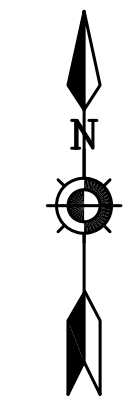
Sheet Title:
**ARCHITECTURAL
SITE PLAN**

Sheet Number:
A0.1



STONE TRACKING PAD
SEE DETAIL

STONE TRACKING PAD
SEE DETAIL



Scale: 0 15 30 60
Scale: 1" = 30'



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Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



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1202A North 8th Street
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Sheboygan, Wisconsin 53082
T: 920.459.4200
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215 North Water Street
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www.brayarch.com

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CONSULTING ENGINEERS
7711 N. PORT WASHINGTON ROAD
MILWAUKEE, WISCONSIN 53226
PHONE: 414.351.4117 FAX: 414.351.4117
www.kapurengineers.com



Project Title:
**City of Oak Creek
New Oak Creek City Hall and Library
8050 S. 6th Street
Oak Creek, WI**

Project Number:
3101

Issued For:
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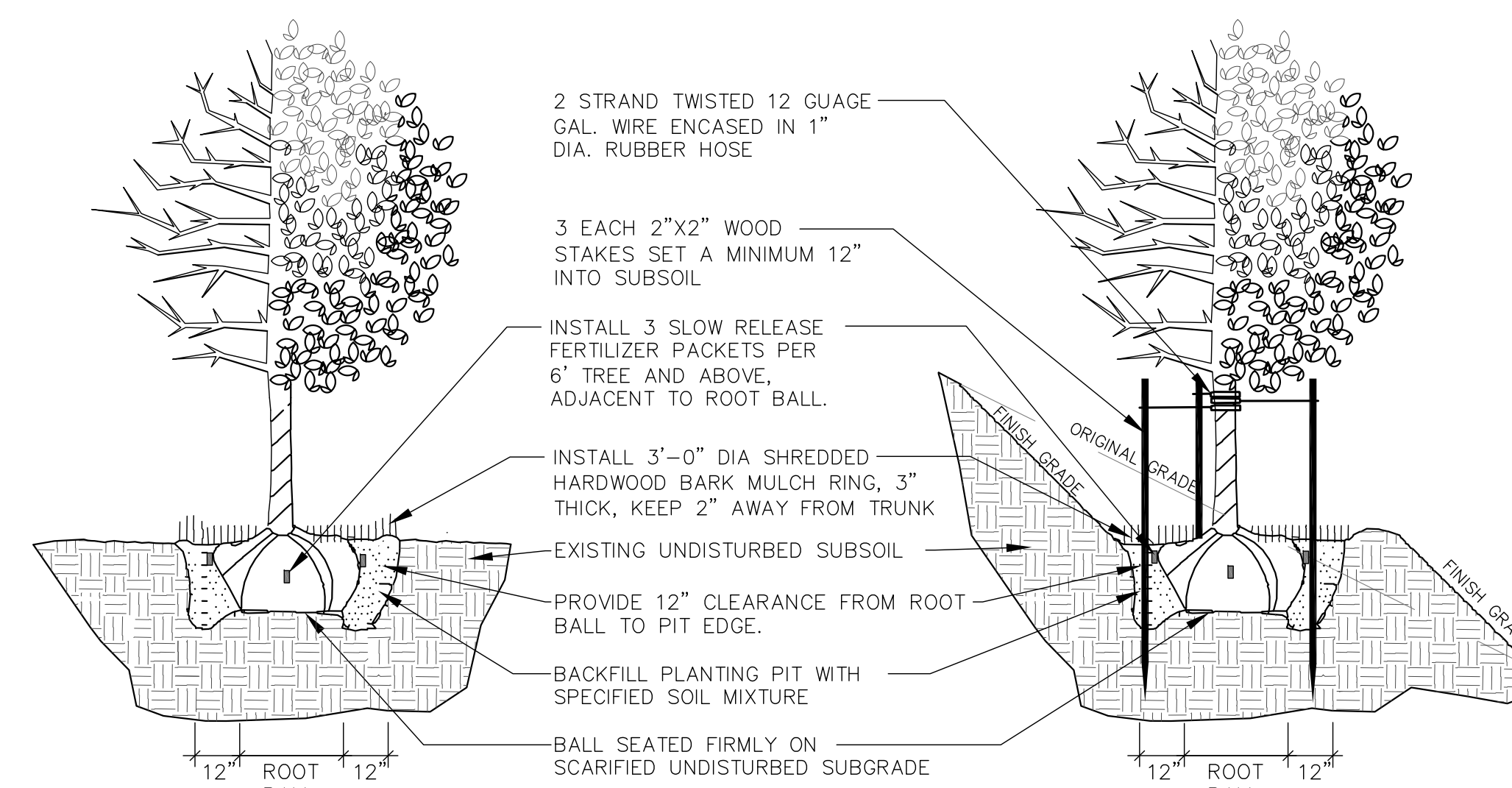
Issue Dates:
NOVEMBER 27, 2013

Sheet Title:
**SITE LANDSCAPE
PLAN**

Sheet Number:
L1.1

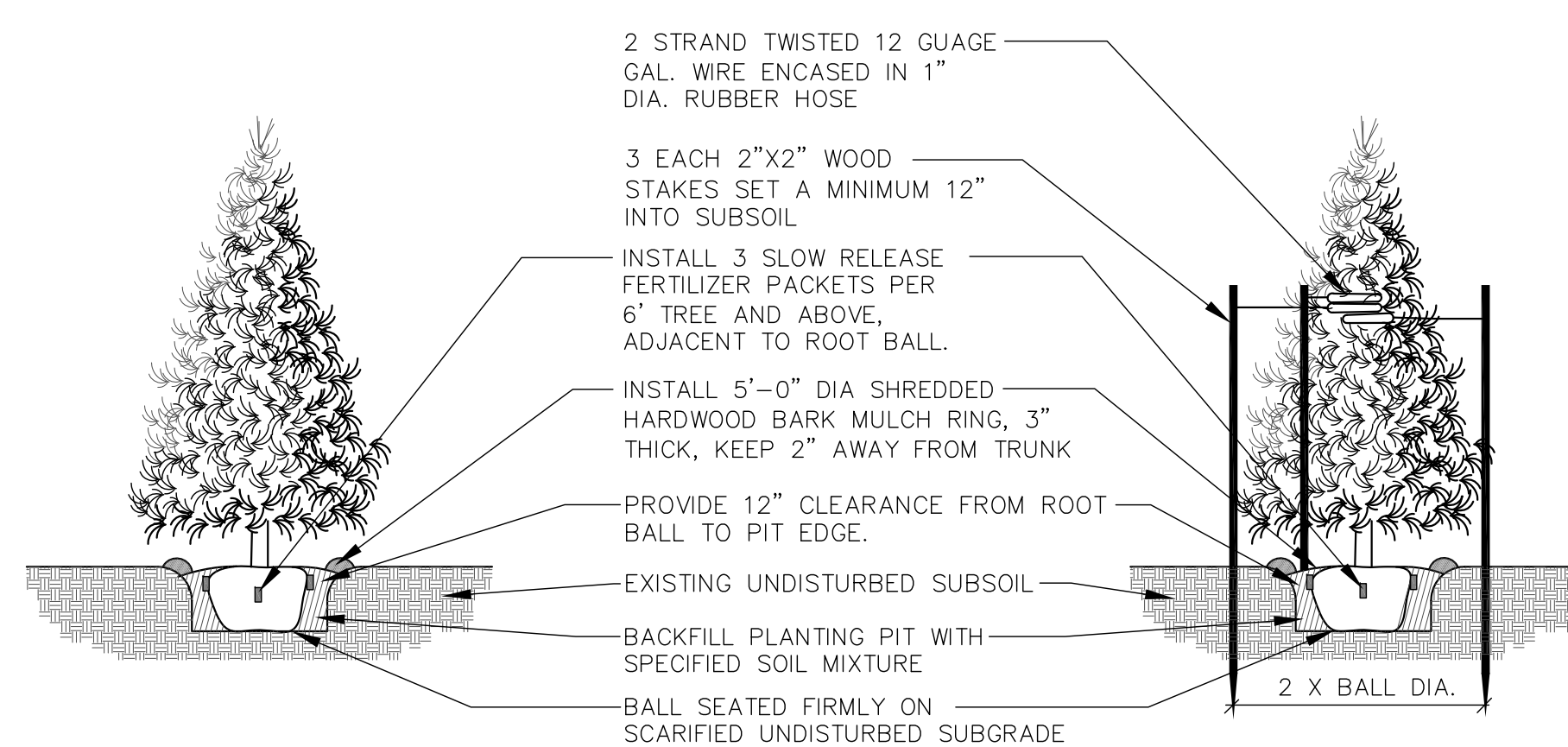
- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 4, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- LANDSCAPE EDGING TO BE POLY EDGING. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- ALL SHRUB PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR WEED FABRIC WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
- ALL PERENNIAL PLANTING AREAS TO RECEIVE A 2-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH AND PRE-EMERGENT HERBICIDE WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATIONS 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- ALL GROUND COVER PLANTING AREAS TO RECEIVE A 1-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATIONS 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED TURF AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
- REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
- INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
- STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. ATTACH WIRE TO THREE STAKES POSITIONED EVENLY AROUND THE TREE. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- 12" & 24"-INCH STONE MAINTENANCE STRIP AROUND BUILDING. INSTALL 1-INCH TO 2-INCH MISSISSIPPI RIVER STONE OR EQUIVALENT 3-INCHES DEEP OVER WEED FABRIC WITH EDGING BETWEEN MAINTENANCE STRIP/PLANTING AREAS/TURF. REFER TO SPECIFICATIONS.
- SEED MIX 1 TO BE AGRECOL INFILTRATION SWALE SEED MIX. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. AGRECOL ADDRESS: 10101 NORTH CASEY ROAD EVANSVILLE, WI 53536 TELEPHONE: 608-223-3571 FAX: 608-884-4640 EMAIL: ECOSOLUTIONS@AGRECOL.COM.
- SEED MIX 2 TO BE AGRECOL SAVANNA/WOODLAND EDGE NATIVE SEED MIX. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. AGRECOL ADDRESS: 10101 NORTH CASEY ROAD EVANSVILLE, WI 53536 TELEPHONE: 608-223-3571 FAX: 608-884-4640 EMAIL: ECOSOLUTIONS@AGRECOL.COM.
- FLAGSTONE STEPPERS SHALL BE BLUESTONE COLLECTION: BLUE ICE 24"x12", 1-2" THICK PLACED ON GRADE FROM HALQUIST STONE 2875 W. RYAN ROAD FRANKLIN, WI 53132 TELEPHONE: 414-761-0444 FAX: 414-761-3244 EMAIL: INFO@HALQUISTSTONE.COM.
- CONTRACTOR SHALL INSTALL 3"x6" PLANT IDENTIFICATION SIGNS AT EACH DECIDUOUS, ORNAMENTAL, AND EVERGREEN TREE. PLANT IDENTIFICATION SIGNS TO BE 3"x6" HIGH QUALITY BOTANICAL GARDEN SIGNS. CONTACT PLANT SIGNS AT 1384 S 700 W SPRINGVILLE, UTAH 84663. TELEPHONE: (760)420-9143; FAX: (760)645-7017. EMAIL: SALES@PLANTSIGNS.COM. WEBSITE: HTTP://WWW.PLANTSIGNS.COM.
- BENCHES SHALL BE WAUSAU TILE, MF2218, COLOR 90-BLACK, AND BOLTED TO CONCRETE SIDEWALK. REFER TO CONCRETE DETAIL ON CIVIL SHEET. SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. WAUSAU TILE P.O. BOX 1520 WAUSAU, WI 54402. TELEPHONE: (800)388-8728 FAX: (715)355-4627 WEBSITE: WWW.WAUSAUTILE.COM
- REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

2 LANDSCAPE NOTES
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

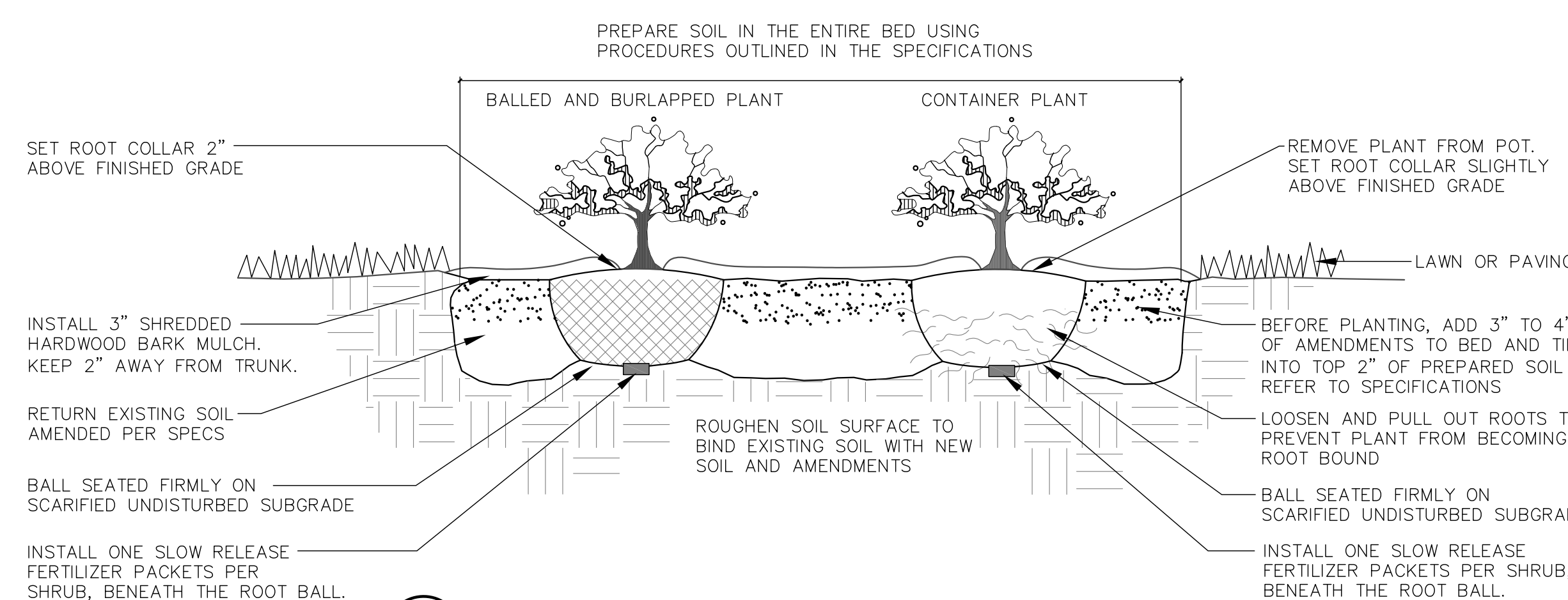


3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE
N.T.S.

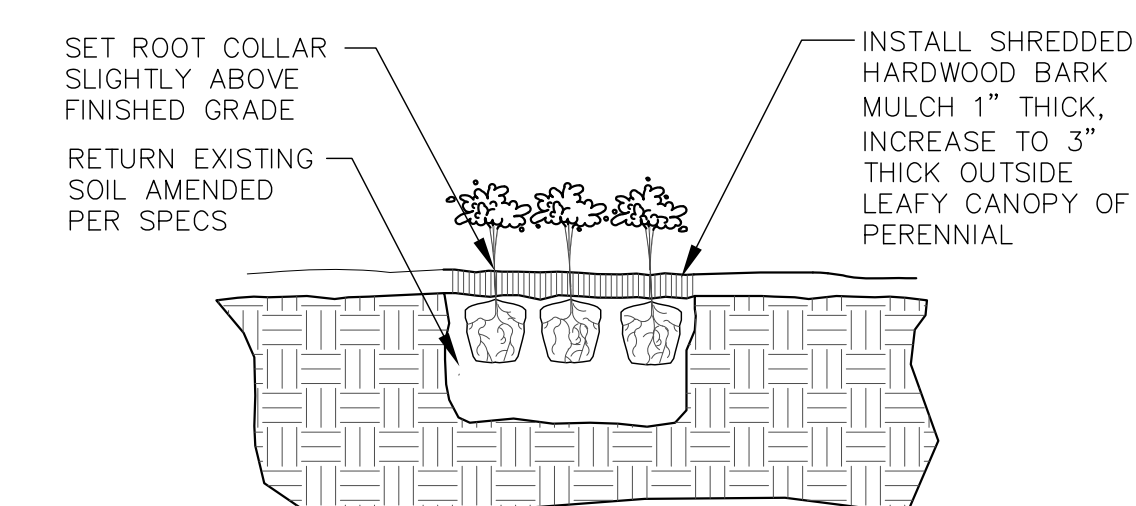
1 LANDSCAPE PLANTING SCHEDULE
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



4 EVERGREEN TREE PLANTING & STAKING
N.T.S.



5 DECIDUOUS & EVERGREEN SHRUB PLANTING
N.T.S.



6 PERENNIAL PLANTING
N.T.S.

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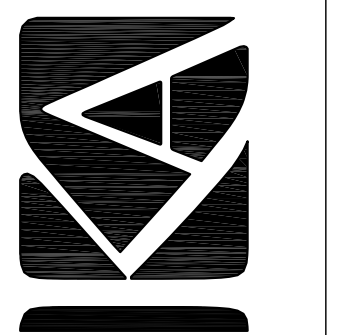
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www.kapurengineers.com



Project Title:
**City of Oak Creek
New Oak Creek City Hall and Library
8050 S. 6th Street
Oak Creek, WI**

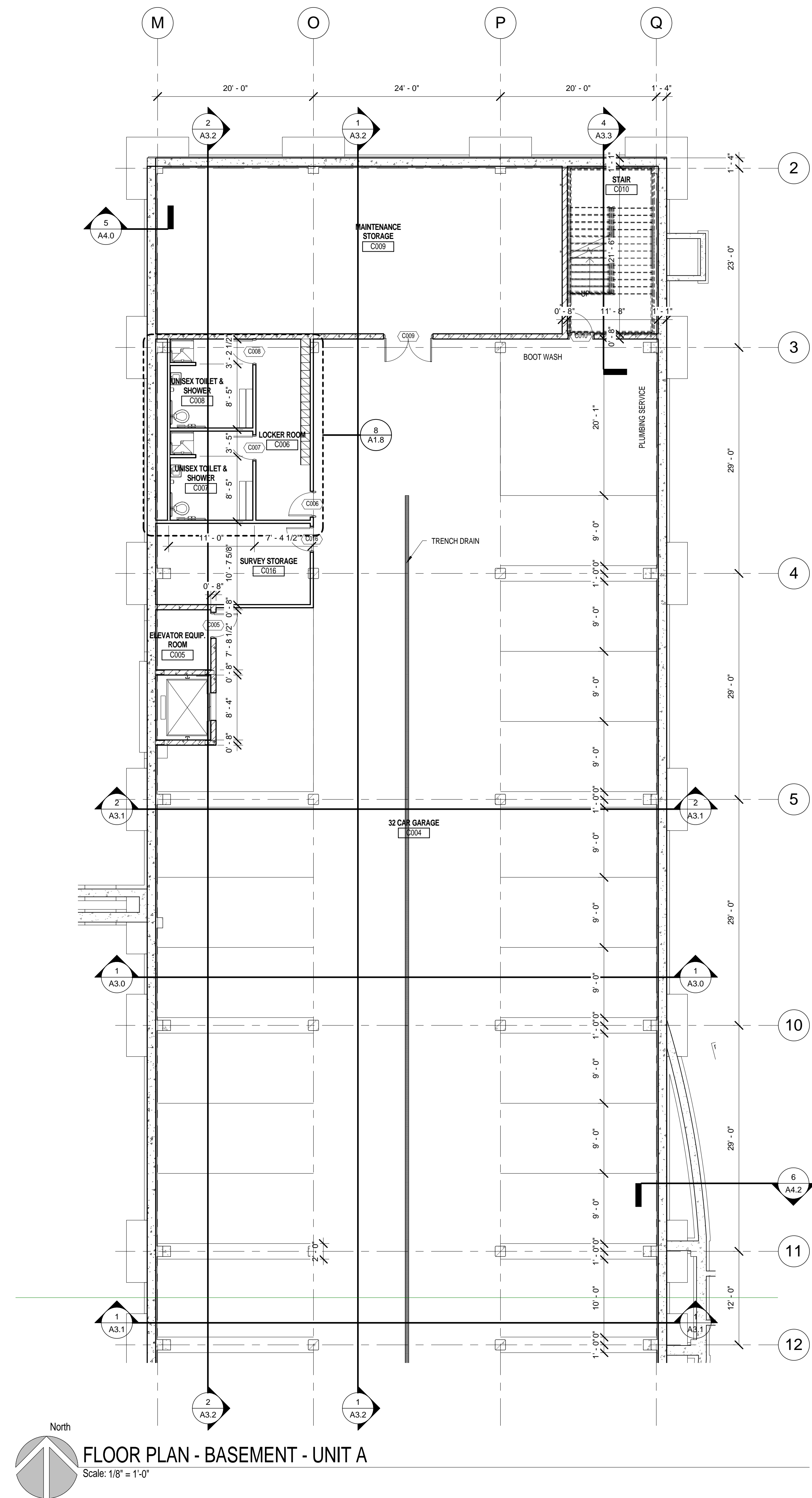
Project Number:
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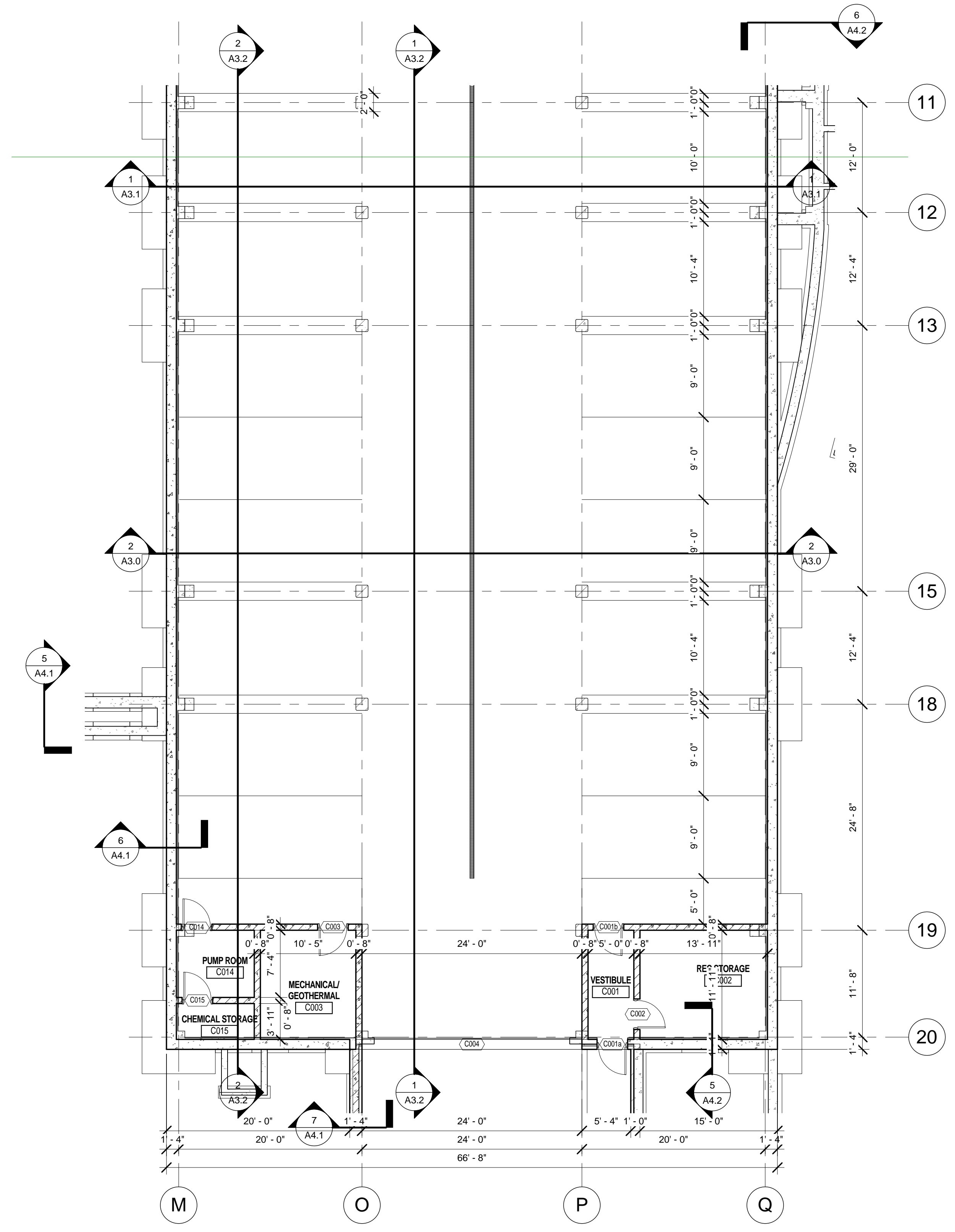
Sheet Title:
**SITE
LANDSCAPE
DETAILS**

Sheet Number:
L2.1





North
FLOOR PLAN - BASEMENT - UNIT A
 Scale: 1/8" = 1'-0"



North
FLOOR PLAN - BASEMENT - UNIT B
 Scale: 1/8" = 1'-0"

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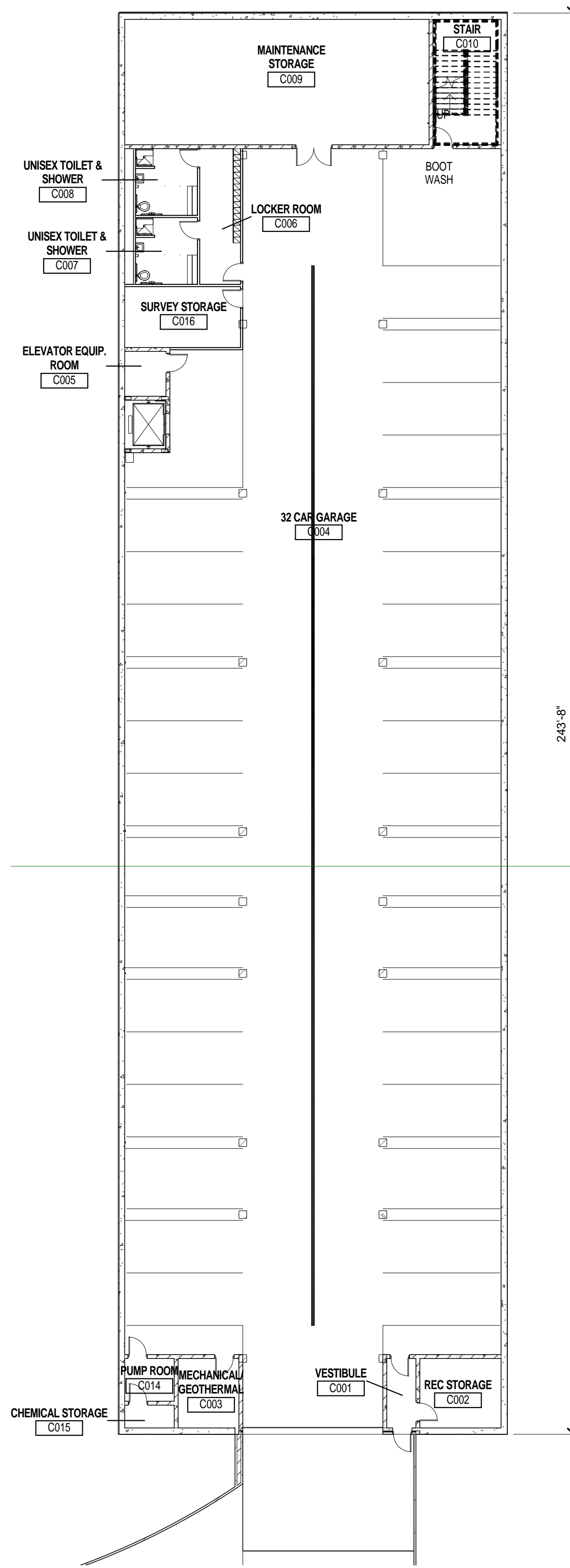
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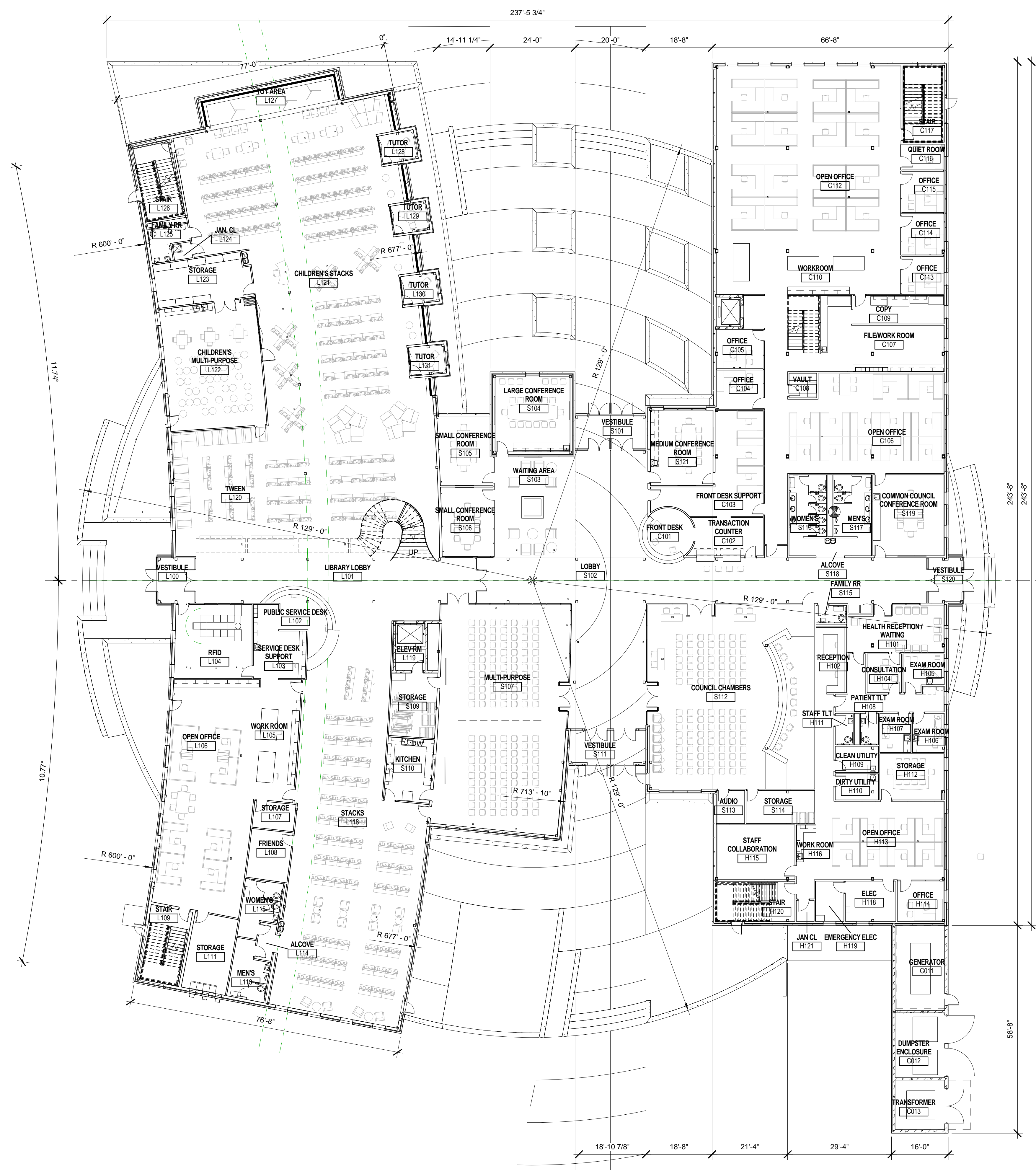
Issue Dates:
 November 27, 2013

Sheet Title:
**BASEMENT
 FLOOR PLAN**

Sheet Number:
A1.2



North
1/16 Floor Plan - Basement
Scale: 1/16" = 1'-0"



North
FIRST FLOOR PLAN - OVERALL
Scale: 1/16" = 1'-0"

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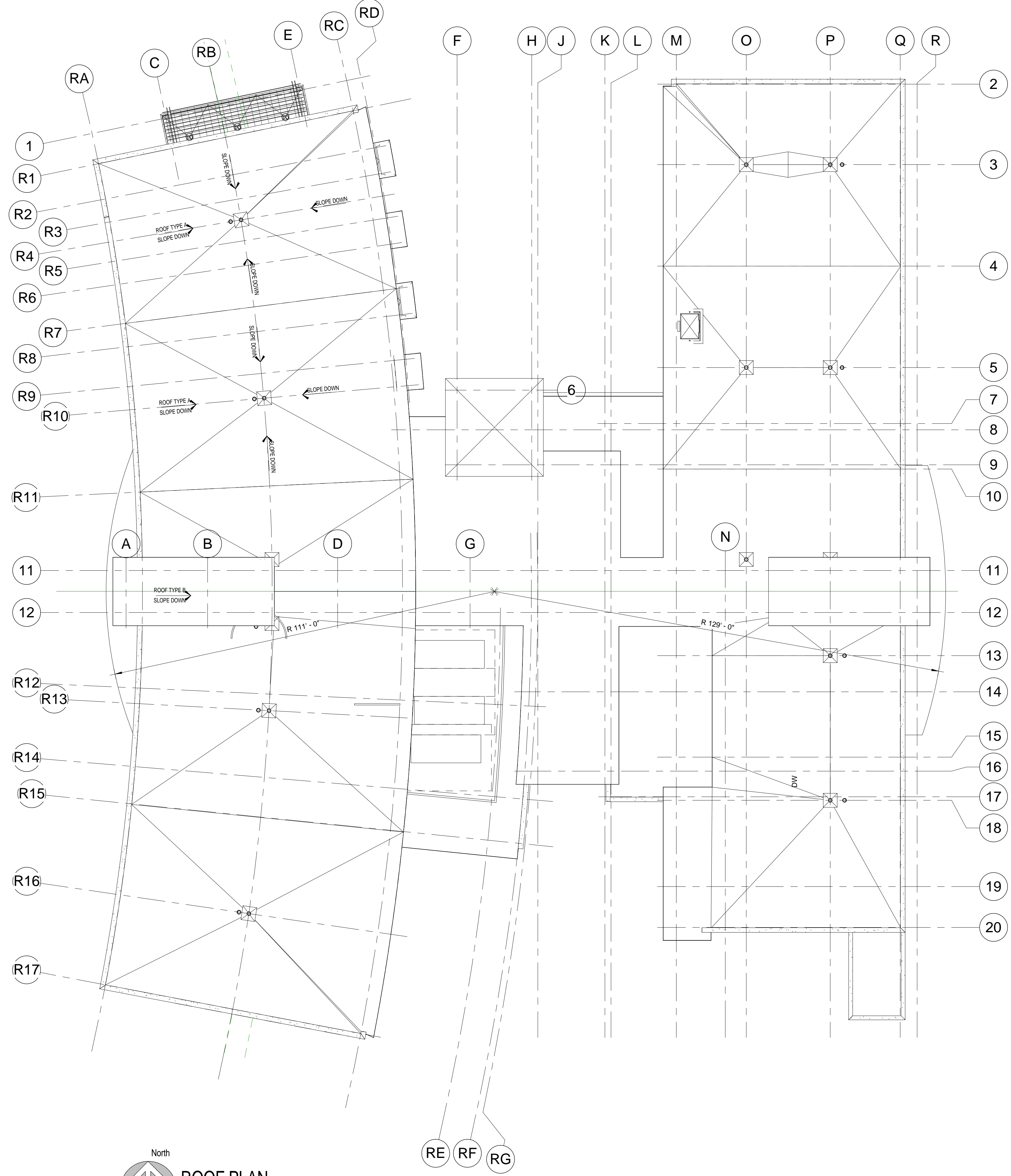
Issue Dates:
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Sheet Title:
 BASEMENT &
 FIRST FLOOR
 PLANS-OVERALL

Sheet Number:
 A1.0

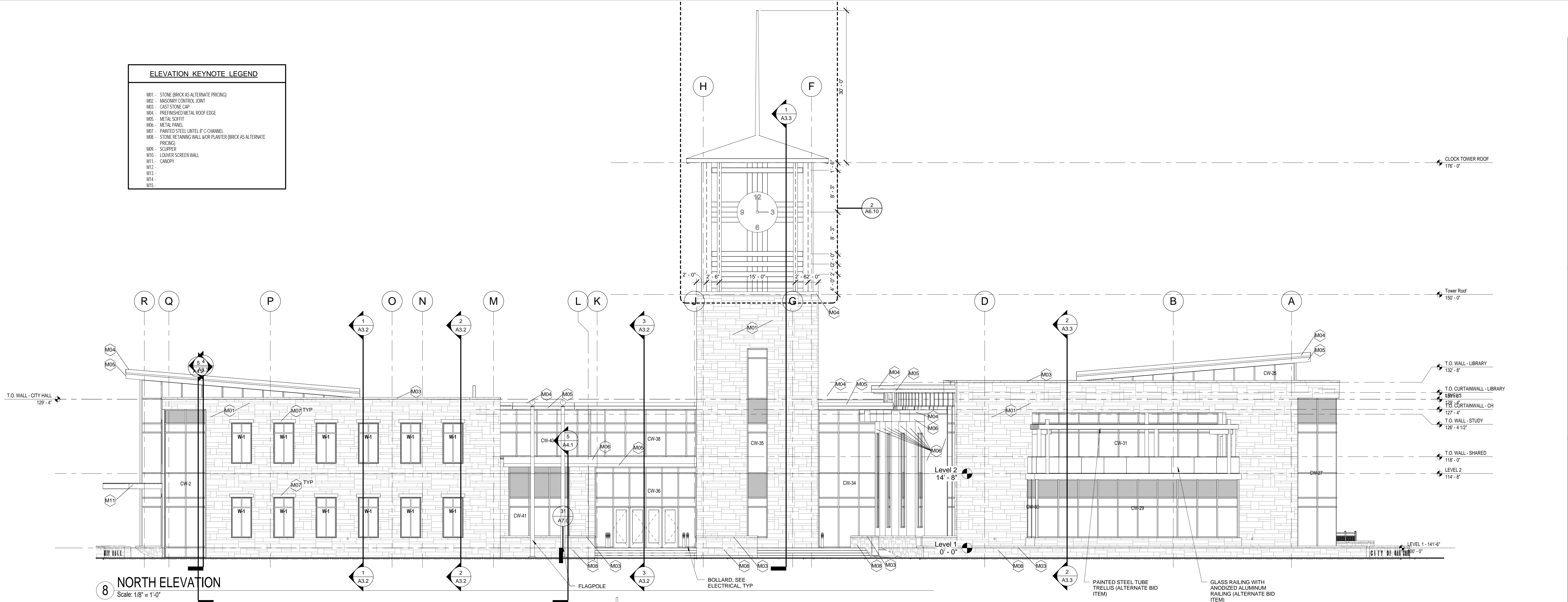


North
SECOND FLOOR PLAN - OVERALL
 Scale: 1/16" = 1'-0"

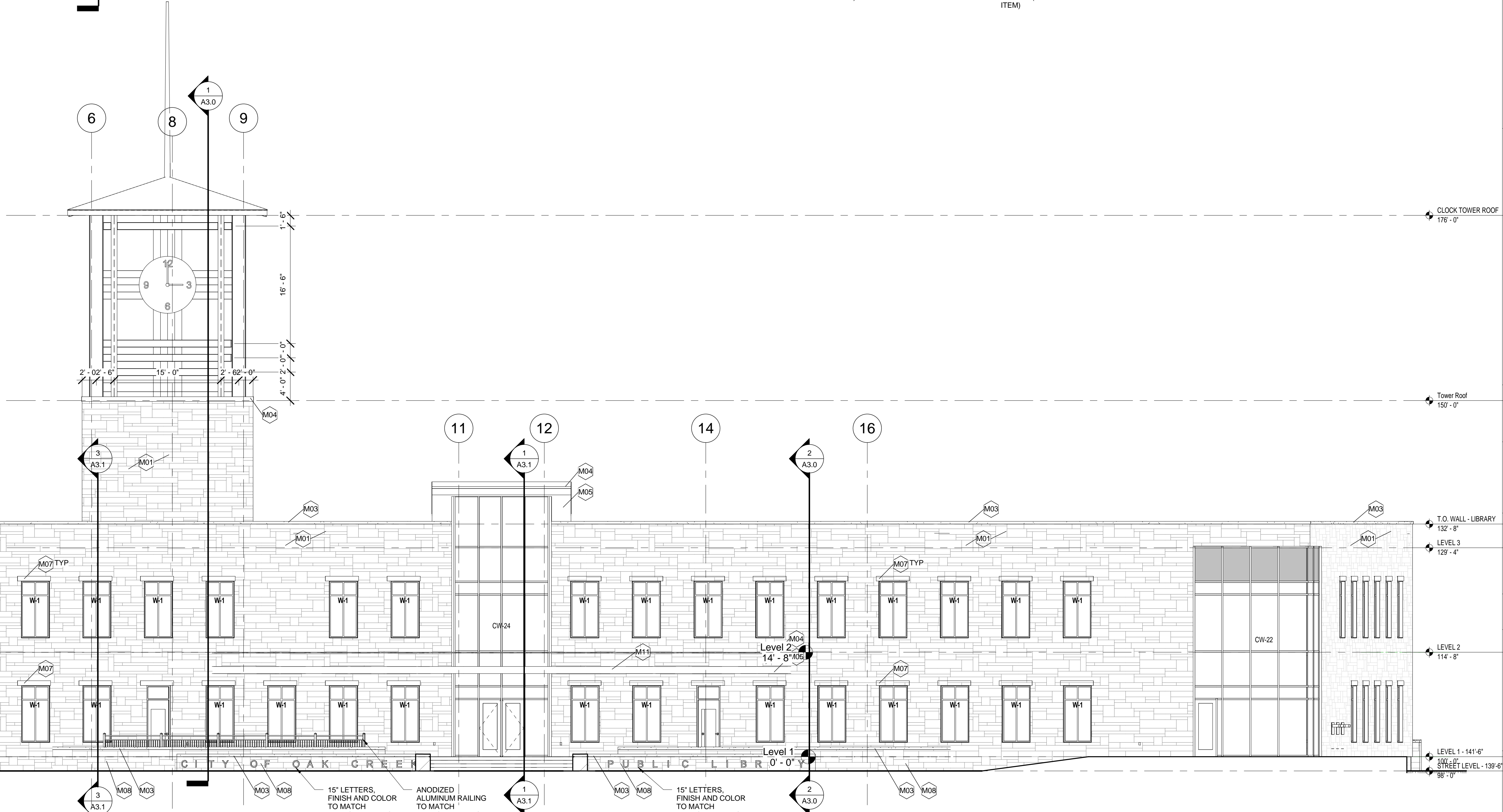


North
ROOF PLAN
 Scale: 1/16" = 1'-0"

ELEVATION KEYNOTE LEGEND	
M01	STONE (BRICK AS ALTERNATE PRICING)
M02	MASONRY CONTROL JOINT
M03	CAST STONE CAP
M04	PREFINISHED METAL ROOF EDGE
M05	METAL SOFFIT
M06	METAL PANEL
M07	PAINTED STEEL UNFINISHED CHANNEL
M08	STONE RETAINING WALL AND PLANTER (BRICK AS ALTERNATE PRICING)
M09	SCUPPER
M10	LOWER SCREEN WALL
M11	CANOPY
M12	
M13	
M14	
M15	



8 NORTH ELEVATION
Scale: 1/8" = 1'-0"



1 LIBRARY - WEST ELEVATION
Scale: 1/8" = 1'-0"



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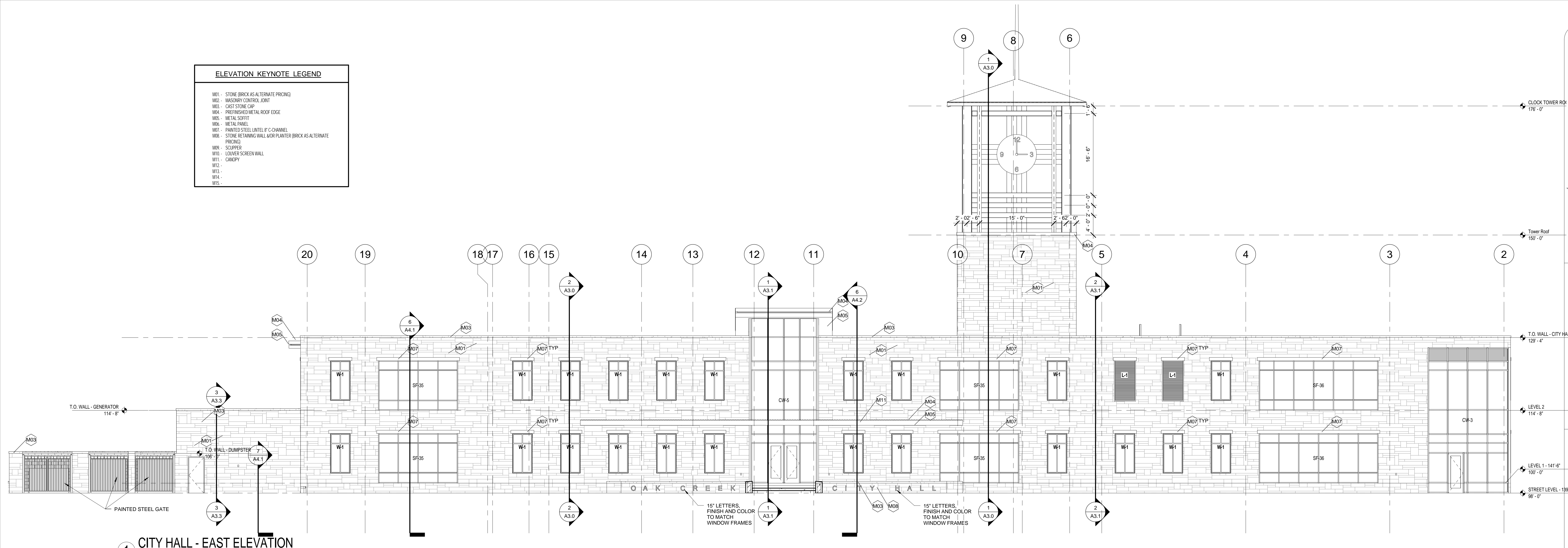
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Sheet Title:
BUILDING ELEVATIONS

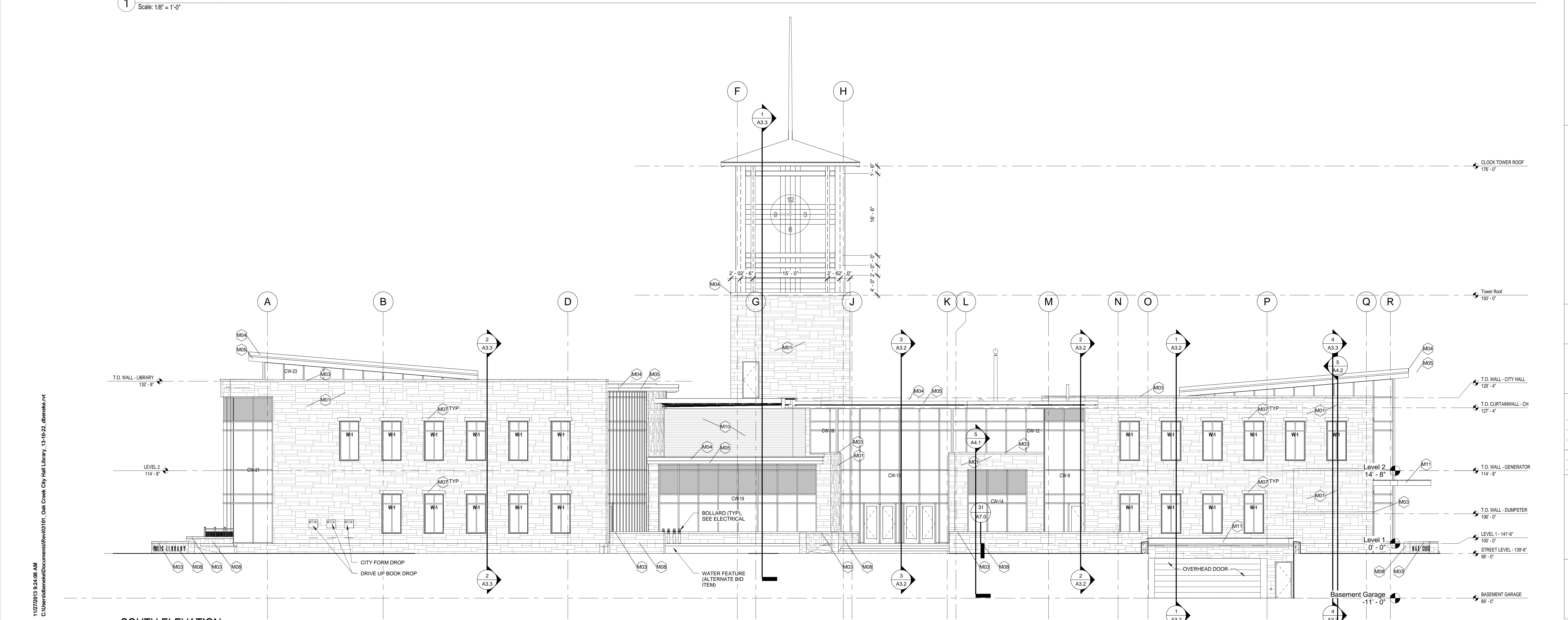
Sheet Number:
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ELEVATION KEYNOTE LEGEND	
M01 -	STONE (BRICK AS ALTERNATE PRICING)
M02 -	MASONRY CONTROL JOINT
M03 -	CAST STONE CHIP
M04 -	PRE-FINISHED METAL ROOF EDGE
M05 -	METAL SKYFIT
M06 -	METAL PANEL
M07 -	PAINTED STEEL UNTEL 8" C CHANNEL
M08 -	STONE RETAINING WALL W/OR PLANTER (BRICK AS ALTERNATE PRICING)
M09 -	SCUPPER
M10 -	LOOKER SCREEN WALL
M11 -	CANDY
M12 -	
M13 -	
M14 -	
M15 -	



1 CITY HALL - EAST ELEVATION
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



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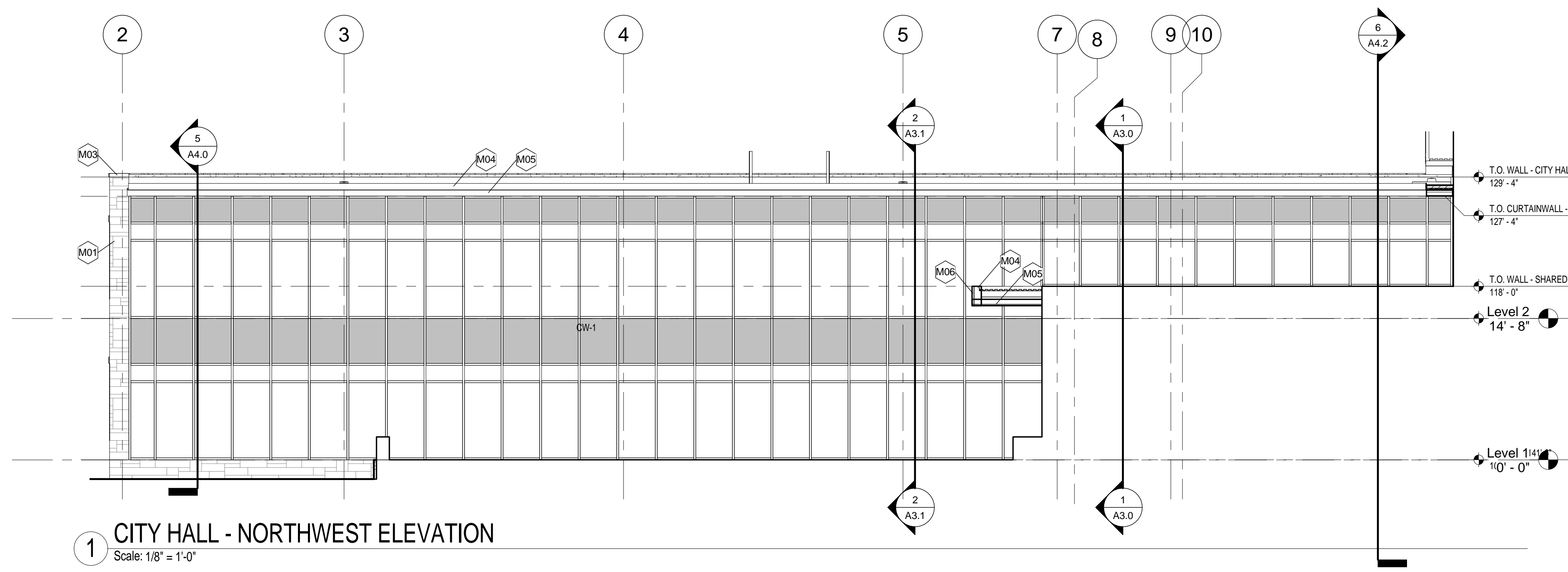
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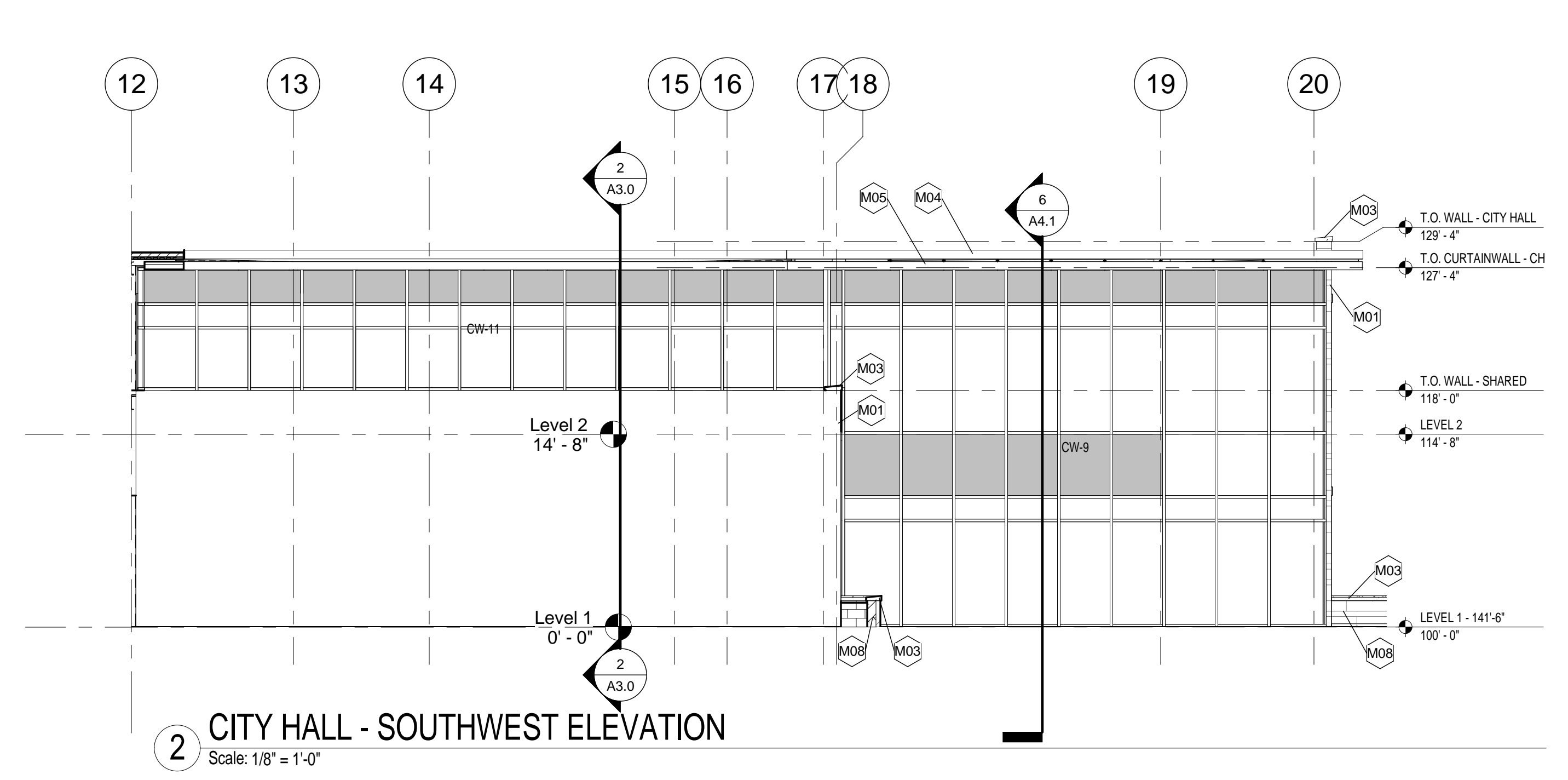
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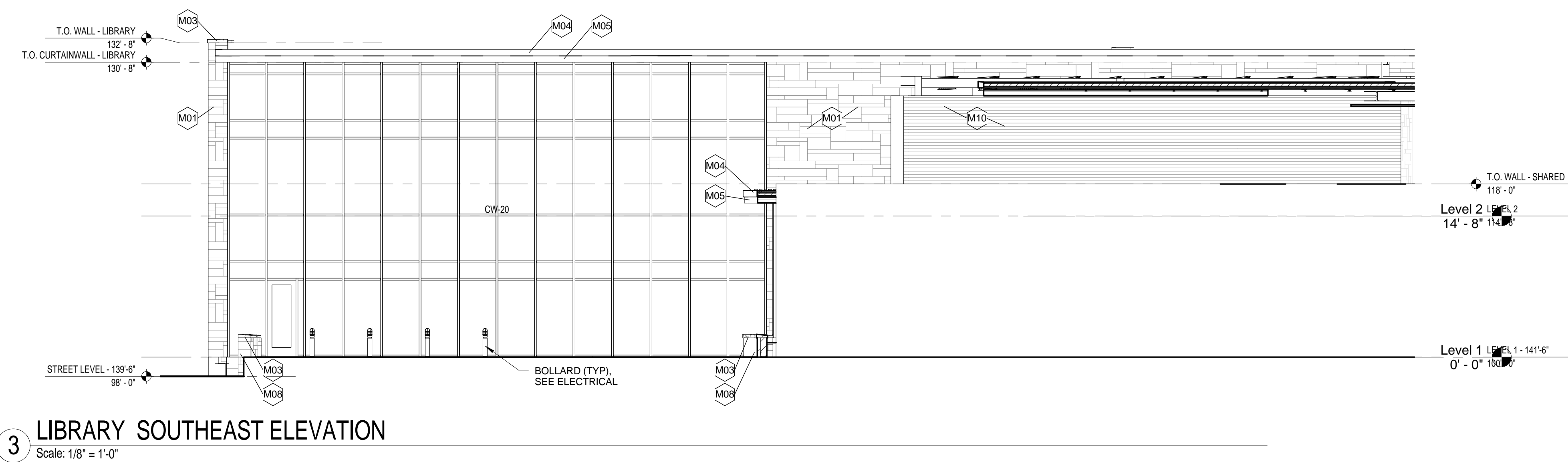
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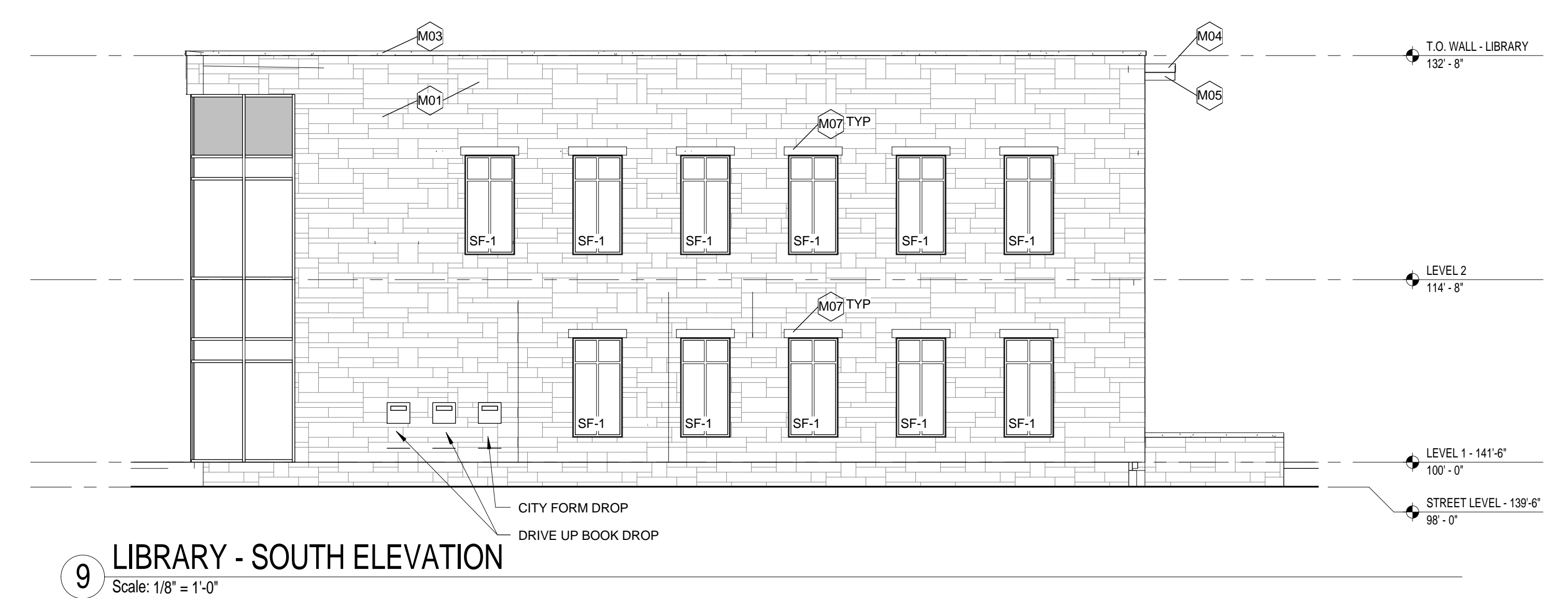
1 CITY HALL - NORTHWEST ELEVATION
Scale: 1/8" = 1'-0"



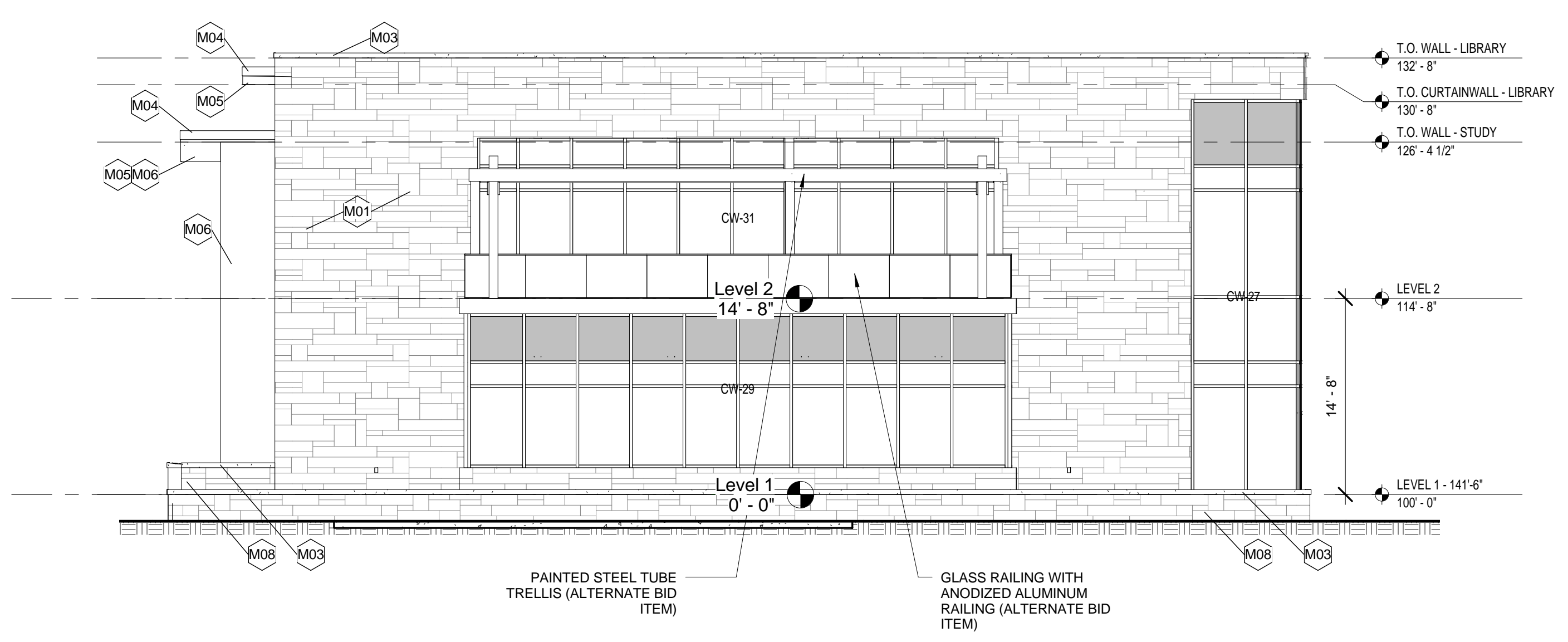
2 CITY HALL - SOUTHWEST ELEVATION
Scale: 1/8" = 1'-0"



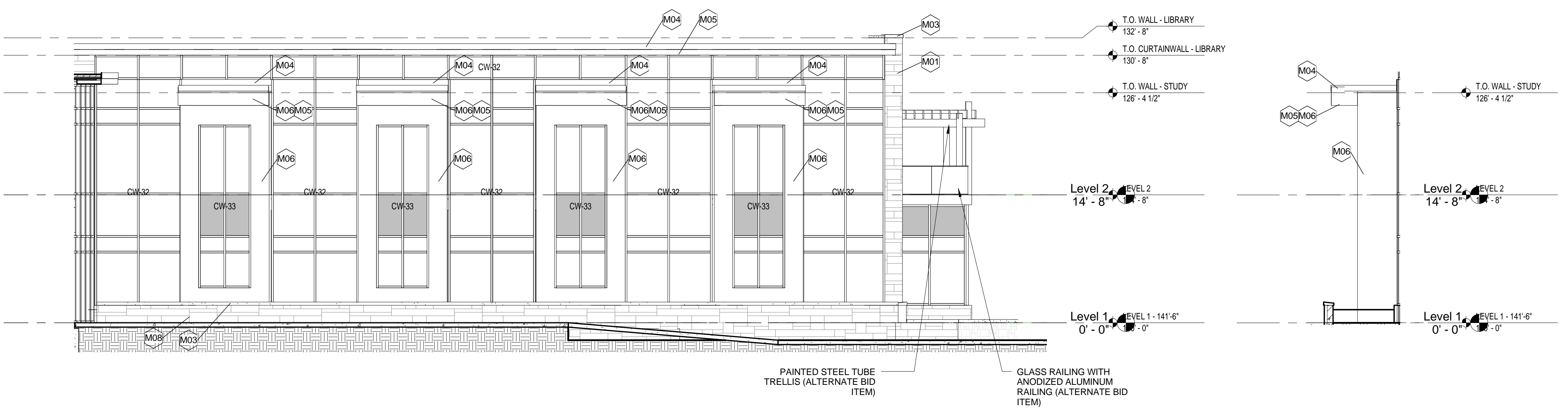
3 LIBRARY - SOUTHEAST ELEVATION
Scale: 1/8" = 1'-0"



9 LIBRARY - SOUTH ELEVATION
Scale: 1/8" = 1'-0"

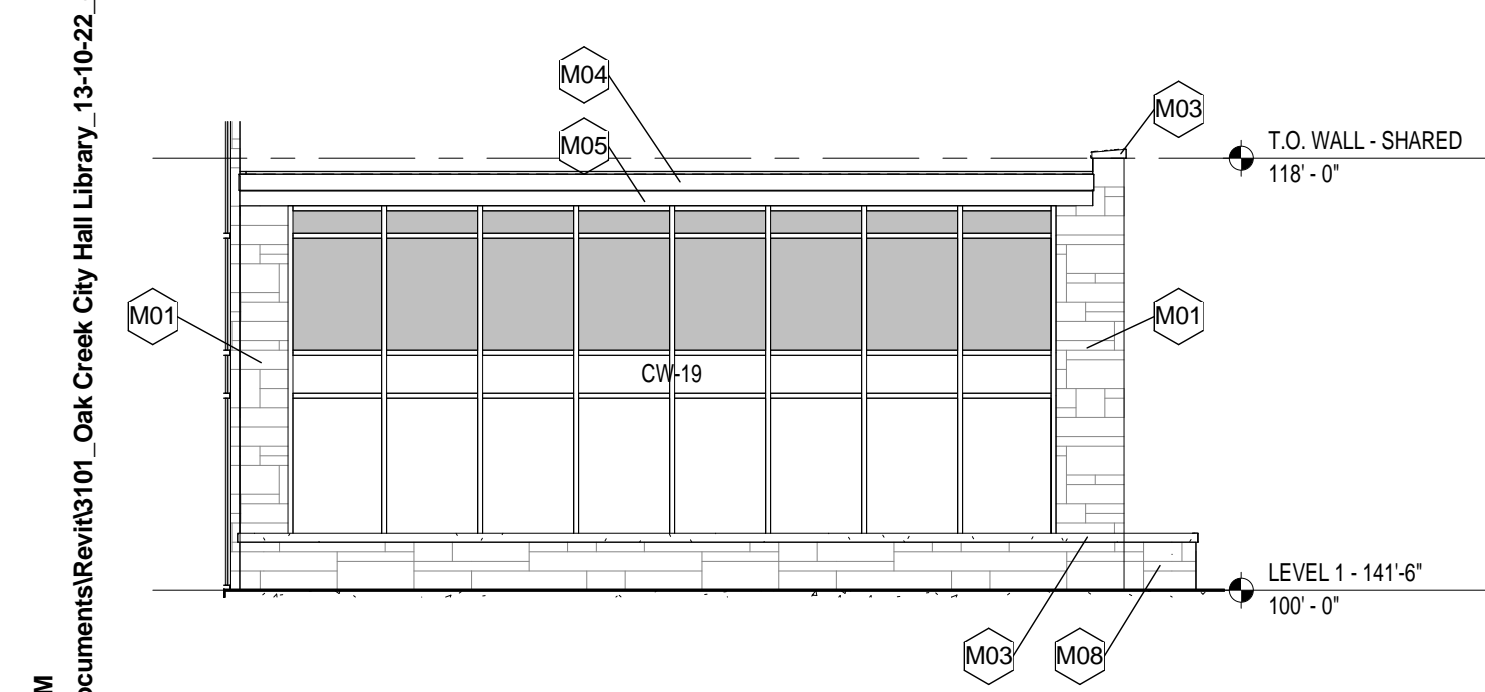


4 LIBRARY - NORTH ELEVATION
Scale: 1/8" = 1'-0"

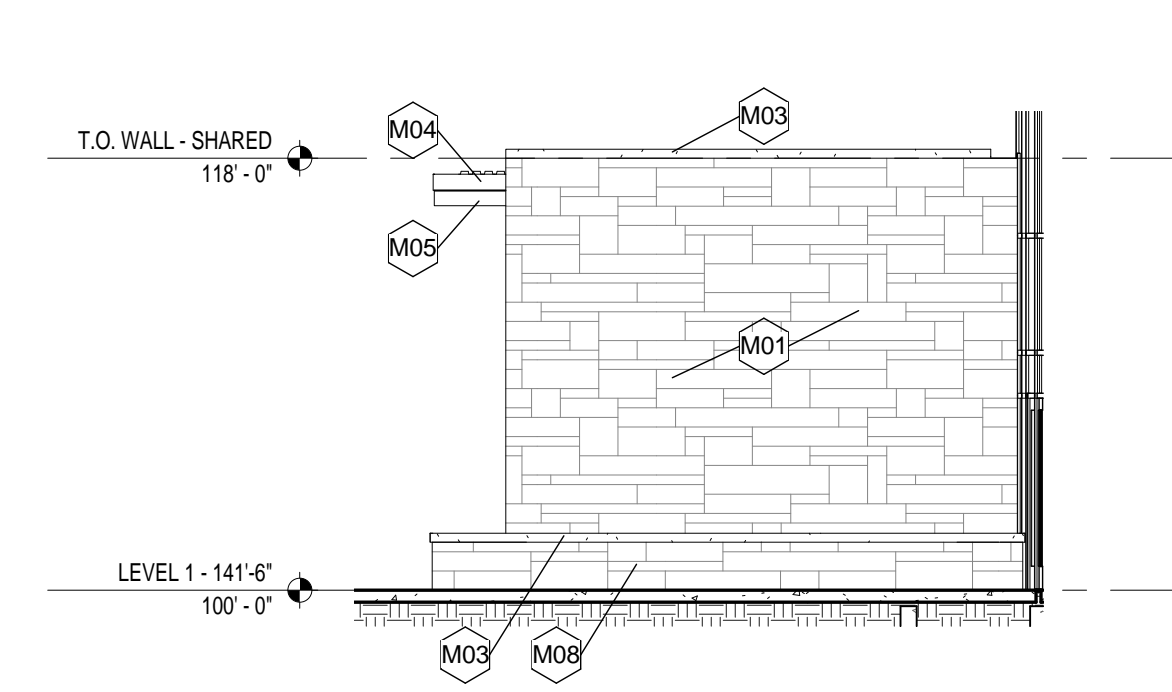


5 LIBRARY - NORTHEAST ELEVATION
Scale: 1/8" = 1'-0"

6 LIBRARY - METAL PANEL
Scale: 1/8" = 1'-0"



7 MULTI-PURPOSE - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



8 MULIT-PURPOSE - EAST ELEVATION
Scale: 1/8" = 1'-0"

ELEVATION KEYNOTE LEGEND	
M01	STONE BRICK (AS ALTERNATE PRICING)
M02	MASONRY CONTROL JOINT
M03	CAST STONE CAP
M04	PRE-FINISHED METAL ROOF EDGE
M05	METAL SOFFIT
M06	METAL PANEL
M07	PAINTED STEEL LINTEL 8" C-CHANNEL
M08	STONE RETAINING WALL (BRICK AS ALTERNATE PRICING)
M09	SCUPPER
M10	LOUVER SCREEN WALL
M11	CAUDRY
M12	
M13	
M14	
M15	

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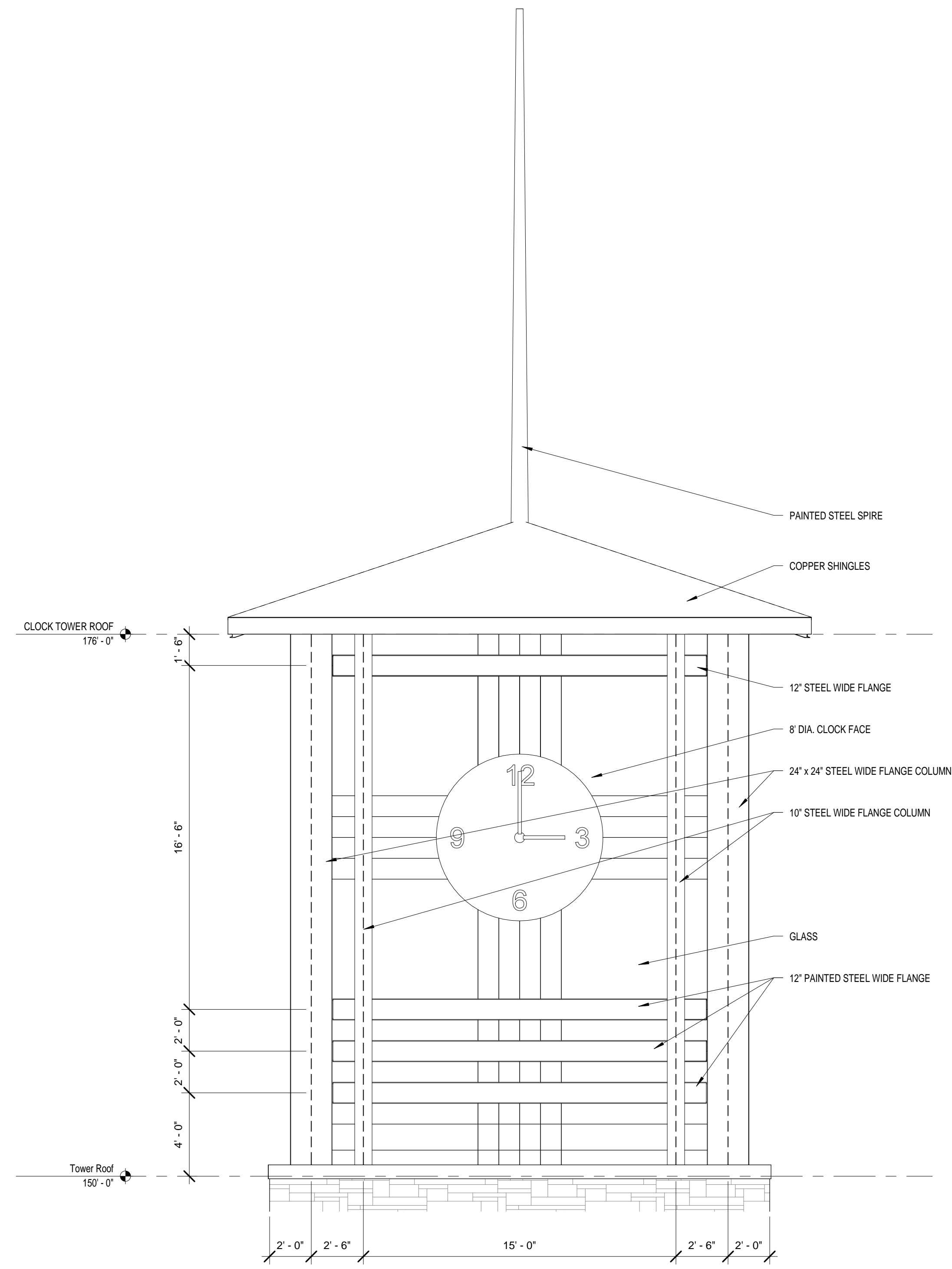
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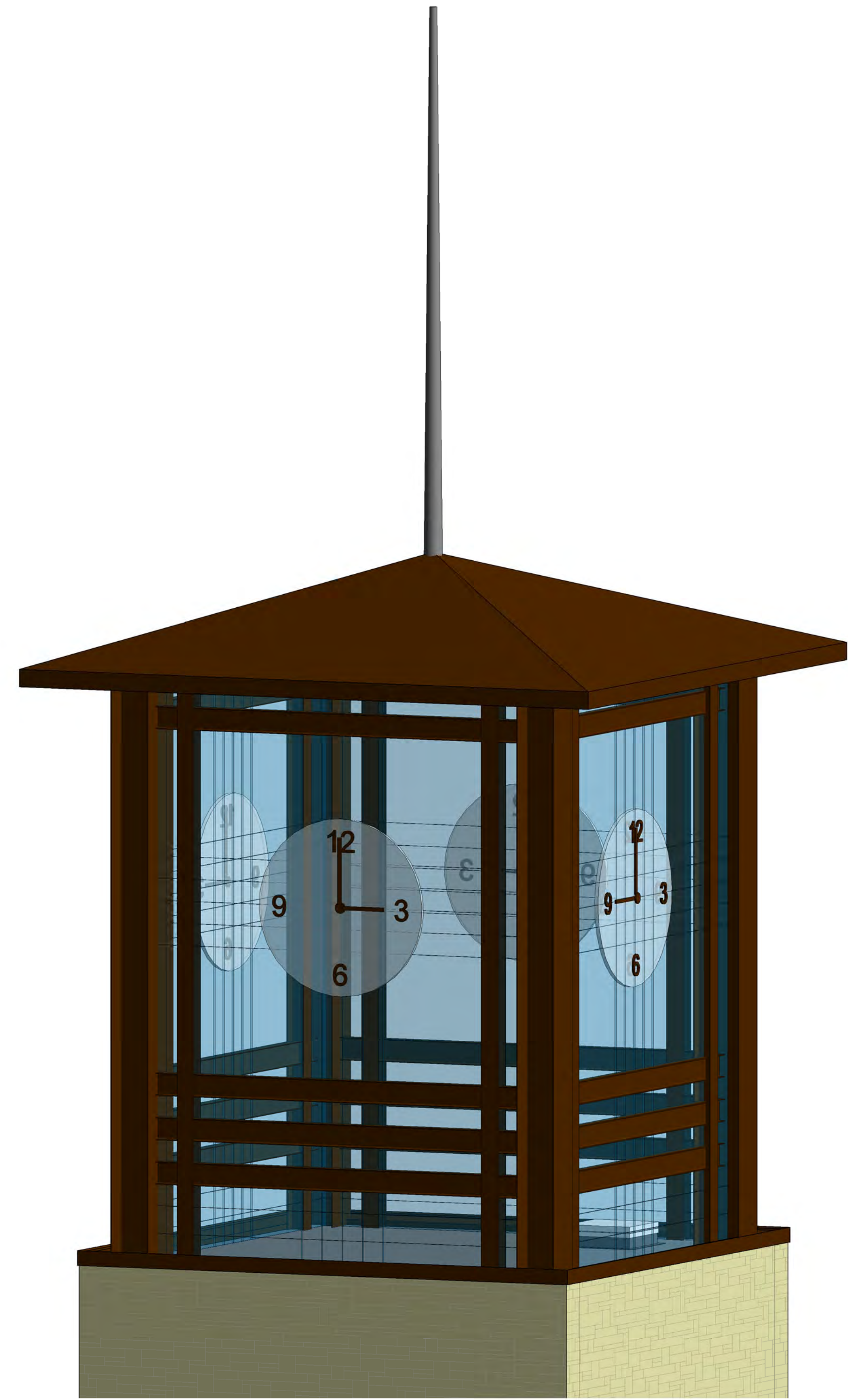
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Sheet Title:
**BUILDING
ELEVATIONS**

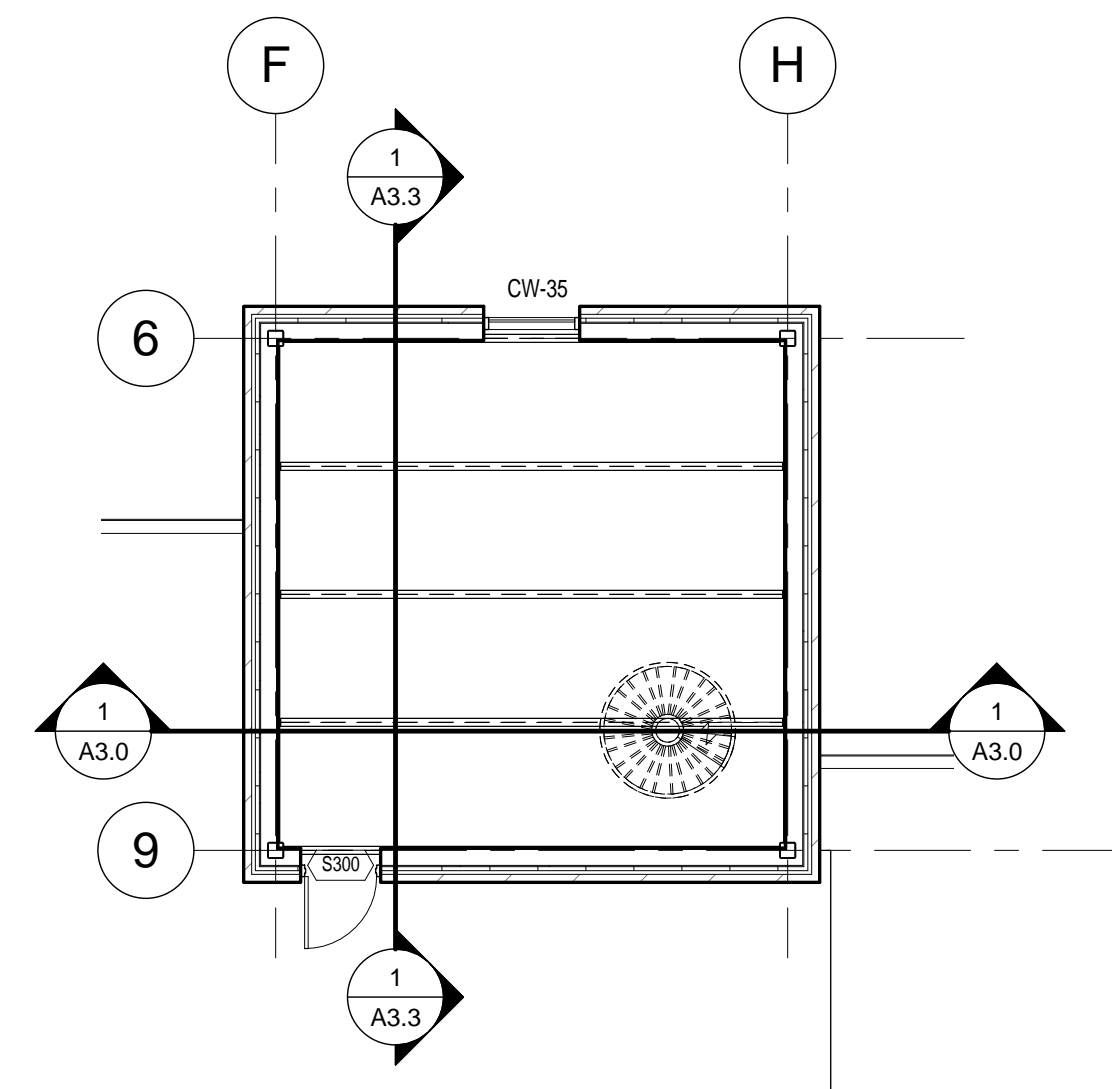
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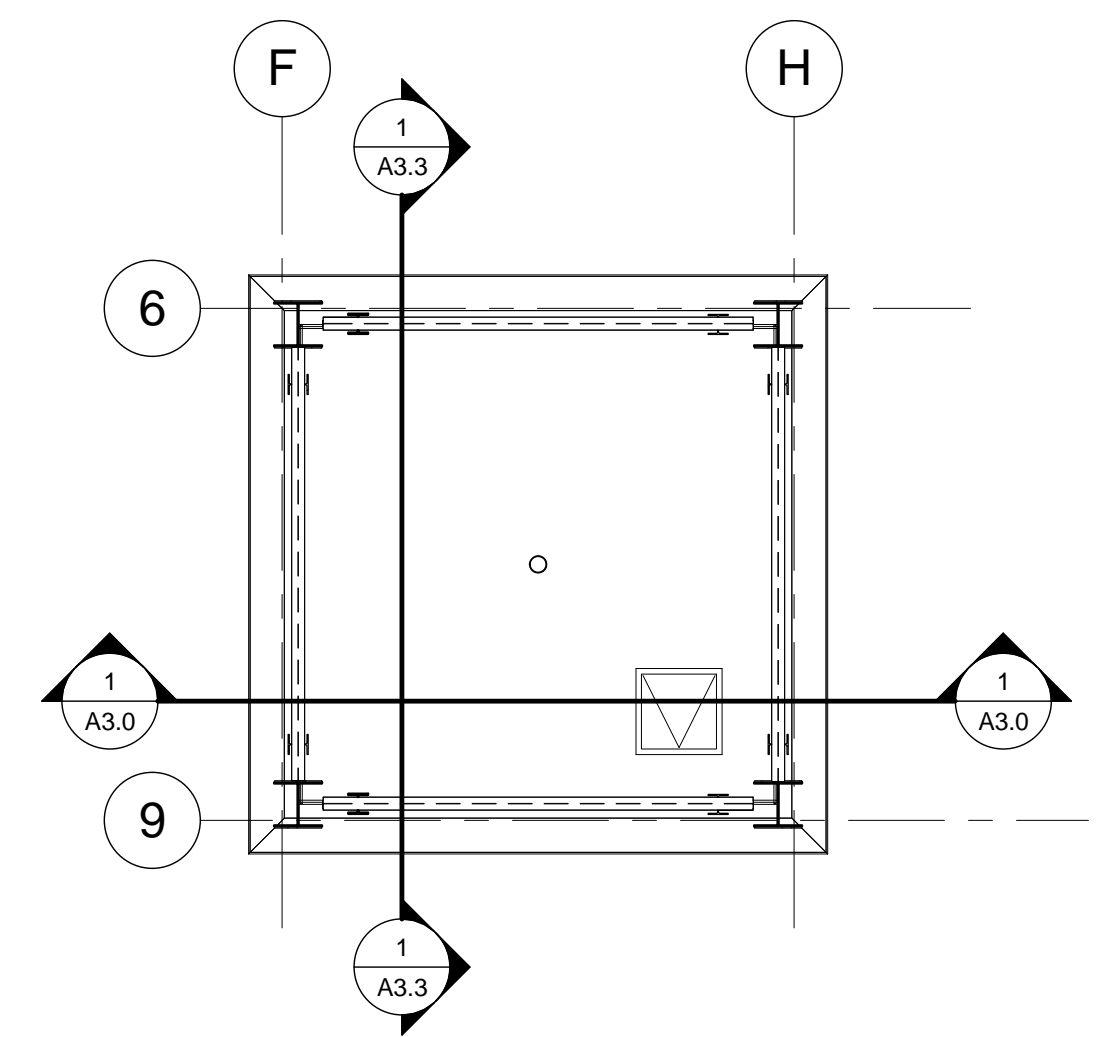
2 CLOCK - NORTH ELEVATION
Scale: 1/4" = 1'-0"



1 Clock Tower Axon
Scale:



3 1/8 Floor Plan - Level 3
Scale: 1/8" = 1'-0"



4 1/8 Floor Plan - Tower Roof
Scale: 1/8" = 1'-0"

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Issue Dates:

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Sheet Title:

CLOCK

Sheet Number:

A6.10



NORTH PLAZA



NORTHWEST CORNER



WEST ENTRANCE



SOUTHEAST CORNER - DRIVE UP BROOK DROP



SOUTH PLAZA



EAST ENTRANCE



Plan Commission Report

ITEM: 5f
DATE: January 14, 2014

PROJECT: Plan Review – Fire Station #1 (City of Oak Creek)

ADDRESS: 255 E. Centennial Dr.

TAX KEY NO: 860-9037

STAFF RECOMMENDATION: That the Plan Commission approves the site and building plan for the property at 255 E. Centennial Dr. with the following conditions:

1. That all building and fire codes are met.
2. A revised landscaping plan is submitted for review and approval by the Department of Community Development and Forestry.
3. That a detailed sign plan is submitted for review and approval by the Plan Commission.
4. That stormwater plans are submitted for review and approval by the Engineering Department.
5. That grading plans are submitted for review and approval by the Engineering Department.
6. That the plans are revised to include screening and building material details for the trash enclosure.

Ownership: City of Oak Creek, 8640 S. Howell Ave., Oak Creek, WI 53154

Size: 9.1 acres

Existing Zoning: I-1, Institutional

Adjacent Zoning: North – B-4, Highway Business (PUD); B-4, Highway Business
East – B-4, Highway Business (PUD)
South – B-3, Office and Professional Business; FW, Floodway; FF, Flood Fringe; C-1, Shoreland Wetland Conservancy
West – B-3, Office and Professional Business; FW, Floodway; FF, Flood Fringe; C-1, Shoreland Wetland Conservancy

Comprehensive Plan: Planned Mixed Use, Mixed Residential, Resource Protection Area.

Wetlands: Yes, on western, southern, and eastern portions of the property.

Floodplain: Yes, on the western portion of the property.

Official Map: N/A.

Commentary: The City of Oak Creek is requesting approval of an 18,994 square-foot, 2-story fire station building (with basement and garage) at 255 E. Centennial Dr. This building will replace the existing Fire Station #1 on Puetz Road. All setbacks appear to be met with the submitted plans.

The main portion of the building – 11,964 square feet – will be on the first floor. The second floor will contain bunk rooms, restrooms, a kitchen, day room, and associated space. There will not be a floor over the apparatus bay on the first floor.

Parking of apparatus and vehicles will be within the apparatus bay and/or garage. Public and employee parking has been provided on the west side of the building (2 standard stalls and 1 disabled access stall) as well as to the south and southeast of the building (20 standard stalls). While landscaping plans are incomplete at this point, the plans do indicate that there will be vegetation and trees on the south side of the parking lot, on the eastern side of the building between the right-of-way and parking stalls, near the entrance to the building, and on the western side of the access drive.

Although the submitted plans indicate that there will be signage associated with this building, sign details have not been submitted. Staff has therefore recommended a condition that detailed sign plans be submitted for Plan Commission review and approval.

Building materials for the fire station include brick, stone, cast stone, EIFS, and CMU block. Chapter 17 of the Municipal Code requires a minimum of 75% of the visible perimeter of a building be constructed of glass, brick or decorative masonry. EIFS and CMU block will only be used on the clerestory, which will be seen on the east and west rooflines. As such, the EIFS and CMU block materials comprise less than 25% of the visible perimeter in compliance with Code requirements.

A trash enclosure will be located at the southwest portion of the access drive. Building materials for the trash enclosure have not been submitted, but will be required to match the materials used in the main building as closely as possible.

These plans represent the 'base bid' for the project. Budgetary considerations may require the modification of certain elements of the plan.

If the Commission is comfortable with the submitted plans and conditions as stated above, Staff recommends approval of the site and building plans.

Prepared by:



Kari Papelbon, CFM, AICP
Planner

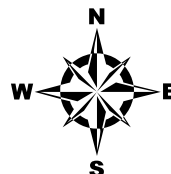
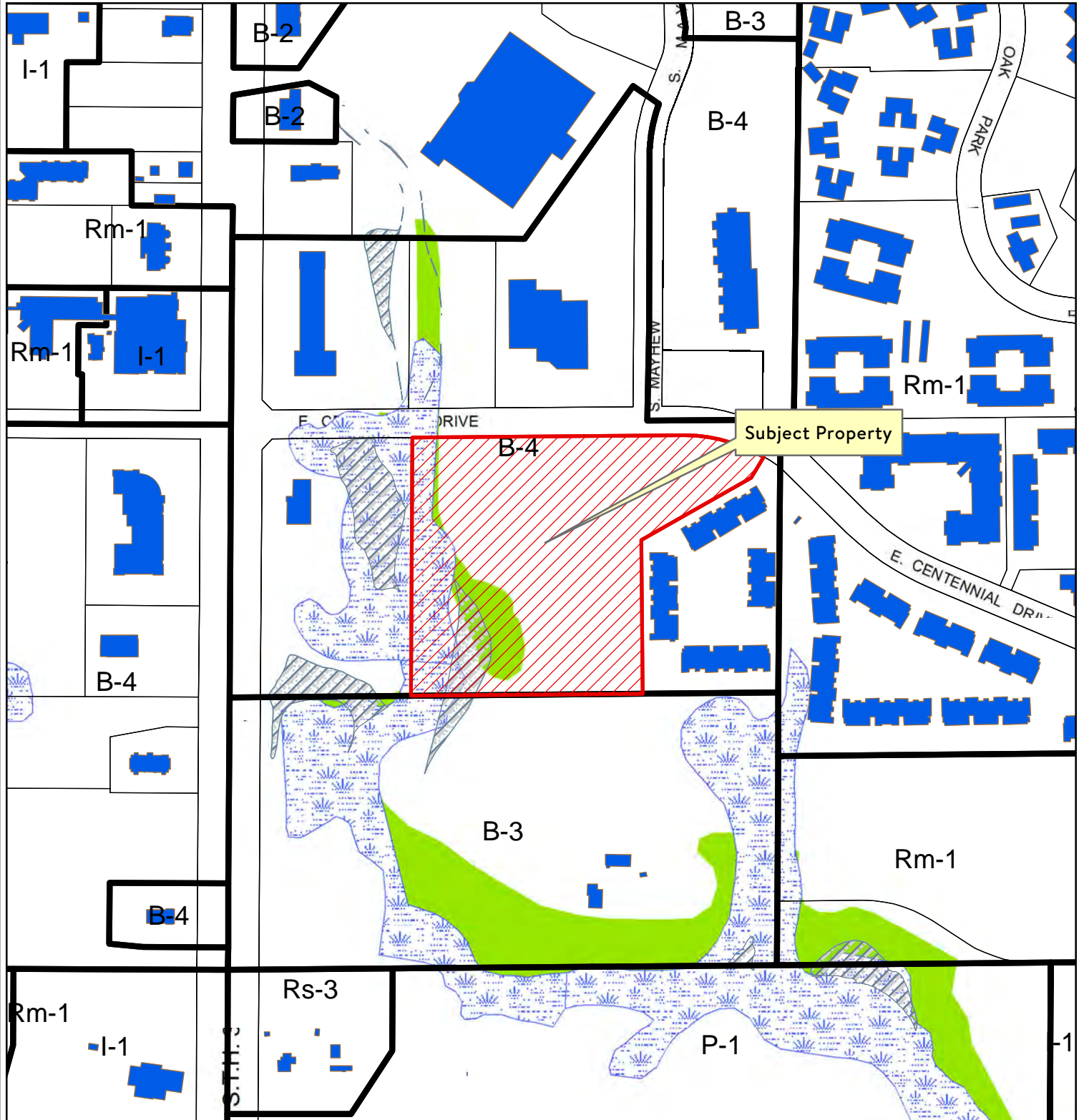
Respectfully Submitted by:



Douglas Seymour, AICP
Director of Community Development

Location Map

255 E. Centennial Dr.



Legend	
	255 E. Centennial Dr.
	Existing Street Pattern
	Floodfringe
	Wetland
	Flood Fringe (FF)
	Shoreland Wetland Conservancy (C-1)
	Lakefront Overlay District (LOD)
	Mixed Use Neighborhood Overlay (NO)
	Mixed Use Office Overlay (OO)
	Regional Retail Overlay District (RR)

Consultants

Civil

Kapur & Associates, Inc.

7711 N. Port Washington Rd.
Milwaukee, WI 53217
Phone: (414) 351-6668
FAX: (414) 351-4117

Landscape

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FAX: (414) 351-4117

Structural

Ambrose Engineering, Inc.

W66 N215 Commerce Ct., Suite #100
Cedarburg, WI 53012
Phone: (262) 377-7602
FAX: (262) 377-4868

Plumbing & Fire Protection

Muermann Engineering, LLC

W227 N16867 Tillie Lake Court
Jackson, WI 53037
Phone: (262) 677-4588
FAX: (262) 677-4830

HVAC

Fredericksen Engineering

12308 Corporate Parkway, Suite 400
Mequon, WI 53092
Phone: (262) 243-9090
FAX: (262) 243-9233

Electrical

Muermann Engineering, LLC

116 Fremont Street, P.O. Box 235
Kiel, WI 53042
Phone: (920) 894-7800
FAX: (920) 894-7916

Oak Creek Fire Station #1

Oak Creek Fire Department

Centennial Drive
Oak Creek, WI

75% SET



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Drawing Index

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G0.2	General Notes & Wall Types	A9.1	Second Floor - Finishes				
Civil		Plumbing					
C1.1	Site Demolition Plan	P0.0	Schedules				
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A1.6	Roof Plan	E4.0	Electrical Details				
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A3.1	Building Sections	E6.0	Fixture Schedule & Symbols List				
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A6.1	Locker Casework						
A8.0	Door Schedule & Types						

Project Title:
Oak Creek Fire Station #1
Oak Creek Fire Department
Centennial Drive
Oak Creek, WI

Project Number:

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Issued For:

Construction Documents

Issue Dates:

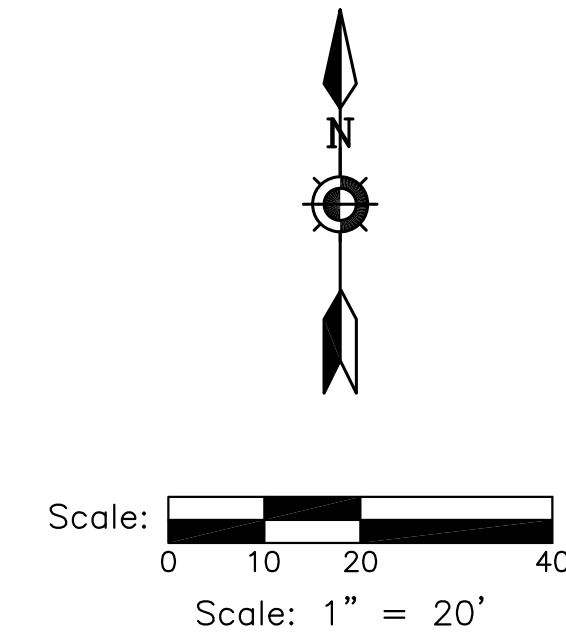
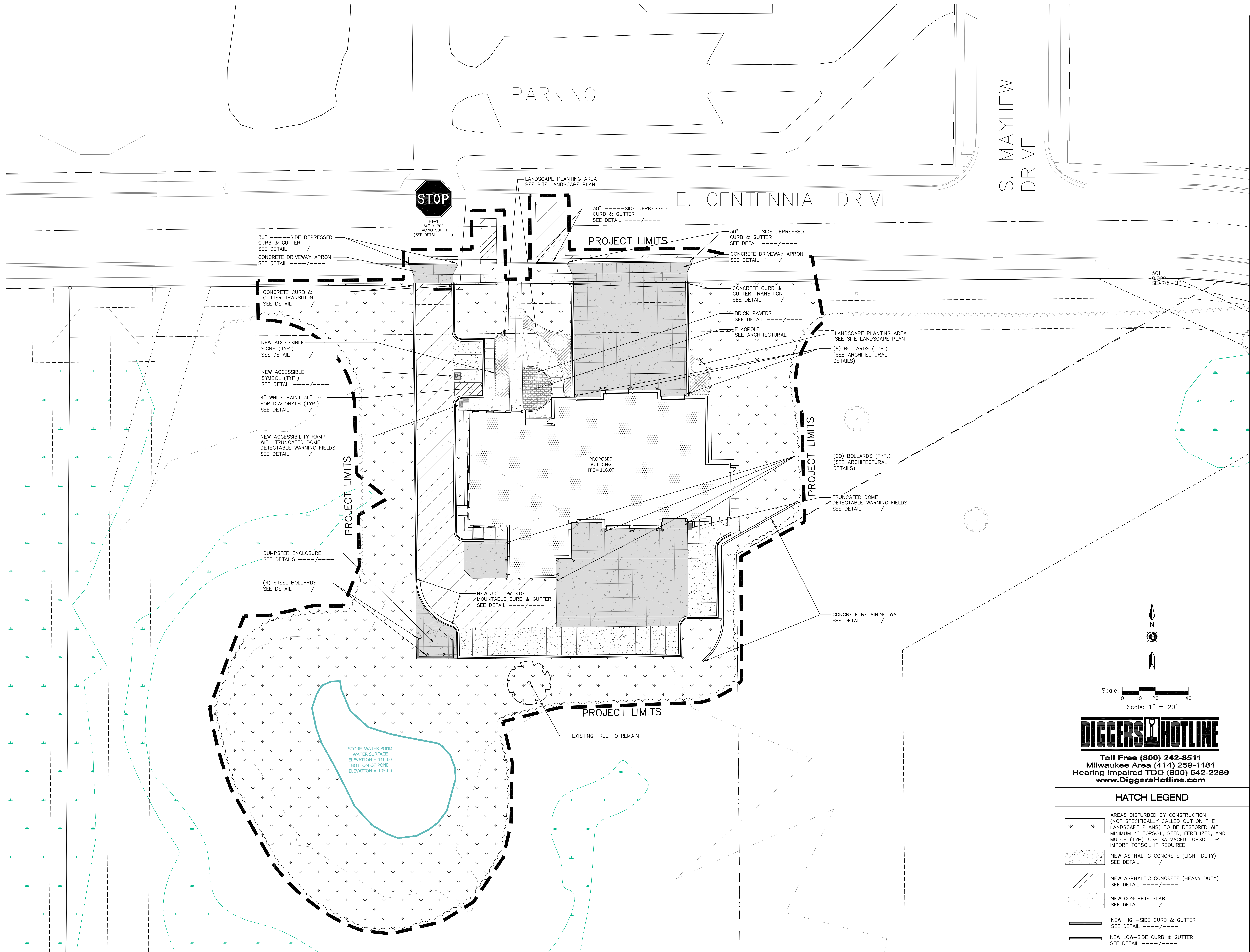
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Sheet Title:

Cover Sheet

Sheet Number:

G0.0



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HATCH LEGEND

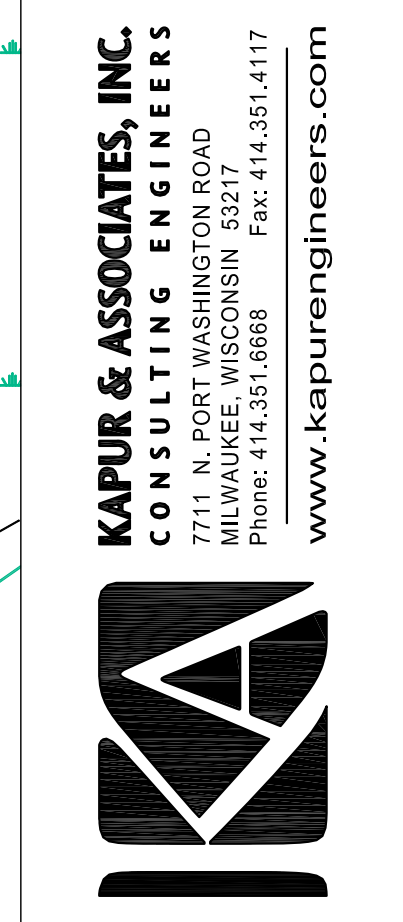
	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP.). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	NEW ASPHALTIC CONCRETE (LIGHT DUTY) SEE DETAIL
	NEW ASPHALTIC CONCRETE (HEAVY DUTY) SEE DETAIL
	NEW CONCRETE SLAB SEE DETAIL
	NEW HIGH-SIDE CURB & GUTTER SEE DETAIL
	NEW LOW-SIDE CURB & GUTTER SEE DETAIL



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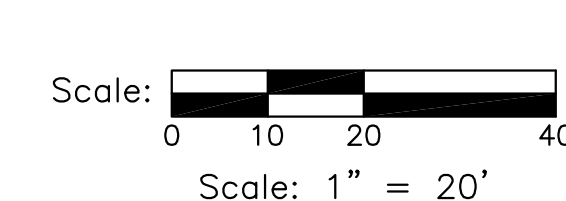
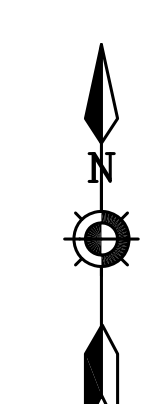
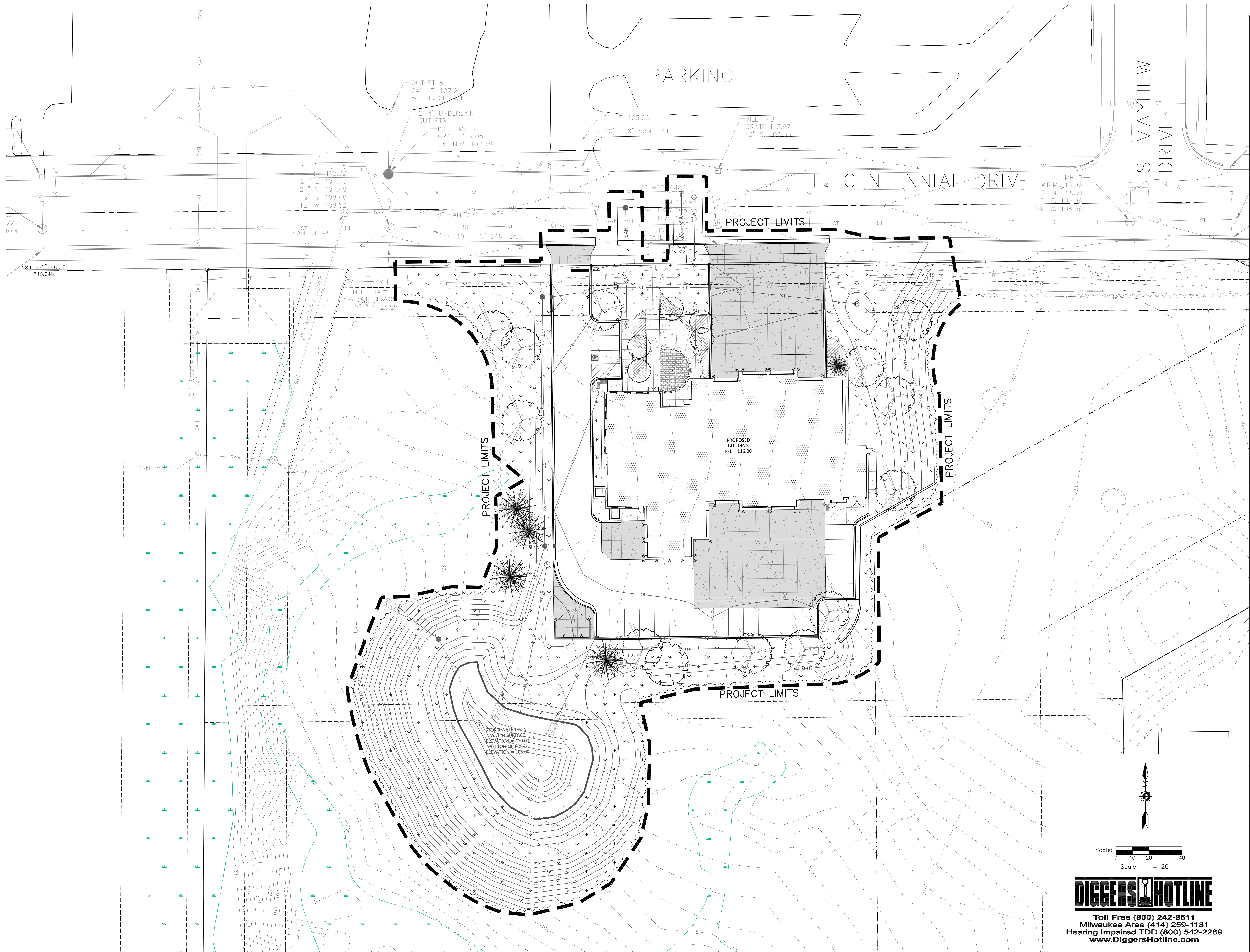
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Sheet Title:
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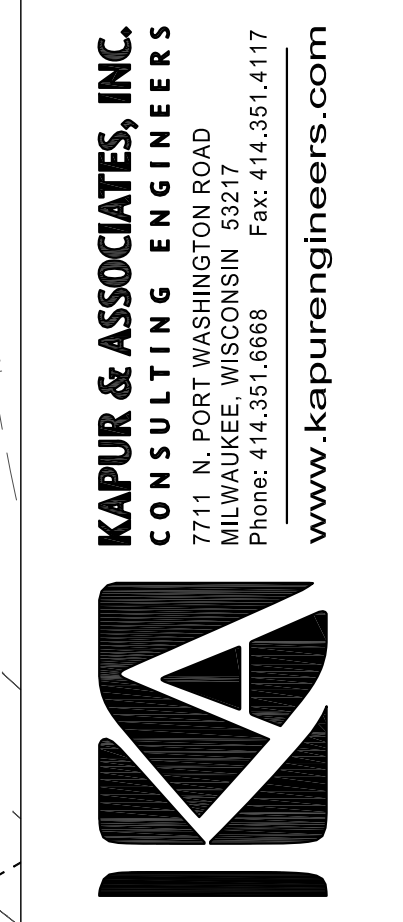
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C1.2



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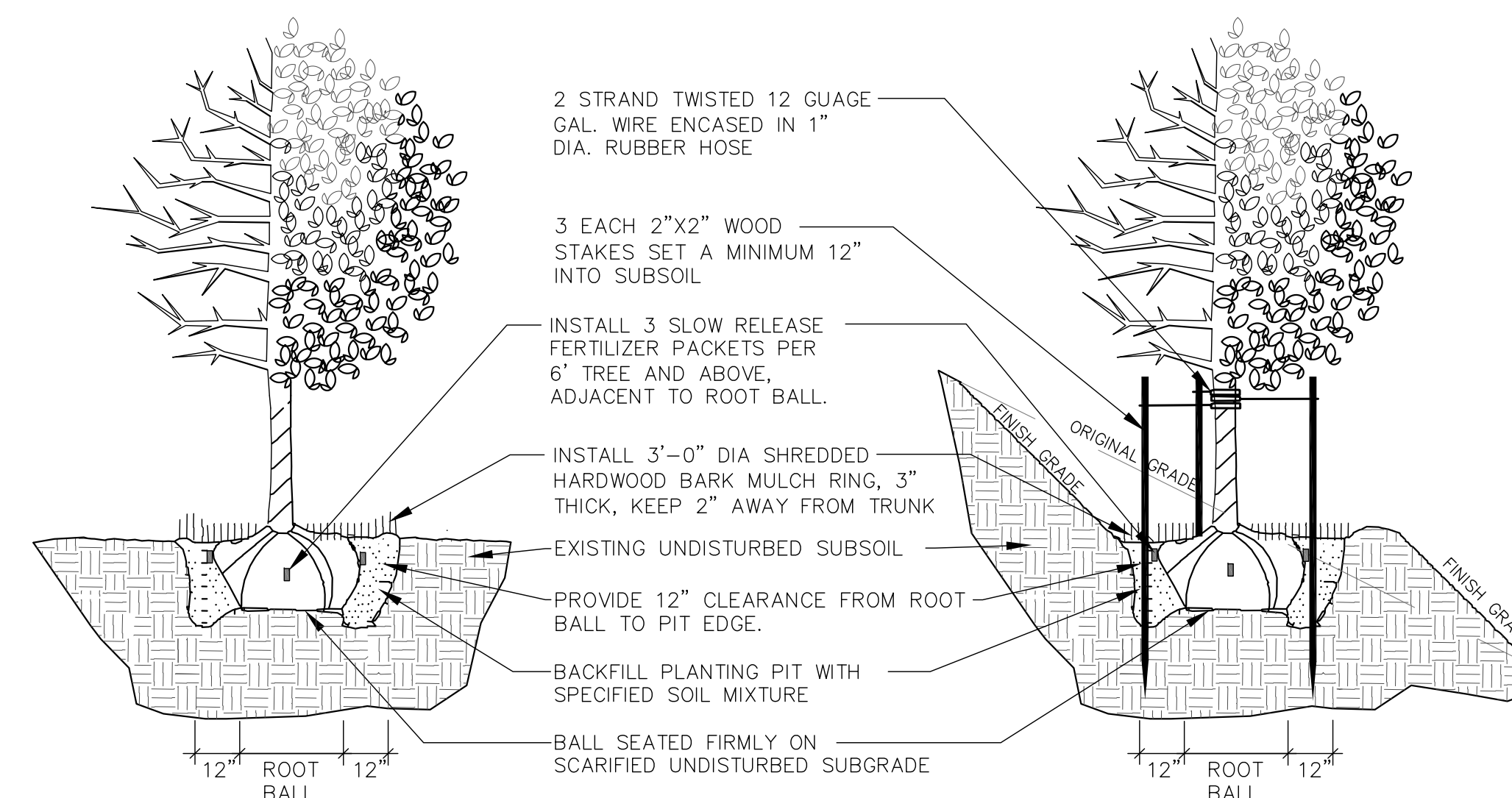
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Sheet Title:
 SITE LANDSCAPE PLAN

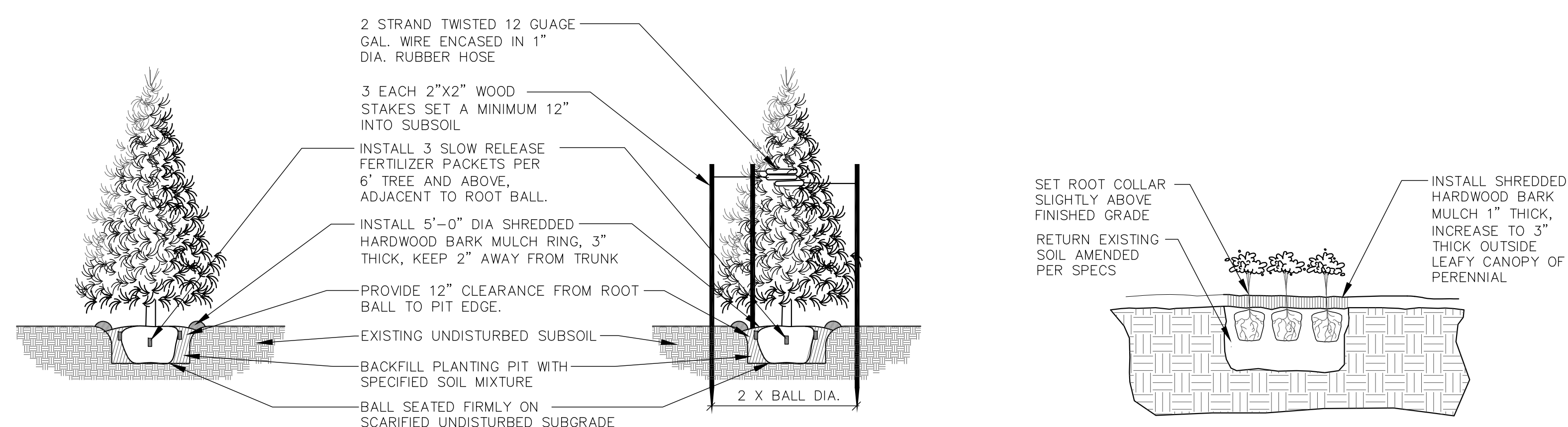
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 L1.1

- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 4, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- LANDSCAPE EDGING TO BE POLY EDGING. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- ALL SHRUB PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR WEED FABRIC WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
- ALL PERENNIAL PLANTING AREAS TO RECEIVE A 2-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH AND PRE-EMERGENT HERBICIDE WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- ALL GROUND COVER PLANTING AREAS TO RECEIVE A 1-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATIONS 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED TURF AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
- REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
- INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
- STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. ATTACH WIRE TO THREE STAKES POSITIONED EVENLY AROUND THE TREE. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- 12 & 24-INCH STONE MAINTENANCE STRIP AROUND BUILDING. INSTALL 1-INCH TO 2-INCH MISSISSIPPI RIVER STONE OR EQUIVALENT 3-INCHES DEEP OVER WEED FABRIC WITH EDGING BETWEEN MAINTENANCE STRIP/PLANTING AREAS/TURF. REFER TO SPECIFICATIONS.
- SEED MIX 1 TO BE AGRECOL INFILTRATION SWALE SEED MIX. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. AGRECOL ADDRESS: 10101 NORTH CASEY ROAD EVANSVILLE, WI 53536 TELEPHONE: 608-223-3571 FAX: 608-884-4640 EMAIL: ECOSOLUTIONS@AGRECOL.COM.
- SEED MIX 2 TO BE AGRECOL SAVANNA/WOODLAND EDGE NATIVE SEED MIX. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. AGRECOL ADDRESS: 10101 NORTH CASEY ROAD EVANSVILLE, WI 53536 TELEPHONE: 608-223-3571 FAX: 608-884-4640 EMAIL: ECOSOLUTIONS@AGRECOL.COM.
- FLAGSTONE STEPPERS SHALL BE BLUESTONE COLLECTION: BLUE ICE 24"x12", 1-2" THICK PLACED ON GRADE FROM HALQUIST STONE 2875 W. RYAN ROAD FRANKLIN, WI 53132 TELEPHONE: 414-761-0444 FAX: 414-761-3244 EMAIL: INFO@HALQUISTSTONE.COM.
- CONTRACTOR SHALL INSTALL 3"x6" PLANT IDENTIFICATION SIGNS AT EACH DECIDUOUS, ORNAMENTAL, AND EVERGREEN TREE. PLANT IDENTIFICATION SIGNS TO BE 3"x6" HIGH QUALITY BOTANICAL GARDEN SIGNS. CONTACT PLANT SIGNS AT 1384 S 700 W SPRINGVILLE, UTAH 84663. TELEPHONE: (760)420-9143. FAX: (760)645-7017. EMAIL: SALES@PLANTSIGNS.COM. WEBSITE: HTTP://WWW.PLANTSIGNS.COM.
- BENCHES SHALL BE WAUSAU TILE, MF2218, COLOR 90-BLACK, AND BOLTED TO CONCRETE SIDEWALK. REFER TO CONCRETE DETAIL ON CIVIL SHEET. SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. WAUSAU TILE P.O. BOX 1520 WAUSAU, WI 54402. TELEPHONE: (800)388-8728 FAX: (715)355-4627 WEBSITE: WWW.WAUSAUTILE.COM
- REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

2 LANDSCAPE NOTES
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



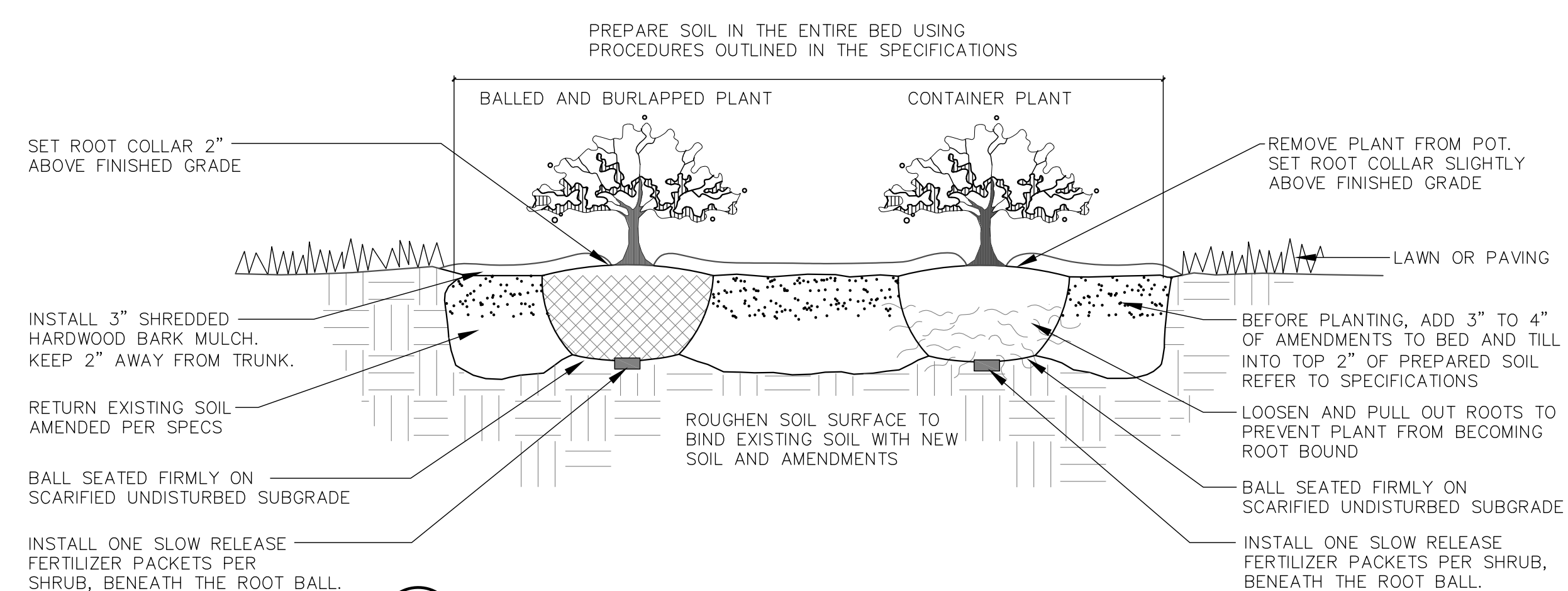
3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE
N.T.S.



5 EVERGREEN TREE PLANTING & STAKING
N.T.S.

6 PERENNIAL PLANTING
N.T.S.

1 LANDSCAPE PLANTING SCHEDULE
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



4 DECIDUOUS & EVERGREEN SHRUB PLANTING
N.T.S.

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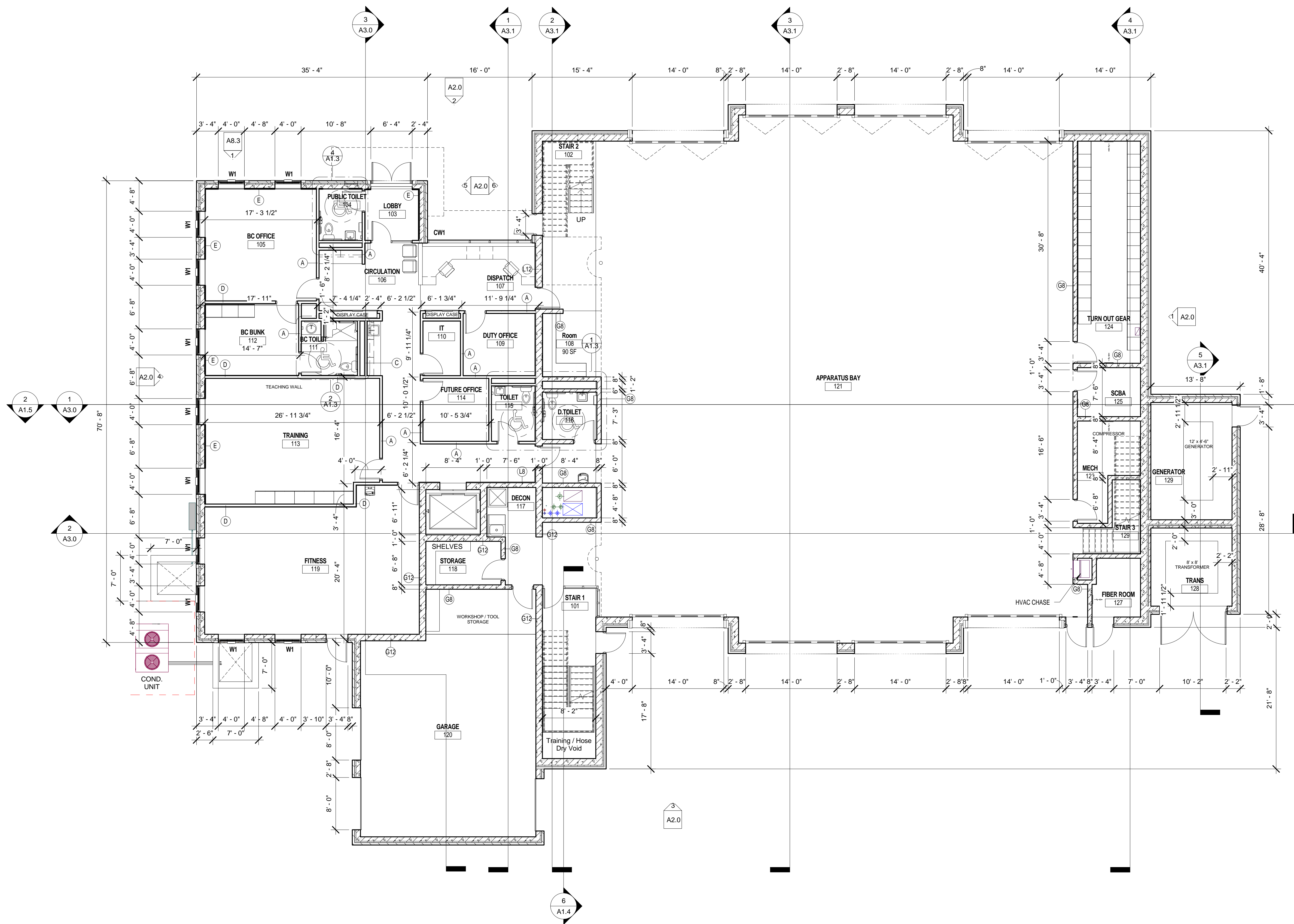
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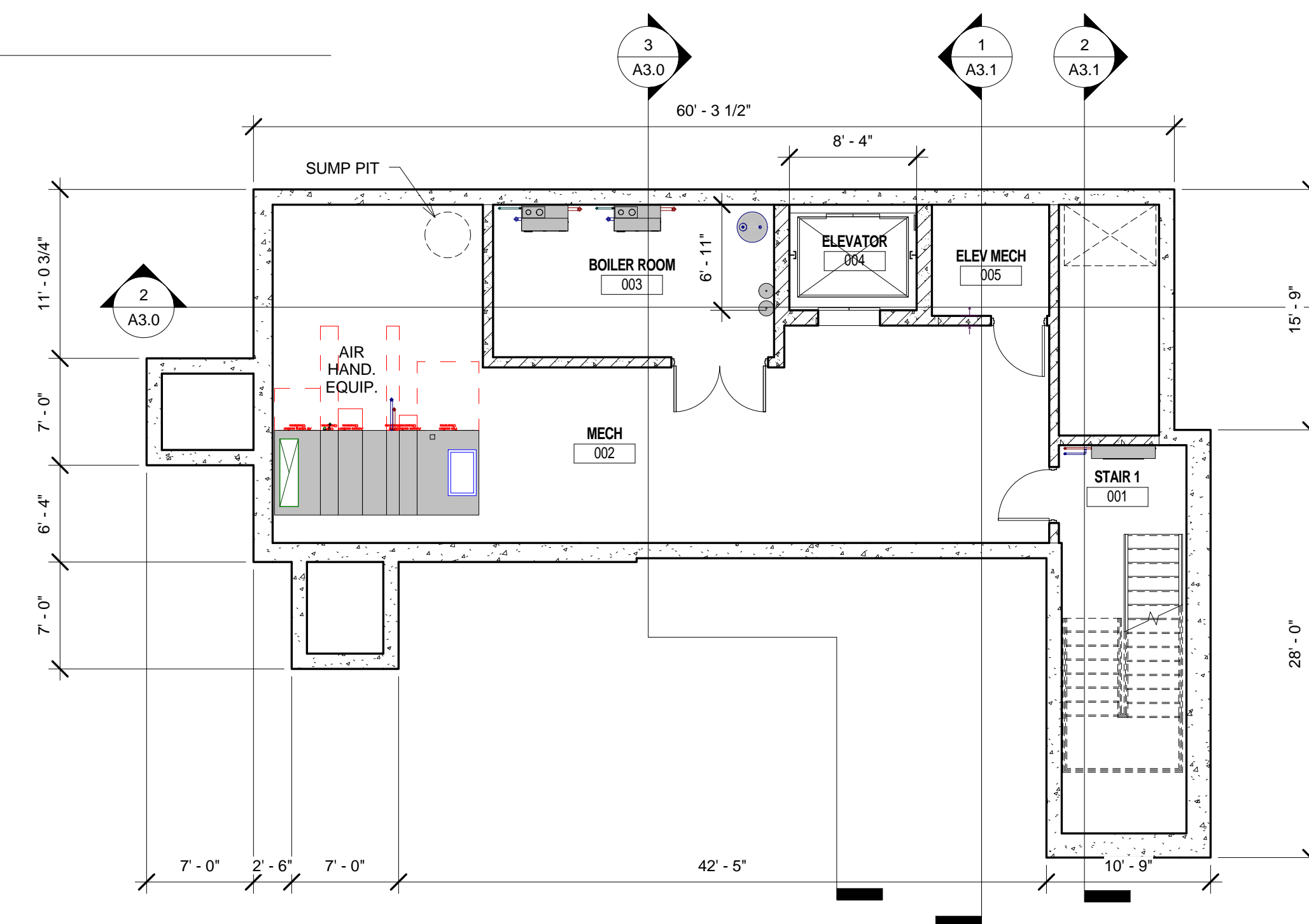
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Sheet Title:
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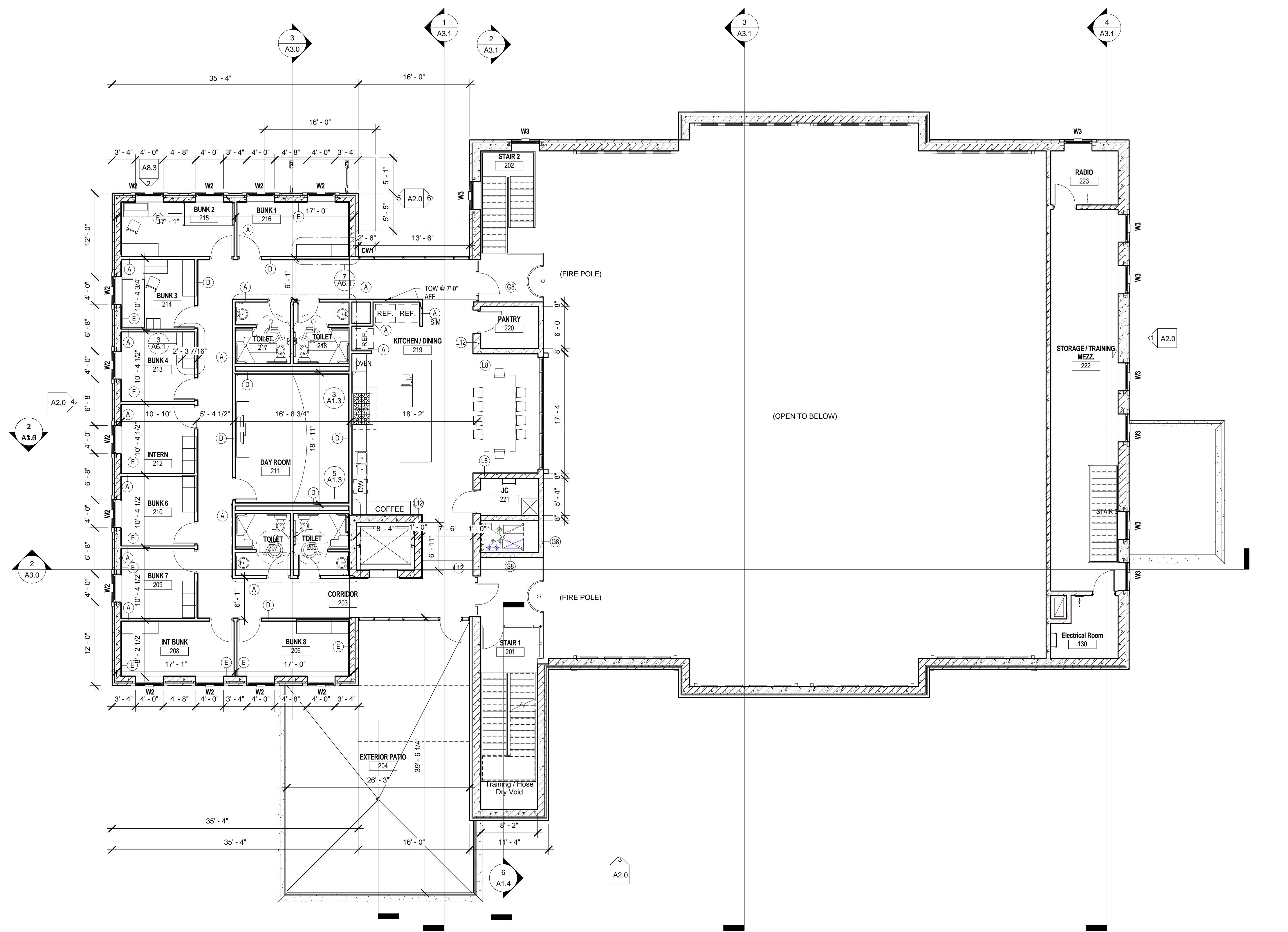
Sheet Number:
L2.1



1 1/8 - Floor Plan - First Floor
1/8" = 1'-0"



2 1/8 - Floor Plan - Basement
1/8" = 1'-0"



1 1/8" - Floor Plan - Second Floor
 1/8" = 1'-0"

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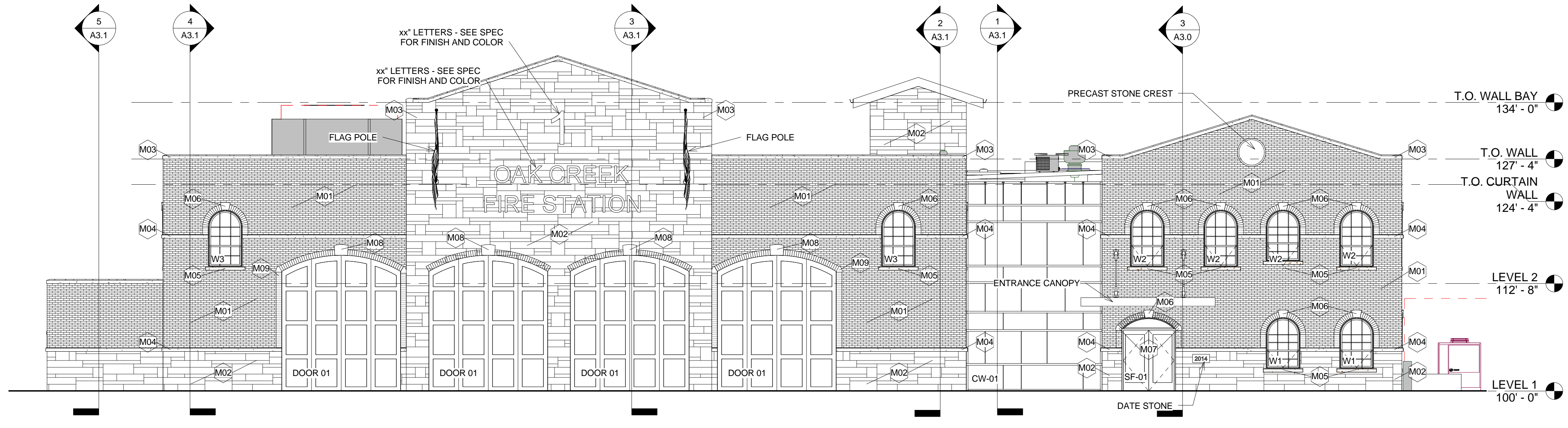
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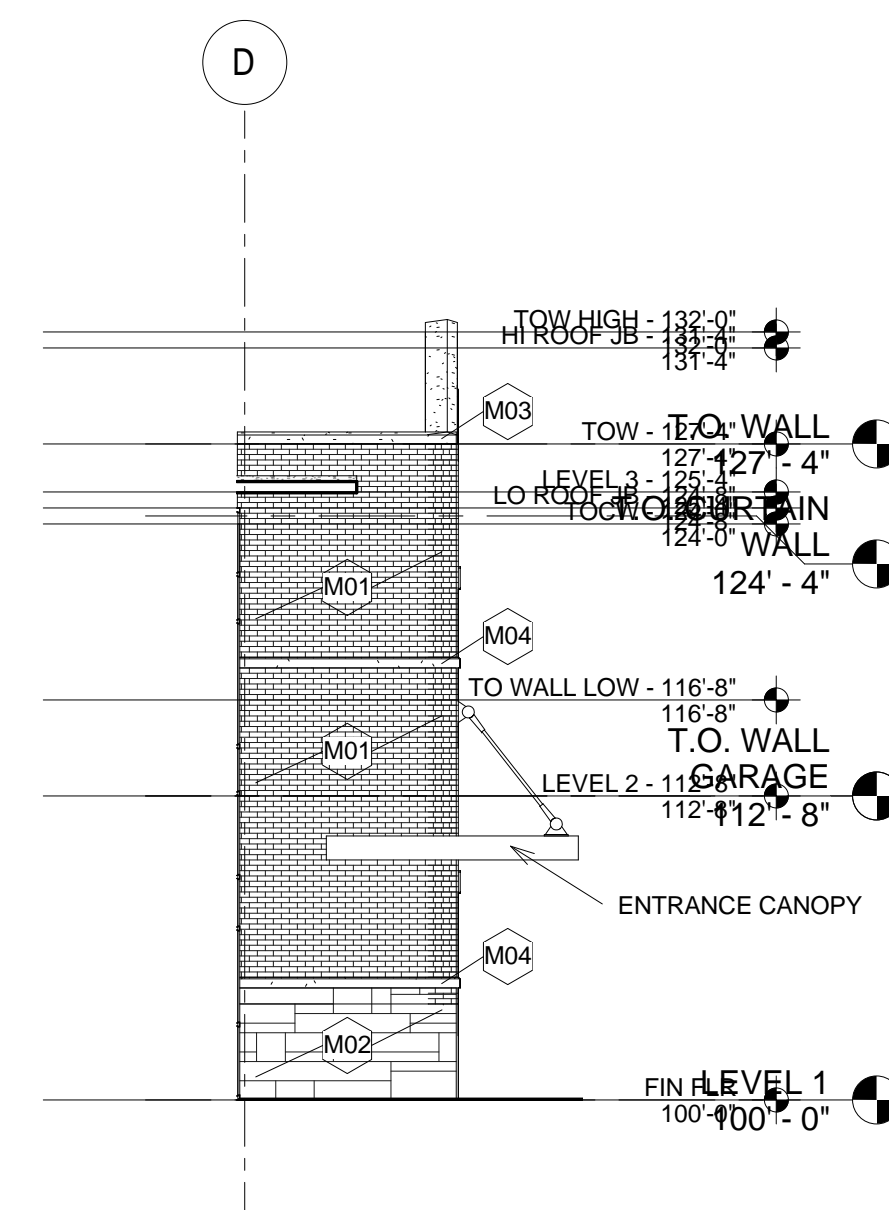
Second Floor Plan

Sheet Number:

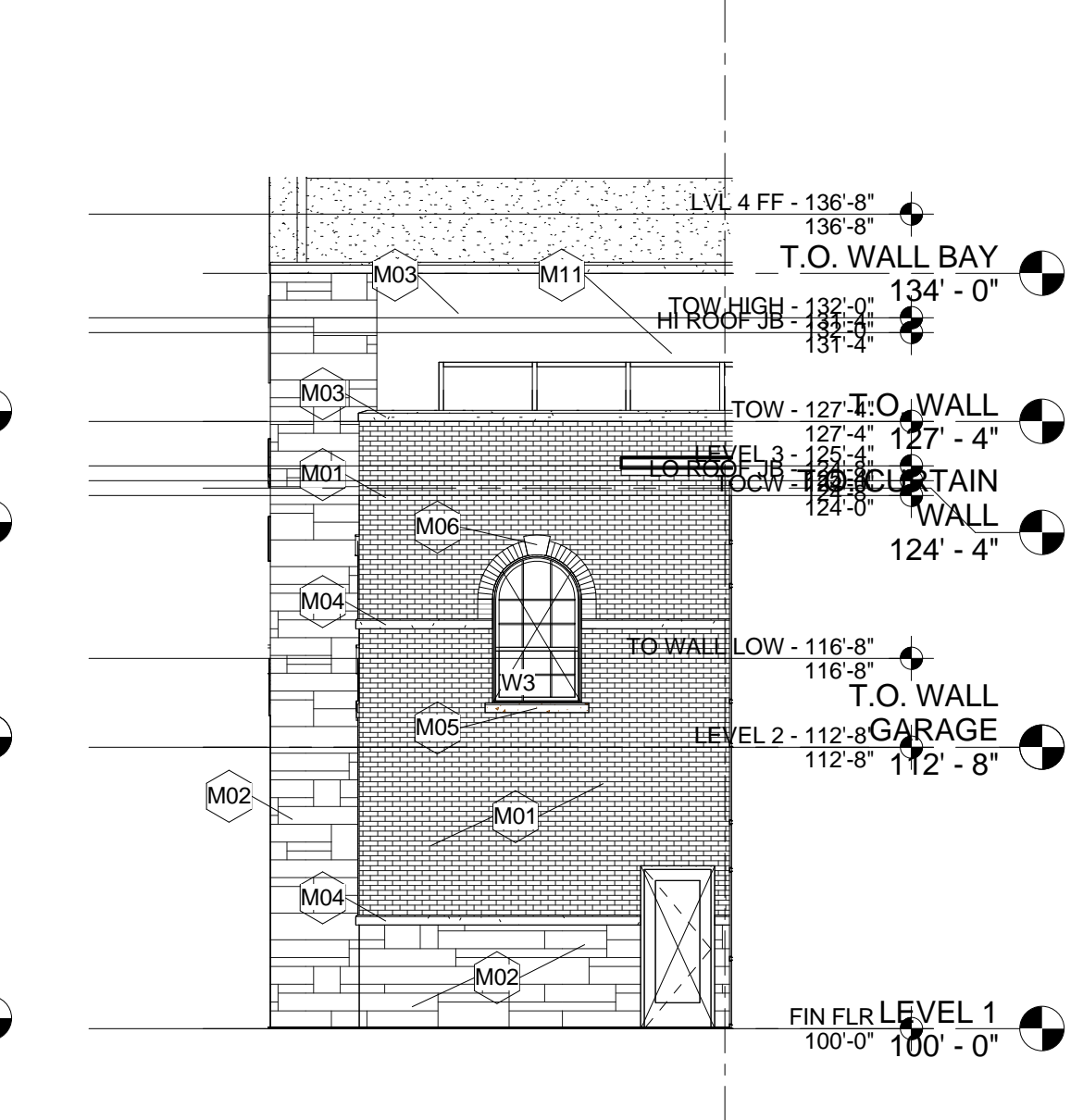
A1.2



2 1/8" North Elevation
1/8" = 1'-0"

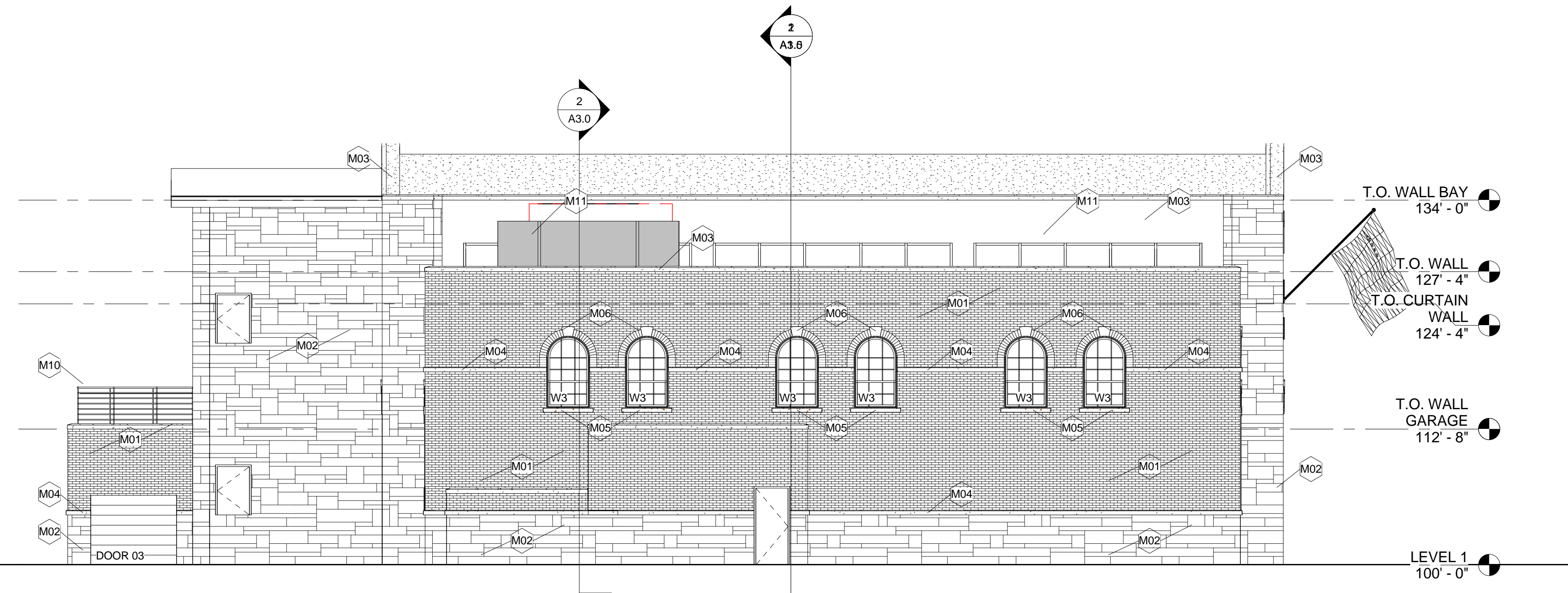


5 East BLANK Elevation
1/8" = 1'-0"

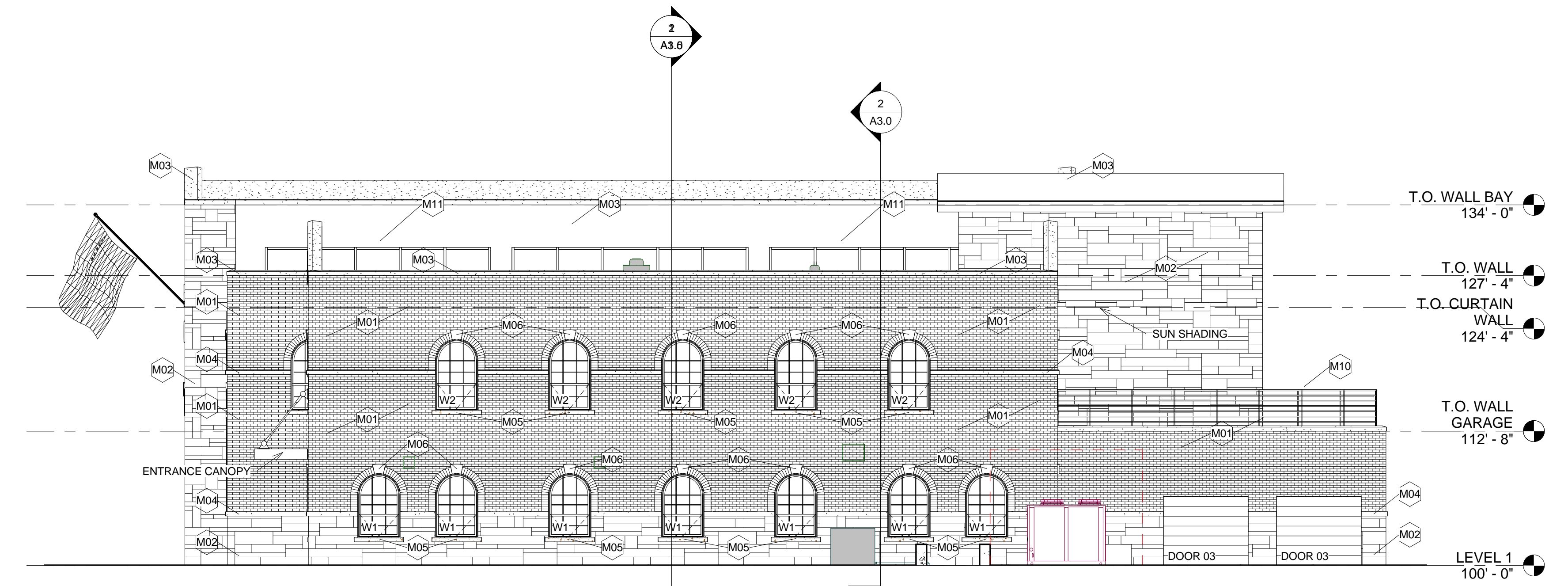


6 West BLANK Elevation
1/8" = 1'-0"

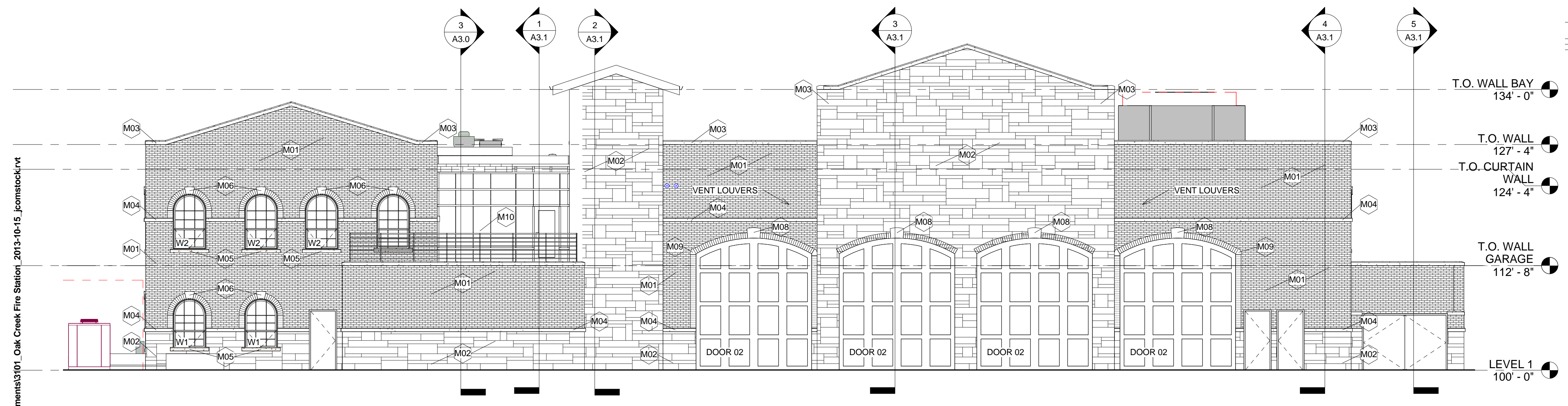
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M02 -	STONE, STONE TYPE A
M03 -	CAST STONE CAP
M04 -	CAST STONE BAND
M05 -	CAST STONE SILL
M06 -	CAST STONE KEystone A
M07 -	CAST STONE CORNER A
M08 -	CAST STONE KEystone B
M09 -	CAST STONE CORNER B
M10 -	CAST STONE PATIO CAP
M11 -	EIFS SURFACE, EIFS TYPE A
M12 -	CMU BLOCK, BLOCK TYPE A
M13 -	
M14 -	
M15 -	



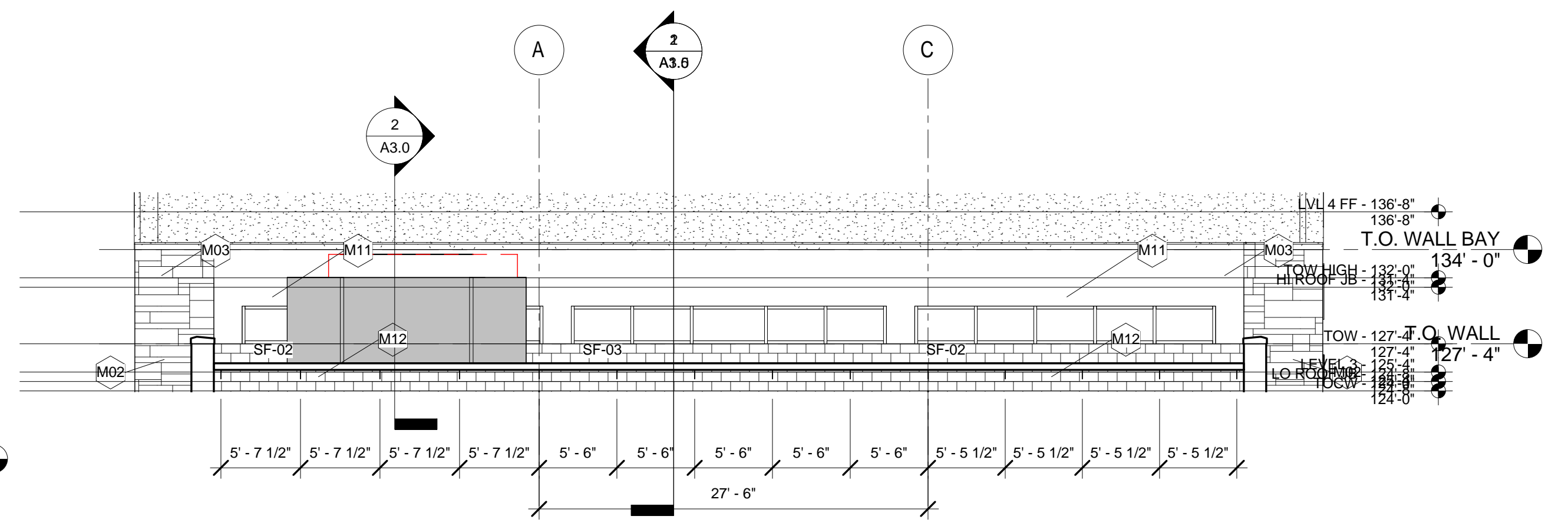
1 1/8" East Elevation
1/8" = 1'-0"



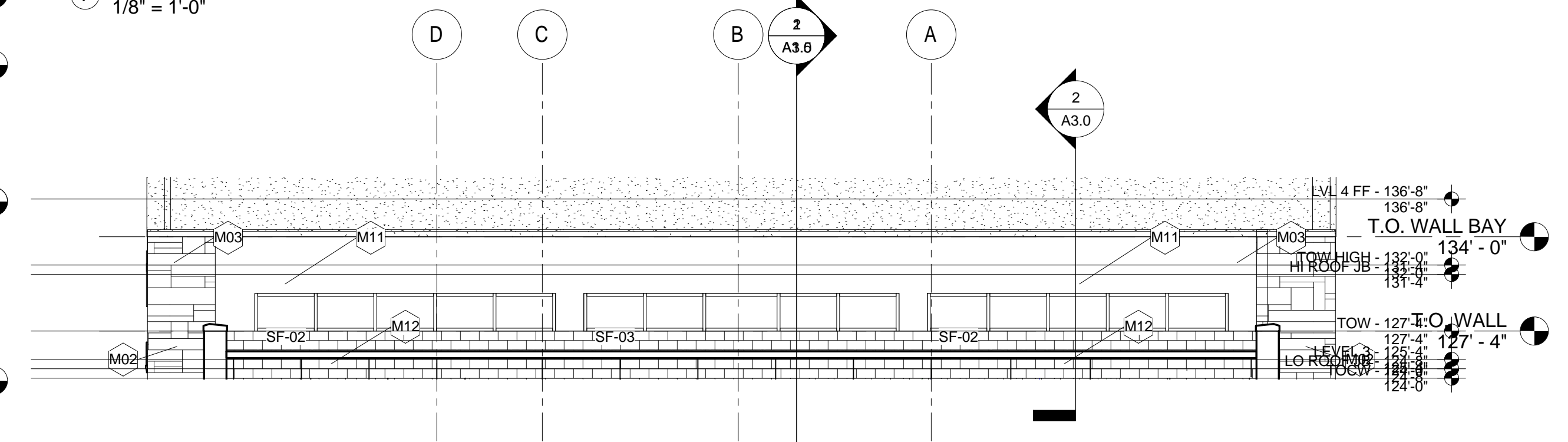
4 1/8" West Elevation
1/8" = 1'-0"



3 1/8" South Elevation
1/8" = 1'-0"



7 Clerestory East Elevation
1/8" = 1'-0"



8 Clerestory West Elevation
1/8" = 1'-0"

1/17/2013 8:55:51 AM C:\Users\james\OneDrive\Documents\3101_Oak Creek Fire Station_2013-10-15_jamesstock\nt

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 Oak Creek Fire Department
 Centennial Drive
 Oak Creek, WI

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