



PLAN COMMISSION

November 12, 2024

6:00 P.M.

Common Council Chambers

8040 S. 6th St.

Oak Creek, WI 53154

(414) 766-7000

Daniel Bukiewicz - Chair

Chaucey Chandler

Donald Oldani

Chris Guzikowski

Ashley Kiepczynski

Gregory Loreck

Fred Siepert

Christine Hanna

Steve Bautch

Matt Sullivan - ex-officio

Todd Roehl - ex-officio

The City's Vision

Oak Creek: A dynamic regional leader driving the future of the south shore.

Find more information on agenda items at oakcreek.zoninghub.com.

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – October 22, 2024
4. New Business
 - a. PLANNED UNIT DEVELOPMENT AMENDMENT – Review a request submitted by David Decker, Decker Properties, Inc., for amendments to the existing Planned Unit Development and Conditions and Restrictions affecting the Oaks at 8100 development located at 2676 W. Red Oak Ln., 2637, 2668, 2616, 2617, 2548 and 2521 W. Maple Leaf Ln., and 8126, 8140, 8159 and 8142 S. Orchard Way. (Tax Key Nos. 810-9025-000 and 810-9026-000); 2nd Aldermanic District).
More info at ZoningHub: <https://s.zoninghub.com/D4L2K50450>
 - b. CERTIFIED SURVEY MAP – Review a Certified Survey Map submitted by David Decker, Decker Properties, Inc. and Devin Winter, Excel Engineering, Inc., to divide the Oaks at 8100 multi-family development property located at 2676 W. Red Oak Ln., 2637, 2668, 2616, 2617, 2548 and 2521 W. Maple Leaf Ln., and 8159 S. Orchard Way. (Tax Key No. 810-9025-000; 2nd Aldermanic District).
More info at ZoningHub: <https://s.zoninghub.com/FH91TOUCEX>
 - c. CERTIFIED SURVEY MAP – Review a Certified Survey Map submitted by David Decker, Decker Properties, Inc. and Devin Winter, Excel Engineering, Inc., to divide the Oaks at 8100 multi-family development property located at 8126, 8140 and 8142 S. Orchard Way. (Tax Key No. 810-9026-000; 2nd Aldermanic District).
More info at ZoningHub: <https://s.zoninghub.com/YFWZIPMNTV>
 - d. SITE PLAN REVIEW – Review site plans submitted by Adam Kastl, Aldi, Inc. and Richard Suckey, A M King, for proposed modifications to the Aldi distribution property located at 9150 S. 13th St. (Tax Key No. 876-9999-002; 6th Aldermanic District).
More info at ZoningHub: <https://s.zoninghub.com/3EWY5Q23F7>

7 NOV AMB:44

- e. REZONE – Review a request submitted by Adam Kastl, Aldi, Inc. to rezone the property located at 9260 S. 13th St. from RS-3 Single-family Residential District, to M-1 Manufacturing District. (Tax Key No. 876-9000-000)
More info at ZoningHub: <https://s.zoninghub.com/EA9IT8I89E>

- f. CERTIFIED SURVEY MAP – Review a Certified Survey Map submitted by Adam Kastl, Aldi, Inc. and Richard Suckey, A M King, for the combination of multiple parcels at the Aldi distribution facility located at 9150, 9210, 9260, 9342 and 9440 S. 13th St. (Tax Key Nos. 876-9999-002, 876-9997-002, 876-9000-000, 876-9996-000 and 876-9995-003; 6th Aldermanic District).
More info at ZoningHub: <https://s.zoninghub.com/OAG7LDXT3G>

Announcements & Adjournment.

Dated this 7th day of November, 2024 ad

7 NOV AMB:44

Public Notice

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, OCTOBER 22, 2024**

Mayor Bukiewicz called the meeting to order at 6:00 PM. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Bautch, Commissioner Kiepczynski, Alderman Loreck, Mayor Bukiewicz, Alderman Guzikowski, Commissioner Siefert, and Commissioner Chandler. Commissioner Oldani was excused. Also present: Senior Planner Todd Roehl.

Minutes of the September 24, 2024, and October 8, 2024, meeting

Commissioner Siefert moved to hold the approval of the minutes of the September 24, 2024, Plan Commission meeting. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

Alderman Guzikowski moved to hold the approval of the minutes of the October 8, 2024, Plan Commission meeting. Commissioner Siefert seconded. On roll call: all voted aye. Motion carried.

**SITE PLAN REVIEW
QUINTON MARKS
1957 W. CREEKSIDE CROSSING CIRCLE
TAX KEY NO. 784-9040-000**

Senior Planner Roehl provided an overview of the site and related plans for a fence on the property at 1957 W. Creekside Crossing Circle (see staff report for details).

Commissioner Chandler asked if the proposed fence will be built on top of a retaining wall, as it is presented. Quinton Marks, 1957 W. Creekside Crossing Circle, Oak Creek WI, 53154 the applicant, answered in the affirmative. Alderman Loreck asked why the existing chain link fence is being replaced with a privacy fence. Mr. Marks explained the chain link fence has been left over from the initial construction of the development. Commissioner Bautch asked if the fence will be stained to which Mr. Marks answered in the negative. Mayor Bukiewicz asked for confirmation that the fence will not run parallel to Drexel Avenue and if the fence will help with the upkeep of the property. Mr. Marks and Kevin Kennedy, 720 E. Wisconsin Ave., Milwaukee WI, 53202, owner of Prado, answered in the affirmative to the location of the fence. Commissioner Chandler asked if the fence will be blocking any emergency access to the property to which Mr. Kennedy answered in the negative.

Commissioner Siefert moved that the Plan Commission approves site and related plans submitted by Quinton Marks, on behalf of Prado, for a fence on the property at 1957 W. Creekside Crossing Circle, with the following conditions:

1. That all relevant Code requirements remain in effect.

Commissioner Siefert seconded. On roll call: all voted aye.

SITE PLAN REVIEW
MATTHEW FONTENOT, PR, ATWELL, LLC
8481 & 8519 S. 5TH AVE.
TAX KEY NOS. 822-9968-000 & 822-9967-000

Senior Planner Roehl provided an overview of the site and related plans for site modifications to the properties located at 8481 & 8519 S. 5th Ave. (see staff report for details).

Daniel Joas, 8481 S. 5th Ave., Oak Creek WI, 53154 Vice President of Sunrise Shores Mobile Home Park, asked the irregular sites to be maintained as is until either the ownership of the units change, or the current tenants take their home elsewhere. Commissioner Chandler asked how the city would be able to follow-up on these changes to which Senior Planner Roehl explained the permitting process would be able to ensure the site plan is consistent.

Alderman Loreck moved that the Plan Commission approves site plans submitted by Matthew Fontenot, PE, Atwell, LLC, on behalf of Sunrise Shores Mobile Park, for site modifications to the properties at 8481 & 8519 S. 5th Ave. with the following conditions:

1. That all relevant Code requirements remain in effect.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

SITE PLAN REVIEW
JOE SEXTON, SCHWARZ PARTNERS, LLC
525 W. MARQUETTE AVE.
TAX KEY NOS. 765-9011-000

Senior Planner Roehl provided an overview of the site and related plans for construction of a silo on the property at 525 W. Marquette Ave. (see staff report for details).

Commissioner Chandler asked if the proposed silo will be used in the same way as the existing silo being used by the applicant. Chad Gillenwater, 10570 S. Jessica Ave., Oak Creek WI, 53154, Swarz Partners answered in the affirmative.

Alderman Guzikowski moved that the Plan Commission approves site and related plans submitted by Joe Sexton, Schwarz Partners, for construction of a silo at Independence Corrugated, an existing business located at 525 W. Marquette Ave., with the following conditions:

1. That all relevant Code requirements remain in effect.

Commissioner Siefert seconded. On roll call: all voted aye. Motion carried.

Commissioner Siefert moved to adjourn the meeting. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 6:25 PM.

ATTEST:

Kristi Laine, Plan Commission Secretary

Date



PLAN COMMISSION REPORT

Proposal: Planned Unit Development Amendment (Conditions and Restrictions)

Description: Review setback modification and lot split requests as part of the Planned Unit Development and Conditions and Restrictions at Oaks at 8100.

Applicant(s): David Decker, Decker Properties, Inc.

Address(es): 2676 W. Red Oak Ln., 2637, 2668, 2616, 2617, 2548 & 2521 W. Maple Leaf Ln., and 8126, 8140, 8159 and 8142 S. Orchard Way (2nd Aldermanic District)

Suggested Motion: That the Plan Commission recommends to the Common Council that the amended Planned Unit Development and Conditions and Restrictions affecting the properties at 2676 W. Red Oak Ln., 2637, 2668, 2616, 2617, 2548 and 2521 W. Maple Leaf Ln., and 8126, 8140, 8159 and 8142 S. Orchard Way, be approved.

Owner(s): THE OAKS AT 8100, LLC

Tax Key(s): 810-9025-000 and 810-9026-000

Lot Size(s): 17.227 acres and 6.023 acres

Current Zoning District(s): Rm-1, Multifamily Residential

Overlay District(s): PUD

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Multi-family

Background:
 The Common Council adopted Ordinance No. 3015 on September 7, 2021, rezoning the subject properties to RM-1 Multifamily Residential District and Planned Unit Development (PUD), and adopting the Conditions & Restrictions that were recommended for approval by the Plan Commission on July 27, 2021. The approved site plan included four (4) 3-story residential buildings, five (5) 2-story stacked flats residential buildings, one (1) 2-story townhouse residential building, and a clubhouse, for a total of 218 units. There are only two (2) buildings that have not started construction yet—the rest are either complete or under construction.

The requested proposal is to divide the two (2) current parcels, into a total of four (4) parcels (each split by two). The lot split will require a request to amend one (1) particular setback restriction that is noted in the Conditions & Restrictions. The scope of the project is not changing at all, and construction continues to progress.

The ownership entity will remain the same as in the approved PUD. The request to further divide the land is simply due to financial reasons from the lender related to position on the lien with the changes in the economy since the start of the project in 2020.

Lot Split:

The Oaks at 8100 project was divided into two (2) pieces of land, Lot 1 of CSM 9404 and Lot 2 of CSM 9404, split by S. Orchard Way right-of-way. Today's proposal is to split Lot 1 of CSM 9404 into two (2) parcels (Lot 1 and Lot 2), and to split Lot 2 of CSM 9404 into two (2) parcels (Lot 1 and Lot 2). There are colored attachments that show the "as-is" situation, and the proposed lot split.

Conditions and Restrictions Amendment:

The Conditions and Restrictions that were approved in 2021, included a Buildings and Parking Setbacks table in Section 7 of the document. This detailed front, public ROW, rear and side yard setbacks for each of the six (6) buildings, all other principal structures, accessory structures, and off-street parking. The requested modification to the Conditions and Restrictions includes a variation to only one (1) number in that table, and it is the off-street parking side yard setback. With the proposed lot splits, all other setback restrictions are able to remain compliant. The table below indicates the requested modification, which is the bottom right number, changing the off-street parking side yard setback from an original 5-ft. requirement, to a requested 0-ft. requirement. The request is necessary due to the new split of Lot 2 of CSM 9404 into two (2) parcels (Lot 1 and Lot 2)—the new lot line goes down the middle of the parking lot between Buildings C5 and A4.

Table 1: Building and Parking Setback-Amended

	Front and Public ROW Setback	Rear Setback	Side Setback
Building A2*	16	25	10
Building A3*	12	25	10
Building A4*	18	25	10
Building C3*	25	25	10
Building C4*	10	25	10
Building C5*	14	25	10
All Other Principal Structures*	30	25	10
Accessory Structure**	30	10	5
Off-street Parking	5	5	5 0 at common property lines

* No multifamily residential structure shall be located closer than fifty (50) feet to a single-family district line

**No accessory structures shall be permitted in the front yard nor shall any structures be permitted in required buffer yards. Trash enclosures shall be sited in conformance with Sec. 17.1010(e) as amended.

X = PUD Approved setbacks

✕ X= Amended PUD setbacks

If the Commission is comfortable with the Conditions and Restrictions as proposed, the appropriate action would be to recommend that the Common Council approve them as part of the amended PUD.

Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed amendments to the Planned Unit Development and Conditions and Restrictions, or that the Common Council not approve of the proposal. Should the request not be recommended for Common Council approval, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary). However, disapproval would likely result in the inability of the developer to complete the Oaks at 8100 project.

Respectfully prepared and submitted:

Kristi Laine
Community Development Director

Attachments:

Location Map

Project Narrative (2 pages)

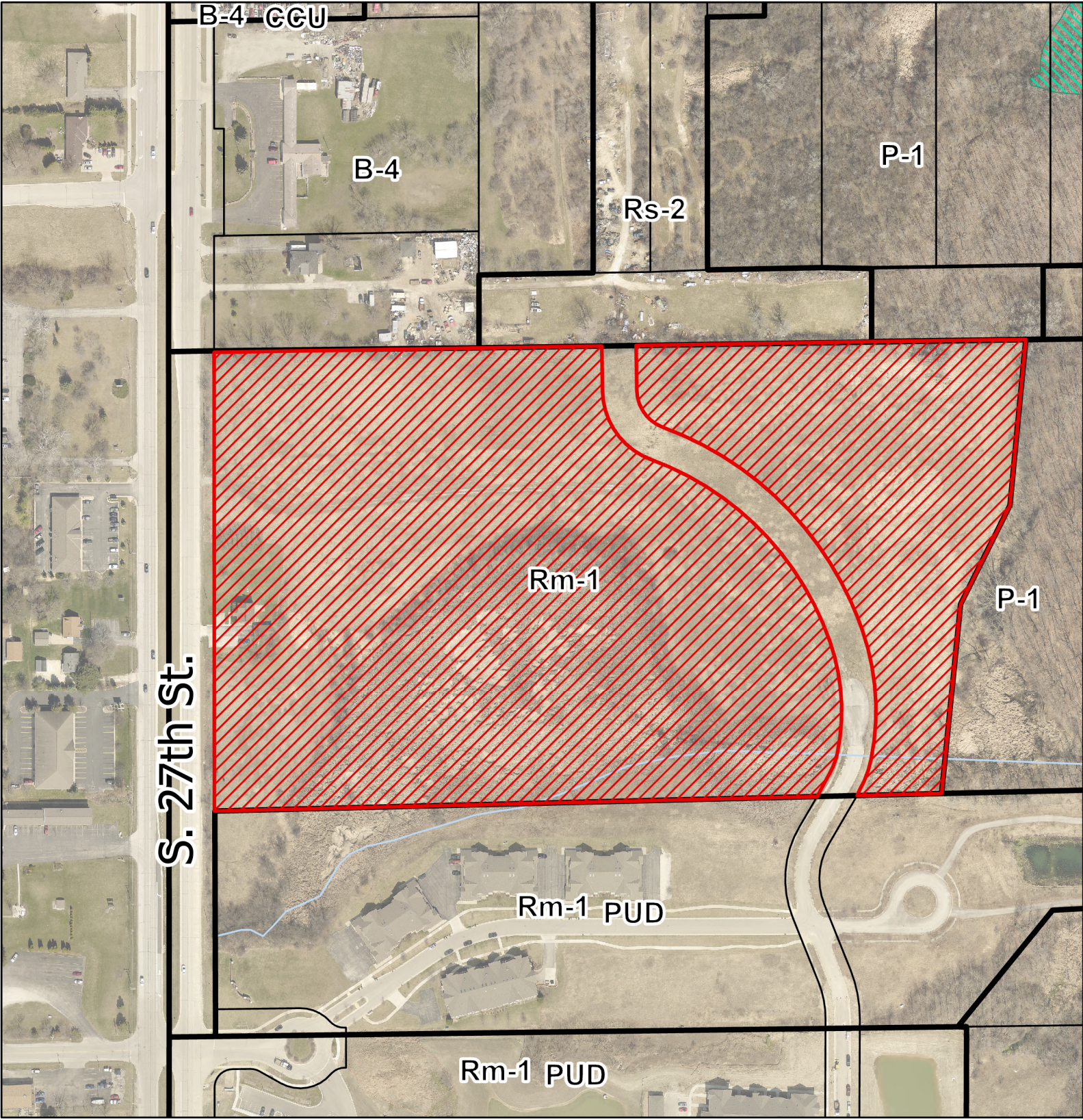
Draft Amended Conditions and Restrictions (3 pages)

Existing approved CSM in color (1 page)

Proposed CSM concept in color (1 page)

Location Map

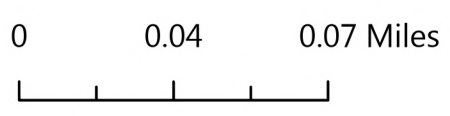
The Oaks at 8100



This map is not a survey of the actual boundary of the property this map depicts

Legend

- Zoning
- Official Street Map
- Parcels
- Floodway
- Flood Fringe





October 29, 2024

PUD Amendment Narrative

Project: The Oaks at 8100
 City of Oak Creek

The Oaks at 8100 LLC is requesting review and approval for an amendment to the Planned Unit Development for the multi-family development located at 8100-8146 S 27th St to internally create two (2) additional lots within the overall PUD boundary. The request is being made for financial reasons by the lender due to changes in the economy since the start of the project. The owning entity will not change nor affect the agreements with the city related to the approved PUD. The current tax parcel ID's contained within the PUD are 8109025000, 8109026000, and the dedicated public right-of-way of S. Orchard Way as shown on CSM 9404. Site addresses include: 2676 W Red Oak Ln, 2637 W Maple Leaf Ln, 2668 W Maple Leaf Ln, 2616 W Maple Leaf Ln, 2617 W Maple Leaf Ln, 2548 W Maple Leaf Ln, 2521 W Maple Leaf Ln, 8126 S Orchard Way, 8140 S Orchard Way, 8159 S Orchard Way and 8142 S Orchard Way. The originally proposed improvements and design have and will not change with the requested amendment, only the interior property boundaries within the PUD (outside the S. Orchard Way ROW). The exterior boundary of the approved PUD will not change with the PUD amendment request.

The request is to split Lot 1 of CSM 9404 into Lot 1 and Lot 2, and Lot 2 of CSM 9404 into Lot 1 and Lot 2. Building A2 and A3 are proposed to be located on the new Lot 2 of Lot 1 of CSM 9404 and A4 is proposed to be located on Lot 2 of Lot 2 of CSM 9404. There are no changes to the recorded S. Orchard Way ROW. Reference the preliminary CSM submitted with the PUD request. As part of the lot split, side parking setbacks are requested to be approved/amended with the amendment to the PUD and change from 5' to 0' all related to the common property line between the new lines. Again, the design and improvements of the approved PUD have and will not change.

Planned Unit Development Site Information:

1. **Total Area to be included:**
 - a. 1,071,388 sf (24.596 acres)
2. **Existing Lots of Approved PUD**
 - a. Lot 1 of CSM 9404: 750,409 sf (17.227 acres)
 - b. Lot 2 of CSM 9404: 262,357 sf (6.023 acres)
3. **Proposed Lots of Approved PUD**
 - a. **Lot 1 of CSM 9404: 750,409 sf (17.227 acres)**

- i. New Lot 1: 628,747 sf (14.434 acres)
- ii. New Lot 2: 121,662 sf (2.793 acres)
- b. Lot 2 of CSM 9404: 262,357 sf (6.023 acres)**
 - i. New Lot 1: 78,436 sf (1.801 acres)
 - ii. New Lot 2: 183,921 sf (4.222 acres)

Below is an update to the setback table approved and included in the City of Oak Creek – Planned Unit Development (PUD) for Applicant: David Decker, Decker Properties as approved by Plan Commission on 7/27/2021 and Common Council on 9/7/2021. The only change to the setback table is the setback for off-street parking because of the parking along common property lines being created internally within the PUD. The approved overall site plan (C1.1A) has been included with the submittal for reference.

Table 1: Building and Parking Setback-Amended

	Front and Public ROW Setback	Rear Setback	Side Setback
Building A2*	16	25	10
Building A3*	12	25	10
Building A4*	18	25	10
Building C3*	25	25	10
Building C4*	10	25	10
Building C5*	14	25	10
All Other Principal Structures*	30	25	10
Accessory Structure**	30	10	5
Off-street Parking	5	5	5 0 at common property lines

* No multifamily residential structure shall be located closer than fifty (50) feet to a single-family district line

**No accessory structures shall be permitted in the front yard nor shall any structures be permitted in required buffer yards. Trash enclosures shall be sited in conformance with Sec. 17.1010(e) as amended.

X = PUD Approved setbacks

✕ X= Amended PUD setbacks

**City of Oak Creek – AMENDED Planned Unit Development (PUD)
AMENDED Conditions and Restrictions**

Applicant: David Decker, Decker Properties, Inc.

Recommended for Approval by Plan Commission: TBD

Property Addresses: 2676 W. Red Oak Lane; 2637, 2668, 2616, 2617, 2548 and 2521 W. Maple Leaf Lane; and 8126, 8140, 8159 and 8142 S. Orchard Way

Approved by Common Council: TBD (Ord. #)

Tax Key Number(s): 810-9025-000 and 810-9026-000

The following section 7 of the Conditions and Restrictions approved in Ordinance 3015 is amended as set forth below:

7. BUILDING AND PARKING SETBACKS

	Front and Public ROW Setback	Rear Setback	Side Setback
Building A2*	16 ft	25 ft	10 ft
Building A3*	12 ft	25 ft	10 ft
Building A4*	18 ft	25 ft	10 ft
Building C3*	25 ft	25 ft	10 ft
Building C4*	10 ft	25 ft	10 ft
Building C5*	14 ft	25 ft	10 ft
All Other Principal Structures*	30 ft	25 ft	10 ft
Accessory Structure**	30 ft	10 ft	5 ft
Off-street Parking	5 ft	5 ft	0 ft

*No multifamily residential structure shall be located closer than fifty (50) feet to a single-family district line.

**No accessory structures shall be permitted in the front yard nor shall any structures be permitted in required buffer yards. Trash enclosures shall be sited in conformance with Sec. 17.1010(e) of the City of Oak Creek Code of Ordinances, as amended.

Except as expressly amended herein, all of the terms of the PUD and Conditions and Restrictions as originally approved shall remain in full force and effect without modification.

12. ACKNOWLEDGEMENT

The approval and execution of these amended conditions and restrictions shall confirm acceptance of those terms and conditions hereof by the owner, and these amended conditions and restrictions shall run with the property unless revoked by the City or terminated by mutual agreement of the City and the owner, their subsidiaries, related entities, successors and assigns.

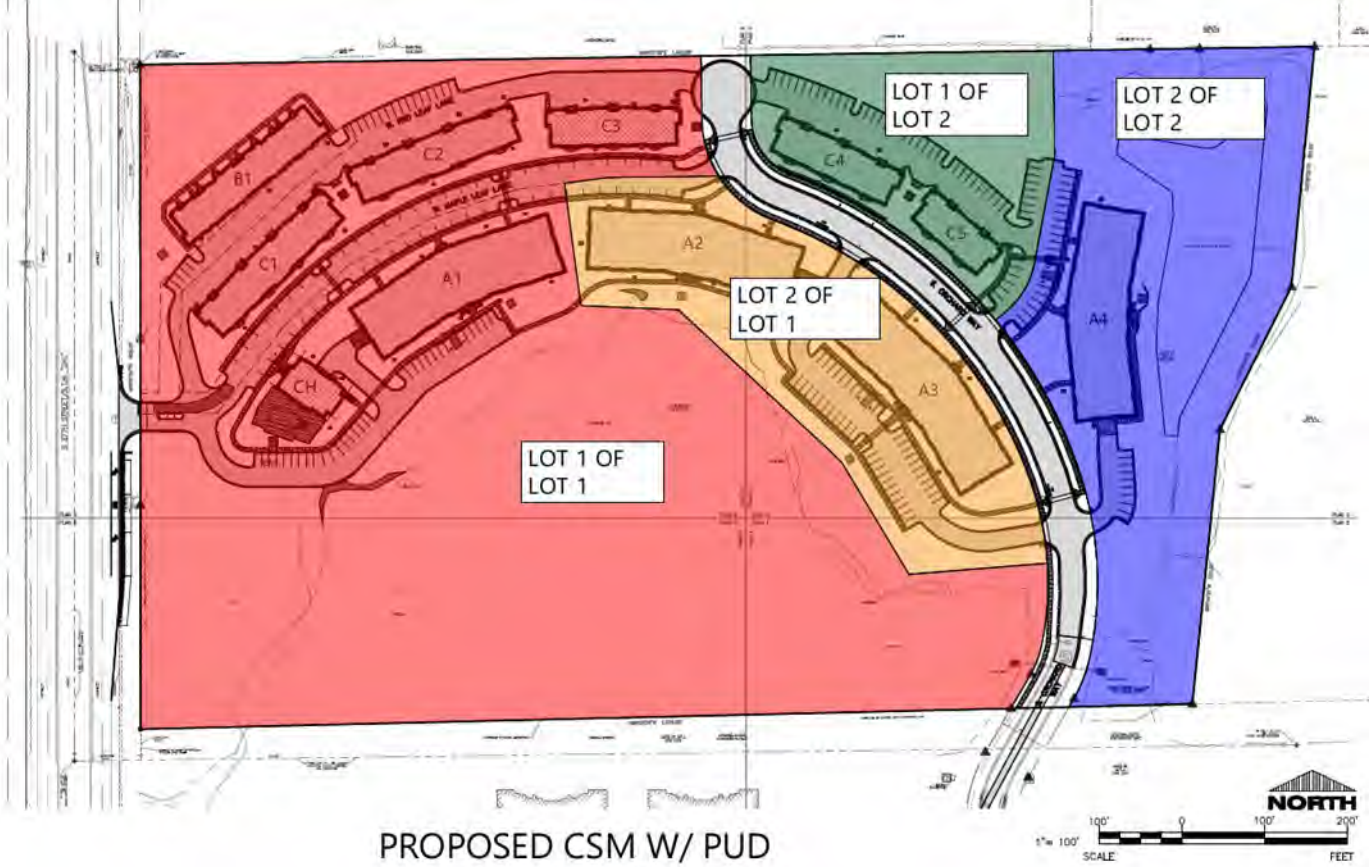
Owner / Authorized Representative Signature

Date

Name and Title

**EXHIBIT A:
MODIFIED CERTIFIED SURVEY MAP/LOT SPLIT**

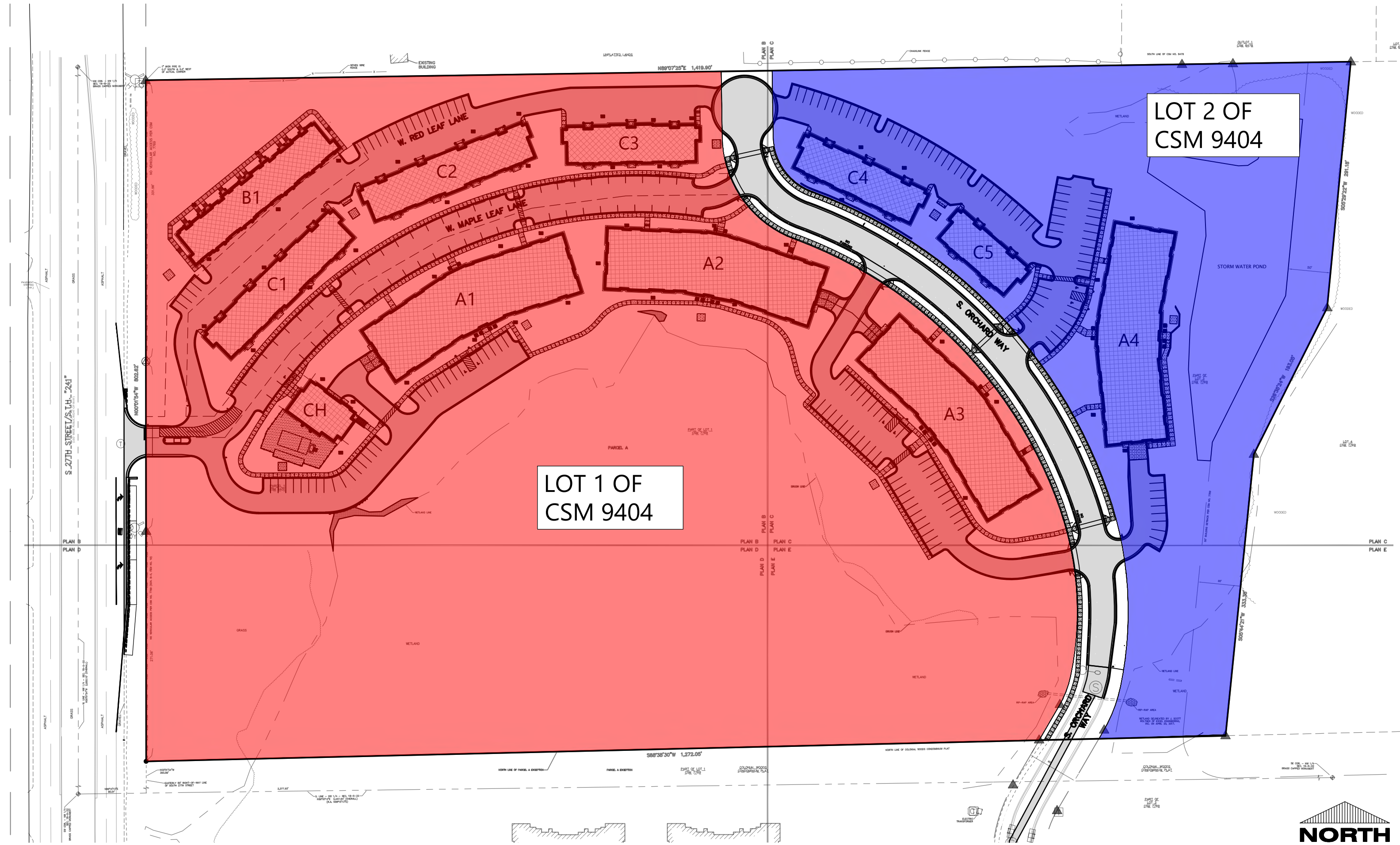
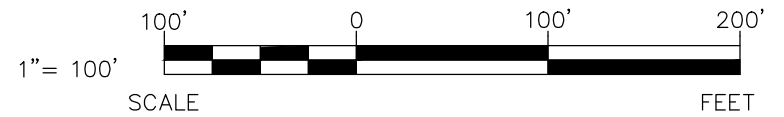
(For illustrative purposes only. Detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be approved by the Common Council.)



LOT 1 OF
CSM 9404

LOT 2 OF
CSM 9404

EXISTING APPROVED CSM W/ PUD



LOT 1 OF LOT 1

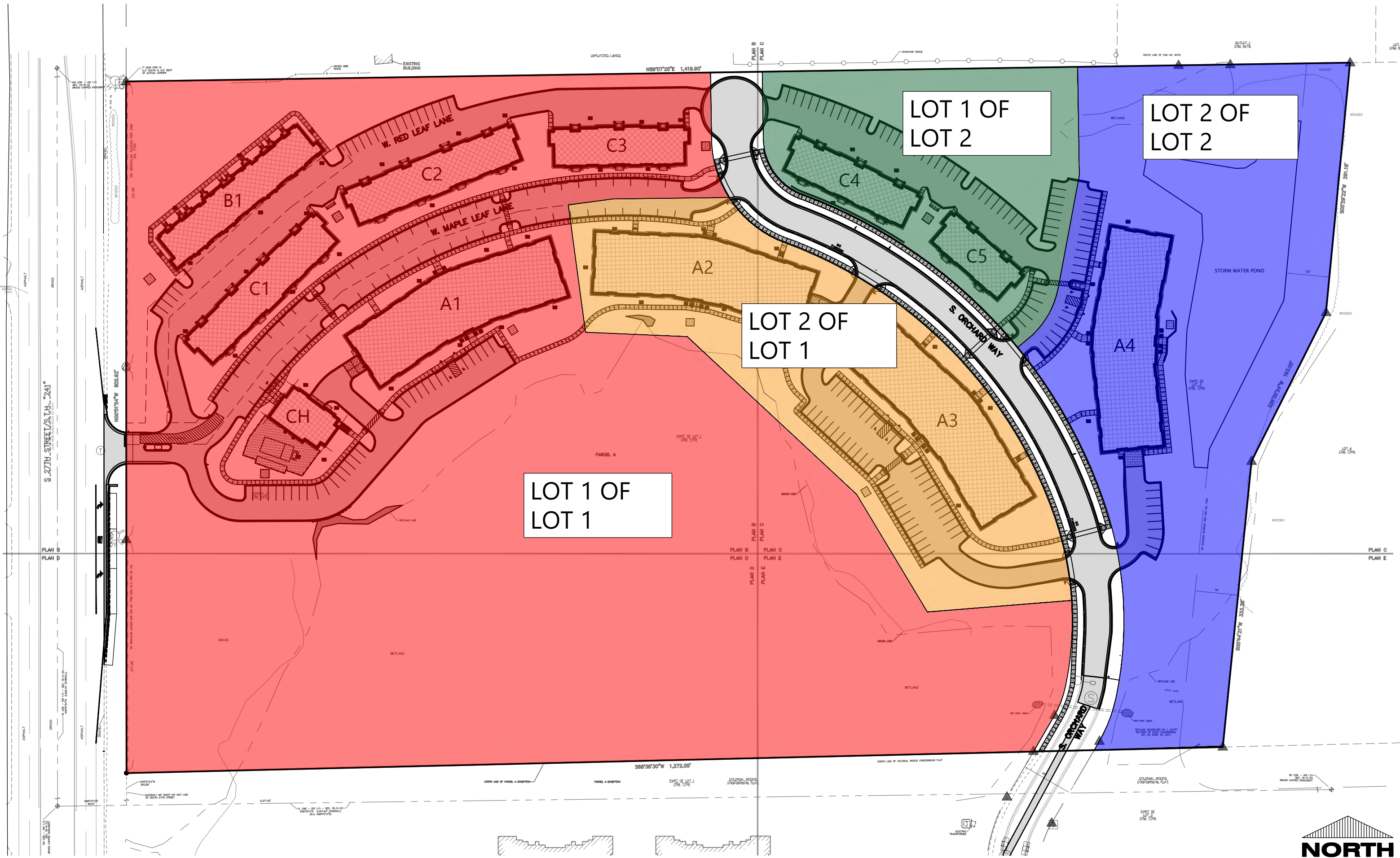
LOT 2 OF LOT 1

LOT 1 OF LOT 2

LOT 2 OF LOT 2

PROPOSED CSM W/ PUD

1" = 100'





PLAN COMMISSION REPORT

Proposal: Certified Survey Map

Description: Review of a Certified Survey Map request to one of the parcels at Oaks at 8100.

Applicant(s): David Decker, Decker Properties, Inc. and Devin Winter, Excel Engineering, Inc.

Address(es): 2676 W. Red Oak Ln., 2637, 2668, 2616, 2617, 2548 & 2521 W. Maple Leaf Ln. & 8159 S. Orchard Way (2nd Aldermanic District)

Suggested Motion: That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by David Decker, Decker Properties, Inc. and Devin Winter, Excel Engineering, Inc., to divide the Oaks at 8100 multi-family development property located at 2676 W. Red Oak Ln., 2637, 2668, 2616, 2617, 2548 & 2521 W. Maple Leaf Ln. & 8159 S. Orchard Way, be approved with the following condition:

1. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Owner(s): THE OAKS AT 8100, LLC

Tax Key(s): 810-9025-000

Lot Size(s): 17.227 acres

Current Zoning District(s): Rm-1, Multifamily Residential

Overlay District(s): PUD

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Multi-family

Background:

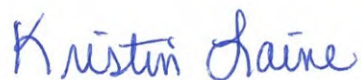
The Plan Commission recommended approval of a CSM for the Oaks at 8100 project at its March 9, 2021 meeting, and the Common Council approved the CSM at its March 16, 2021 meeting. CSM No. 9404 was recorded and created two (2) parcels. The applicant is now requesting to split each of these two (2) lots by two (2), for a total of four (4) new lots at the Oaks at 8100 development.

The ownership entity will remain the same as in the approved PUD. The request to further divide the land is simply due to financial reasons from the lender related to position on the lien with the changes in the economy since the start of the project in 2020.

The first CSM to be reviewed is for tax key number 810-9025-000, which is currently a 17.227-acre lot. Proposed Lot 1 would be 14.434 acres and proposed Lot 2 would be 2.793 acres. All setback restrictions, as defined in the Conditions and Restrictions approved by Ordinance No. 3015 on September 7, 2021, will remain adhered to. This proposed CSM does not trigger the need for the proposed amended PUD and Conditions and Restrictions, as reviewed in the previous Plan Commission agenda item—it is the CSM on the next agenda item, that triggers the need for the amended PUD and Conditions and Restrictions.

Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed Certified Survey Map with specified conditions, or that the Common Council not approve of the proposed CSM. Should the proposal not be recommended for Council approval, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary). However, disapproval would likely result in the inability of the developer to complete the Oaks at 8100 project.

Respectfully prepared and submitted:



Kristi Laine
Community Development Director

Attachments:

Location Map

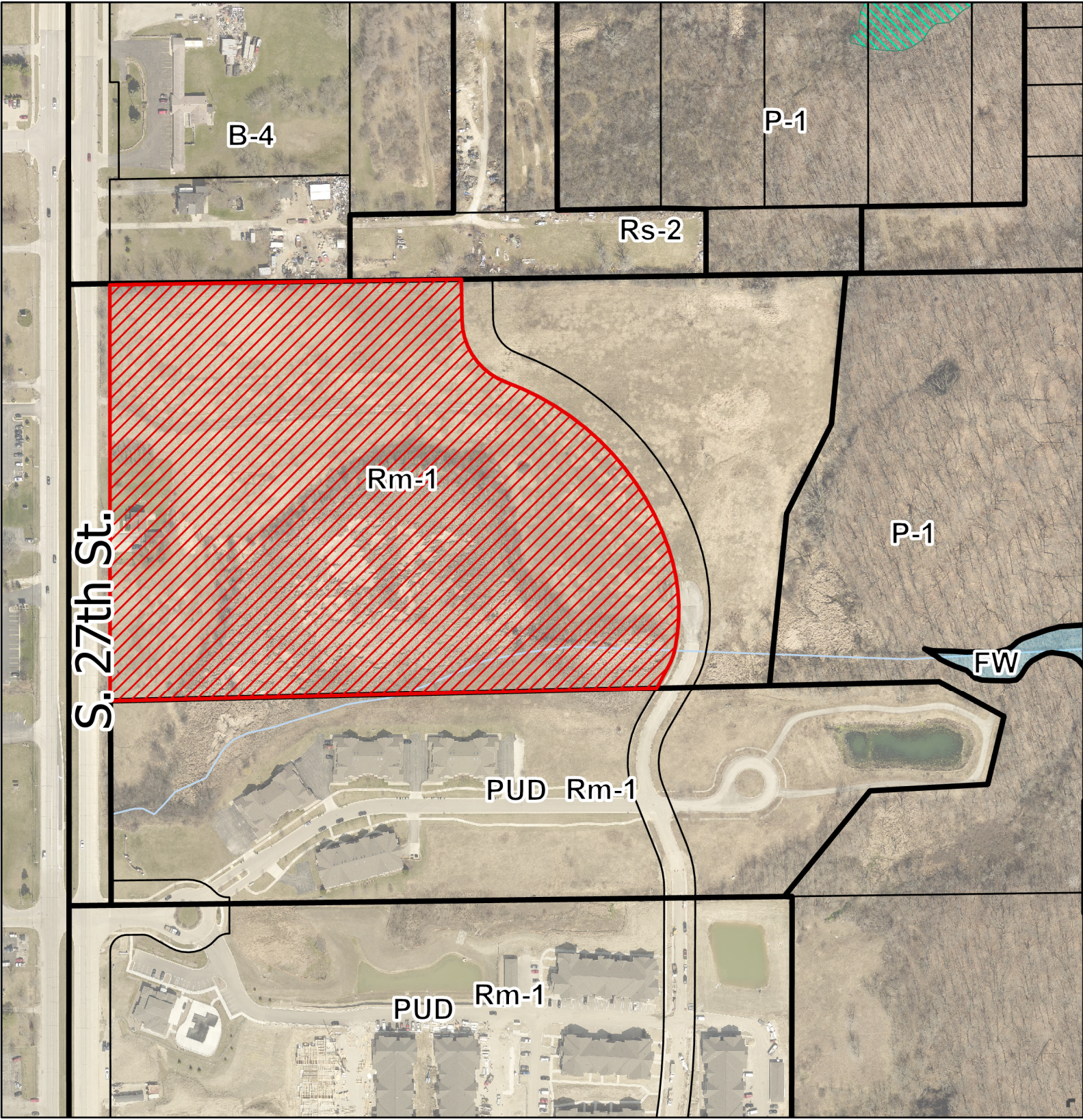
Project Narrative (2 pages)

Existing approved CSM in color (1 page)

Proposed CSM concept in color (4 pages)

Location Map

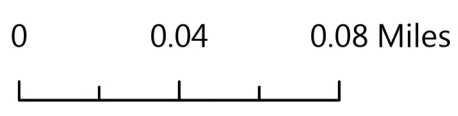
The Oaks at 8100



This map is not a survey of the actual boundary of the property this map depicts

Legend

- Zoning
- Official Street Map
- Floodway
- Flood Fringe
- Parcels
- The Oaks at 8100





October 29, 2024

PUD Amendment Narrative

Project: The Oaks at 8100
 City of Oak Creek

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The request is to split Lot 1 of CSM 9404 into Lot 1 and Lot 2, and Lot 2 of CSM 9404 into Lot 1 and Lot 2. Building A2 and A3 are proposed to be located on the new Lot 2 of Lot 1 of CSM 9404 and A4 is proposed to be located on Lot 2 of Lot 2 of CSM 9404. There are no changes to the recorded S. Orchard Way ROW. Reference the preliminary CSM submitted with the PUD request. As part of the lot split, side parking setbacks are requested to be approved/amended with the amendment to the PUD and change from 5' to 0' all related to the common property line between the new lines. Again, the design and improvements of the approved PUD have and will not change.

Planned Unit Development Site Information:

1. **Total Area to be included:**
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2. **Existing Lots of Approved PUD**
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 - i. New Lot 1: 78,436 sf (1.801 acres)
 - ii. New Lot 2: 183,921 sf (4.222 acres)

Below is an update to the setback table approved and included in the City of Oak Creek – Planned Unit Development (PUD) for Applicant: David Decker, Decker Properties as approved by Plan Commission on 7/27/2021 and Common Council on 9/7/2021. The only change to the setback table is the setback for off-street parking because of the parking along common property lines being created internally within the PUD. The approved overall site plan (C1.1A) has been included with the submittal for reference.

Table 1: Building and Parking Setback-Amended

	Front and Public ROW Setback	Rear Setback	Side Setback
Building A2*	16	25	10
Building A3*	12	25	10
Building A4*	18	25	10
Building C3*	25	25	10
Building C4*	10	25	10
Building C5*	14	25	10
All Other Principal Structures*	30	25	10
Accessory Structure**	30	10	5
Off-street Parking	5	5	5 0 at common property lines

* No multifamily residential structure shall be located closer than fifty (50) feet to a single-family district line

**No accessory structures shall be permitted in the front yard nor shall any structures be permitted in required buffer yards. Trash enclosures shall be sited in conformance with Sec. 17.1010(e) as amended.

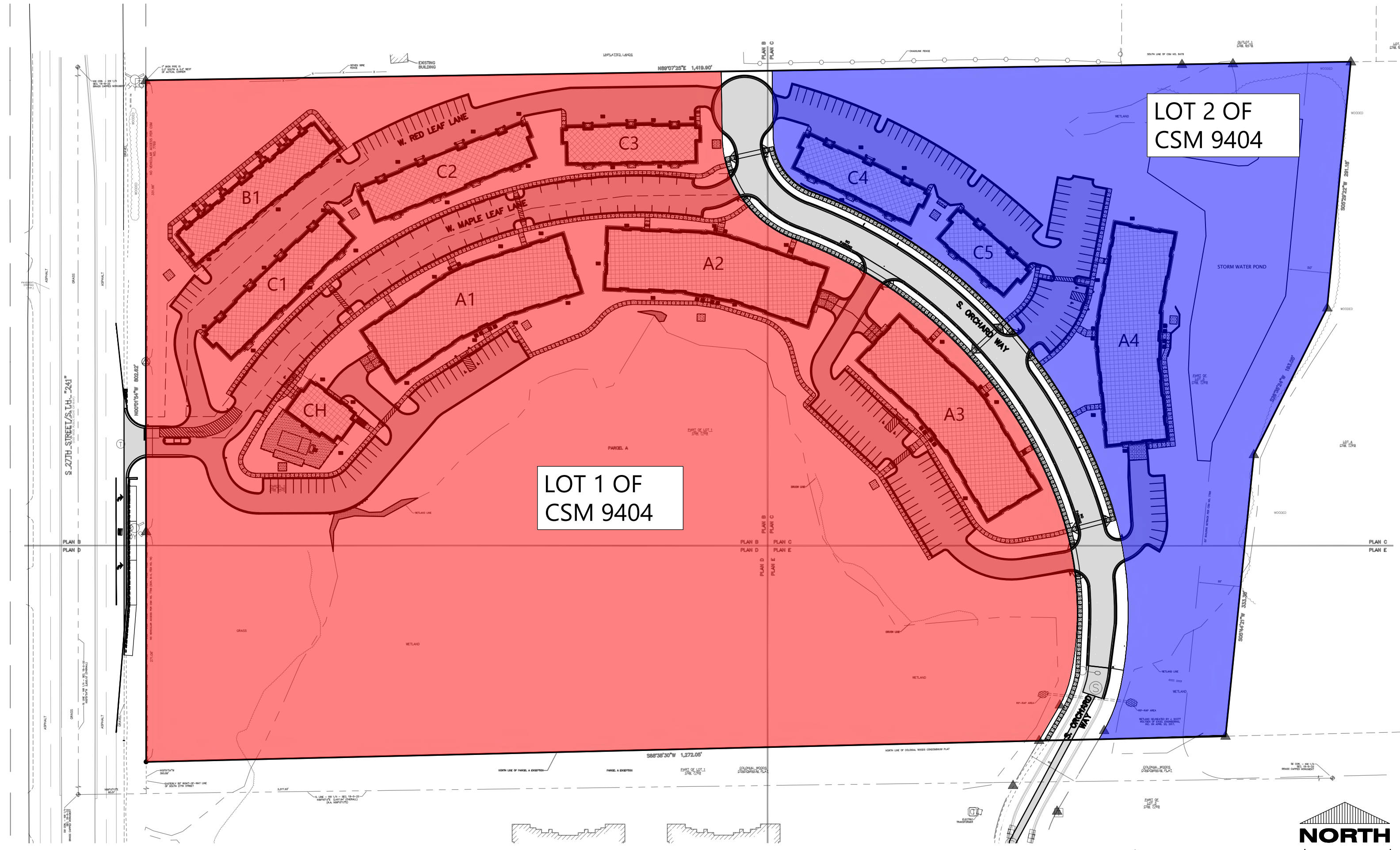
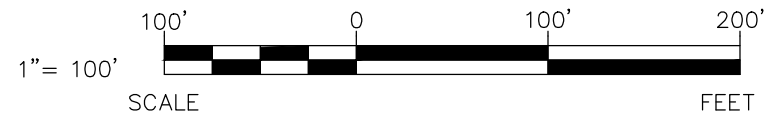
X = PUD Approved setbacks

✕ X= Amended PUD setbacks

LOT 1 OF
CSM 9404

LOT 2 OF
CSM 9404

EXISTING APPROVED CSM W/ PUD

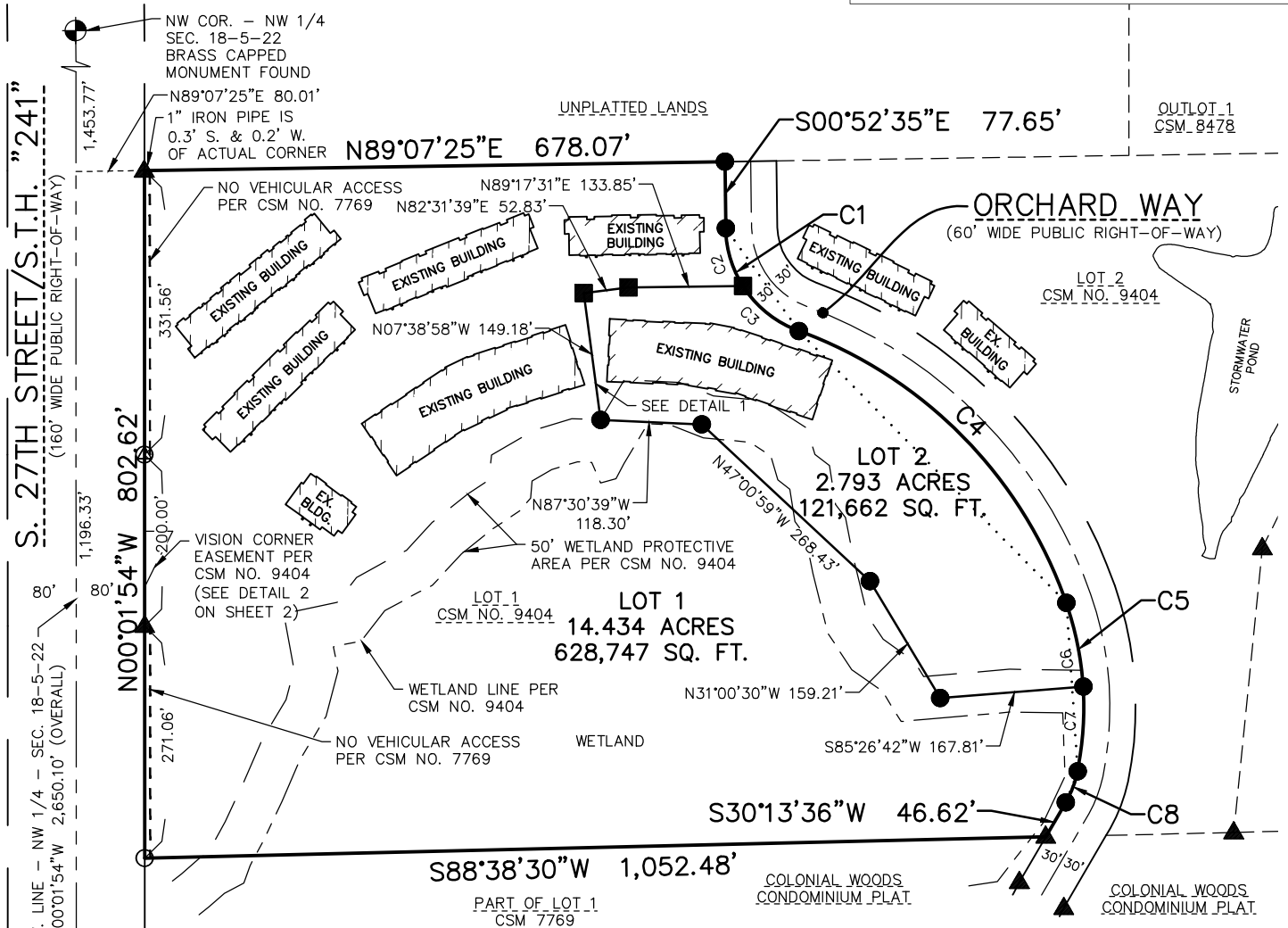


CERTIFIED SURVEY MAP NO. _____

FOR

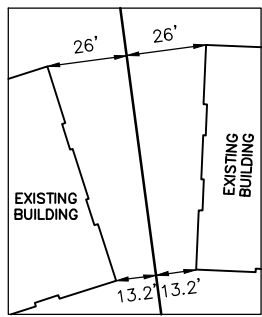
THE OAKS AT 8100, LLC

LOT 1, CSM NO. 9404, BEING PART OF THE SW 1/4 OF THE NW 1/4, SECTION 18, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



SEE SHEET 2 FOR EASEMENTS

DETAIL 1
NOT TO SCALE



TOTAL AREA
17.227 ACRES
750,409 SQ. FT.

WETLAND DELINEATED BY
J. SCOTT ROLTGEN OF
EXCEL ENGINEERING, INC.
ON APRIL 20, 2017 PER
CSM NO. 9404.

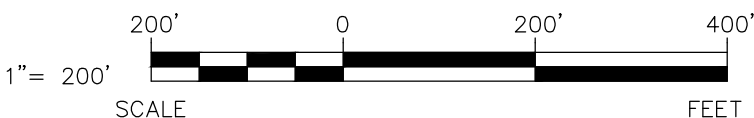
PARCEL TAX KEY: 8109025000

OWNERS / SUBDIVIDERS:
THE OAKS AT 8100, LLC
250 N. SUNNY SLOPE ROAD
SUITE 290
BROOKFIELD, WI 53005

LEGEND

- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
- - MAG NAIL SET
- ▲ - 1" IRON PIPE FOUND
- ⊙ - 2" IRON PIPE FOUND
- - 3/4" REBAR FOUND
- ⊕ - SECTION CORNER MONUMENT FOUND

NORTH POINT REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD27). THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 18 HAS A BEARING OF NORTH 00°-01'-54" WEST.



Curve Table					
Curve #	Length	Radius	Chord Bearing	Chord Length	Delta
C1	156.48'	130.00'	S35°21'38"E	147.21'	068°58'05"
C2	71.19'	130.00'	S16°33'50"E	70.30'	031°22'30"
C3	85.30'	130.00'	S51°02'53"E	83.77'	037°35'35"
C4	460.00'	521.22'	S44°33'42"E	445.21'	050°33'57"
C5	199.43'	370.00'	S03°50'15"E	197.02'	030°52'55"
C6	100.10'	370.00'	N11°31'42"W	99.79'	015°30'01"
C7	99.33'	370.00'	N03°54'45"E	99.03'	015°22'53"
C8	39.00'	120.00'	S20°54'54"W	38.83'	018°37'24"

SHEET 1 OF 4 SHEETS



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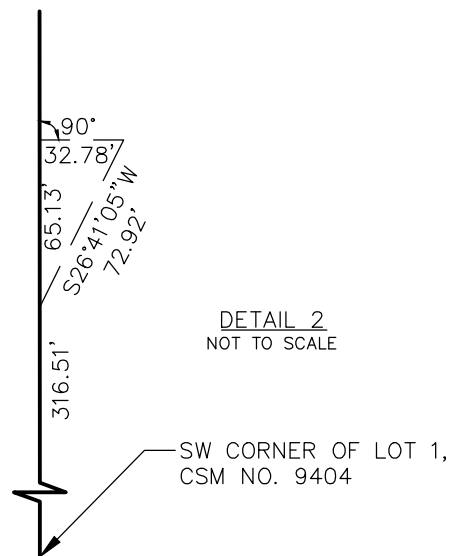
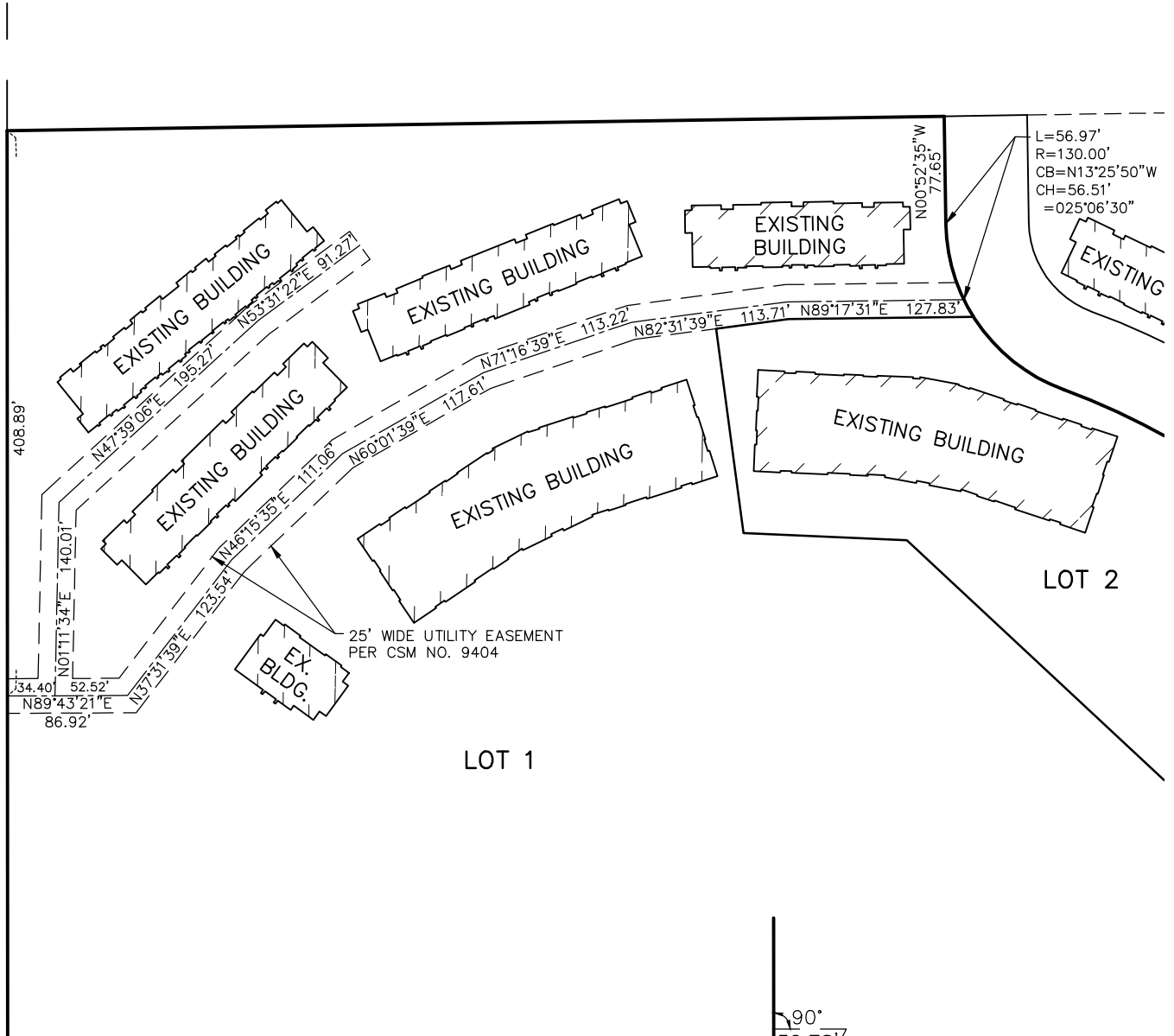
Always a Better Plan **JOB NO. 240288600**

CERTIFIED SURVEY MAP NO. _____

FOR

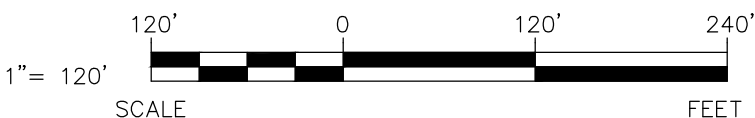
THE OAKS AT 8100, LLC

LOT 1, CSM NO. 9404, BEING PART OF THE SW 1/4 OF THE NW 1/4, SECTION 18, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



SHEET 2 OF 4 SHEETS

NORTH POINT REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD27). THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 18 HAS A BEARING OF NORTH 00°-01'-54" WEST.



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CERTIFIED SURVEY MAP NO. _____

LOT 1, CSM NO. 9404, BEING PART OF THE SW 1/4 OF THE NW 1/4, SECTION 18, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of The Oaks at 8100, LLC bounded and described as follows:

Lot 1 of Certified Survey Map No. 9404, recorded in the Milwaukee County Register of Deeds Office as Document No. 11239359, being part of the Southwest 1/4 of the Northwest 1/4 of Section 18, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin containing 17.227 acres (750,409 sq. ft.) of land more or less.

That such is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of the City of Oak Creek in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 240288600

PLAN COMMISSION CERTIFICATE OF APPROVAL

Recommended for approval by the Plan Commission of the City of Oak Creek on this _____ day of _____, 20____.

_____,
Daniel Bukiewicz, Chairman (Date)

COMMON COUNCIL CERTIFICATE OF APPROVAL

APPROVED by the Common Council of the City of Oak Creek, per Plan Commission recommendation on this _____ day of _____, 20____, by Resolution No. _____.

_____,
Daniel Bukiewicz, Mayor (Date)

_____,
Catherine A. Roeske, City Clerk (Date)

CERTIFIED SURVEY MAP NO. _____

LOT 1, CSM NO. 9404, BEING PART OF THE SW 1/4 OF THE NW 1/4, SECTION 18, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

The Oaks at 8100, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map.

The Oaks at 8100, LLC does further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1. City of Oak Creek

WITNESS the hand and seal of said owner this _____ day of _____, 20__.

The Oaks at 8100, LLC

_____, _____
(Print) (Title)

STATE OF _____)

_____ COUNTY)SS

Personally came before me this _____ day of _____, 20__, the above named _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County, _____
My Commission Expires: _____



PLAN COMMISSION REPORT

Proposal: Certified Survey Map

Description: Review of a Certified Survey Map request to one of the parcels at Oaks at 8100.

Applicant(s): David Decker, Decker Properties, Inc. and Devin Winter, Excel Engineering, Inc.

Address(es): 8126, 8140 & 8142 S. Orchard Way (2nd Aldermanic District)

Suggested Motion: That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by David Decker, Decker Properties, Inc. and Devin Winter, Excel Engineering, Inc., to divide the Oaks at 8100 multi-family development property located at 8126, 8140 & 8142 S. Orchard Way, be approved with the following condition:

1. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Owner(s): THE OAKS AT 8100, LLC

Tax Key(s): 810-9026-000

Lot Size(s): 6.023 acres

Current Zoning District(s): Rm-1, Multifamily Residential

Overlay District(s): PUD

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Multi-family

Background:

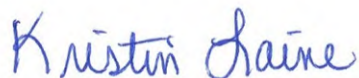
The Plan Commission recommended approval of a CSM for the Oaks at 8100 project at its March 9, 2021 meeting, and the Common Council approved the CSM at its March 16, 2021 meeting. CSM No. 9404 was recorded and created two (2) parcels. The applicant is now requesting to split each of these two (2) lots by two (2), for a total of four (4) new lots at the Oaks at 8100 development.

The ownership entity will remain the same as in the approved PUD. The request to further divide the land is simply due to financial reasons from the lender related to position on the lien with the changes in the economy since the start of the project in 2020.

The second CSM to be reviewed is for tax key number 810-9026-000, which is currently a 6.023-acre lot. Proposed Lot 1 would be 1.801 acres and proposed Lot 2 would be 4.222 acres. One (1) setback restriction, as defined in the Conditions and Restrictions approved by Ordinance No. 3015 on September 7, 2021, will NOT remain adhered to, and that is the off-street parking side yard setback of five (5) feet. This proposed CSM does trigger the need for the proposed amended PUD and Conditions and Restrictions, as reviewed in the previous Plan Commission agenda item—the requested setback amendment is to have a zero (0) side yard setback at common property lines. The new side yard lot line between Lot 1 and Lot 2 is proposed down the middle of the parking lot between Buildings C5 and A4.

Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed Certified Survey Map with specified conditions, or that the Common Council not approve of the proposed CSM. Should the proposal not be recommended for Council approval, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary). However, disapproval would likely result in the inability of the developer to complete the Oaks at 8100 project.

Respectfully prepared and submitted:



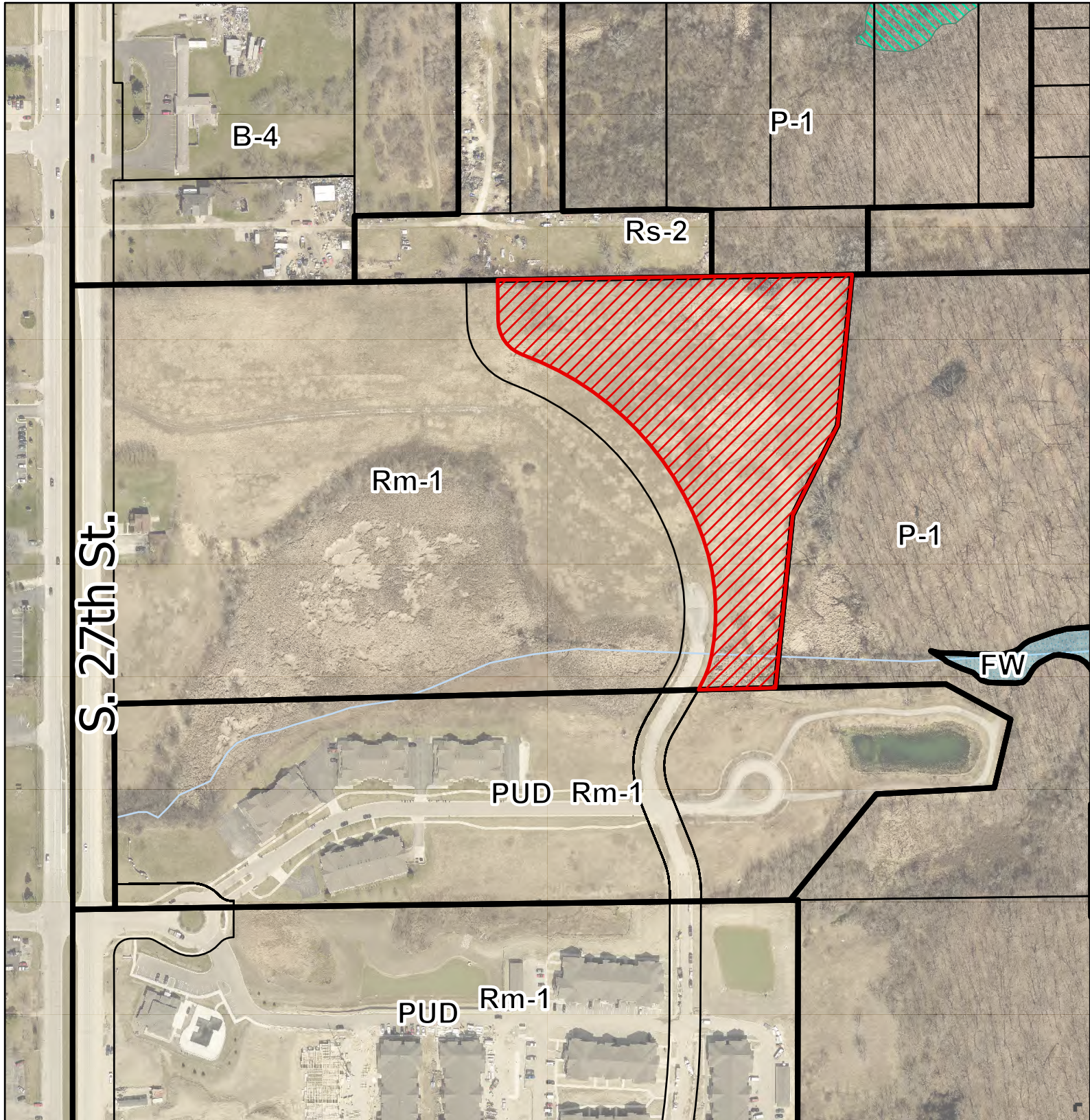
Kristi Laine
Community Development Director

Attachments:

- Location Map
- Project Narrative (2 pages)
- Existing approved CSM in color (1 page)
- Proposed CSM concept in color (4 pages)

Location Map

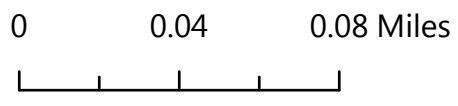
The Oaks at 8100



This map is not a survey of the actual boundary of the property this map depicts

Legend

-  Zoning
-  Official Street Map
-  Floodway
-  Flood Fringe
-  Parcels
-  The Oaks at 8100





October 29, 2024

PUD Amendment Narrative

Project: The Oaks at 8100
 City of Oak Creek

The Oaks at 8100 LLC is requesting review and approval for an amendment to the Planned Unit Development for the multi-family development located at 8100-8146 S 27th St to internally create two (2) additional lots within the overall PUD boundary. The request is being made for financial reasons by the lender due to changes in the economy since the start of the project. The owning entity will not change nor affect the agreements with the city related to the approved PUD. The current tax parcel ID's contained within the PUD are 8109025000, 8109026000, and the dedicated public right-of-way of S. Orchard Way as shown on CSM 9404. Site addresses include: 2676 W Red Oak Ln, 2637 W Maple Leaf Ln, 2668 W Maple Leaf Ln, 2616 W Maple Leaf Ln, 2617 W Maple Leaf Ln, 2548 W Maple Leaf Ln, 2521 W Maple Leaf Ln, 8126 S Orchard Way, 8140 S Orchard Way, 8159 S Orchard Way and 8142 S Orchard Way. The originally proposed improvements and design have and will not change with the requested amendment, only the interior property boundaries within the PUD (outside the S. Orchard Way ROW). The exterior boundary of the approved PUD will not change with the PUD amendment request.

The request is to split Lot 1 of CSM 9404 into Lot 1 and Lot 2, and Lot 2 of CSM 9404 into Lot 1 and Lot 2. Building A2 and A3 are proposed to be located on the new Lot 2 of Lot 1 of CSM 9404 and A4 is proposed to be located on Lot 2 of Lot 2 of CSM 9404. There are no changes to the recorded S. Orchard Way ROW. Reference the preliminary CSM submitted with the PUD request. As part of the lot split, side parking setbacks are requested to be approved/amended with the amendment to the PUD and change from 5' to 0' all related to the common property line between the new lines. Again, the design and improvements of the approved PUD have and will not change.

Planned Unit Development Site Information:

1. **Total Area to be included:**
 - a. 1,071,388 sf (24.596 acres)
2. **Existing Lots of Approved PUD**
 - a. Lot 1 of CSM 9404: 750,409 sf (17.227 acres)
 - b. Lot 2 of CSM 9404: 262,357 sf (6.023 acres)
3. **Proposed Lots of Approved PUD**
 - a. **Lot 1 of CSM 9404: 750,409 sf (17.227 acres)**

- i. New Lot 1: 628,747 sf (14.434 acres)
- ii. New Lot 2: 121,662 sf (2.793 acres)
- b. Lot 2 of CSM 9404: 262,357 sf (6.023 acres)**
 - i. New Lot 1: 78,436 sf (1.801 acres)
 - ii. New Lot 2: 183,921 sf (4.222 acres)

Below is an update to the setback table approved and included in the City of Oak Creek – Planned Unit Development (PUD) for Applicant: David Decker, Decker Properties as approved by Plan Commission on 7/27/2021 and Common Council on 9/7/2021. The only change to the setback table is the setback for off-street parking because of the parking along common property lines being created internally within the PUD. The approved overall site plan (C1.1A) has been included with the submittal for reference.

Table 1: Building and Parking Setback-Amended

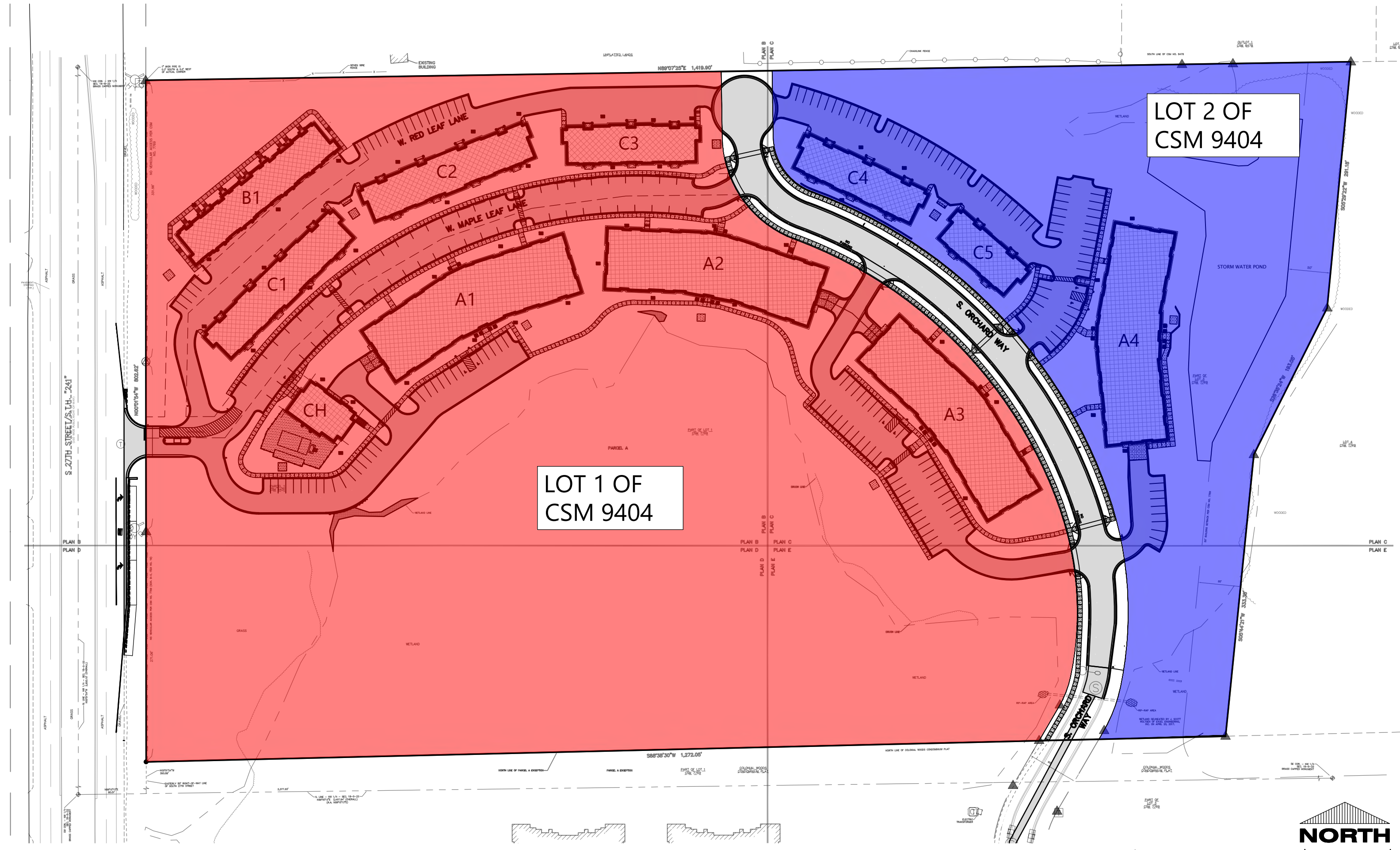
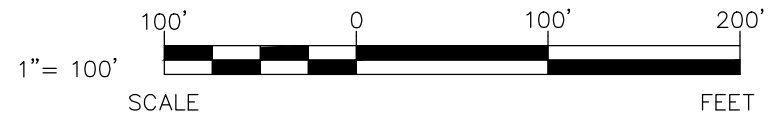
	Front and Public ROW Setback	Rear Setback	Side Setback
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Building A4*	18	25	10
Building C3*	25	25	10
Building C4*	10	25	10
Building C5*	14	25	10
All Other Principal Structures*	30	25	10
Accessory Structure**	30	10	5
Off-street Parking	5	5	5 0 at common property lines

* No multifamily residential structure shall be located closer than fifty (50) feet to a single-family district line
 **No accessory structures shall be permitted in the front yard nor shall any structures be permitted in required buffer yards. Trash enclosures shall be sited in conformance with Sec. 17.1010(e) as amended.
 X = PUD Approved setbacks
 ✕ X= Amended PUD setbacks

LOT 1 OF
CSM 9404

LOT 2 OF
CSM 9404

EXISTING APPROVED CSM W/ PUD

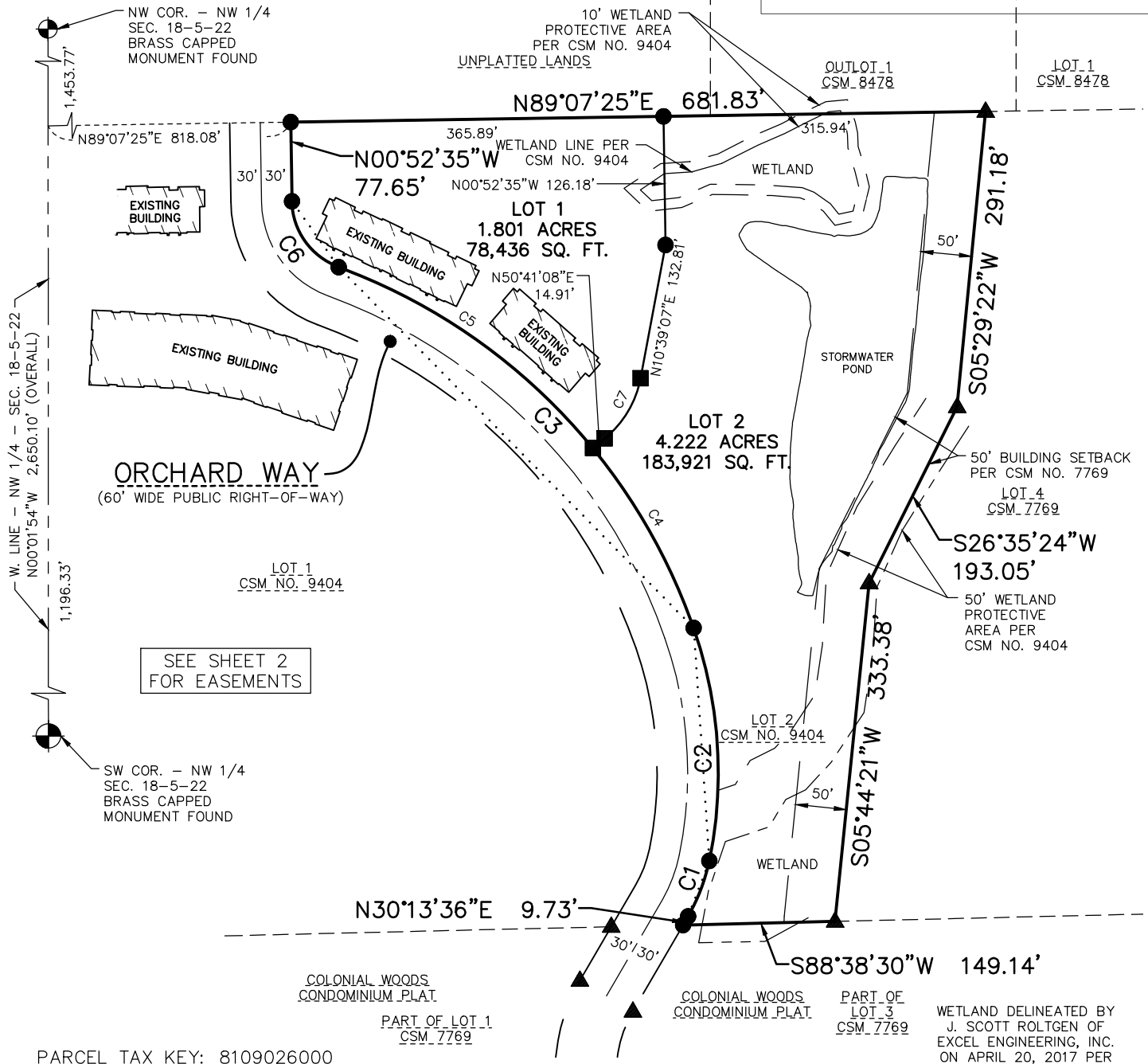


CERTIFIED SURVEY MAP NO.

FOR

THE OAKS AT 8100, LLC

LOT 2, CSM NO. 9404, BEING PART OF THE SE 1/4 & SW 1/4 OF THE NW 1/4, SECTION 18, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



PARCEL TAX KEY: 8109026000

OWNERS / SUBDIVIDERS:
 THE OAKS AT 8100, LLC
 250 N. SUNNY SLOPE ROAD
 SUITE 290
 BROOKFIELD, WI 53005

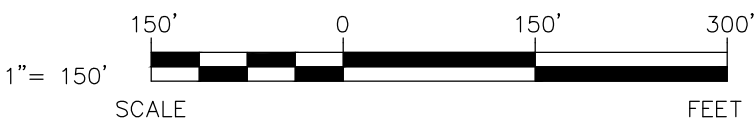
TOTAL AREA
6.023 ACRES
262,357 SQ. FT.

Curve Table					
Curve #	Length	Radius	Chord Bearing	Chord Length	Delta
C1	58.51'	180.00'	N20°54'54"E	58.25'	018°37'24"
C2	231.77'	430.00'	N03°50'15"W	228.97'	030°52'55"
C3	512.95'	581.22'	N44°33'42"W	496.47'	050°33'58"
C4	203.25'	581.22'	N29°17'47"W	202.21'	020°02'09"
C5	309.70'	581.22'	N54°34'46"W	306.05'	030°31'49"
C6	84.26'	70.00'	N35°21'38"W	79.26'	068°58'05"
C7	70.26'	100.00'	N30°46'51"E	68.83'	040°15'29"

LEGEND

- - 3/4" x 18" REBAR SET WEIGHING 1.50 LBS/FT.
- - MAG NAIL SET
- ▲ - 1" IRON PIPE FOUND
- ⊙ - SECTION CORNER MONUMENT FOUND

NORTH POINT REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD27). THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 18 HAS A BEARING OF NORTH 00°-01'-54" WEST.



SHEET 1 OF 4 SHEETS

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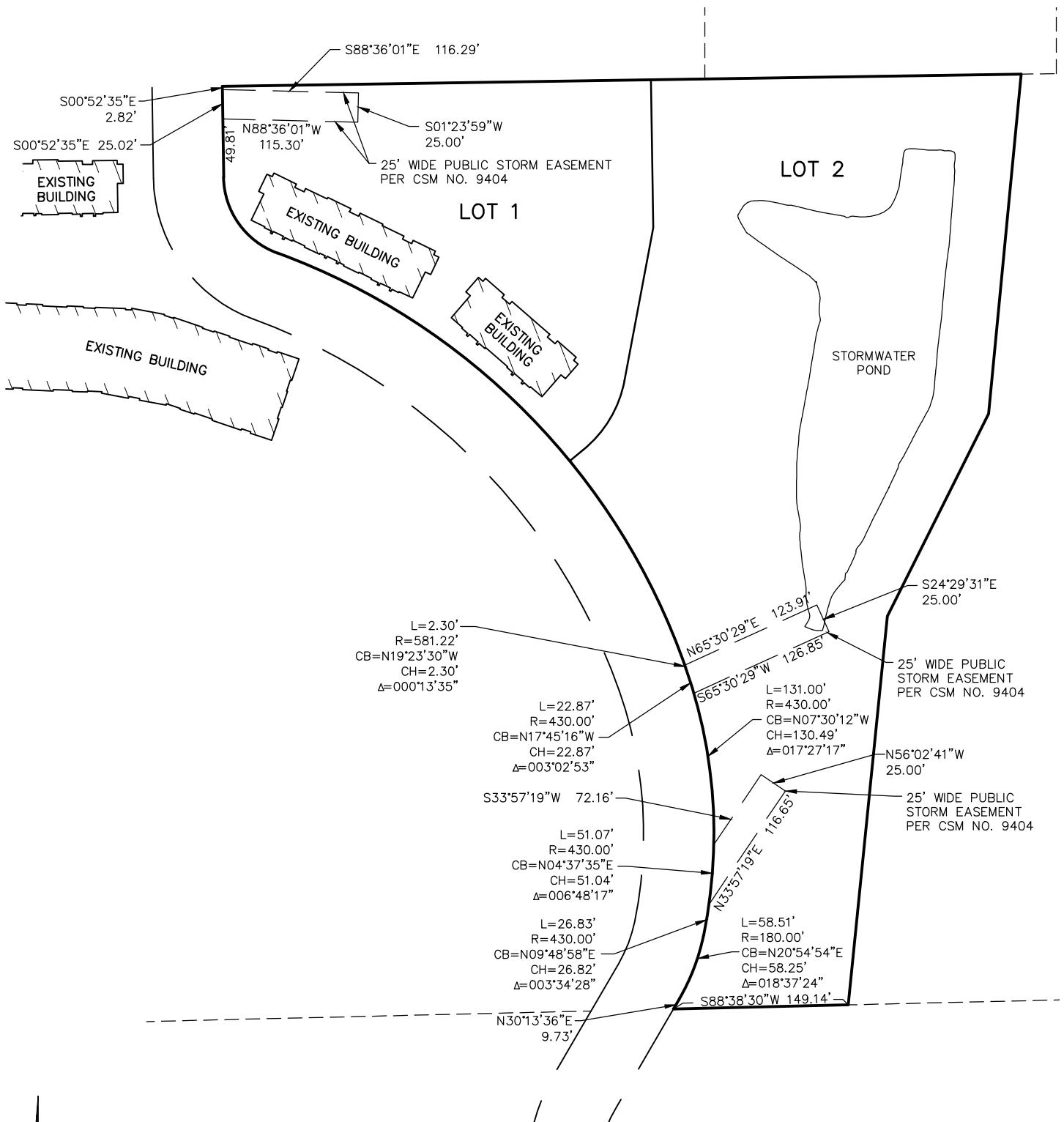
100 Camelot Drive
 Fond Du Lac, WI 54935
 Phone: (920) 926-9800
 www.EXCELENGINEER.com

CERTIFIED SURVEY MAP NO. _____

FOR

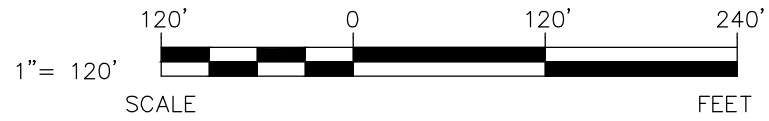
THE OAKS AT 8100, LLC

LOT 2, CSM NO. 9404, BEING PART OF THE SE 1/4 & SW 1/4 OF THE NW 1/4, SECTION 18, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



SHEET 2 OF 4 SHEETS

NORTH POINT REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD27). THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 18 HAS A BEARING OF NORTH 00°-01'-54" WEST.





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CERTIFIED SURVEY MAP NO. _____

LOT 2, CSM NO. 9404, BEING PART OF THE SE 1/4 & SW 1/4 OF THE NW 1/4, SECTION 18, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped a parcel of land described below.

That I have made such Certified Survey under the direction of The Oaks at 8100, LLC bounded and described as follows:

Lot 2 of Certified Survey Map No. 9404, recorded in the Milwaukee County Register of Deeds Office as Document No. 11239359, being part of the Southeast 1/4 and Southwest 1/4 of the Northwest 1/4 of Section 18, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin containing 6.023 acres (262,357 sq. ft.) of land more or less.

That such is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes and the Subdivision Ordinance of the City of Oak Creek in surveying, dividing and mapping the same.

Ryan Wilgreen, P.L.S. No. S-2647
ryan.w@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project Number: 240288600

PLAN COMMISSION CERTIFICATE OF APPROVAL

Recommended for approval by the Plan Commission of the City of Oak Creek on this _____ day of _____, 20____.

_____, _____
Daniel Bukiewicz, Chairman (Date)

COMMON COUNCIL CERTIFICATE OF APPROVAL

APPROVED by the Common Council of the City of Oak Creek, per Plan Commission recommendation on this _____ day of _____, 20____, by Resolution No. _____.

_____, _____
Daniel Bukiewicz, Mayor (Date)

_____, _____
Catherine A. Roeske, City Clerk (Date)

CERTIFIED SURVEY MAP NO. _____

LOT 2, CSM NO. 9404, BEING PART OF THE SE 1/4 & SW 1/4 OF THE NW 1/4, SECTION 18,
TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE

The Oaks at 8100, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map.

The Oaks at 8100, LLC does further certify that this map is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

- 1. City of Oak Creek

WITNESS the hand and seal of said owner this _____ day of _____, 20__.

The Oaks at 8100, LLC

_____, _____
(Print) (Title)

STATE OF _____)

_____ COUNTY)SS

Personally came before me this _____ day of _____, 20__, the above named _____ to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, _____ County, _____
My Commission Expires: _____



PLAN COMMISSION REPORT

Proposal: Site Plan Review

Description: Review site plans for a modification to land north of the Aldi distribution facility.

Applicant(s): Adam Kastl, Aldi, Inc. and Richard Suckey, A M King

Address(es): 9150 S. 13th St. (6th Aldermanic District)

Suggested Motion: That the Plan Commission approves the site plans submitted by Adam Kastl, Aldi, Inc. and Richard Suckey, A M King, for proposed modifications to the Aldi distribution property located at 9150 S. 13th St.

Owner(s): ALDI, INC.

Tax Key(s): 876-9999-002

Lot Size(s): 30.069 acres

Current Zoning District(s): M-1, Manufacturing FW, Floodway

Overlay District(s):

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Single-family Attached

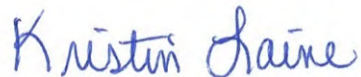
Background:

The Plan Commission approved a building addition to the Aldi distribution center at its January 23, 2024 meeting. There has been an existing berm to the north of the buildings, peaking at an elevation of 746 ft. and located pretty close to the building addition. Work on the site has been underway for several months now, which includes a substantial amount of dirt being moved and regraded, and the berm shifted north during this earthwork in the last few months. Soil management has led to the need to modify the size and location of the berm. The contractors have had to grade everything back away from the buildings. The proposal before the Plan Commission is to move the peak of the berm about 100 ft. north of the original location, but south of the “temporary berm” that has been in existence for a few months. The proposed peak gains a foot in height, peaking at an elevation of 747 ft. The proposed site modification also includes the addition of a swale along the north property line, to ensure that any water runoff that pitches north, will go to the swale and will be contained on the Aldi property. The swale will be approximately 3.8 ft. wide and

1.5 ft. deep with a significant ability to hold a high volume of water. The Engineering Department has reviewed the new civil plans and believes that these modifications are advantageous to the neighborhood to the north, and provide even better assurance that water will be retained on the Aldi property. The berm will be landscaped with turf hydroseed—no plantings are proposed on the berm or field to the north of the building addition.

Options/Alternatives: The Plan Commission has the discretion to approve plans as presented, approve with specified conditions, or disapprove the proposal. Should the request be not approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

Respectfully prepared and submitted:



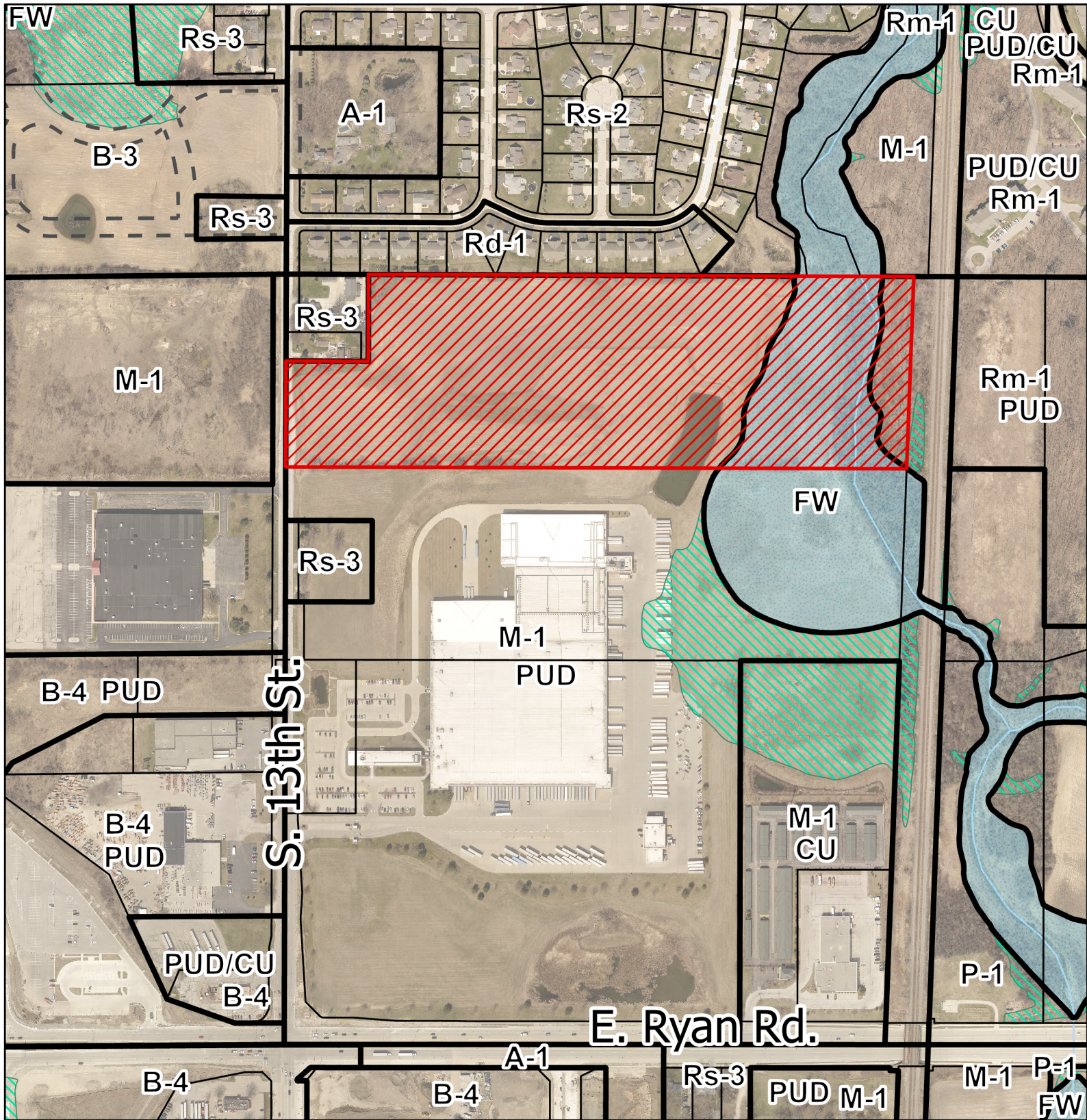
Kristi Laine
Community Development Director

Attachments:

- Location Map
- Project Narrative (1 page)
- Original/approved civil set (existing conditions 1 page)
- Proposed civil plans & landscaping plan (11 pages)
- Cross-sections of berm (2 pages)

Location Map

9150 S. 13th St.



This map is not a survey of the actual boundary of the property this map depicts

Legend

- Zoning
- Flood Fringe
- Official Street Map
- Parcels
- Floodway
- 9150 S. 13th St.

0 0.07 0.15 Miles





October 15, 2024

City of Oak Creek
Plan Commission
8040 S. 6th Street
Oak Creek, WI 53154

RE: ALDI Oak Creek Freezer Expansion
Narrative Description of Proposal

To Whom It May Concern:

The intent of this proposal is to address the remaining excess fill on-site. The remaining fill will be used to increase the height of the existing hill, as well as create a gradual slope on the north side of the hill. This will reduce the amount of remaining mass grading needed on-site. The current berm of topsoil on the north perimeter of the site will be re-spread once mass grading is completed, and a swale will be installed to prevent drainage to neighboring properties. The Northern tree line that was originally planned to be removed will now remain in place as an additional screening buffer for the North neighboring properties.

Feel free to contact me directly at (704) 579-3072 should you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Richard J. Suckey', with a long horizontal flourish extending to the right.

Richard J. Suckey, Project Manager
A M King

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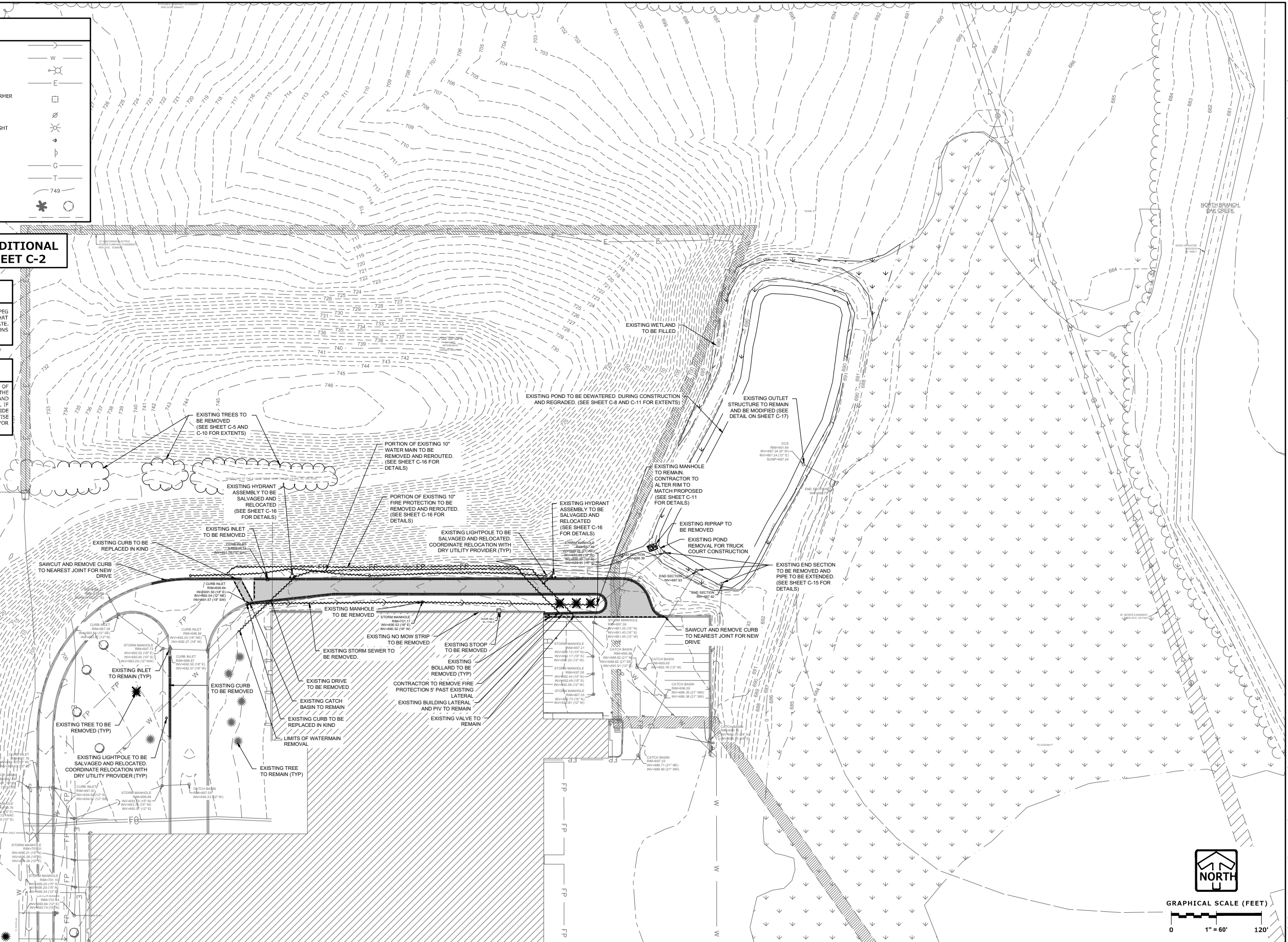
LEGEND	
SANITARY MANHOLE	STORM SEWER
STORM MANHOLE	WATER MAIN
CATCH BASIN	LIGHTING
INLET	ELECTRICAL CABLE
PRECAST FLARED END SECTION	ELECTRICAL TRANSFORMER OR PEDESTAL
CONCRETE HEADWALL	POWER POLE
VALVE VAULT	POWER POLE WITH LIGHT
VALVE BOX	GUY WIRE
FIRE HYDRANT	STREET SIGN
BUFFALO BOX	GAS MAIN
CLEANOUT	TELEPHONE LINE
SANITARY SEWER	CONTOUR
FORCE MAIN	TREE
CONCRETE SIDEWALK	EASEMENT LINE

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

EXISTING CONDITIONS SURVEY:
EXISTING CONDITIONS SURVEY PROVIDED BY PINNACLE ENGINEERING GROUP. ALTHOUGH PEG HAS NO REASON TO BELIEVE THE SURVEY IS INACCURATE, PEG MAKES NO WARRANTIES THAT EXISTING INFORMATION CONTAINED WITHIN THESE PLANS IS ALL-INCLUSIVE OR ACCURATE. CONTRACTOR SHALL UNDERTAKE NECESSARY EFFORTS TO VERIFY THE EXISTING CONDITIONS PRIOR TO THE START OF MATERIAL PROCUREMENT AND CONSTRUCTION EFFORTS/ACTIVITIES.

CONTRACTOR RESPONSIBILITY:
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

LEGEND	
[Hatched Area]	REMOVE EXISTING PAVEMENT
[Dashed Line]	REMOVE EXISTING CURB AND GUTTER
[Wavy Line]	REMOVE EXISTING UTILITY
[Dotted Line]	SAWCUT EXISTING PAVEMENT



DESIGNED: ACT
CHECKED: JN
DRAWN: JN

PLAN | DESIGN | DELIVER
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PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
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BROOKFIELD, WI 53116
(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

ALDI DISTRIBUTION

9342 S. 13TH STREET, OAK CREEK, WI 53154

EXISTING CONDITIONS & DEMO PLAN

REVISIONS	

REG JOB No. 2176.10
REG PM MTS
START DATE 12/05/23
SCALE 1" = 60'

SHEET C-3
C-18

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DESIGNED BY: [REDACTED] CHECKED BY: [REDACTED] REVIEWED BY: [REDACTED] DATE: 08/20/2024

LEGEND

- 12" W/3 ENLARGED EASEMENT
- 12" W/3 ENLARGED EASEMENT
- 12" W/3 ENLARGED EASEMENT
- 12" W/3 ENLARGED EASEMENT
- 12" W/3 ENLARGED EASEMENT
- 12" W/3 ENLARGED EASEMENT
- 12" W/3 ENLARGED EASEMENT
- 12" W/3 ENLARGED EASEMENT
- 12" W/3 ENLARGED EASEMENT

SITE DATA

TYPE: SITE	10/10/2024
DISTURBED AREA	22,345 SQ
TOTAL LOT AREA	1.5 AC
PERCENTAGE	14.9%
PERCENTAGE	14.9%

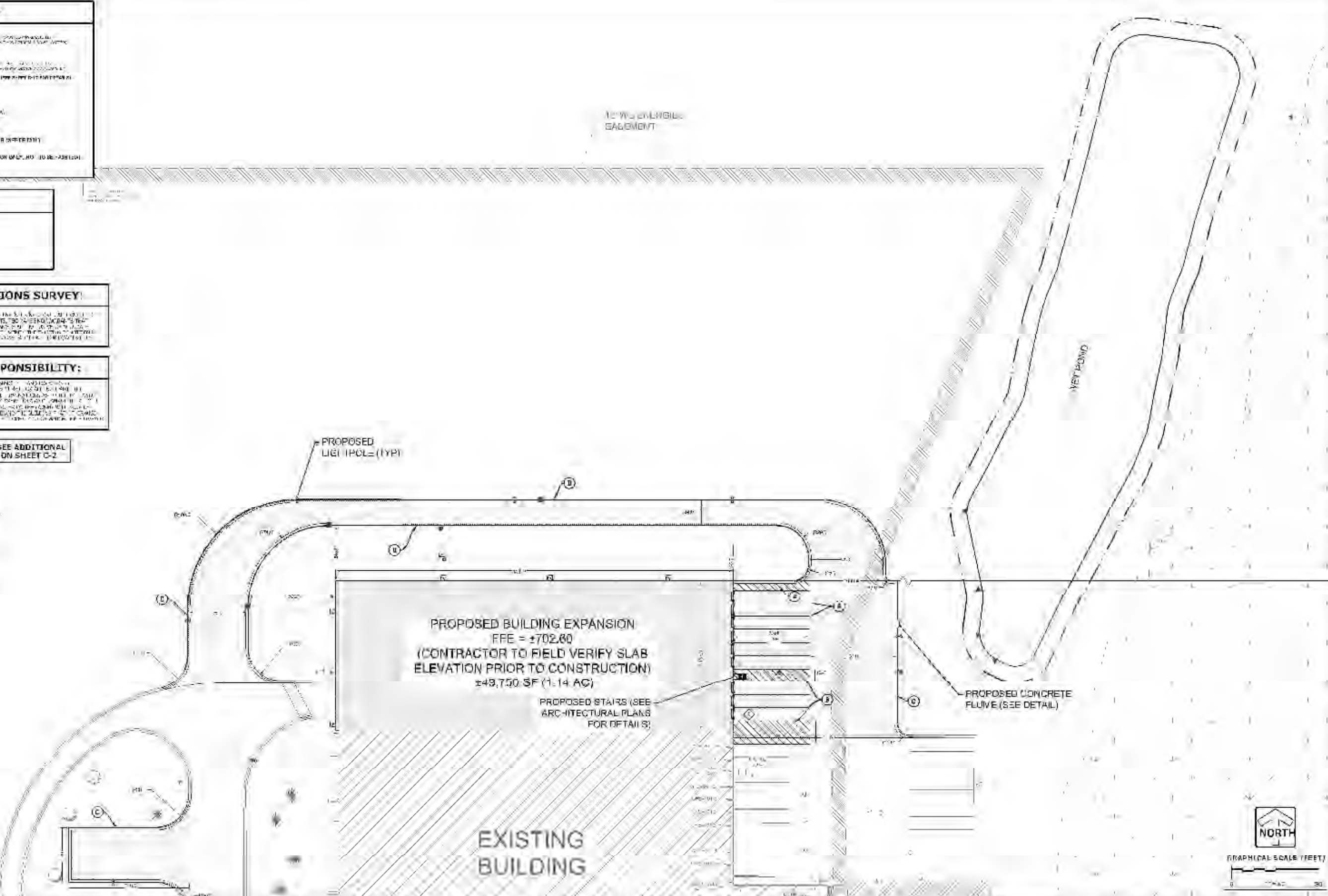
EXISTING CONDITIONS SURVEY:

EXISTING CONDITIONS SURVEY: SEE SHEET C-1 FOR DETAILED INFORMATION AND ELEVATION DATA.

CONTRACTOR RESPONSIBILITY:

CONTRACTOR RESPONSIBILITY: CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. SEE SHEET C-2 FOR ADDITIONAL NOTES.

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2



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1000 W. PINE STREET, SUITE 200, OAK CREEK, WI 53154
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9312 S. 13TH STREET, OAK CREEK, WI 53154

SITE DIMENSIONAL & PAVING PLAN

REVISIONS	
1	ISSUED FOR PERMIT
2	ISSUED FOR CONSTRUCTION

SHEET C-4
C-18

DESIGNED BY: [REDACTED] CHECKED BY: [REDACTED] DATE: 07/20/2020

PROJECT: 2020/2176.10 W/CAD/SHEETS/2176.10 GRADING & EROSION CONTROL PLAN.DWG

LEGEND

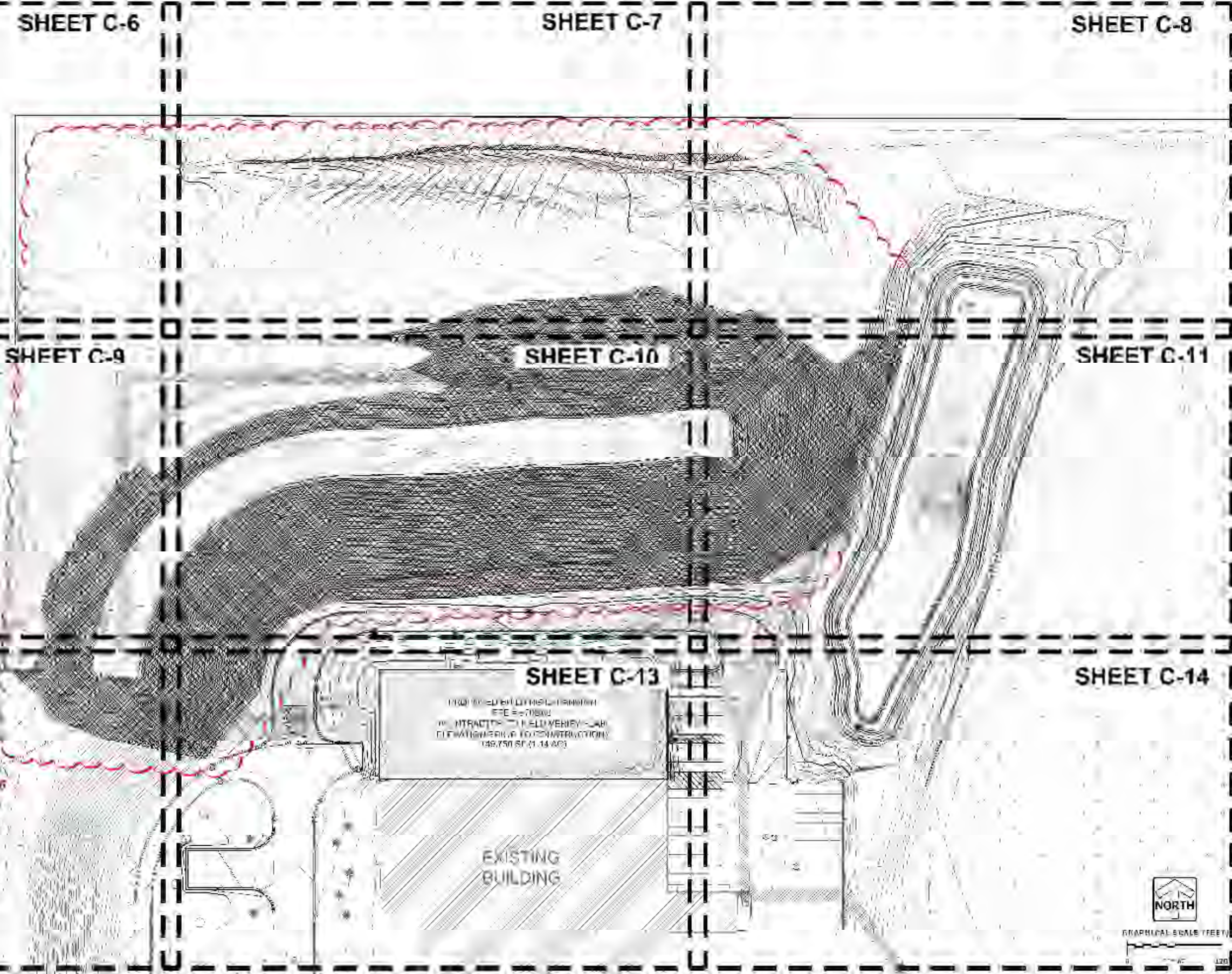
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[Symbol]	Proposed Erosion Control	[Symbol]	Proposed Erosion Control
[Symbol]	Proposed Erosion Control	[Symbol]	Proposed Erosion Control
[Symbol]	Proposed Erosion Control	[Symbol]	Proposed Erosion Control
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[Symbol]	Proposed Erosion Control	[Symbol]	Proposed Erosion Control

CONTRACTOR RESPONSIBILITY SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

CONSTRUCTION SITE SEQUENCING

1. EXISTING SITE CONDITIONS TO BE PRESERVED
2. EXISTING SITE CONDITIONS TO BE PRESERVED
3. EXISTING SITE CONDITIONS TO BE PRESERVED
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19. EXISTING SITE CONDITIONS TO BE PRESERVED
20. EXISTING SITE CONDITIONS TO BE PRESERVED

NOTE
REMAINING DISTURBED AREAS OF SLOPED 5% OR FLATTER TO BE HYDROSEED.



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GRADING & EROSION CONTROL PLAN OVERVIEW

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NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	07/20/20
2	REVISIONS TO PERMIT	07/20/20
3	REVISIONS TO PERMIT	07/20/20

SHEET C-5
C-18

www.pinnacle-engr.com GRADING & EROSION CONTROL PLAN OVERVIEW

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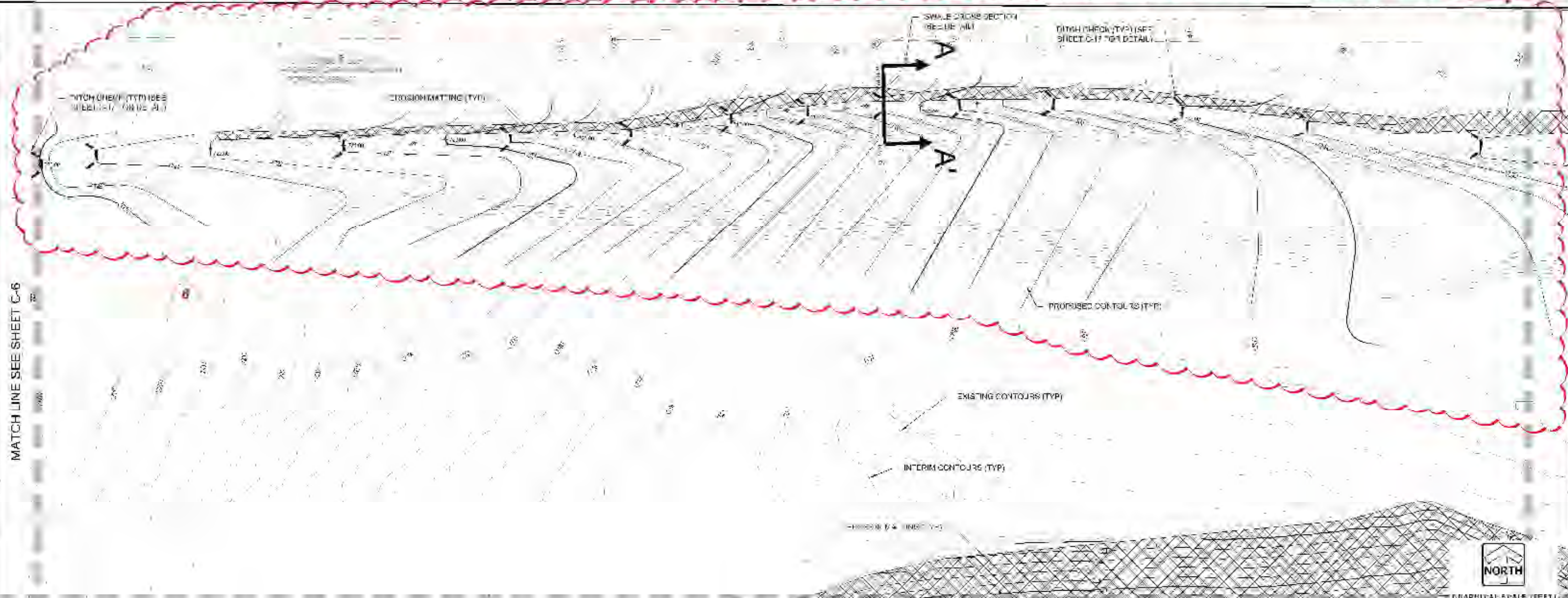
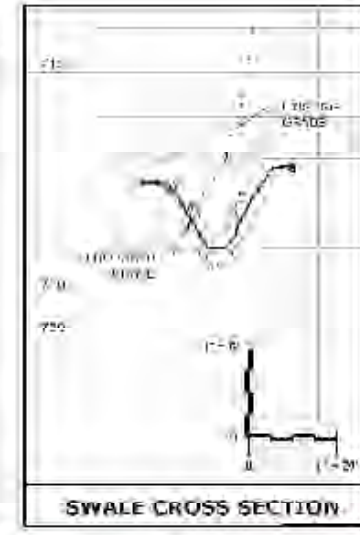
LEGEND

1. EXISTING EROSION CONTROL	2. PROPOSED EROSION CONTROL	3. PROPOSED SWALE	4. PROPOSED DITCH	5. PROPOSED DITCH CHECK	6. PROPOSED DITCH CHECK	7. PROPOSED DITCH CHECK	8. PROPOSED DITCH CHECK	9. PROPOSED DITCH CHECK	10. PROPOSED DITCH CHECK
11. PROPOSED DITCH CHECK	12. PROPOSED DITCH CHECK	13. PROPOSED DITCH CHECK	14. PROPOSED DITCH CHECK	15. PROPOSED DITCH CHECK	16. PROPOSED DITCH CHECK	17. PROPOSED DITCH CHECK	18. PROPOSED DITCH CHECK	19. PROPOSED DITCH CHECK	20. PROPOSED DITCH CHECK

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

NOTE
REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDED.

- CONSTRUCTION SITE SEQUENCING**
1. EXISTING EROSION CONTROL TO BE REMOVED AND RECONSTRUCTED TO MEET THE DESIGN REQUIREMENTS.
 2. EXISTING SWALES TO BE RECONSTRUCTED TO MEET THE DESIGN REQUIREMENTS.
 3. EXISTING DITCHES TO BE RECONSTRUCTED TO MEET THE DESIGN REQUIREMENTS.
 4. EXISTING DITCH CHECKS TO BE RECONSTRUCTED TO MEET THE DESIGN REQUIREMENTS.
 5. EXISTING DITCH CHECKS TO BE RECONSTRUCTED TO MEET THE DESIGN REQUIREMENTS.
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 9. EXISTING DITCH CHECKS TO BE RECONSTRUCTED TO MEET THE DESIGN REQUIREMENTS.
 10. EXISTING DITCH CHECKS TO BE RECONSTRUCTED TO MEET THE DESIGN REQUIREMENTS.



MATCH LINE SEE SHEET C-6 (left), MATCH LINE SEE SHEET C-10 (bottom), MATCH LINE SEE SHEET C-3 (right)

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GRADING & EROSION CONTROL PLAN

REVISIONS

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	10/20/20	AW	AW
2	REVISED FOR COMMENTS	11/10/20	AW	AW

SHEET C-7
 C-18

MATCH LINE SEE SHEET C-3

GRADING & EROSION CONTROL PLAN

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 REVIEWED: []
 DESIGNED BY: []
 PROJECT NO: []

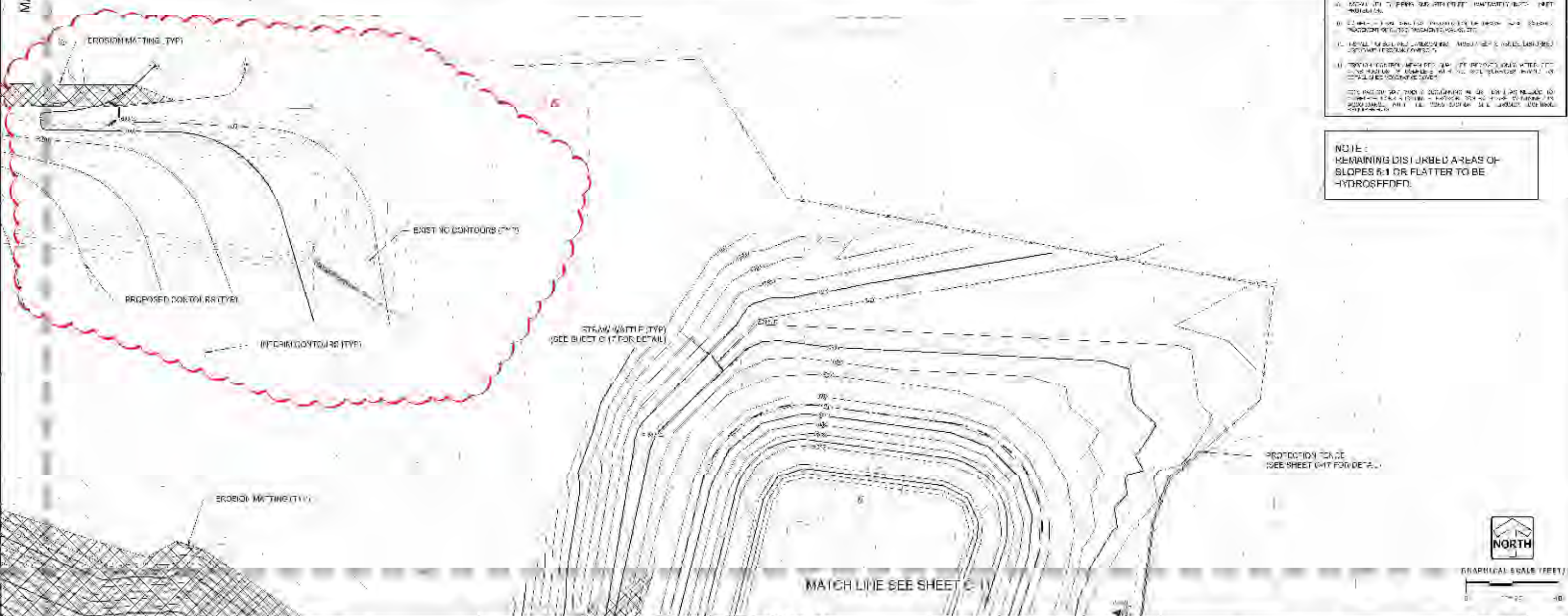
MATCH LINE SEE SHEET C-7

LEGEND	
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	PROPOSED EROSION CONTROL
[Symbol]	PROPOSED STREAM
[Symbol]	PROPOSED PROTECTION FENCE
[Symbol]	PROPOSED SLOPE
[Symbol]	PROPOSED VEGETATION
[Symbol]	PROPOSED ROAD
[Symbol]	PROPOSED UTILITY
[Symbol]	PROPOSED STRUCTURE
[Symbol]	PROPOSED FENCE
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED LIGHTING
[Symbol]	PROPOSED LANDSCAPE
[Symbol]	PROPOSED PAVING
[Symbol]	PROPOSED CURB
[Symbol]	PROPOSED DRIVEWAY
[Symbol]	PROPOSED SIDEWALK
[Symbol]	PROPOSED BIKEWAY
[Symbol]	PROPOSED TRAIL

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

CONSTRUCTION SITE SEQUENCING	
1.	INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OF EXPOSED SOILS AND TO STABILIZE EXPOSED SOILS.
2.	INSTALL SLOPE PROTECTION MEASURES TO PREVENT EROSION OF EXPOSED SOILS.
3.	INSTALL PROTECTION FENCE TO PREVENT ACCESS TO EXPOSED SOILS.
4.	INSTALL VEGETATION TO STABILIZE EXPOSED SOILS.
5.	INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OF EXPOSED SOILS.
6.	INSTALL SLOPE PROTECTION MEASURES TO PREVENT EROSION OF EXPOSED SOILS.
7.	INSTALL PROTECTION FENCE TO PREVENT ACCESS TO EXPOSED SOILS.
8.	INSTALL VEGETATION TO STABILIZE EXPOSED SOILS.
9.	INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OF EXPOSED SOILS.
10.	INSTALL SLOPE PROTECTION MEASURES TO PREVENT EROSION OF EXPOSED SOILS.
11.	INSTALL PROTECTION FENCE TO PREVENT ACCESS TO EXPOSED SOILS.
12.	INSTALL VEGETATION TO STABILIZE EXPOSED SOILS.
13.	INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OF EXPOSED SOILS.
14.	INSTALL SLOPE PROTECTION MEASURES TO PREVENT EROSION OF EXPOSED SOILS.
15.	INSTALL PROTECTION FENCE TO PREVENT ACCESS TO EXPOSED SOILS.
16.	INSTALL VEGETATION TO STABILIZE EXPOSED SOILS.
17.	INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION OF EXPOSED SOILS.
18.	INSTALL SLOPE PROTECTION MEASURES TO PREVENT EROSION OF EXPOSED SOILS.
19.	INSTALL PROTECTION FENCE TO PREVENT ACCESS TO EXPOSED SOILS.
20.	INSTALL VEGETATION TO STABILIZE EXPOSED SOILS.

NOTE:
REMAINING DISTURBED AREAS OF SLOPES 3:1 OR FLATTER TO BE HYDROSEEDED.



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DATE: 10/20/2020
REVISIONS: 0
PROJECT: 2020.2176.10 WI\CAD\PROJECTS\2176.10 GRADING & EROSION CONTROL PLAN.DWG

LEGEND	
1. EXISTING GRADE	---
2. PROPOSED GRADE	---
3. EXISTING CONTOUR	---
4. PROPOSED CONTOUR	---
5. EXISTING EROSION CONTROL	---
6. PROPOSED EROSION CONTROL	---
7. EXISTING ROAD	---
8. PROPOSED ROAD	---
9. EXISTING UTILITY	---
10. PROPOSED UTILITY	---
11. EXISTING STRUCTURE	---
12. PROPOSED STRUCTURE	---
13. EXISTING FENCE	---
14. PROPOSED FENCE	---
15. EXISTING TREES	---
16. PROPOSED TREES	---
17. EXISTING WATER	---
18. PROPOSED WATER	---
19. EXISTING POWER	---
20. PROPOSED POWER	---
21. EXISTING TELEPHONE	---
22. PROPOSED TELEPHONE	---
23. EXISTING GAS	---
24. PROPOSED GAS	---
25. EXISTING OIL	---
26. PROPOSED OIL	---
27. EXISTING WATER MAIN	---
28. PROPOSED WATER MAIN	---
29. EXISTING SANITARY	---
30. PROPOSED SANITARY	---
31. EXISTING SEWER	---
32. PROPOSED SEWER	---
33. EXISTING STORM	---
34. PROPOSED STORM	---
35. EXISTING RAILROAD	---
36. PROPOSED RAILROAD	---
37. EXISTING AIRCRAFT	---
38. PROPOSED AIRCRAFT	---
39. EXISTING HIGHWAY	---
40. PROPOSED HIGHWAY	---
41. EXISTING STATE	---
42. PROPOSED STATE	---
43. EXISTING FEDERAL	---
44. PROPOSED FEDERAL	---
45. EXISTING NATIONAL	---
46. PROPOSED NATIONAL	---
47. EXISTING INTERNATIONAL	---
48. PROPOSED INTERNATIONAL	---

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

- ### CONSTRUCTION SITE SEQUENCING
1. EXISTING GRADE TO BE MAINTAINED THROUGHOUT CONSTRUCTION
 2. EXISTING GRADE TO BE MAINTAINED THROUGHOUT CONSTRUCTION
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 49. EXISTING GRADE TO BE MAINTAINED THROUGHOUT CONSTRUCTION
 50. EXISTING GRADE TO BE MAINTAINED THROUGHOUT CONSTRUCTION

NOTE: REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDED.



PINNACLE ENGINEERING GROUP
2176.10 GRADING & EROSION CONTROL PLAN

ALDI DISTRIBUTION
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GRADING & EROSION CONTROL PLAN

REVISIONS	
1	REVISED SHEETS
2	REVISED SHEETS
3	REVISED SHEETS
4	REVISED SHEETS
5	REVISED SHEETS

SHEET
C-9
C-18

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GRADING & EROSION CONTROL PLAN

LEGEND	
	Proposed Construction
	Proposed Erosion Control
	Proposed Stormwater Management
	Proposed Utility
	Proposed Road
	Proposed Structure
	Proposed Foundation
	Proposed Foundation
	Proposed Foundation
	Proposed Foundation

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-1

- CONSTRUCTION SITE SEQUENCING**
1. EXISTING GRADING TO BE MAINTAINED SHALL REMAIN UNDISTURBED.
 2. EXISTING GRADING TO BE MAINTAINED SHALL REMAIN UNDISTURBED.
 3. EXISTING GRADING TO BE MAINTAINED SHALL REMAIN UNDISTURBED.
 4. EXISTING GRADING TO BE MAINTAINED SHALL REMAIN UNDISTURBED.
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 9. EXISTING GRADING TO BE MAINTAINED SHALL REMAIN UNDISTURBED.
 10. EXISTING GRADING TO BE MAINTAINED SHALL REMAIN UNDISTURBED.

NOTE: EXISTING DISTURBED AREAS OF ALLURE LIME FLATTER TO BE HYDROSEEDED.

MATCH LINE SEE SHEET C-9

MATCH LINE SEE SHEET C-11

GRADING & EROSION CONTROL PLAN



ALDI DISTRIBUTION

9542 S. 13TH STREET, DAK CREEK, WI 53154

GRADING & EROSION CONTROL PLAN

REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITTING	08/14/2020	ME
2	FOR PRELIMINARY REVIEW	08/14/2020	ME
3	FOR PRELIMINARY REVIEW	08/14/2020	ME
4	FOR PRELIMINARY REVIEW	08/14/2020	ME

SHEET
C-10
C-18

Z:\PROJECTS\2020\2176.10 WI\CAD\SHEETS\2176.10 GRADING & EROSION CONTROL PLAN.DWG



LEGEND

Symbol	Description	Symbol	Description
...

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-8

CONSTRUCTION SITE SEQUENCING

1. SITE PREP
2. EXCAVATION
3. FOUNDATION
4. CONCRETE
5. ROOFING
6. MECHANICAL
7. ELECTRICAL
8. INTERIORS
9. EXTERIORS
10. LANDSCAPE

NOTE:
REMAINING DISTURBED AREAS OF SLOPES 3:1 OR FLATTER TO BE HYDRASEEDED.

Pinnacle Engineering Group
 1000 W. Wisconsin Ave., Suite 200, Oak Creek, WI 53154
 (414) 764-1100
 www.pinnacle-engr.com

ALDI DISTRIBUTION
 9342 S. 13TH STREET, OAK CREEK, WI 53154

GRADING & EROSION CONTROL PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/2021	ISSUED FOR PERMIT

SHEET
 C-11
 C-18

DESIGNED: ACT REVIEWED: PREFERRED: IN PROJECTED: IN

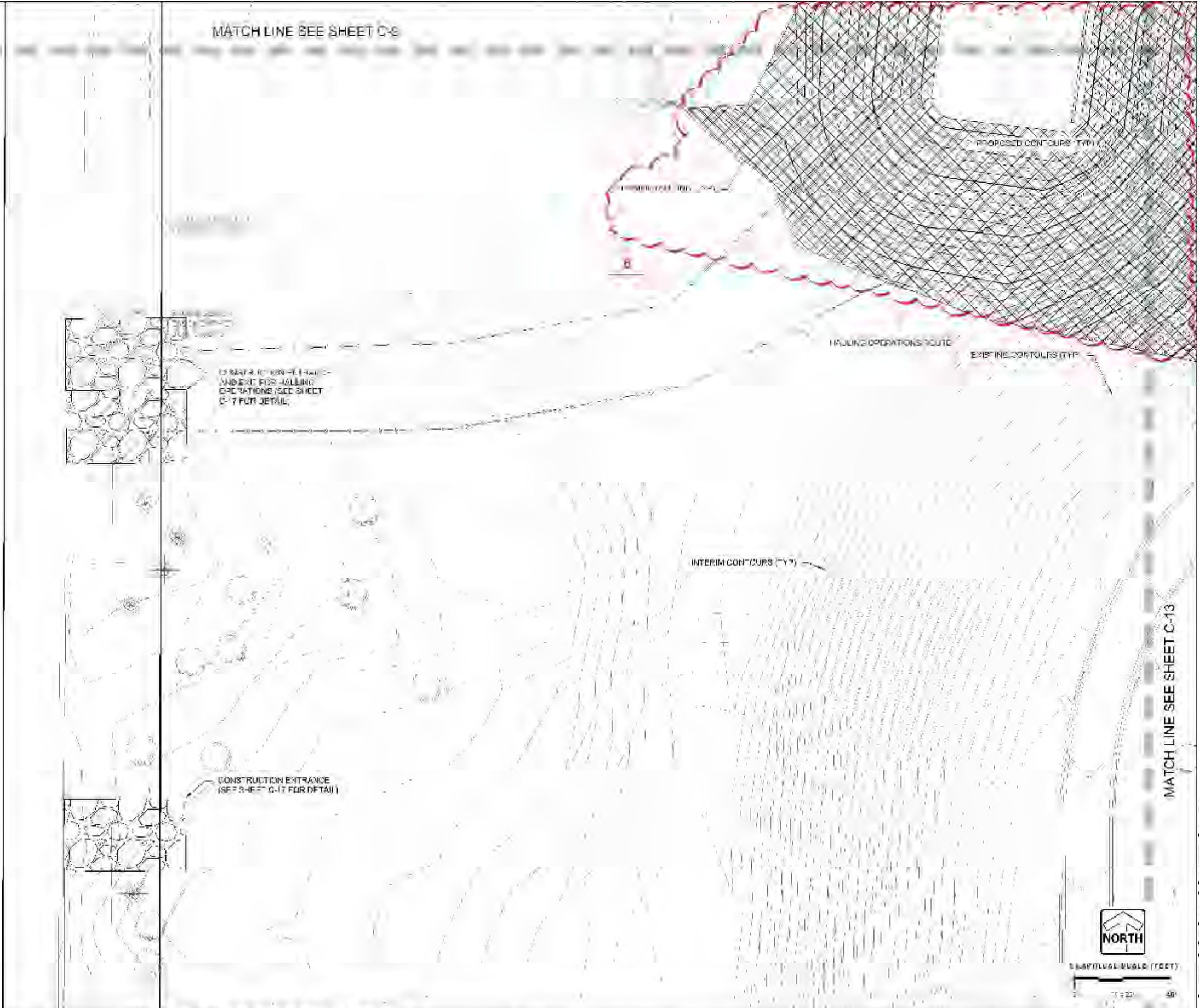
LEGEND

PROPOSED CONTOUR (TYP)	EXISTING CONTOUR (TYP)
PROPOSED GRADING	EXISTING GRADING
PROPOSED EROSION CONTROL	EXISTING EROSION CONTROL
PROPOSED DRAINAGE	EXISTING DRAINAGE
PROPOSED FILL	EXISTING FILL
PROPOSED CUT	EXISTING CUT
PROPOSED EXCAVATION	EXISTING EXCAVATION
PROPOSED RETENTION WALL	EXISTING RETENTION WALL
PROPOSED STRUCTURE	EXISTING STRUCTURE
PROPOSED UTILITY	EXISTING UTILITY
PROPOSED TREE	EXISTING TREE
PROPOSED BOUNDARY	EXISTING BOUNDARY

CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2

- CONSTRUCTION SITE SEQUENCING**
1. INITIAL SITE PREP: CLEAR, GRUB, AND EXCAVATE DISTURBED AREAS TO BE HYDROSEEDING.
 2. INSTALL EROSION CONTROL MEASURES: SLOPE PROTECTION, SODDING, AND HYDROSEEDING.
 3. CONSTRUCTION OF FOUNDATION AND STRUCTURAL ELEMENTS.
 4. CONSTRUCTION OF ROADS, DRIVEWAYS, AND UTILITY LINES.
 5. CONSTRUCTION OF EXTERIOR FINISHES AND INTERIORS.
 6. FINAL GRADING AND EROSION CONTROL MEASURES.
 7. FINAL SITE PREP: HYDROSEEDING AND SOIL STABILIZATION.
 8. FINAL GRADING AND EROSION CONTROL MEASURES.
 9. FINAL SITE PREP: HYDROSEEDING AND SOIL STABILIZATION.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL REPAIR OR REPLACE AS NEEDED.

NOTE:
REMAINING DISTURBED AREAS OF SLOPES 5:1 OR FLATTER TO BE HYDROSEEDING.



PINNACLE ENGINEERING GROUP
2176 10th Street, Oak Creek, WI 53154
www.pinnacle-engr.com

ALDI DISTRIBUTION
9342 S. 15TH STREET, OAK CREEK, WI 53154

GRADING & EROSION CONTROL PLAN

REVISIONS

1. REVISED CONTOURS (C-12)	2. REVISED CONTOURS (C-12)
3. REVISED CONTOURS (C-12)	4. REVISED CONTOURS (C-12)

SHEET C-12

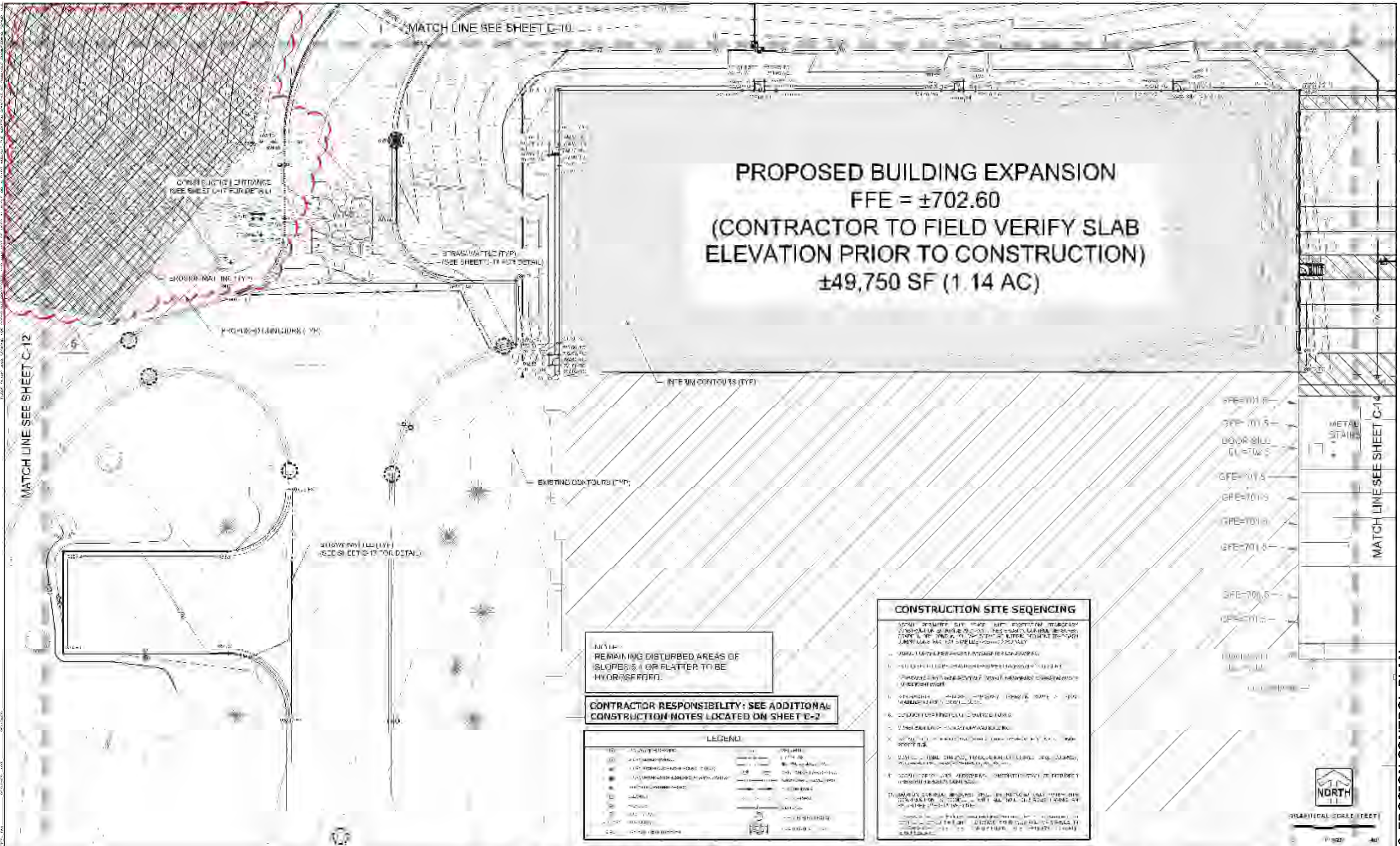
www.pinnacle-engr.com GRADING & EROSION CONTROL PLAN

MATCH LINE SEE SHEET C-12

MATCH LINE SEE SHEET C-10

MATCH LINE SEE SHEET C-14

PROPOSED BUILDING EXPANSION
FFE = ±702.60
(CONTRACTOR TO FIELD VERIFY SLAB
ELEVATION PRIOR TO CONSTRUCTION)
±49,750 SF (1.14 AC)



NOTE: REMAINING DISTURBED AREAS OF SLOPES ≥ 1 OR FLATTER TO BE HYDROSEEDED.

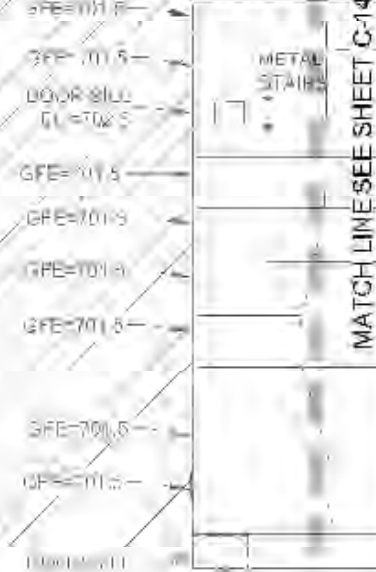
CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET E-2

LEGEND

1. PROPOSED CONTOUR	2. EXISTING CONTOUR	3. PROPOSED CONTOUR	4. EXISTING CONTOUR
5. PROPOSED CONTOUR	6. EXISTING CONTOUR	7. PROPOSED CONTOUR	8. EXISTING CONTOUR
9. PROPOSED CONTOUR	10. EXISTING CONTOUR	11. PROPOSED CONTOUR	12. EXISTING CONTOUR
13. PROPOSED CONTOUR	14. EXISTING CONTOUR	15. PROPOSED CONTOUR	16. EXISTING CONTOUR
17. PROPOSED CONTOUR	18. EXISTING CONTOUR	19. PROPOSED CONTOUR	20. EXISTING CONTOUR
21. PROPOSED CONTOUR	22. EXISTING CONTOUR	23. PROPOSED CONTOUR	24. EXISTING CONTOUR

CONSTRUCTION SITE SEQUENCING

1. SITE PREP WORK SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
2. CONSTRUCTION SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
3. CONSTRUCTION SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
4. CONSTRUCTION SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
5. CONSTRUCTION SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
6. CONSTRUCTION SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
7. CONSTRUCTION SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
8. CONSTRUCTION SHALL BE COMPLETED PRIOR TO CONSTRUCTION.
9. CONSTRUCTION SHALL BE COMPLETED PRIOR TO CONSTRUCTION.



VERTICAL SCALE (FEET)

Pinnacle Engineering Group
 9312 S. 13TH STREET, DAX CREEK, WI 53154

ALDI DISTRIBUTION

GRADING & EROSION CONTROL PLAN

REVISIONS

NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT

SHEET

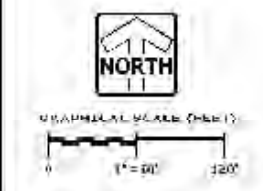
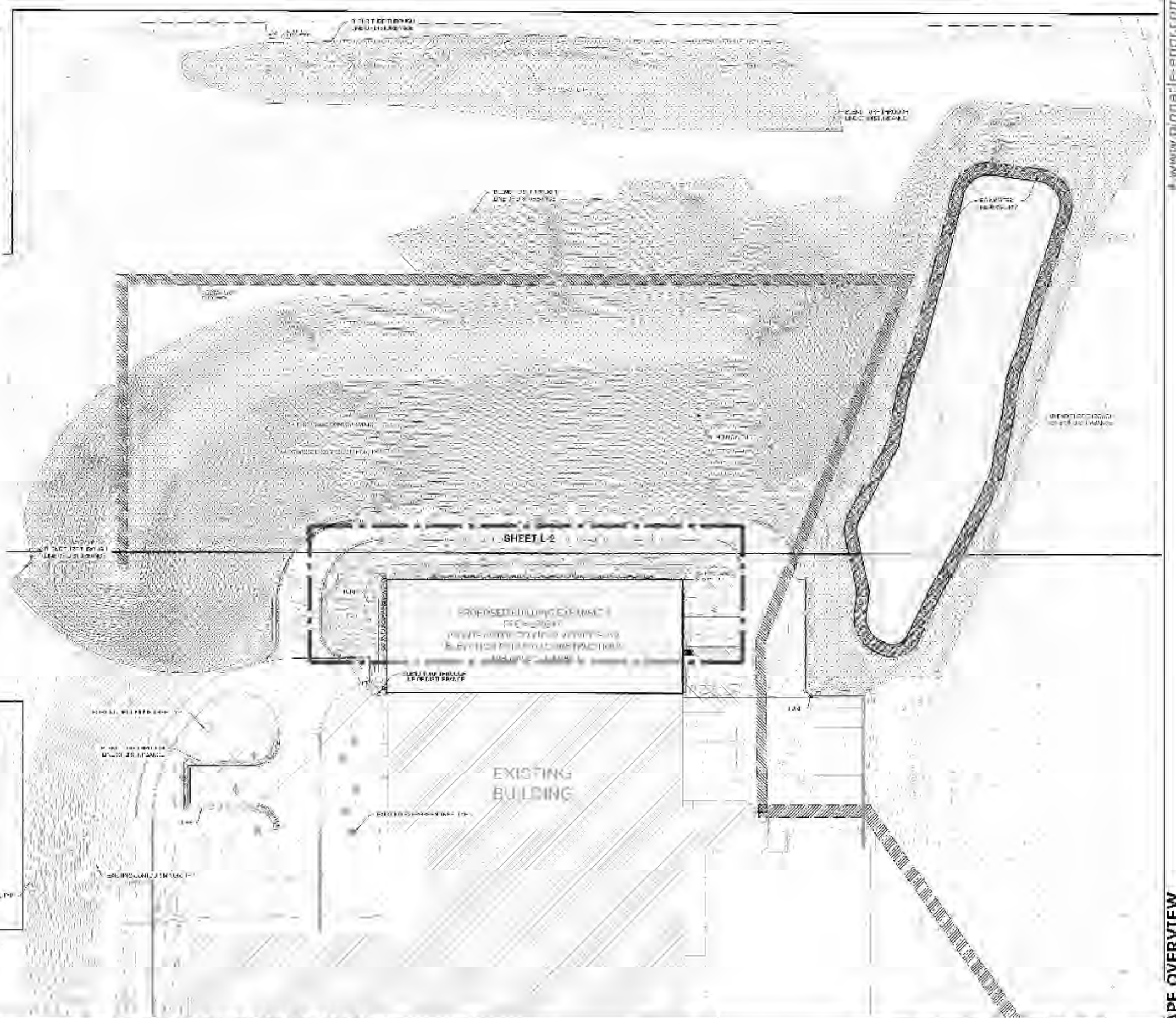
C-13
 C-18

Z:\PROJECTS\2020\2176.10.W\CAD\SHETS\2176.10 GRADING & EROSION CONTROL PLAN.DWG

DESIGNED: S17
REVIEWED: DAB
DATE: 05/11/2020
PROJECT: 2020/2176.10 W/CAD/SHEETS/2176.10 LANDSCAPE PLAN.DWG

PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHRUBS					
S1	10	Blackberry (Rasp)	Blackberry (Rasp)	2' H	1' x 2' W
S2	10	Blackberry (Rasp)	Blackberry (Rasp)	2' H	1' x 2' W
S3	10	Blackberry (Rasp)	Blackberry (Rasp)	2' H	1' x 2' W
S4	10	Blackberry (Rasp)	Blackberry (Rasp)	2' H	1' x 2' W
S5	10	Blackberry (Rasp)	Blackberry (Rasp)	2' H	1' x 2' W
EVERGREEN SHRUBS					
E1	10	Boxwood	Boxwood	2' H	1' x 2' W
E2	10	Boxwood	Boxwood	2' H	1' x 2' W
E3	10	Boxwood	Boxwood	2' H	1' x 2' W
ORNAMENTAL TREES					
O1	10	Red-twig Dogwood	Red-twig Dogwood	10' H	1' x 2' W
O2	10	Red-twig Dogwood	Red-twig Dogwood	10' H	1' x 2' W
O3	10	Red-twig Dogwood	Red-twig Dogwood	10' H	1' x 2' W
GRASS					
G1	10	Bluegrass	Bluegrass	1' H	1' x 2' W
G2	10	Bluegrass	Bluegrass	1' H	1' x 2' W
PERENNIALS					
P1	10	Blackberry (Rasp)	Blackberry (Rasp)	2' H	1' x 2' W
P2	10	Blackberry (Rasp)	Blackberry (Rasp)	2' H	1' x 2' W

REFERENCE NOTES SCHEDULE	
	1. Landscaping materials



Pinnacle Engineering Group
 9312 S. 13TH STREET, DAK CREEK, WI 53154

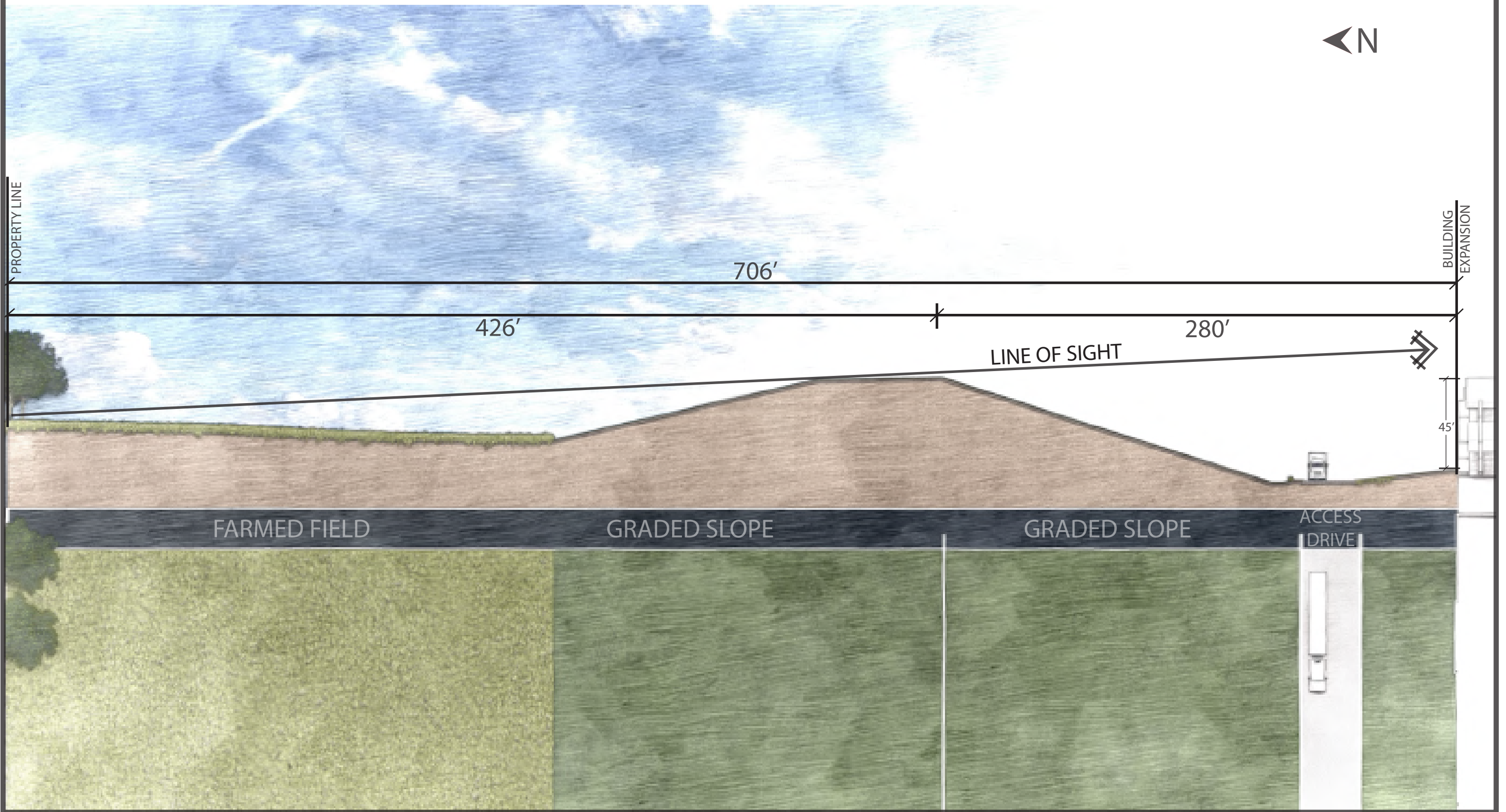
ALDI DISTRIBUTION
LANDSCAPE OVERVIEW
 9312 S. 13TH STREET, DAK CREEK, WI 53154

REVISIONS	
1	ISSUED FOR PERMITS
2	REVISED FOR COMMENTS

DATE	BY	DESCRIPTION
05/11/2020	S17	ISSUED FOR PERMITS
05/11/2020	DAB	REVISED FOR COMMENTS

WWW.PINNACLE-ENG.COM

VIEW 1 FROM NORTH PROPERTY LINE TO BUILDING



VIEW 2 FROM NORTH PROPERTY LINE TO BUILDING



PROPERTY LINE

BUILDING EXPANSION

615'

368'

247'

LINE OF SIGHT

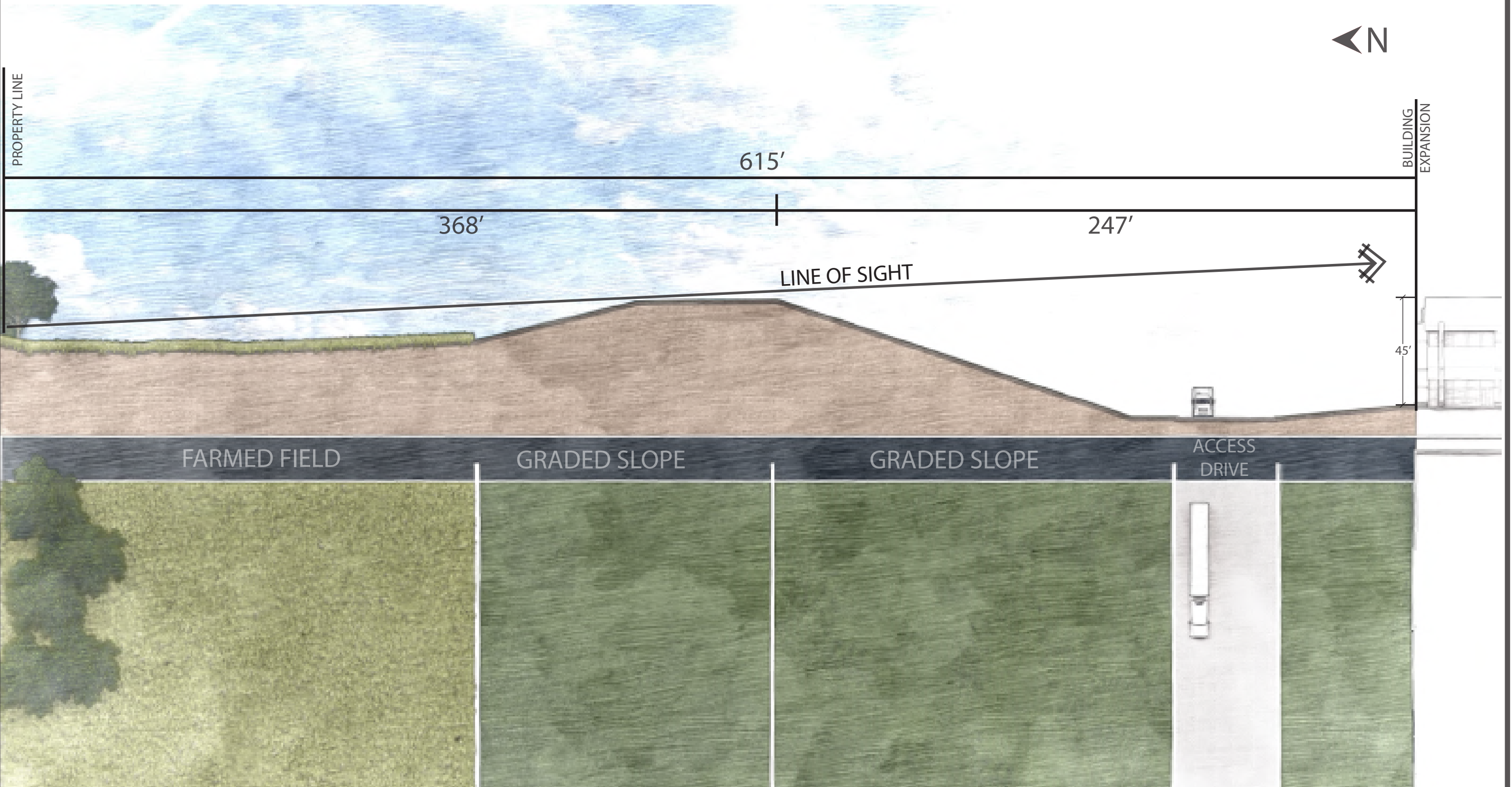
45'

FARMED FIELD

GRADED SLOPE

GRADED SLOPE

ACCESS DRIVE





PLAN COMMISSION REPORT

Proposal: Rezone

Description: Review of a Rezone request for the former residential property owned by Aldi.

Applicant(s): Adam Kastl, Aldi, Inc.

Address(es): 9260 S. 13th St. (6th Aldermanic District)

Suggested Motion: That the Plan Commission recommends to the Common Council that the request, submitted by Adam Kastl, Aldi, Inc., to rezone the property located at 9260 S. 13th St., from RS-3 Single-family Residential District to M-1 Manufacturing District, be approved.

Owner(s): ALDI, INC.

Tax Key(s): 876-9000-000

Lot Size(s): 1.644 acres

Current Zoning District(s): Rs-3, Single Family Residential

Overlay District(s):

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Industrial

Background:

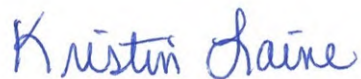
The Plan Commission approved a building addition to the Aldi distribution center at its January 23, 2024 meeting. One of the conditions was that a Certified Survey Map (CSM) to combine all five (5) parcels be applied for at the time of a future site modification.

When reviewing the CSM proposal, it came to staff's attention that the parcel at 9260 S. 13th St., is zoned RS-3, Single-family Residential. Aldi purchased this former single-family parcel in 1998 and demolished the home. All the other Aldi-owned parcels are zoned M-1 Manufacturing District. With the CSM combining all the parcels, we would end up with a split-zoned parcel, unless this parcel is rezoned first. This agenda item cleans up the zoning of 9260 S. 13th St., prior to the adoption of the CSM, to be consistent with the rest of the Aldi distribution campus. The Comprehensive Land Use Map identifies this parcel as Industrial, so the

rezoning to M-1 Manufacturing District meets the Comprehensive Land Use Plan. A public hearing can be held as early as December 17, 2024. The CSM would be placed on the same Common Council agenda for consideration.

Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed Rezone with specified conditions, or that the Common Council not approve of the proposed Rezone. Should the proposal not be recommended for Council approval, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

Respectfully prepared and submitted:



Kristi Laine
Community Development Director

Attachments:

Existing zoning (1 page)



PLAN COMMISSION REPORT

Proposal: Certified Survey Map

Description: Review of a Certified Survey Map request to combine the properties at the Aldi distribution site.

Applicant(s): Adam Kastl, Aldi, Inc. and Richard Suckey, A M King

Address(es): 9150, 9210, 9260, 9342 and 9440 S. 13th St. (6th Aldermanic District)

Suggested Motion: That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by Adam Kastl, Aldi, Inc. and Richard Suckey, A M King, for the combination of multiple parcels at the Aldi distribution facility located at 9150, 9210, 9260, 9342 and 9440 S. 13th St., be approved with the following condition:

1. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Owner(s): ALDI, INC.

Tax Key(s): 876-9999-002, 876-9997-002, 876-9000-000, 876-9996-000 and 876-9995-003

Lot Size(s): 41.925 + 2.997 + 30.114 + 1.644 + 30.069 acres

Current Zoning District(s): M-1, Manufacturing FW, Floodway
Rs-3, Single Family Residential

Overlay District(s):

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Industrial and Single-family Attached

Background:

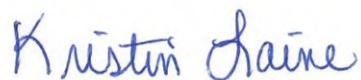
The Plan Commission approved a building addition to the Aldi distribution center at its January 23, 2024 meeting. One of the conditions was that a Certified Survey Map to combine all five (5) parcels be applied for at the time of a future site modification. As was discussed in the previous agenda item, Aldi proposes to make a site modification with the large berm on the north end of the site, hence the application to combine all their properties with a CSM.

Altogether, the five (5) parcels will become a 105.3578-acre lot. The current western lot lines jog quite a bit out into S. 13th St. The proposed CSM shows that 2.4419 acres of land will be dedicated for public right-of-way, to Milwaukee County, as S. 13th St. is under the County's jurisdiction. A wetland delineation had been conducted in 2021, so no update is required as part of this review. Staff had shared technical review comments with the surveyor during the review period, and modifications were made and resubmitted in a timely manner.

When reviewing the proposal, it came to staff's attention that parcel at 9260 S. 13th St., is zoned RS-3, Single-family Residential. With the CSM combining all the parcels, we would end up with a split-zoned parcel if not for the rezoning of that parcel first. A public hearing for the rezone can be held as early as December 17, 2024. The CSM would be placed on the same Common Council agenda for consideration, after the rezone.

Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed Certified Survey Map with specified conditions, or that the Common Council not approve of the proposed CSM. Should the proposal not be recommended for Council approval, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

Respectfully prepared and submitted:



Kristi Laine
Community Development Director

Attachments:

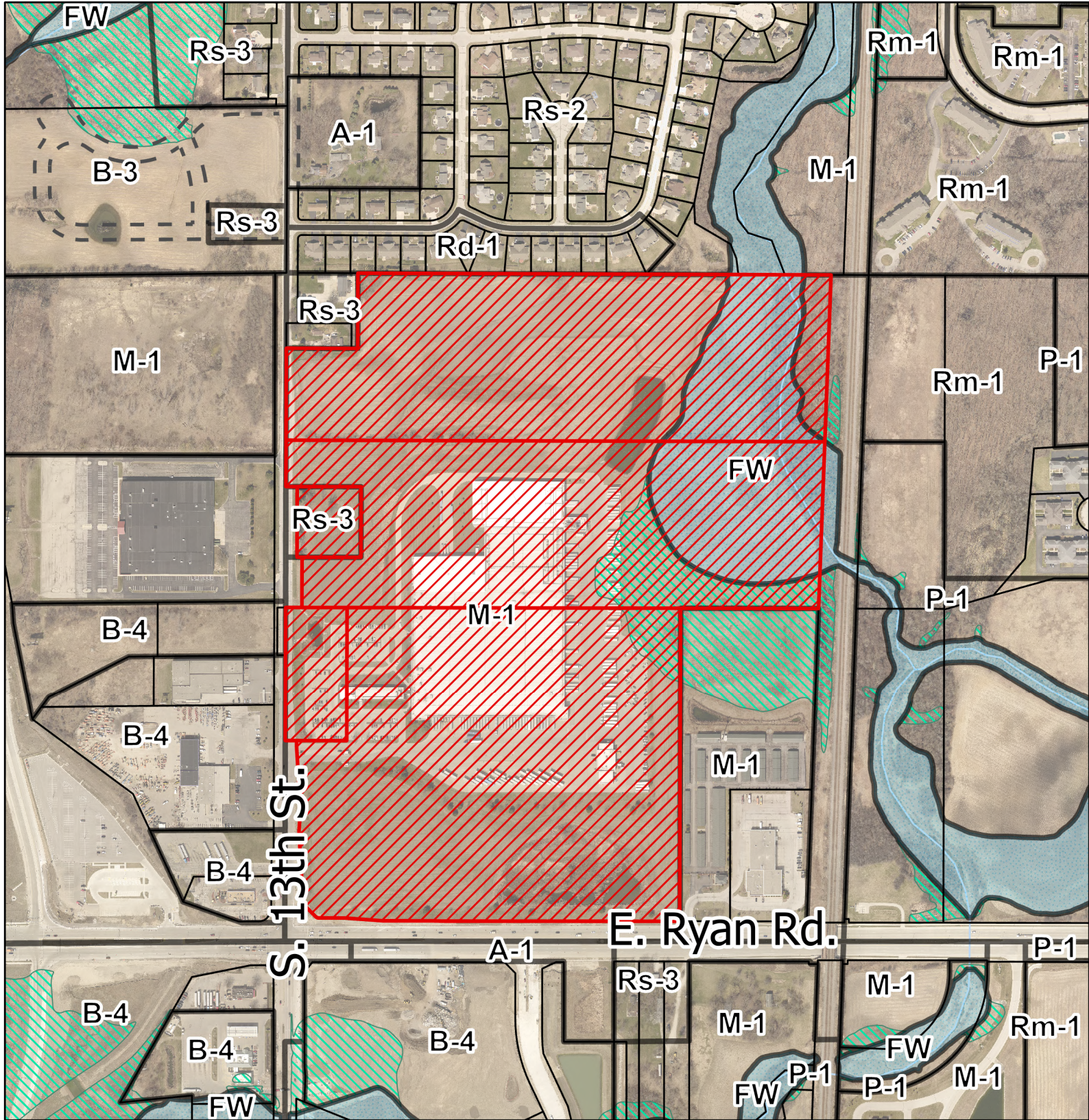
Location Map

Existing five (5) parcel layout & zoning (2 pages)

Proposed CSM (7 pages)

Location Map

9150, 9210, 9260, 9342, & 9440 S. 13th St.



This map is not a survey of the actual boundary of the property this map depicts

Legend

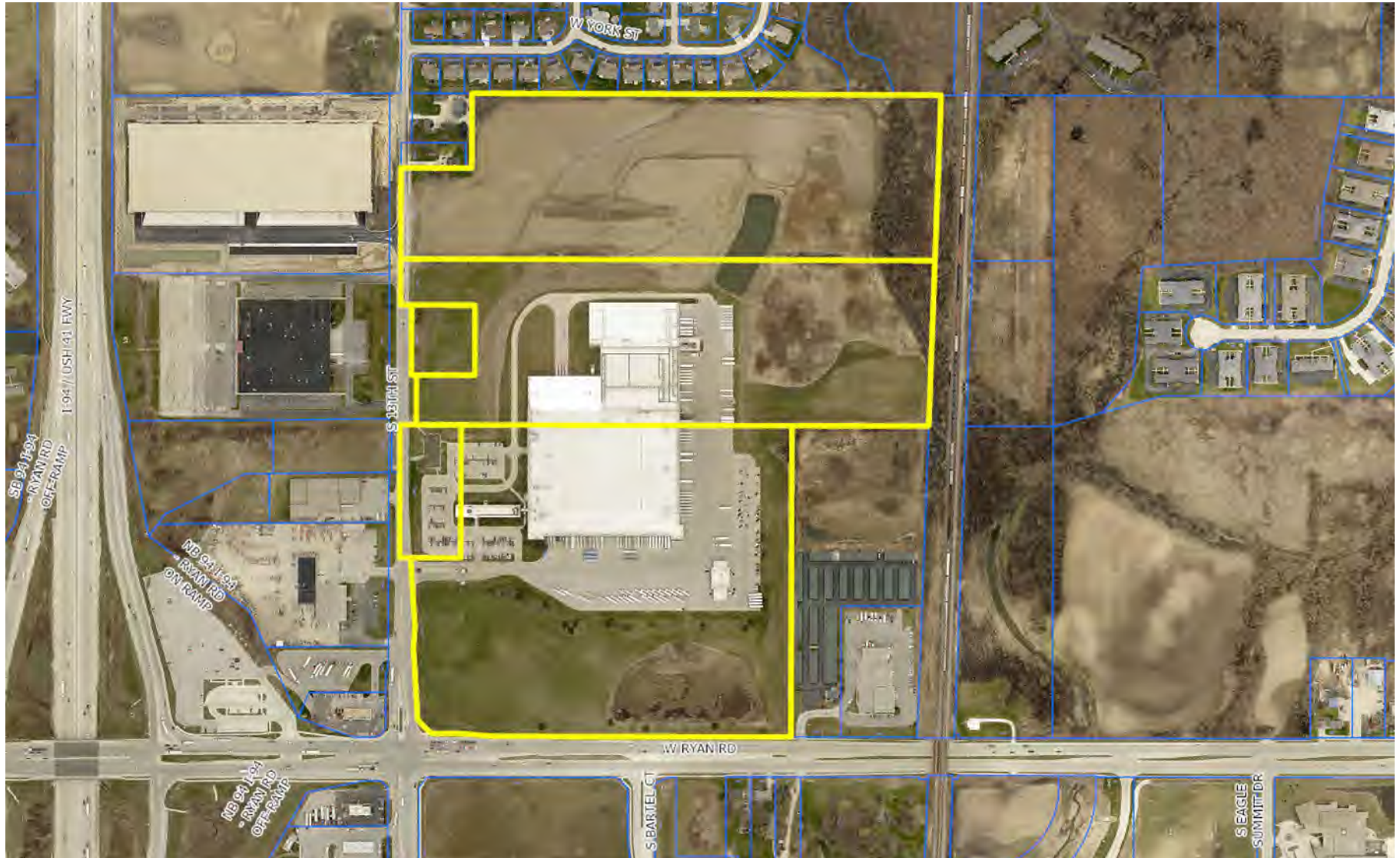
- Zoning
- Official Street Map
- Floodway
- Flood Fringe
- Parcels
- 9150, 9210, 9260, 9342, & 9440 S. 13th St.



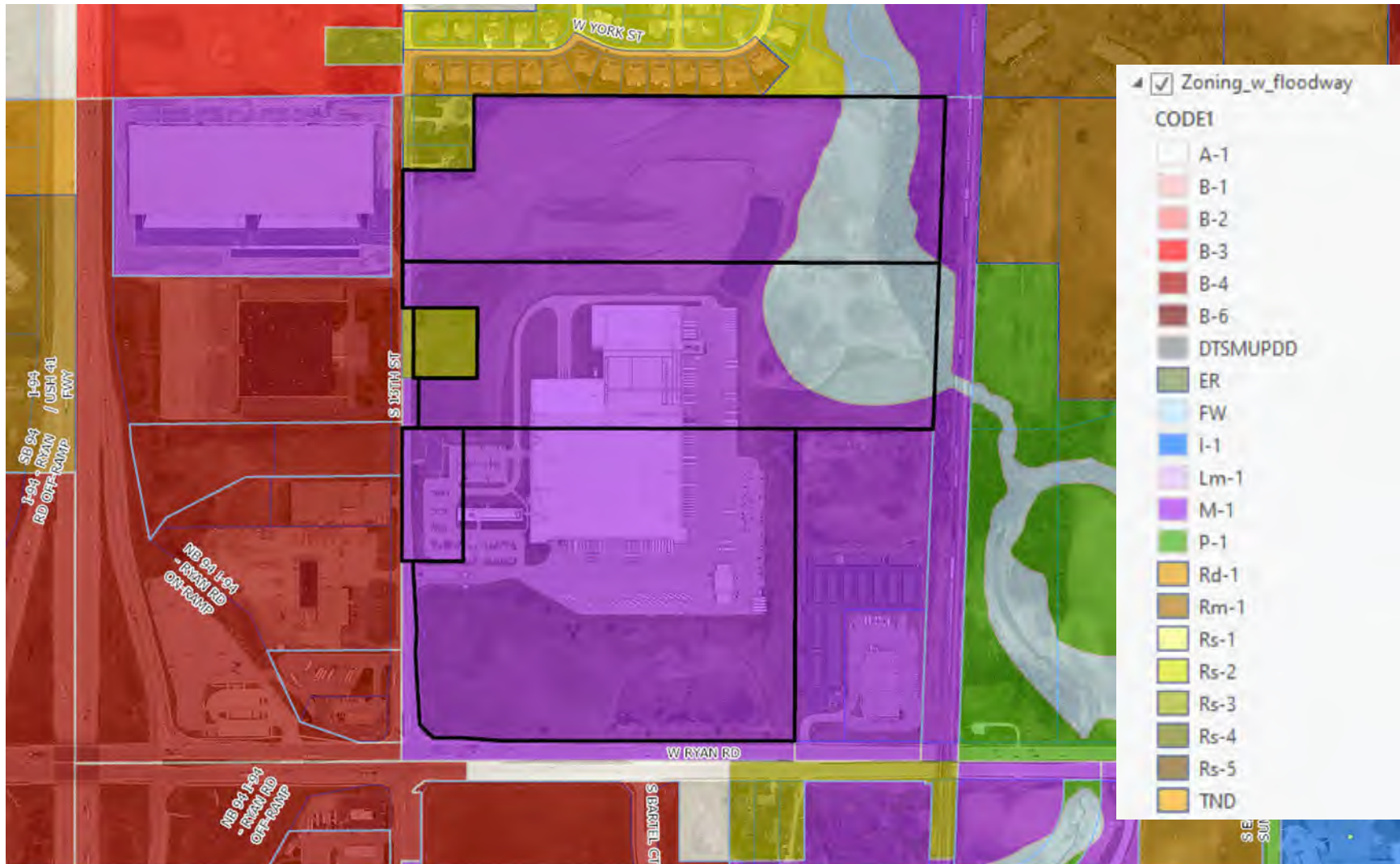
0 0.09 0.18 Miles



Existing five (5) Aldi parcels



Existing zoning of five (5) Aldi parcels

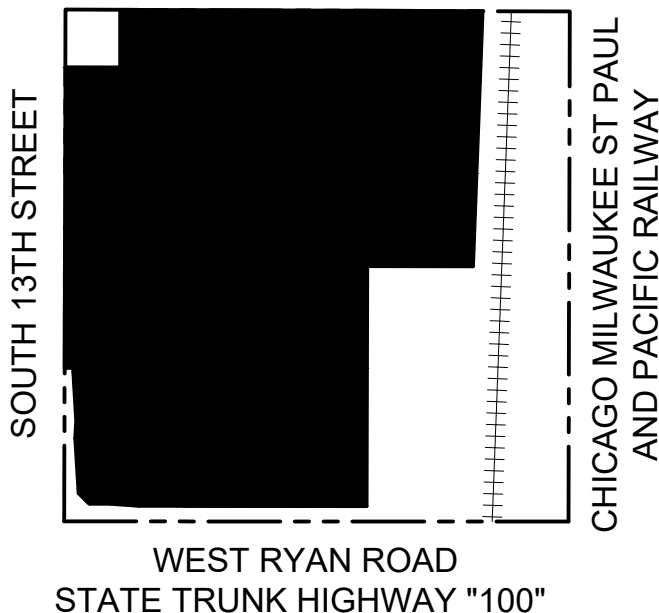


CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 70 and additional lands in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 20, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin.

VICINITY SKETCH
SCALE 1"=1000'

SW 1/4 SEC. 20
T5N, R22E



Subject Property
Zoning: M-1 PUD, RS-3 & FW
Tax Key Numbers:
8769999002
8769997002
8769995003
8769996000
8769000000

Prepared for:
ALDI INC A WI CORP
P.O. Box 460049 DEPT 501
Houston, Texas 77056

NOTES:

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011). The west line of the Southwest 1/4 of Section 20, Township 5 North, Range 22 East has a bearing of N00°08'55"E.
- Flood Zone Classification: The property lies with in Zone "X", Zone "AE" and "Floodway" of the Flood Insurance Rate Map Community Panel No. 55079C0168E and 55079C0231E with an effective date of SEPTEMBER 26, 2008. Shown by Graphic Plotting Only.
- Lot 1 of this Certified Survey Map has Restricted Access to West Ryan Road - State Trunk Highway "100", as graphically shown, per Document No. 10288543. There is No Access to South 13th Street and West Ryan Road - State Trunk Highway "100", as graphically shown, per Document No. 10288543.
- Wetlands shown delineated by Heartland Ecological Group, Inc. October 2021, October 2023, and per the Milwaukee County Land Information Office.
- Vertical Datum: North American Vertical Datum of 1988 (12), (NAVD88).



OCTOBER 30, 2024

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

DRAFTED BY: ST
PEG JOB#2176.10
SHEET 1 OF 7

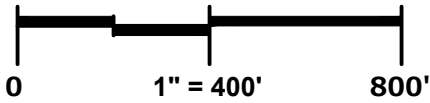
CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 70 and additional lands in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 20, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin.










SEE LINE TABLE ON SHEET 7

GRAPHICAL SCALE (FEET)



LEGEND:

-  - Denotes Found 1" Iron Pipe
-  - Denotes Found 3/4" Iron Rebar
-  - Denotes Found Mag Nail
-  - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
-  - Denotes "Recorded As"
-  - Denotes No Access
-  - Denotes Restricted Access

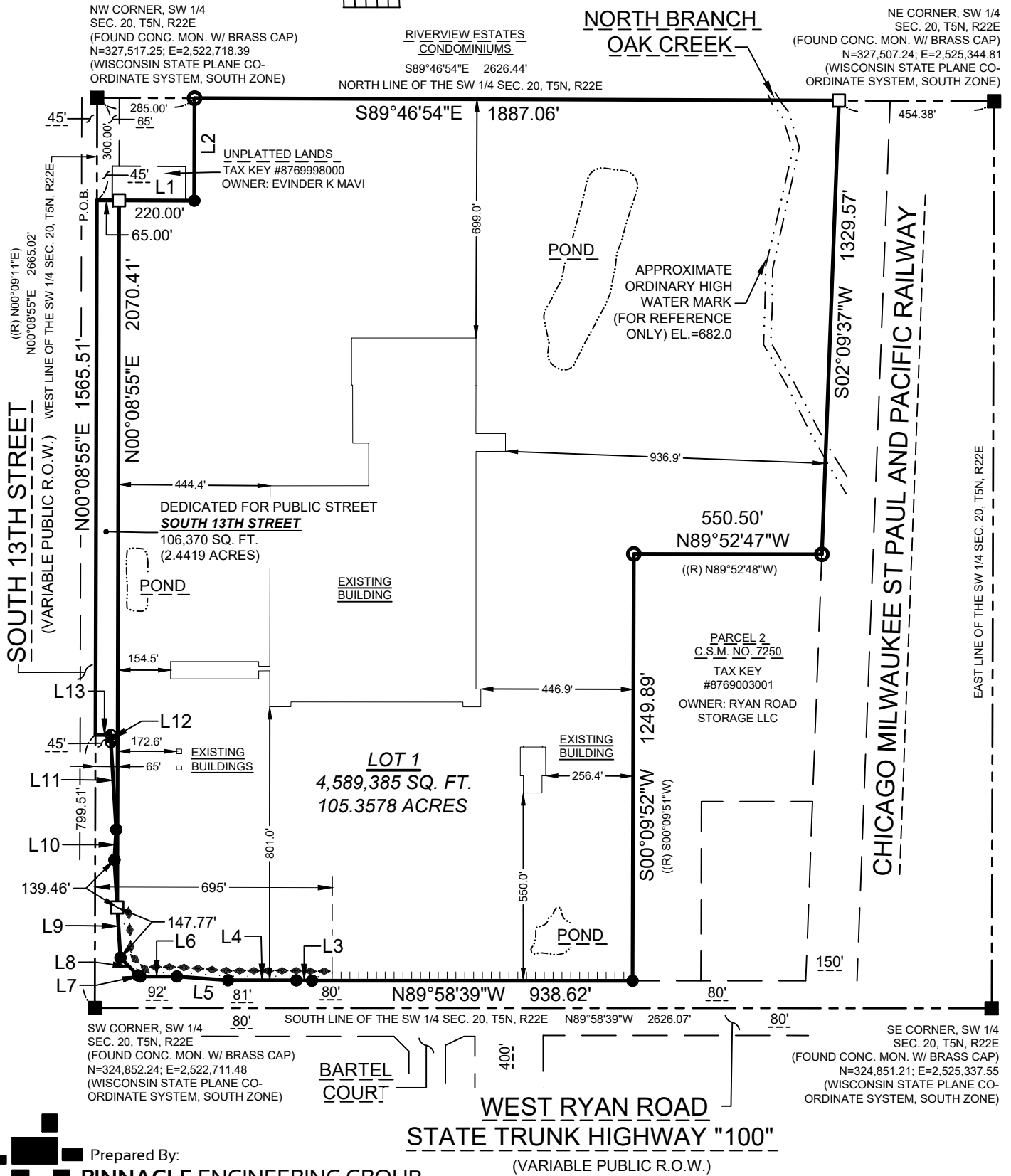


NW CORNER, SW 1/4
SEC. 20, T5N, R22E
(FOUND CONC. MON. W/ BRASS CAP)
N=327,517.25; E=2,522,718.39
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)

RIVERVIEW ESTATES
CONDOMINIUMS

NORTH BRANCH
OAK CREEK

NE CORNER, SW 1/4
SEC. 20, T5N, R22E
(FOUND CONC. MON. W/ BRASS CAP)
N=327,507.24; E=2,525,344.81
(WISCONSIN STATE PLANE CO-
ORDINATE SYSTEM, SOUTH ZONE)



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

WEST RYAN ROAD
STATE TRUNK HIGHWAY "100"
(VARIABLE PUBLIC R.O.W.)

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB# 2176.10
SHEET 2 OF 7

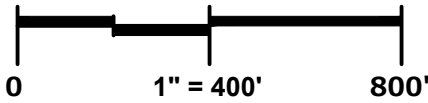
CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 70 and additional lands in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 20, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin.



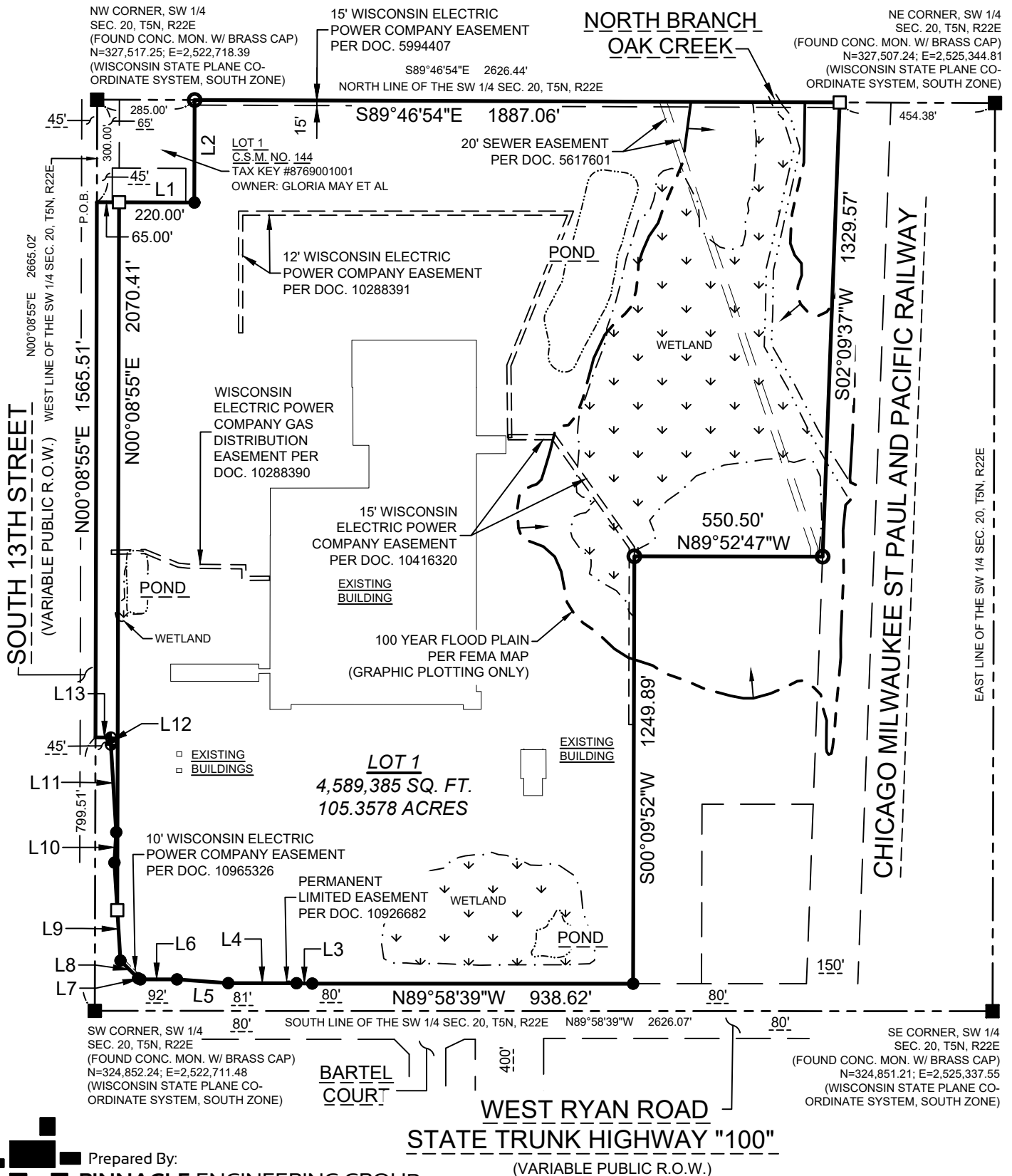
OCTOBER 30, 2024

GRAPHICAL SCALE (FEET)



LEGEND:

- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Iron Rebar
- ⊕ - Denotes Found Mag Nail
- - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.



Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2176.10
SHEET 3 OF 7

CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 70 and additional lands in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 20, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided Lot 1 of Certified Survey Map No. 70, as recorded in the Register of Deeds office for Milwaukee County as Document No. 3817747, and additional lands in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 20, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin, described as follows:

Commencing at the northwest corner of the Southwest 1/4 of said Section 20; thence South 00°08'55" West along the west line of said Southwest 1/4, 300.00 feet to the Point of Beginning;

Thence South 89°46'54" East and then along the south line of Certified Survey Map No. 144, 285.00 feet;
Thence North 00°08'55" East along the east line of said Certified Survey Map, 300.00 feet to the North line of the aforesaid Southwest 1/4;

Thence South 89°46'54" East along said north line, 1887.06 feet to the west line of the Chicago Milwaukee St. Paul and Pacific Railway;

Thence South 02°09'37" West along said west line, 1329.57 feet to the north line of Parcel 2 of Certified Survey Map No. 7250;

Thence North 89°52'47" West along said north line, 550.50 feet to the west line of said Parcel 2;

Thence South 00°09'52" West along said west line, 1249.89 feet to the north right of way line of West Ryan Road - State Trunk Highway "100";

Thence the following courses along said north right of way line:

North 89°58'39" West, 938.62 feet; North 88°44'17" West, 46.23 feet; North 89°58'39" West, 199.72 feet;
North 85°47'00" West, 150.40 feet; North 89°58'39" West, 106.80 feet; North 64°30'24" West, 7.69 feet;
North 45°00'16" West, 73.00 feet to the east right of way line of South 13th Street;

Thence the following courses along said east right of way line:

North 03°31'08" West, 287.23 feet; North 03°35'37" East, 88.84 feet; North 03°31'07" West, 256.67 feet;
North 00°08'55" East, 20.92 feet;

Thence North 89°52'46" West, 45.00 feet to the aforesaid west line of the Southwest 1/4 of Section 20;

Thence North 00°08'55" East along said west line, 1565.51 feet to the Point of Beginning.

Dedicating that portion of subject property as graphically shown for public right of way purposes.

Containing 4,695,755 square feet (107.7997 acres) of land Gross and 4,589,385 square feet (105.3578 acres) of land Net more or less.


That I have made such survey, land division and map by the direction of ALDI INC A WI CORP, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the City of Oak Creek Land Division Ordinance in surveying, mapping and dividing the land within the certified survey map.

Date: OCTOBER 30, 2024




John P. Konopacki
Professional Land Surveyor S-2461

Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2176.10
SHEET 4 OF 7

CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 70 and additional lands in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 20, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin.

OWNER'S CERTIFICATE OF DEDICATION

ALDI INC A WI CORP, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

ALDI INC A WI CORP, as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval:

1. City of Oak Creek

IN WITNESS WHEREOF, the said ALDI INC A WI CORP has caused these presents to be signed by (name - print) _____, (title) _____, at (city) _____, _____ County, Wisconsin, on this _____ day of _____, 2024.

In the presence of: ALDI INC A WI CORP

Name (signature) - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, (name) _____, (title) _____, of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such _____ (title) of said corporation, and acknowledged that they executed the foregoing instrument as such officer as the deed of said corporation, by its authority.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____

CONSENT OF CORPORATE MORTGAGEE

_____, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described in the forgoing affidavit of John P. Konopacki, surveyor, and does hereby consent to the above certification of owners.

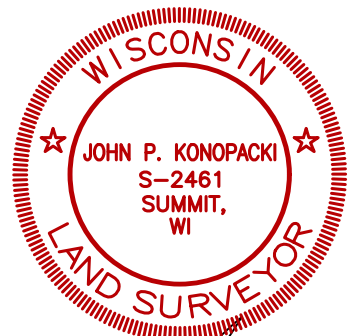
IN WITNESS WHEREOF, the said _____, has caused these presents to be signed by _____, its _____, and its corporate seal to be hereunto affixed this _____ day of _____, 2024.

Date Name - Title

STATE OF WISCONSIN)
_____ COUNTY) SS

Personally came before me this _____ day of _____, 2024, _____, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Notary Public
Name: _____
State of Wisconsin
My Commission Expires: _____



OCTOBER 30, 2024

Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 70 and additional lands in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 20, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin.

PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the City of Oak Creek, on this _____ day of _____, 2024.

Date

Dan Bukiewicz, Chairman

Date

Catherine A. Roeske, City Clerk

COMMON COUNCIL APPROVAL AND ACCEPTANCE OF DEDICATION

Approval and acceptance of dedication of land as indicated above by the Common Council of the City of Oak Creek, per Plan Commission recommendation on this _____ day of _____, 2024 by Resolution No. _____

Approved by the Common Council of the City of Oak Creek on this _____ day of _____, 2024.

Date

Dan Bukiewicz, Mayor

Date

Catherine A. Roeske, City Clerk




OCTOBER 30, 2024



Prepared By:

PINNACLE ENGINEERING GROUP

20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB# 2176.10
SHEET 6 OF 7

CERTIFIED SURVEY MAP NO. _____

Being Lot 1 of Certified Survey Map No. 70 and additional lands in the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 20, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin.

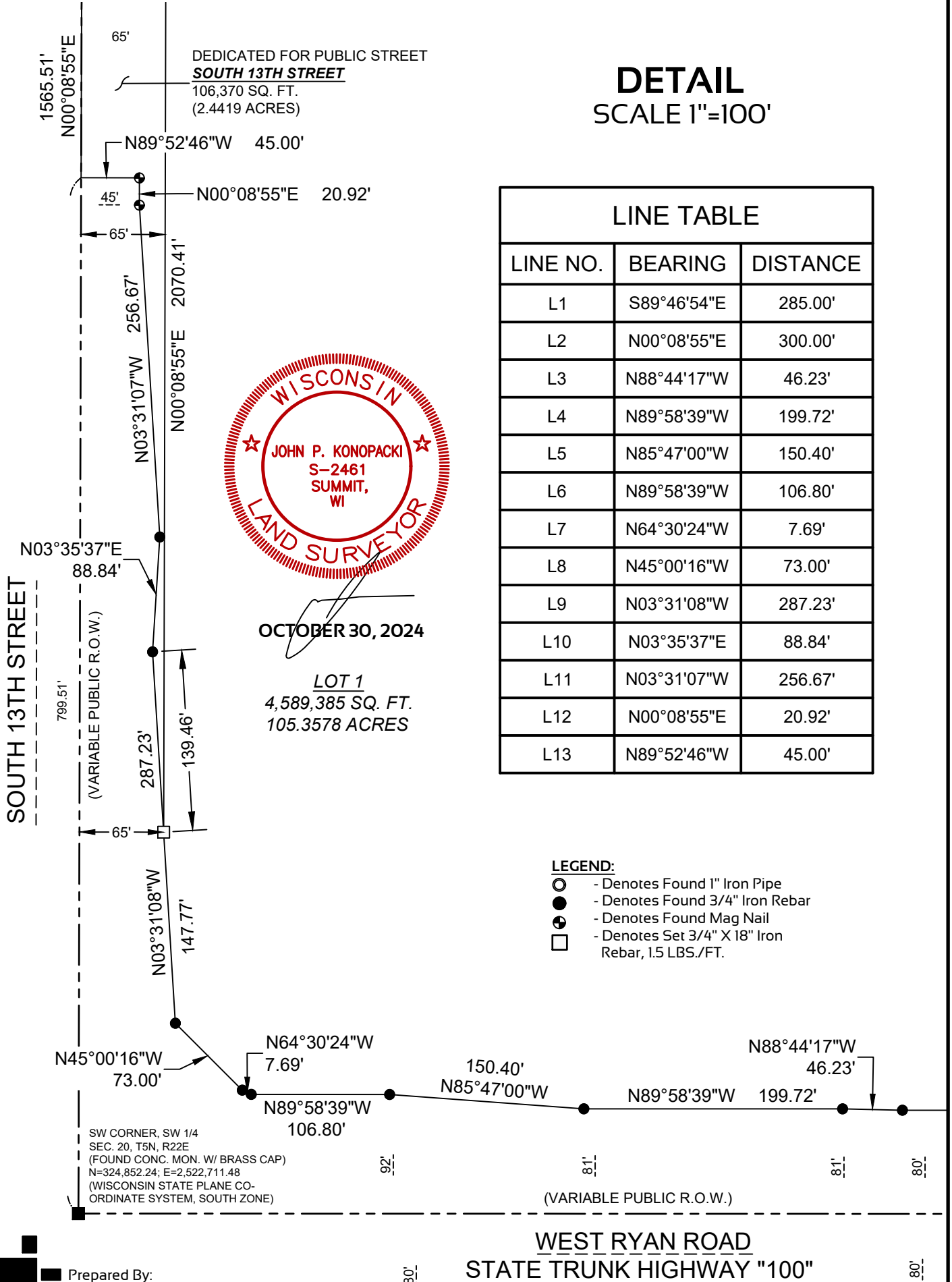
DETAIL
SCALE 1"=100'

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	S89°46'54"E	285.00'
L2	N00°08'55"E	300.00'
L3	N88°44'17"W	46.23'
L4	N89°58'39"W	199.72'
L5	N85°47'00"W	150.40'
L6	N89°58'39"W	106.80'
L7	N64°30'24"W	7.69'
L8	N45°00'16"W	73.00'
L9	N03°31'08"W	287.23'
L10	N03°35'37"E	88.84'
L11	N03°31'07"W	256.67'
L12	N00°08'55"E	20.92'
L13	N89°52'46"W	45.00'



OCTOBER 30, 2024

LOT 1
4,589,385 SQ. FT.
105.3578 ACRES



Prepared By:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB# 2176.10
SHEET 7 OF 7