

Meeting Date: February 13, 2024

Item No. **7a**

PLAN COMMISSION REPORT

Proposal:	Conditional Use Permit -	Conditional Use Permit – Autobody/Automotive Mechanical Repair and Truck Parking				
Description:	Review a request for a Conditional Use Permit for proposed autobody/automotive mechanical (truck and trailer) repair, truck parking facilities, and outdoor storage on the properties at 9810, 9840, and 9880 S. Ridgeview Dr.					
Applicant(s):	Ivan Vasiljevic, North Inv	estments				
Address(es):	9810, 9840, and 9880 S	. Ridgeview Dr. (5 th Alderma	nic District)			
Suggested Motion:	That the Plan Commission recommends that the Common Council approves a Conditional Use Permit for autobody/automotive mechanical (truck and trailer) repair and truck parking facilities (and outdoor storage?) on the properties at 9810, 9840, and 9880 S. Ridgeview Dr, after a public hearing and subject to Conditions and Restrictions that will be prepared for the Plan Commission's review at the next meeting (February 27, 2024).					
Owner(s):	NORTH INVESTMENTS	LLC				
Tax Key(s):	903-0010-000					
Lot Size(s):	1.650 ac					
Current Zoning District(s):	M-1, Manufacturing					
Overlay District(s):	PUD	CU				
Wetlands:	☐ Yes No	Floodplain:	☐ Yes ☑ No			
Comprehensive Plan:	Industrial					
Background:						

At the October 24, 2023 meeting, the Plan Commission held action on the proposal to allow the Applicant time to address several concerns raised in the staff report. Below is a list of those concerns. Details from the previous staff report are also included for Plan Commission reference.

Meeting Date: February 13, 2023 Item No.: 7a

• Proposed Uses – some tenants in the building at 9880 were not allowed per Code. Updated information provided by the Applicant's representative indicates that there will be a single user – Keller Trucking – in the building. Keller Trucking will operate an administrative/dispatch office as well as servicing their own trucks onsite. No services will be provided to the public or other businesses. The building at 9810 will be utilized primarily for TNT Express, with a portion proposed for Nationwide Recovery Towing Service (see third bullet below). The narrative dated February 7, 2024 states that all of the debris, tires, and outdoor storage will be cleaned and removed.

- Parking plans have been revised to show striped parking stalls for the entire property, including for trucks/trailers (32). A total of 19 passenger vehicle stalls is shown on the north, and 39 stalls on the south. While Keller Trucking anticipates only four (4) employees at the 9880 building, TNT Express and Nationwide Recovery Towing Service will have a minimum of 10 combined employees, plus truck drivers. It is assumed that truck drivers will be allowed to park their personal vehicles in the excess passenger vehicle stalls at 9880 should the need arise.
- Towing staff continue to have concerns for the partial use of this site as a towing/recovery business. As mentioned in the previous staff report, a chain-link fence with mesh fabric was installed on the east side of the 9810 building for outdoor storage of vehicles. No fence permit was submitted. Within this area staff observed a shipping container that had been identified as being used for storage of person items recovered from towed vehicles. Shipping containers are not allowed by Code as permanent structures, and the narrative dated February 7, 2024 states that it will be removed. The updated narrative also states that the trash receptacles for the north part of the site would also be in this area. Staff have concerns for using this area as a salvage yard for the storage of junk or inoperable vehicles in addition to concerns for access and maintenance to the trash enclosures. Should the Conditional Use Permit be recommended for approval, the Conditions and Restrictions will include prohibitions on the storage of salvaged, junk, or unlicensed/inoperable vehicles; storage of equipment; and storage of trash and recycling receptacles. Trash and recycling receptacles for the entire site will be required to be in Code-compliant enclosures.
- Site, building, landscaping, lighting, stormwater, and related plans will be required to be reviewed and approved by the Plan Commission prior to permitting should the Conditional Use Permit be approved.

October 24, 2023

The Applicant is requesting recommendation of Conditional Use approval for proposed autobody/automotive mechanical (truck and trailer) repair and truck parking facilities on the properties at 9810, 9840, and 9880 S. Ridgeview Dr. This request is directly related to the Certified Survey Map reviewed in the previous agenda item. Autobody/Automotive Mechanical Repair and Truck Parking facilities are Conditional Uses in the M-1, Manufacturing district. Plan Commissioners may recall that a Conditional Use Permit was approved in 2018 for a trans-shipment depot facility and truck engine repair on the property at 9880 S. Ridgeview Dr. A copy of those Conditions and Restrictions is included with this report for Plan Commission reference.

Item No.: 7a

Per the submitted narrative, each building will contain different tenants and uses. Below are the tenants and uses that have been submitted:

Building	Tenant	Use	Employees	Hours	
9810	TNT Express	Logistics, Truck/Trailer Parking, Repair	Unknown	6:00 AM – midnight, M-F	
	Vacant (4)				
	Nationwide Recovery Towing Service	Towing, Outdoor Storage*	1	7:00 AM - 5:00 PM	
	Sky Logistics, Inc.	Trucking Firm Broker	1	7:00 AM – 5:00 PM	
	Blush and Bride Nail Salon	Salon**	Unknown	11:00 AM – 5:00 PM (by appointment)	
0000	Aeshea Moreno Consulting	Consultant	1	9:00 AM - 3:00 PM	
9880	Emily Talou Tattoos	Tattoo Studio**	1	11:00 AM – 5:00 PM (by appointment)	
	Keller Truck Transportation	Accounting Office	1	9:00 AM - 4:00 PM	
	Rodger and Keeshia Photography Studio	Photography Studio**	2	9:00 AM - 3:00 PM	
	Iron Brigade	Trucking Dispatch	1	7:00 AM – 5:00 PM	
	Keller Trucking	Trucking Dispatch	2	7:00 AM - 5:00 PM	

Uses marked with an asterisk in the table above require additional Conditional Use Permit approvals. Uses marked with a double asterisk in the table above are not allowed in the M-1, Manufacturing zoning district.

It is difficult to determine with any accuracy the existing parking stalls on the combined properties. Concept plans do not call out striped stalls either both truck and trailer parking or passenger vehicle parking. Staff witnessed vehicles parked in between trucks and trailers and in tandem on the combined site. There appears to be approximately 20-21 striped stalls for passenger vehicles on the property at 9810 S. Ridgeview Dr. The building has three (3) loading docks and one (1) overhead door per the submitted narrative. At least 40 striped stalls for truck and trailer parking are on the combined properties. Parking for approximately 33 passenger vehicles in striped stalls exist on the property at 9880 S. Ridgeview Dr. Per Code, each use must provide a minimum number of parking stalls; however, the floor plans submitted for each building do not include square footage. Therefore, staff are unable to evaluate whether the existing parking meets Code requirements.

Staff have several concerns for the proposal:

Meeting Date: February 13, 2023 Item No.: 7a

• While a tenant list was provided, staff do not have sufficient information to determine whether all uses have been identified or are allowed by the zoning district. At least three (3) existing tenants are operating businesses that are not allowed in the district.

- The towing operation is identified as being office only in the 9880 S. Ridgeview Dr. building, but there is a fenced outdoor storage area for towed vehicles on the east side of the building at 9810 S. Ridgeview Dr. Staff observed that the fence is chain-link with a mesh fabric, and a shipping container is stored in this area. No fence permit was submitted. Staff have concerns for using this area for the storage of junk or inoperable vehicles as well. Should the Conditional Use Permit be recommended for approval, the Conditions and Restrictions will include prohibitions on storage of junk or unlicensed vehicles, storage of equipment, and related for the combined properties.
- Autobody/automotive mechanical repair for trucks and trailers was requested for both buildings. It
 is not clear from the submitted narrative whether repairs would be for the trucks and trailers owned
 by TNT Express or whether both buildings would be offering services for the general public. All Fire
 Codes with regard to storage of flammable and combustible materials will apply, as will State and
 Federal disposal requirements.
- A Conditional Use Permit was issued to Maric Investments in 2018 for a single trans-shipment depot and truck engine repair on the property at 9880 S. Ridgeview Dr. However, the Conditions and Restrictions limited outdoor storage to parking four (4) semi-trucks directly related to the operation of the business (no other outdoor storage of any kind allowed), and limited truck maintenance and engine repair to trucks owned by the business only. Staff witnessed tires, boxes, and other trash on the south side of the property outside of a noncompliant enclosure in disrepair. The trash receptacle was unscreened and in front of a roll-off container. A semi-truck was parked in the drive aisle connecting the north and south parking areas on the property, a trailer with what appeared to be a riding lawn mower was parked in a parking stall north of the building, a passenger vehicle was parked in one (1) of the four (4) striped truck/trailer stalls on the property, and a vehicle with flat tires was parked in a passenger vehicle stall. The only permits that have been issued for the building have been for plumbing and electrical work, and for a single tenant that does not appear in the submitted list. Based on this information, it appears that this property is not in compliance with the Conditions and Restrictions of the 2018 Conditional Use Permit.
- Conceptual landscaping plans have been submitted for the combined site; however, the location of
 the proposed stormwater pond will eliminate the existing landscape screening berm on the west side
 of the truck and trailer parking area. Further, the transplantation or installation of 5-6-foot-tall
 evergreens on the east will only partially screen the truck and trailer parking from I-94. These issues
 can be addressed during Site and Building Plan Review should the Conditional Use Permit requests
 be approved.

Staff have worked with the Applicant's representative to get complete information as to the existing conditions, uses, and proposals for the property. However, based on the above, the application still appears to be incomplete and questions remain. Therefore, staff do not support the request as submitted.

Below are two options for Plan Commission consideration:

Item No.: 7a

• <u>Concurrence with Staff</u> - Should the Plan Commission concur with staff and not support the proposal, the suggested motion should be made in the affirmative, with dissenting votes and specific findings on which the denial is based. Per Section 17.0804(e)(3) of the Municipal Code:

A conditional use permit may be granted upon finding in the review of the application that all applicable use specific provisions per Article 4 of this Zoning Ordinance as well as the following criteria are met. A negative finding of fact on any of the following criteria shall require a negative vote on the application as a whole.

- a. The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare.
- b. The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.
- c. Adequate utilities, access roads, drainage, parking supply, internal circulation improvements, including but not limited to vehicular, pedestrian, bicycle, and other necessary site improvements have been or are being provided.
- d. Measures have been or will be taken to provide adequate ingress and egress and designed to minimize traffic congestion and to ensure public safety and adequate traffic flow, both on-site and on the public streets.
- e. The conditional use conforms to all applicable regulations of the district in which it is located.
- Recommendation of Approval Should the Plan Commission determine that the proposed request is acceptable, the suggested motion would proceed as with other recommendations for approval.

NOTE: The Commission's initial review and recommendation of the proposed Conditional Use Permit is not an endorsement of any site, architectural, landscaping, or lighting plan that may be required as part of the final Conditional Use Permit. A more detailed review of any plans required by the Conditional Use Permit will be conducted by staff and the Plan Commission as required subsequent to the issuance of the Conditional Use Permit and accompanying conditions and restrictions.

Options/Alternatives: The Plan Commission has the discretion to recommend or not recommend Common Council approval of the Conditional Use Permit request. Should the request not be recommended for Council approval, Plan Commissioners must provide the Code Sections upon which the denial is based, and the Applicant may choose to request Council approval without recommendation. In that case, the Council would have the authority to approve the request, and remand the proposal back to the Plan Commission for Conditions and Restrictions.

Meeting Date: February 13, 2023

Item No.: 7a

Respectfully Prepared and Submitted:

Haw Papellow

Kari Papelbon, CFM, AICP Senior Planner

Attachments:

Location Map

Ord. 2901 Conditions and Restrictions (4 pages)

Narrative (4 pages)

Conceptual Plans (11 pages)

Floor Plans (2 pages)

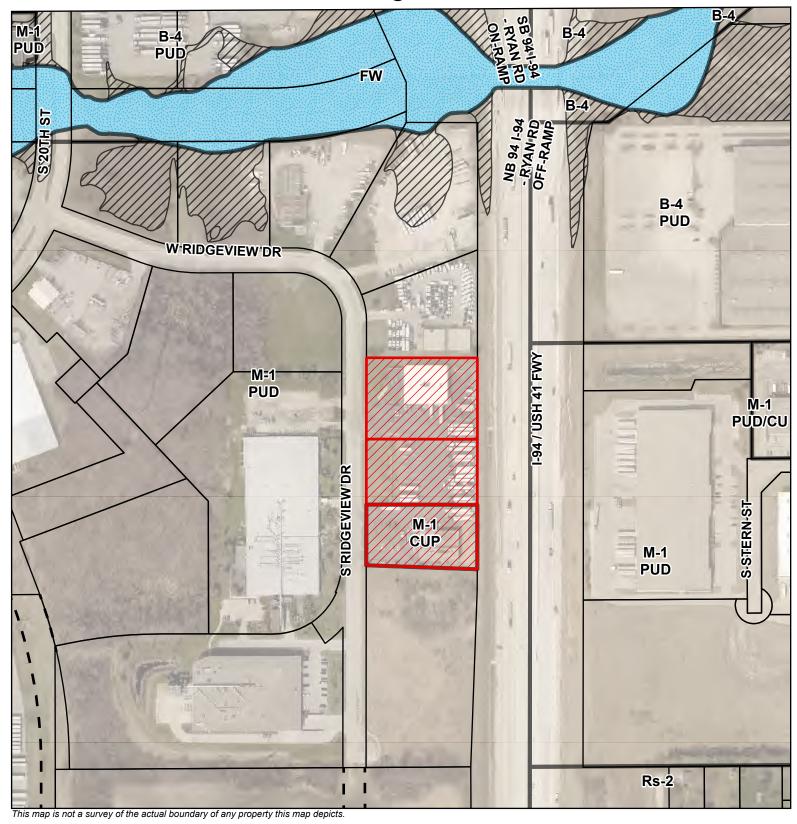
*Attachments for February 13

Site Plan, C-3 (1 page)

Corrective Actions (3 pages)

LOCATION MAP

9810, 9840, & 9880 S. Ridgeview Dr.



OAKCREEK

0.02 0.04 0.07 Miles







Legend

City of Oak Creek – Conditional Use Permit (CUP) Conditions and Restrictions

Applicant: Pedrag Maric, Maric Investments, LLC.

Property Address(es): 9880 S. Ridgeview Dr.

Approved by Plan Commission: 4-24-18

Approved by Common Council: 6-5-18

Tax Key Number(s): 903-0012-000 (Ord. # 2901)

Conditional Use: Trans-shipment depot facility &

truck engine repair

1. <u>LEGAL DESCRIPTION</u>

SOUTHBRANCH INDUSTRIAL PARK N1/2 & SE1/4 SEC 30-5-22 LOT 8 BLK. 5.

REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.
- B. A precise detailed site plan for the area affected by the Conditional Use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) General Development Plan

- a) Detailed building/structure location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
 - i) Location(s) and future expansion
 - ii) Number of employees
 - iii) Number of parking spaces
 - iv) Dimensions
 - v) Setbacks
- h) Location(s) of loading berth(s)
- i) Location of sanitary sewer (existing & proposed)
- j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- Location(s) of wetlands (field verified)
- m) Location(s) and details of sign(s)
- n) Location(s) and details of proposed fences/gates

2) Landscape Plan

- a) Screening plan, including parking lot screening/berming
- b) Number, initial size, and type of plantings
- c) Percentage open/green space
- 3) Building Plan
 - a) Architectural elevations (w/dimensions)
 - b) Building floor plans
 - c) Materials of construction (including colors)
- 4) Lighting Plan
 - a) Types & color of fixtures
 - b) Mounting heights
 - c) Types & color of poles
 - d) Photometrics of proposed fixtures

5) Grading, Drainage and Stormwater Management Plan

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) Fire Protection

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction
- C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.
- D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

E. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. One (1) trans-shipment depot facility & truck engine repair in accordance with these Conditions and Restrictions is allowed on the property. Other uses permitted by the zoning district, in accordance with other applicable Sections of the City of Oak Creek Municipal Code and these Conditions and Restrictions, are also allowed on the property.
- B. Outdoor storage is limited to four (4) semi-truck parking stalls directly related to the operation of the business as shown in Exhibit A. Outdoor storage of materials, other vehicles (e.g., boats, personal vehicles, and recreational vehicles), equipment, and supplies is prohibited.
- C. Truck maintenance and engine repair shall be limited to those trucks owned by the business. Contracted or advertised vehicle maintenance and repair is prohibited. All maintenance and repair shall be performed within the building.
- D. Hours of operation shall be between 7:00 AM and 6:00 PM.
- E. Solid waste collection and recycling shall be the responsibility of the owner.
- F. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the landowner(s).

4. PARKING AND ACCESS

Parking for this development shall be provided in accordance with Sections 17.0403 & 17.0404 of the Municipal Code (as amended).

5. LIGHTING

All plans for new outdoor lighting shall be reviewed and approved by the Electrical Inspector in accordance with Section 17.0808 of the Municipal Code (as amended).

6. SETBACKS*

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure	40 ft	20 ft	20 ft
Accessory Structure**	40 ft	20 ft	20 ft
Parking	30 ft	0 ft	O ft

^{* *} This property is located within Southbranch Industrial Park.

7. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these conditions and restrictions for the Conditional Use within twelve (12) months from the date of adoption of the ordinance

^{**}No accessory structures shall be permitted in the front yard or in required buffer yards.

authorizing the issuance of a Conditional Use Permit. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the ordinance if a building permit has not been issued for this use. The applicant shall re-apply for a Conditional Use approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

9. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the City shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 9 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other city ordinances.

10. REVOCATION

Should an applicant, their heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code (as amended).

11. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner / Authorized Representative Signature	Date	
(please print name)	-	

EXHIBIT A: PROPOSED SITE PLAN

(Modifications to these plans in accordance with these Conditions and Restrictions and the City of Oak Creek Municipal Code must be approved by the Plan Commission.)



Description of Operations for TNT Express@9810,9840 and 9880 Ridgeview Dr Oak Creek

TNT Express is in the Transportation and Logistics Business
The above properties will be utilized as follows from 6amMidnight on Monday-Fridays

9880 S Ridgeview is approximately 10,000 Sq Ft

The South portion of building 4,252 Sq Ft is used for

Tractor & Trailer repair. 1-2 Tractors may be parked in

front of the repair operation awaiting parts or repair.

The North portion of the building 5,506 Sq Ft is used as commercial office.

Space leased to approximately 12tenants. All tenants.

Park in front of building There are 24 spaces

There is no outside storage related to the repair facility.

9810 S Ridgeview Drive is 13,310 Sq Ft

The building has 3245 Sq Ft used as TNT logistics staff Offices and Drivers Lounge.

All employees will park in the 21 existing parking stalls. The balance of the building is a two-story 10,000 sq ft. Warehouse with NO outside storage.

It will be used for minor truck maintenance such as oil Changes/repair of air lines/tire changes.

There would be storage of repair parts and non-. combustible materials Oil Filters/Brake Lines & Fittings inside the warehouse. Balance general storage of dry goods.

Vehicles awaiting service may be parked in the creened in holding lot at the rear of the building.

The warehouse has 3 docks and an overhead door.

**At any time 6-8 Tractors and Trailers may be parked on the far East side and far South side of this property (They are part of the 48 TOTAL parking spots used for COMBINED CSM of all three properties.) 9840 S Ridgeview Drive will be used primarily for Parking of Tractors and Trailers for TNT Express.

There are a total of 48 spaces in two rows (Far East side and far West side of site)**

In addition, approximately 5 Tractors may be parked adjacent to the South side of the building.

No tractors or trailers will be parked on the road.

Final Version August 3,2023

TNT Express Trucking Tenant List 9880 S Ridgeview Drive

- 1. Maintenance/Server Room
- 2.Vacant
- 3. Nationwide Recovery Towing Service 7am-5pm 1 Staff Office
- 4.Sky Logistics Inc Broker for Trucking Firms 7am-5pm 1 Staff
- 5.Blush and Bride Nail Salon 1 Staff by Appointment 11am-5pm
- 6.Aeshea Moreno Consultant 1 Staff 9am-3pm
- 7.Emily Talou Tattoos 1 Staff by Appointment 11am-5pm
- 8. Keller Truck Transportation Accounting 1 Staff 9am-4pm
- 9.Vacant
- 10.Vacant
- 11. Rodger and Keeshia Photography Studio 2 Staff 9am-3pm
- 12. Vacant
- 13. Iron Brigade 1 Staff Trucking Company Dispatch 7am-5pm
- 14. Keller Trucking 2 Staff Trucking Company Dispatch 7am-5pm
- 11 Employees Total-All 1st Shift

LOTS 6, 7 & 8 BLOCK 5 SOUTHBRANCH INDUSTRIAL PARK

TNT EXPRESS INC. 140 West Puetz Road, Oak Creek, Wisconsin

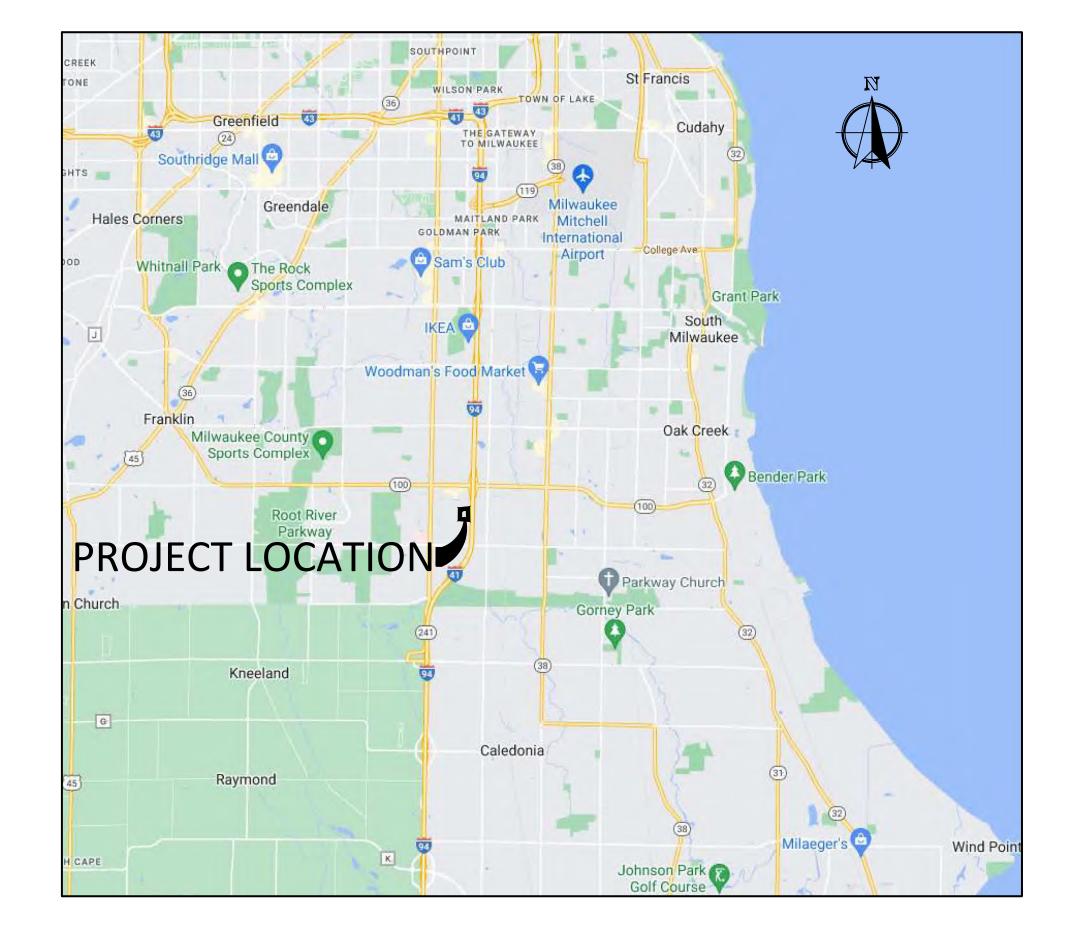
LEGEND

LLGLIVD				
Description	Existing	Description	Existing	Proposed
EDGE OF WOODS		WATER SHUT OFF	*50	
DECIDUOUS TREE	(;;) ⁶ "	WATER MAIN VALVE	₩v	H
DECIDUOUS TREE REMOVAL	6"	HYDRANT	Q	
CONIFEROUS TREE	6"	WATER MAIN REDUCER	\triangleright	•
CONIFEROUS TREE REMOVAL	· ************************************	SANITARY MANHOLE	S	
BUSH	$\overline{\mathbb{G}}$	SANITARY CLEAN OUT	0	•
SOIL BORING	⊘ S8 1	STORM MANHOLE	(
TELEPHONE BOX	T	CATCH BASIN	$\overline{\cdot}$	
GUY WIRE	\longrightarrow	LIGHT POLE	-×	
UTILITY POLE	·	ENDWALL	\triangleleft	⋖
GAS VALVE	© v	STORM SEWER	sтм)
GAS METER		SANITARY SEWER	SAN	>
SEPTIC VENT	٩	WATERMAIN	——w—	—
ELECTRIC MANHOLE		CONTOURS	 650 	 650
COMMUNICATION MANHOL		FIRE PROTECTION		——FP ——
WATER MANHOLE		UTILITY CROSSING		
HVAC UNIT		DITCH OR SWALE		→
UNDERGROUND VAULT	Δ	CULVERT	_ <u>12" CMP</u> _	12" CMP
SECTION CORNER	•	RAILROAD TRACKS		
MAIL BOX		FENCE	—X———X—	
GUARD POST	8	NO VEHICULAR ACCESS	<u> </u>	
STREET SIGN	þ	UNDERGROUND ELECTRIC	——Е——	
ELECTRIC PEDESTAL	X	UNDERGROUND GAS MAIN	——G——	
ELECTRIC METER		UNDERGROUND COMMUNICATIONS	СМ	
PAD MOUNT TRANSFORMER		SILT FENCE	 //	
FOUND IRON PIPE	0	OVERHEAD ELECTRIC	——ОНЕ ——	
SET IRON PIPE	•	FORCE MAIN	/	

■ MILWAUKEE

ABBREVIATIONS

BASE LINE	BL	INVERT ELEVATION	IE
LONG CORD OF CURVE	CHD	LENGTH OF CURVE	ARC
CURB AND GUTTER	C&G	MANHOLE	MH
CATCH BASIN	CB	NORMAL WATER LEVEL	NWL
CENTERLINE	CL	POINT OF CURVATURE	PC
EDGE OF PAVEMENT	EOP	POINT OF TANGENCY	PT
FINISHED FIRST FLOOR	FFF	TANGENCY OF CURVE	TAN
FINISHED GRADE	FG	POINT OF VERTICAL INTERSECTION	PVI
FLOW LINE	FL	RADIUS	R
FLOODPLAIN	FP	RIGHT OF WAY	ROW
ORDINARY HIGH WATER MARK	OHWM	SANITARY SEWER	SAN
TOP OF BANK	TOB	STORM SEWER	STM
TOP OF CURB	TOC	TOP OF FOUNDATION	TOF
TOP OF WALK	TOW	WATER MAIN	WM



UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.

SHEET INDEX

PLAN SHEET	SHEET NO.
TITLE SHEET	C-1
EXISTING CONDITIONS	C-2
DIMENSIONED SITE PLAN	C-3
SITE DEMOLITION PLAN	C-4
SITE GRADING & EROSION CONTROL PLAN	C-5
STORM SEWER PLAN	C-6
TYPICAL SECTIONS & CONSTRUCTION DETAILS	C-7 TO C-9
PROJECT SPECIFICATIONS	C-10

OWNER

TNT EXPRESS INC. 5825 W. RYAN ROAD

GOVERNING AGENCIES CONTACTS

CITY OF OAK CREEK - ENGINEERING DIVISION OFFICE: 414-766-7000 EMAIL: msullivan@oakcreekwi.gov

OFFICE: 414-766-7002 EMAIL: swinnen@oakcreekwi.gov

CITY OF OAK CREEK - COMMUNITY DEVELOPMENT DOUG SEYMOUR, DIRECTOR OF COMMUNITY DEVELOPMENT OFFICE: 414-766-7025 EMAIL: dseymour@oakcreekwi.gov

CITY OF OAK CREEK - COMMUNITY DEVELOPMENT KARI PAPELBON, SENIOR PLANNER OFFICE: 414-766-7027 EMAIL: kpapelbon@oakcreekwi.gov

OAK CREEK WATER AND SEWER UTILITY - ENGINEERING BRIAN JOHNSTON, UTILITY ENGINEER OFFICE: 414-766-6624 EMAIL: bjohnston@oakcreekwi.gov

PUBLIC UTILITY CONTACTS

TIME WARNER CABLE STEVE CRAMER UTILITY COORDINATOR OFFICE: 414-277-4045 EMAIL: steve.cramer@twcable.com EMERGENCY NUMBER: (800) 627-2288

MIKE TOYEK OFFICE: 262-636-0549 EMAIL: mt1734@att.com

TDS TELECOM SOUTHEAST WISCONSIN OFFICE: 877-483-7142

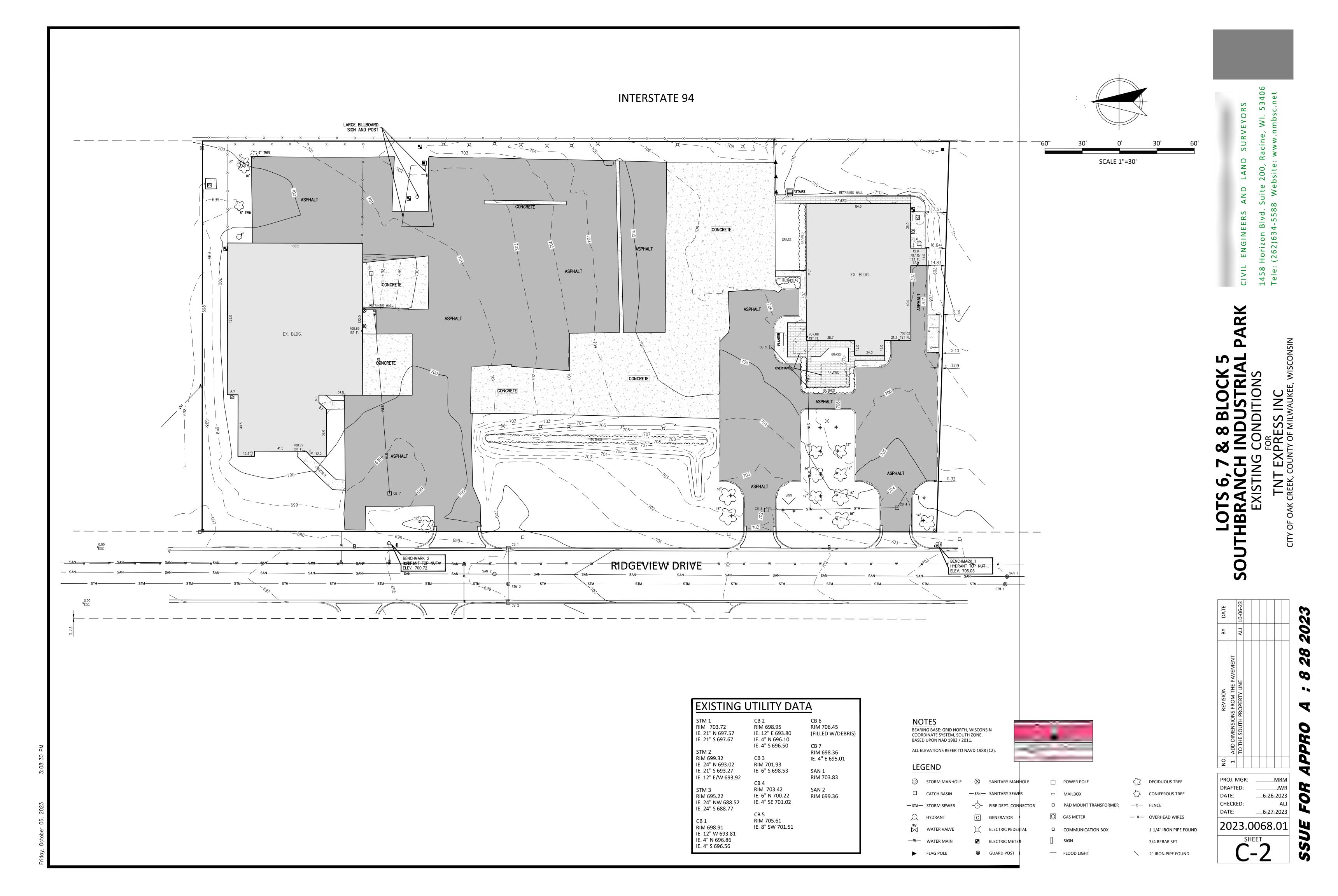
WE-ENERGIES TOM SCHULTZ OFFICE: 262-552-3229 EMAIL: tom.schultz@we-energies.com

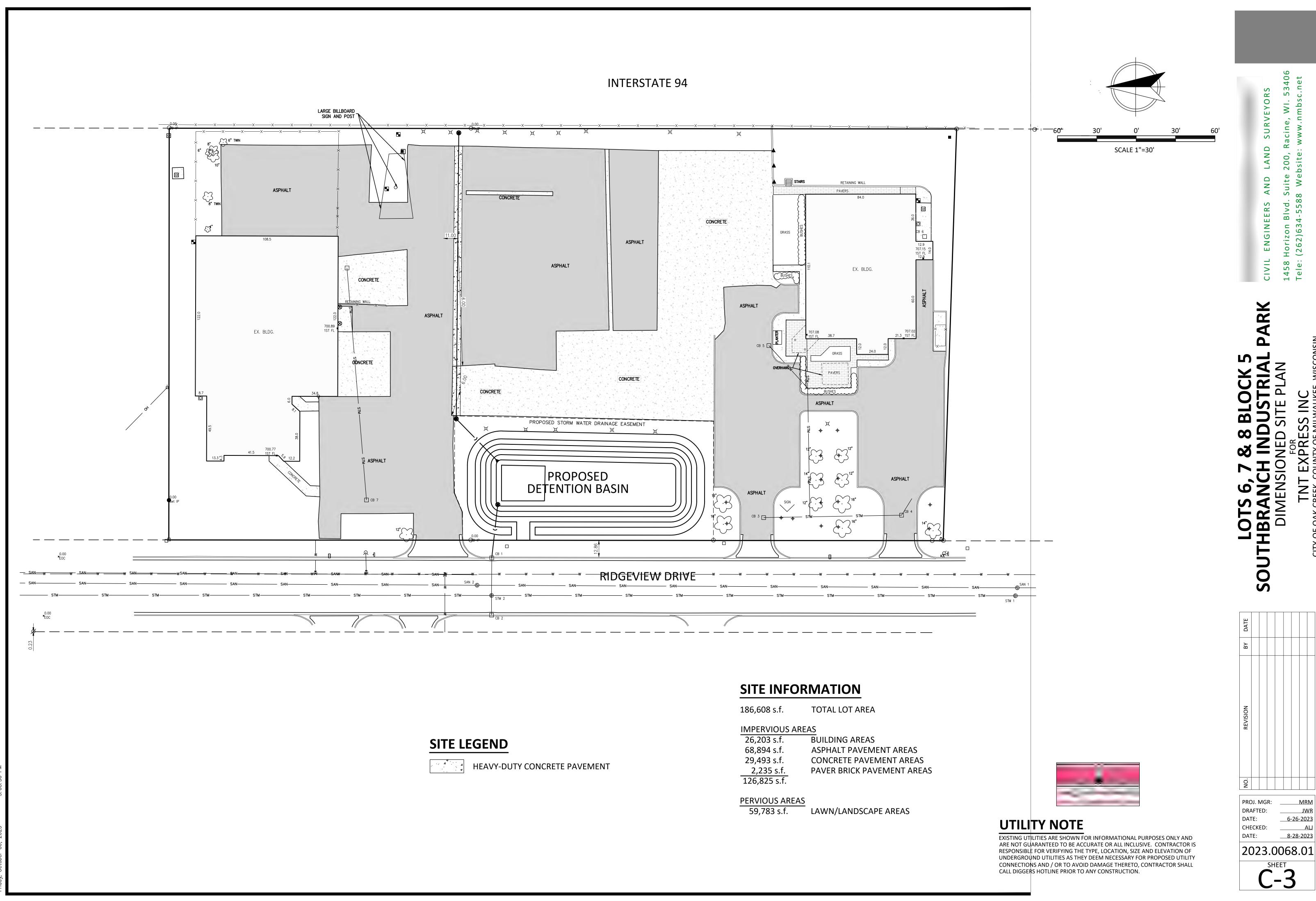
> NATURAL GAS EMERGENCY: (800) 261-5325 ELECTRICAL EMERGENCY: (800) 662-4797

AMERICAN TRANSMISSION COMPANY **BRIAN MCGEE** OFFICE: 262-506-6895 EMAIL: bmcgee@atcllc.com EMERGENCY NUMBER: (800) 972-5341

PROJ. MGR: 6-26-2023 CHECKED: 6-27-2023

2023.0068.01 SHEET

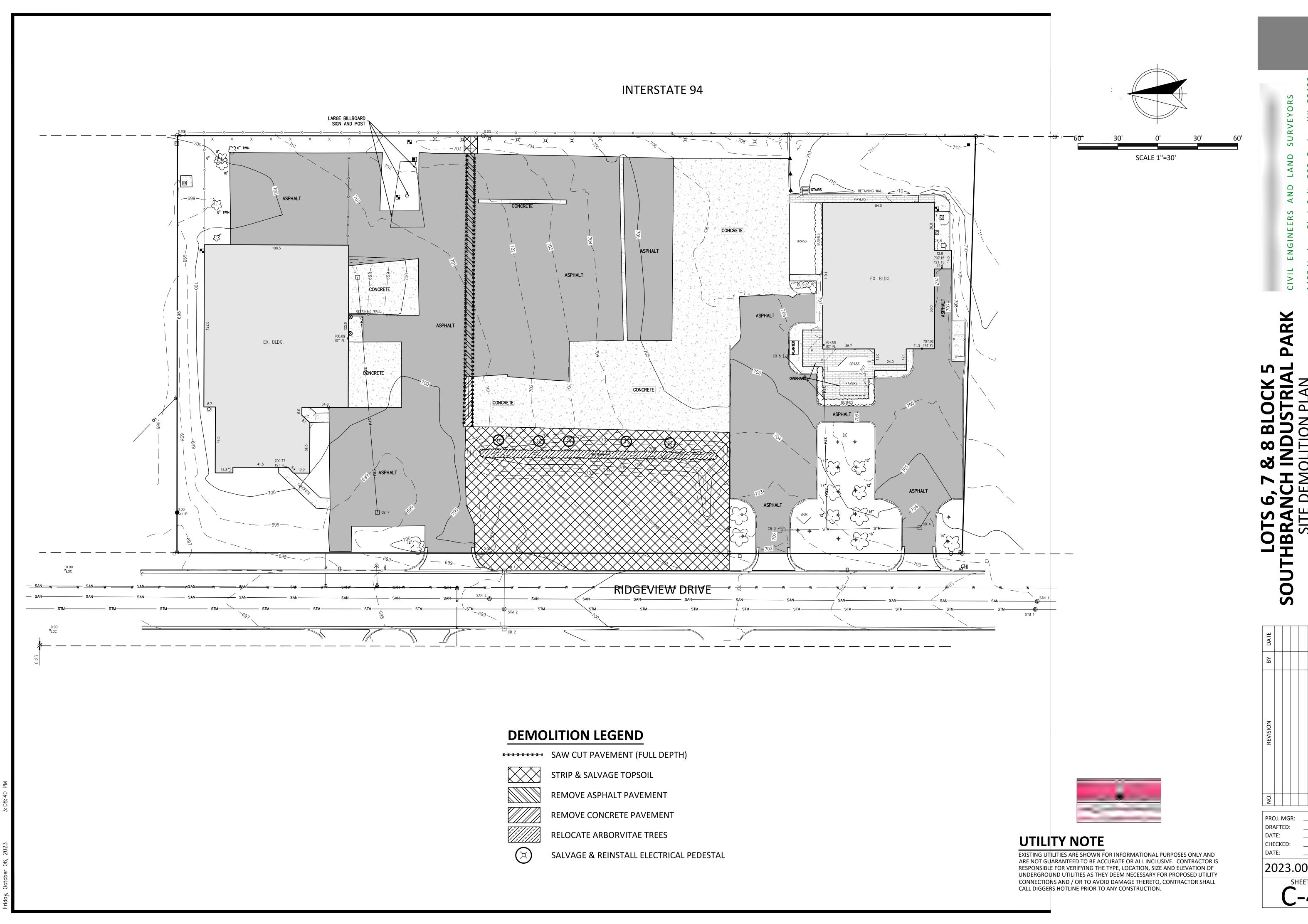




6-26-2023

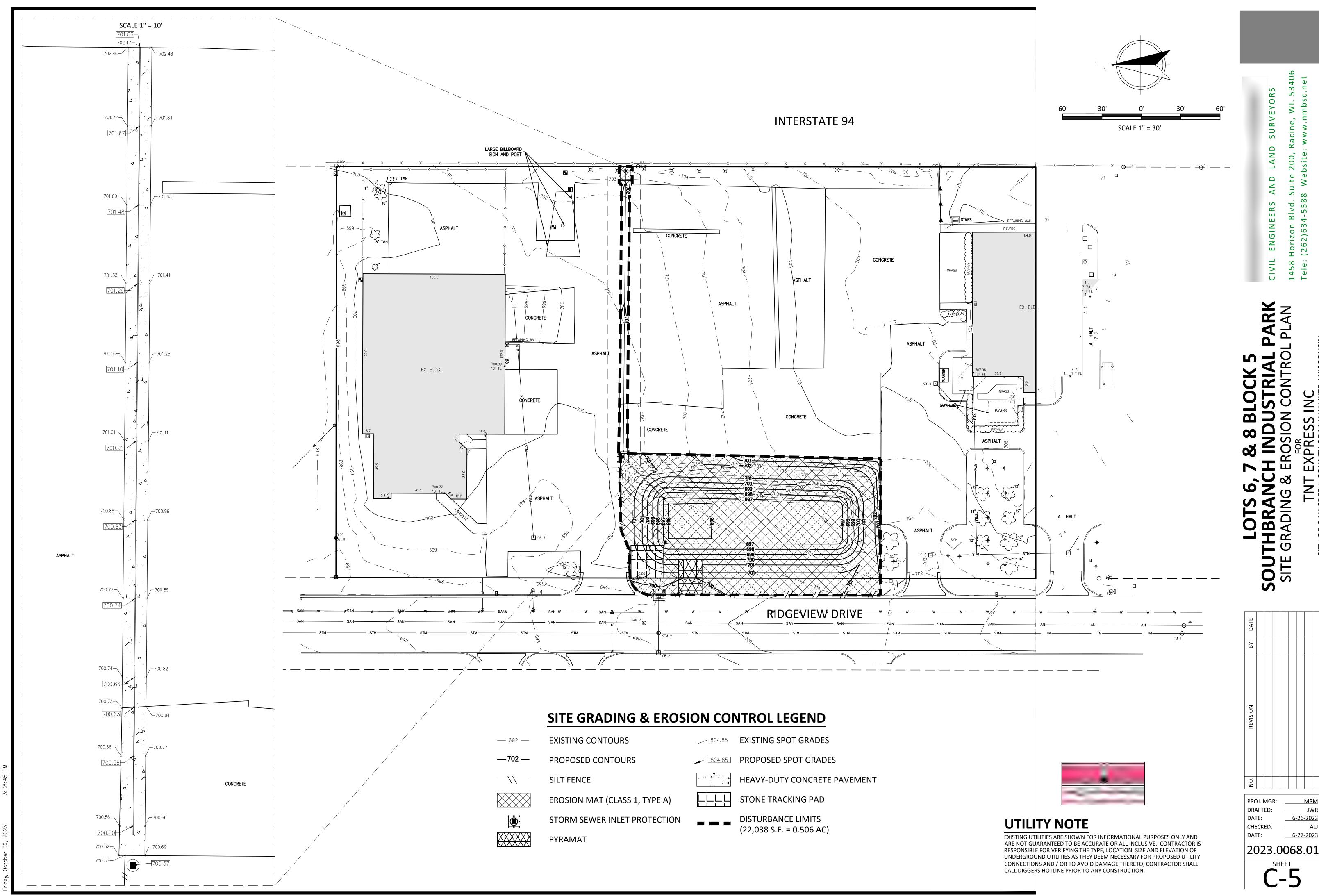
2023.0068.01

SHEET



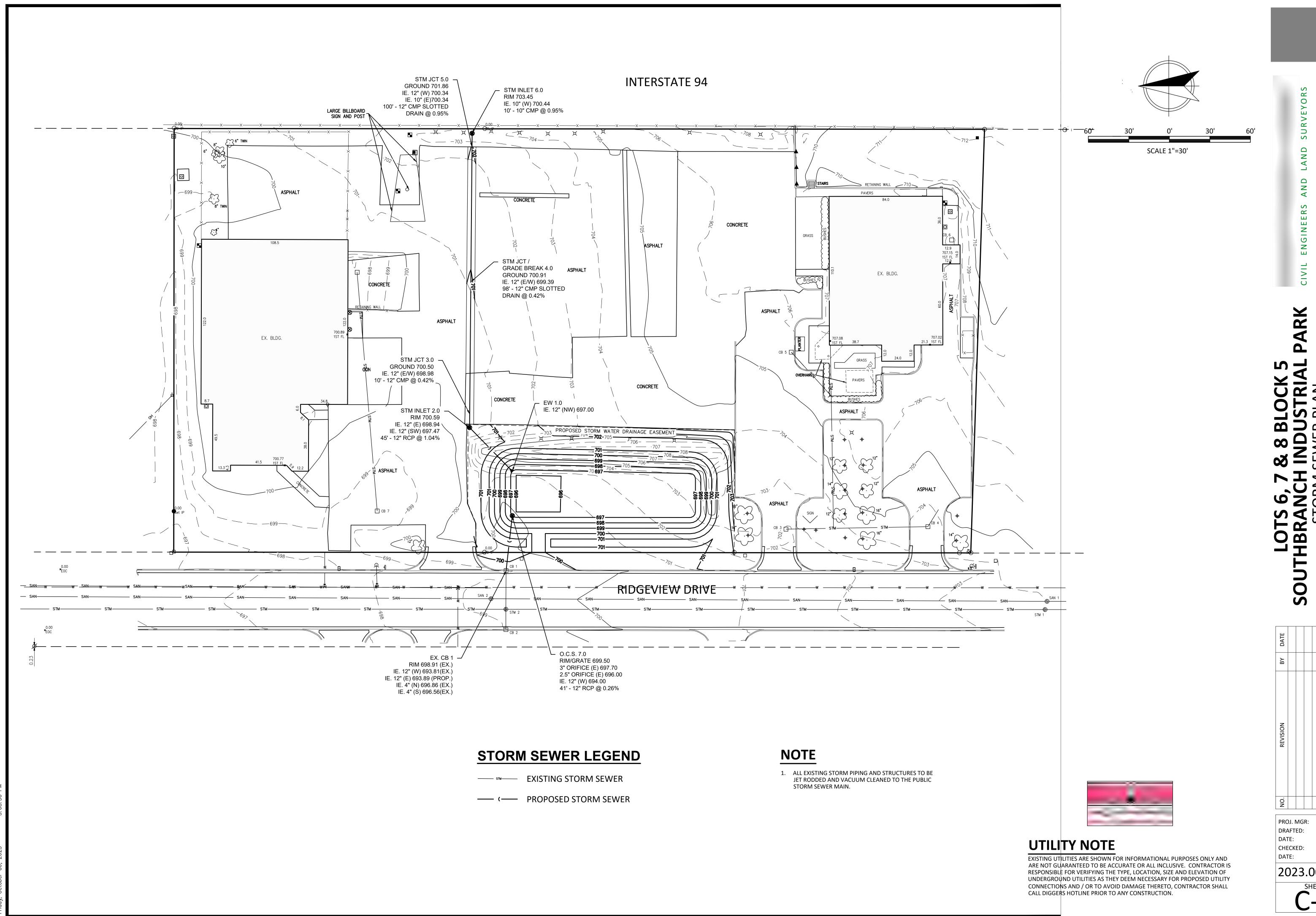
6-26-2023 6-27-2023

2023.0068.01 SHEET



6-26-2023 6-27-2023

SHEET



6-26-2023

6-27-2023

2023.0068.01

SHEET

Ð

CIVIL

<u>6-26-2023</u> 6-27-2023

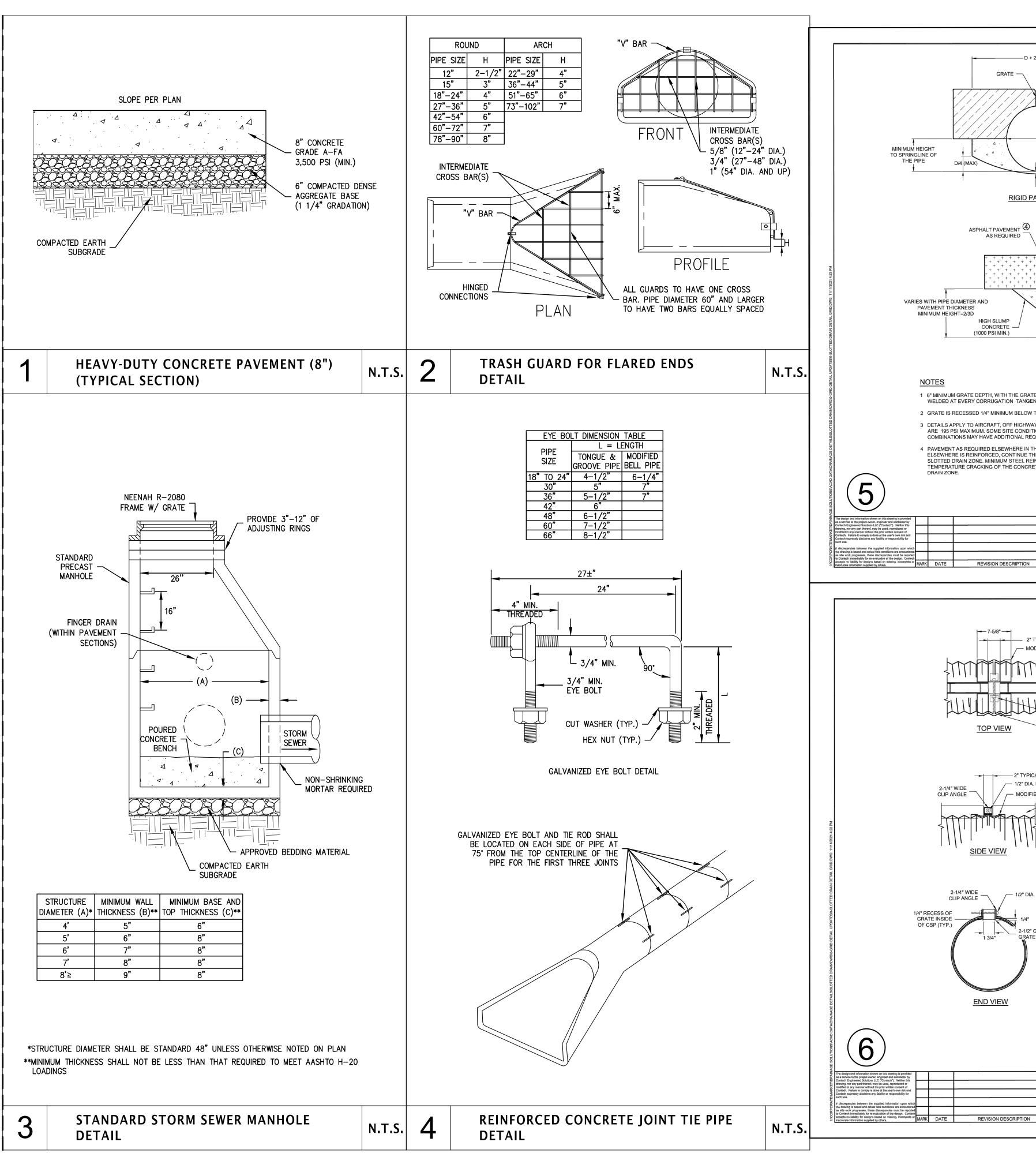
2023.0068.02 SHEET

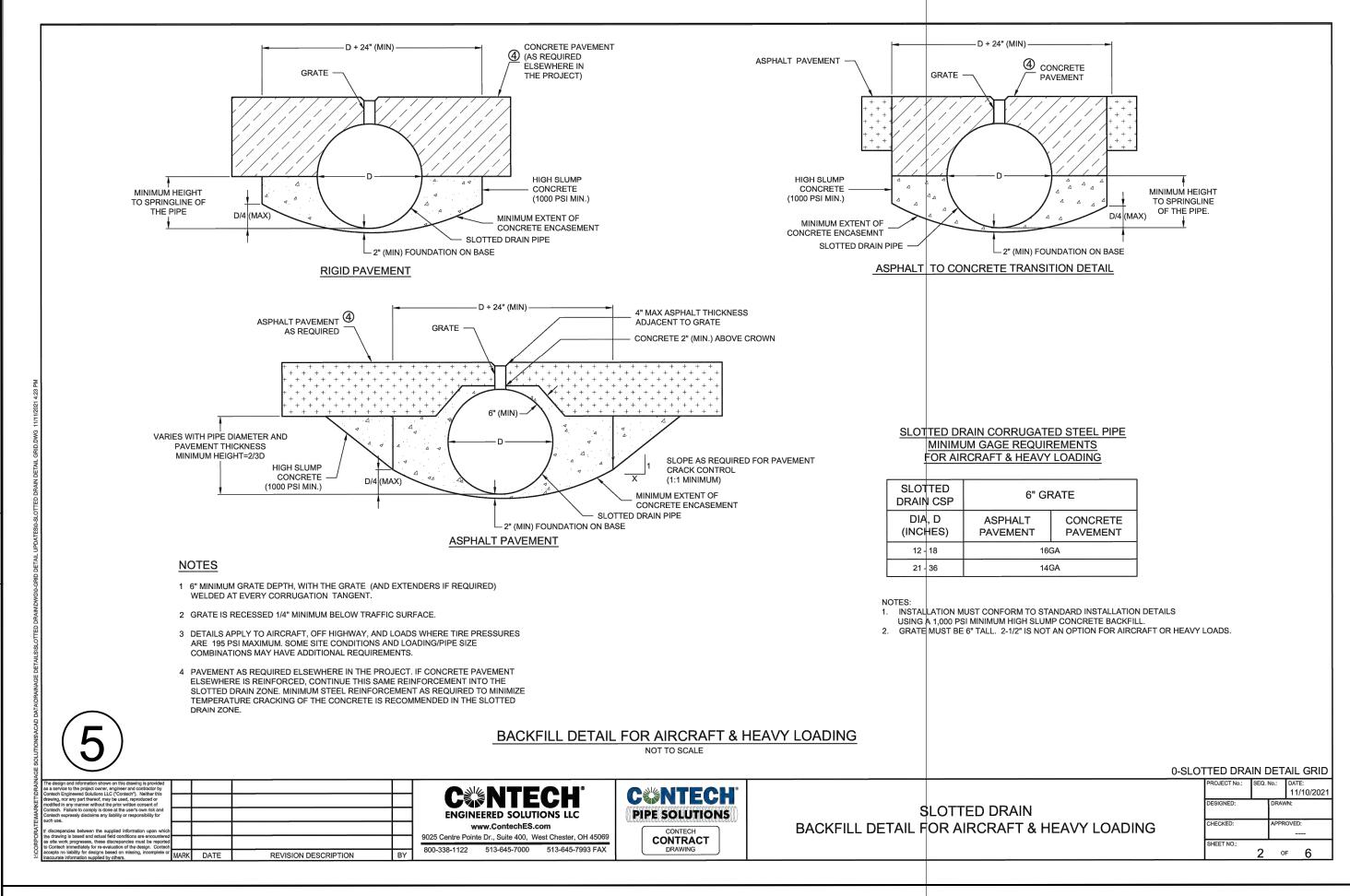
PROJ. MGR:

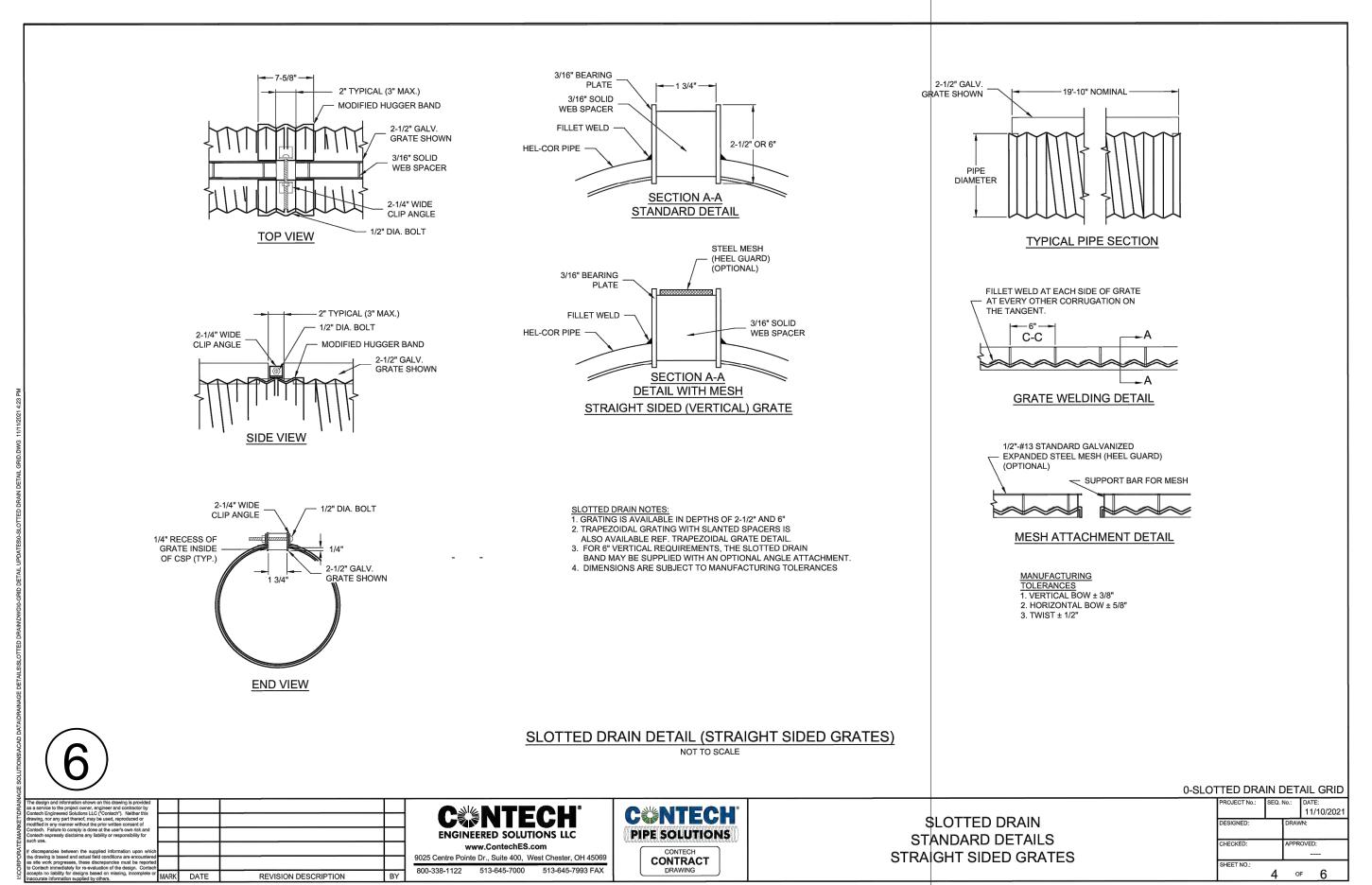
DRAFTED: DATE:

CHECKED:

DATE:







ARK ETAIL

9

CIVIL

2

SOU

PROJ. MGR: DRAFTED: DATE: <u>6-26-2023</u> CHECKED: <u>6-27-2023</u>

DATE:

SHEET

2023.0068.03

OUTLET CONTROL STRUCTURE

DETAIL

PLAN VIEW

N.T.S.

NO. REVISION BY DATE SOUTHBI

6-26-2023

6-27-2023

2023.0068.01

SHEET

CHECKED:

SOUTHBRANCH INDUSTRIAL PARK
TYPICAL SECTIONS & CONSTRUCTION DETAILS

CIVIL

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL AT A LOCATION APPROVED (BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES. DRAINAGE STRUCTURES. UTILITIES. ETC.. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED STRUCTURAL FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER AND OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION (OR MODIFICATION) OF THE BUILDINGS.

ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE DISTRICT.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE DISTRICT.

CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. CONCRETE SIDEWALK AND CURB & GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND/OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE DISTRICT.

IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.

ASPHALT PAVEMENT AND BASE SHOWN TO BE "PULVERIZED AND RESHAPED" SHALL MEET THE GRADATION REQUIREMENTS OF SECTION 325.3 OF THE STATE SPECIFICATIONS.

- A. MATERIAL SHALL BE CONTINUOUSLY PULVERIZED UNTIL 97% OR MORE WILL PASS THE 2" SIEVE. B. THE PULVERIZING OPERATION SHALL INCORPORATE AS MUCH OF THE UNDERLYING AGGREGATE BASE AS
- POSSIBLE WITHOUT INCORPORATING ANY OF THE SUB-GRADE C. PULVERIZED ASPHALT PAVEMENT CAN BE USED AS AGGREGATE BASE COURSE BENEATH NEW CONCRETE
- PAVEMENT. D. AT THE COMPLETION OF THE PROJECT, ALL EXCESS PULVERIZED MATERIAL SHALL BE PROPERTY OF THE

CONTRACTOR AND REMOVED FROM THE PROJECT SITE.

AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED. EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

SEE ELECTRICAL PLANS FOR SITE LIGHTING DEMOLITION.

SHOWN OR AS DIRECTED BY THE GENERAL CONTRACTOR.

SITE GRADING & SUB-GRADE PREPARATION

ALL EXISTING TOPSOIL AND OTHER NON-STRUCTURAL MATERIAL WITHIN THE PROPOSED BUILDING PADS, PAVEMENT SECTIONS AND STRUCTURAL FILL AREAS SHALL BE STRIPPED AND STOCKPILED AT THE LOCATION

EXCAVATE, GRADE AND SHAPE SUBGRADE TO THE LINES AND GRADES SHOWN ON THE PLANS. SEE TYPICAL SECTIONS FOR PAVEMENT THICKNESS AND MATERIALS.

FOR STRUCTURAL FILL DEPTHS LESS THAN 20 FEET, THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION OF THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL HAVE A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS.

THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF THE OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY RECOMMENDED / APPROVED BY THE SOILS ENGINEER MONITORING THE PLACEMENT AND COMPACTION. COHESIVE SOILS WITH MODERATE TO HIGH EXPANSIVE POTENTIALS (PI>15) SHOULD, HOWEVER, BE PLACED, COMPACTED AND MAINTAINED PRIOR TO CONSTRUCTION AT A MOISTURE CONTENT OF 3±1 PERCENT ABOVE OPTIMUM MOISTURE CONTENT TO LIMIT FUTURE HEAVE.

THE FILL SHALL BE PLACED IN LAYERS WITH A MAXIMUM LOOSE THICKNESS OF 9 INCHES. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION.

UPON COMPLETION OF THE GRADING AND COMPACTION OF THE SUBGRADE, A PROOF ROLL SHALL BE CONDUCTED BY THE CONTRACTOR ON ALL SUBGRADES THAT RECEIVE DENSE AGGREGATE BASE COURSE. THE CONTRACTOR SHALL PROVIDE A FULLY LOADED QUAD-AXLE TRUCK (18 TON MINIMUM LOAD) TO PERFORM THE PROOF ROLL. CONTRACTOR SHALL COORDINATE THE PROOF ROLL WITH THE OWNER AND THE GENERAL CONTRACTOR'S GEOTECHNICAL ENGINEER.

SOIL COMPACTION IN ALL FILL AND EMBANKMENT AREAS SHALL BE APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER.

TEMPORARY SEEDING IS REQUIRED FOR ALL STOCKPILES AND OTHER EXPOSED LAND AREAS IF NOT ACTIVELY WORKED WITHIN 30 DAYS. AT THE COMPLETION OF THE PAVEMENT WORK, RE-SPREAD SALVAGED TOPSOIL OR IMPORT TOPSOIL AS NECESSARY TO PROVIDE A MINIMUM SIX-INCH (6") LAYER IN ALL LANDSCAPE AND LAWN

EXCESS TOPSOIL NOT BEING USED FOR THE PROJECT SHALL BE HAULED OFF-SITE

EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE CONSTRUCTION SEQUENCING AND/OR EROSION CONTROL PLANS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF OAK CREEK.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND THE CITY OF OAK CREEK ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE THE CITY OF OAK CREEK AND WDNR EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 360.21) AND MAINTAINED PER SPS 360.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED:

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:

- A. THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED
- B. A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE CITY OF OAK CREEK OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE CITY OF OAK CREEK OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

INSTALL SILT FENCE PER SECTION 628 OF THE "STATE SPECIFICATIONS" AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE A LAYER OF GEOTEXTILE FABRIC (TYPE "FF") INSTALLED BETWEEN THE FRAME & GRATE TO PREVENT SEDIMENT OR SILT FROM ENTERING THE SYSTEM. THE INLET PROTECTION SHALL BE INSPECTED BY THE CONTRACTOR AND REPLACED EVERY 14 DAYS AND AFTER EACH RAINFALL EVENT. FABRIC TO BE REPLACED AS NEEDED TO MEET FIELD CONDITIONS.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- C. ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS. STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR. REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND THE CITY OF OAK CREEK ORDINANCE.

ALL DISTURBED SLOPES EXCEEDING 5:1, SHALL BE STABILIZED WITH CLASS I, TYPE A EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED (POLYMER) SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF OAK CREEK.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

RESTORATION SPECIFICATIONS

ALL DISTURBED AREAS SHALL BE COVERED WITH 6" OF SALVAGED (OR IMPORTED) TOPSOIL AND BE SEEDED, FERTILIZED AND STABILIZED WITH CLASS I, TYPE A EROSION MATTING. EROSION MATTING AND/OR NETTING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

REFERENCES

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2017 EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS." THE CURRENT VERSION OF THE "STATE SPECIFICATIONS" IS AVAILABLE ON THE WisDOT WEBSITE AT http://roadwaystandards.dot.wi.gov/standards/stndspec/index.htm

"MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), 2009 EDITION WITH REVISIONS 1 AND 2 INCORPORATED.

EROSION CONTROL, EARTHWORK, SITE GRADING AND PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STATE OF WISCONSIN, STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", CURRENT EDITION, HEREIN REFERRED TO AS THE "STATE SPECIFICATIONS".

SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN", 6TH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS".

MATERIALS FOR STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (SPS) AND THE CITY OF OAK CREEK STANDARD CONSTRUCTION SPECIFICATIONS.

STORM SEWER CONSTRUCTION SHALL BE CONSTRUCTED PER THE CITY OF OAK CREEK STANDARD CONSTRUCTION

GENERAL NOTES

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 3 DAYS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ANY UNDERGROUND UTILITIES PRESENT AT THE SITE. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

ANY AND ALL PUBLIC SIDEWALKS, CURBS OR PAVEMENTS DISTURBED WITHIN THE RIGHT-OF-WAY DURING CONSTRUCTION SHALL BE SAW CUT AT THE NEAREST JOINT AND REPLACED IN KIND PER THE "CITY OF OAK CREEK SPECIFICATIONS" AND "WISDOT SPECIFICATIONS". PUBLICLY-OWNED CURB AND GUTTER REPLACEMENT SECTIONS SHALL BE TIED TO EXISTING BY INSTALLING TWO (2) NO. 4 (1/2-INCH), 18-INCH LONG TIE BARS, EVENLY SPACED, DRIVEN 9-INCHES INTO THE EXISTING CURB AND GUTTER AT THE CONNECTION POINT.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE

PUBLIC UTILITY NOTES

CABLE TV AND TELEPHONE SERVICE INSTALLATION TO BE COORDINATED WITH THE ELECTRICAL SERVICE.

ELECTRICAL SERVICE TO BE COORDINATED WITH WE ENERGIES. EXACT LOCATION OF THE SERVICE ENTRANCE / METER TO BE COORDINATED WITH WE ENERGIES, THE MECHANICAL DESIGNER AND THE ARCHITECT.

CONCRETE FILLED STEEL PIPE BOLLARDS TO BE PAINTED WITH TWO COATS OF EXTERIOR PAINT. COLOR TO COMPLIMENT BUILDING (RED)

THE EXACT LOCATION OF THE SANITARY SEWER LATERAL, DOMESTIC WATER LINE, FIRE PROTECTION LEAD, NATURAL GAS SERVICE, ELECTRIC, AND PHONE LINES (AS THEY ENTER THE BUILDING) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

UTILITY CONSTRUCTION GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY AND STORM SEWERS WATER MAINS, GAS & ELECTRIC LINES OR OTHER UTILITIES PRIOR TO STARTING CONSTRUCTION. AS-BUILT (FIELD) DATA SHALL BE USED TO CHECK ALL PROPOSED UTILITY CROSSINGS FOR CONFLICTS.

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ADJACENT UNDERGROUND UTILITIES. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE OWNER PRIOR TO CONSTRUCTION.

ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGE OFF-SITE. PUMPING OPERATIONS SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061. PUMPED WATER CAN BE TREATED IN RETENTION BASINS, FILTER BAGS, STONE FILTERS OR BY OTHER WDNR APPROVED METHODS. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING

THE EXACT LOCATION OF ALL BUILDING LATERALS, ROOF DRAIN RISERS AND DOWNSPOUTS (IF APPLICABLE) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

STORM SEWER SPECIFICATIONS

STORM SEWERS WERE SIZED IN ACCORDANCE WITH SPS TABLE 382.36-4 "MAXIMUM CAPACITY OF STORM WATER HORIZONTAL CONVEYANCE PIPING FOR CONCRETE, ASTM C76 AND ASTM C14". ANY MATERIAL APPROVED BY THE CITY OF OAK CREEK AND THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES MAY BE USED AT THE SLOPES AND SIZES DESIGNED.

STORM SEWER PIPE AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30-6. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL (IF SELECTED) SHALL MEET THE REQUIREMENTS OF AASHTO M-252 FOR 4"-10" DIAMETER SIZES AND AASHTO M294 FOR 12"-48" DIAMETER SIZES.

BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".

THE CORRUGATED STEEL PIPE USED IN THE SLOTTED DRAIN MEET THE REQUIREMENTS OF AASHTO M36/ASTM A 760. THE CSP SHALL BE MADE OF ALUMINIZED STEEL TYPE 2 (AASHTO M274). THE DIAMETER AND GAGE SHALL BE AS SHOWN ON THE PLANS.

FOR CONNECTIONS OF SLOTTED DRAINS THE CSP SHALL HAVE A MINIMUM OF TWO RE-ROLLED ENDS. THE SLOTTED DRAIN BAND SHALL BE MODIFIED HUGGER BANDS TO SECURE THE PIPE AND PREVENT INFILTRATION OF BACKFILL. WHEN THE SLOTTED DRAIN IS BANDED TOGETHER, THE ADJACENT GRATES SHALL HAVE A MAXIMUM 3-INCH GAP.

THE GRATES SHALL BE MANUFACTURED FROM ASTM A 1011, GRADE 36 OR ASTM A 36 STEEL. THE PLATE EXTENDERS ARE A MINIMUM 7 GAUGE AND MADE FROM ASTM A 761 OR ABOVE MATERIALS. THE SPAVER PLATES SHALL BE ON 6-INCH CENTERS AND WELDED ON BOTH SIDES TO EACH BEARING PLATE (SIDES) WITH FOUR 1 1/4-INCH LONG 3/16-INCH FILLET WELD\$ ON EACH SIDE OF THE BEARING PLATE. IF TENSILE STRENGTH TESTS ARE CALLED FOR, MINIMUM RESULTS FOR AN IN-PLACE PLATE PULLED PERPENDICULAR TO THE BEARING PLATE SHALL

- T = 12,000 POUNDS FOR 2.1/2 -INCH GRATET = 15,000 POUNDS FOR 6-INCH GRATE
- THE GRATES SHALL BE TRAPEZOIDAL WITH A 1 3/4-INCH OPENING IN THE TOP AND 300 SLANTED SPACER PLATES UNLESS OTHERWISE SHOWN ON THE PLANS. THE GRATE SHALL BE 2 1/2-INCHES HIGH OR 6-INCHES HIGH AS SHOWN ON THE PLANS. THE GRATES SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A 123 EXCEPT WITH A 2-OUNCE GALVANIZED COATING.

FOR STANDARD HIGHWAY LOADING, THE GRATE SHALL BE FILLET WELDED A MINIMUM 1-INCH LONG TO THE CSP ON EACH SIDE OF THE GRATE OR AT EVERY CORRUGATION FOR THE LOADS WHICH EXCEED HIGHWAY VEHICLES.

TOLERANCES - FINISHED SLOTTED DRAIN GRATES - 20-FOOT LENGTHS

VERTICAL BOW IS $\pm 3/8$ -INCH. HORIZONTAL BOW IS $\pm 5/8$ -INCH. TWIST IS $\pm 1/2$ -INCH.

ALL STORM SEWERS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS, ROOF DRAINS AND STORM BUILDING SEWER LATERALS PER SPS 382.36(7)(d)10. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "STORM" ON THE COVER.

ALL STORM SEWERS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37, CHAPTER 8.43.4 OF THE "STANDARD SPECIFICATIONS". BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS, ROOF DRAINS AND STORM BUILDING SEWER LATERALS PER SPS 382.36(7)(d)10. THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE BUILDING WALL AND ALL OTHER SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED) AND ENCLOSED IN A RISER BOX WITH "STORM" ON THE COVER.

PAVEMENT SPECIFICATIONS

DENSE AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF SECTION 305 OF THE "STATE SPECIFICATIONS". THE COMPLETED BASE SHALL BE IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET AND SHALL BE CONSTRUCTED IN FOUR-INCH (4") LIFTS AND COMPACTED ACCORDING TO SUBSECTION 305.3.2.2 OF THE "STATE SPECIFICATIONS".

CONCRETE FOR PAVEMENT(S), SIDEWALKS, CURB & GUTTER AND DRIVEWAY APRONS SHALL BE GRADE A-FA, AIR-ENTRAINED, AS SPECIFIED IN SUBSECTION 501.3.1 OF THE "STATE SPECIFICATIONS". ALL EXTERIOR CONCRETE SHALL BE "READY-MIXED" AND RECEIVE A BROOM FINISH. ALL CONCRETE WORK SHALL BE CURED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBSECTION 415.2.4 OF THE "STATE SPECIFICATIONS".

HEAVY-DUTY CONCRETE SHALL BE EIGHT INCHES (8") IN THICKNESS ON SIX INCHES (6") OF DENSE AGGREGATE BASE COURSE AND BE CONSTRUCTED IN ACCORDANCE WITH THE "TYPICAL SECTIONS & CONSTRUCTION DETAILS" SHEET(S) OF THE PLAN SET.

CONTRACTION JOINTS SHALL BE AT TEN+FOOT (10') INTERVALS FOR CURB AND GUTTER AND FIVE-FOOT (5') INTERVALS FOR FIVE-FOOT (5') WIDE SIDEWALK. FINAL JOINTING PLAN FOR CONCRETE PAVEMENT TO BE PREPARED BY THE CONTRACTOR.

EXPANSION JOINTS SHALL BE PLACED AS OUTLINED IN SUBSECTION 601.3.6 OF THE "STATE SPECIFICATIONS". FILLER MATERIAL FOR EXPANSION JOINTS SHALL BE 1/2" FIBER MATERIAL.

CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLES, VALVE BOXES, ETC.) TO MATCH THE FINISHED GRADES OF THE AREA AFFECTED BY THE CONSTRUCTION.

O M

0

Z

⋖

9

 \geq

 \mathbf{B}

2

Z

 \mathbf{O} O

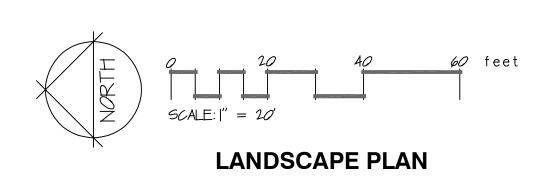
PROJ. MGR: ____JWR 6-26-2023 CHECKED:

6-27-2023

2023.0068.03

AREAS. ALL DISTURBED AREAS SHALL BE RESTORED PER THE LANDSCAPE PLAN.

RIDGEVIEW DRIVE



IAS NORDLOH ASSOCIAT
Landscape Architecture
Project Management
Taft Rd, Kenosha Wi 53142

THIS LANDSCAPE PLAN HAS BEEN CREATED BY THOMAS NORBLOH, REGISTERED LANDSCAPE ARCHITECT, AND IS PROTECTED BY U.S. COPY RIGHTS LAWS, UNAUTHORIZED USE OF DIGITAL AND OR IN PRINTED FORM, COPING, LENDING IN PART AND OR WHOLE IS STRICTLY PROHIBITED UNLESS WISITTEM PERMISSION HAS BEEN GRANTED BY WISITTEM PERMISSION HAS BEEN GRANTED BY

SOUTHBRANCH INDUSTRIAL PARK
LANDSCAPE PLAN
TNT EXPRESS INC
CITY OF OAK CREEK, COUNTY OF MILWAUKEE, WISCONSIN

Thomas H. Nordloh Landscape Architect Reg. # 057-000629

Project **20230706** 7-25-23

L-1.0

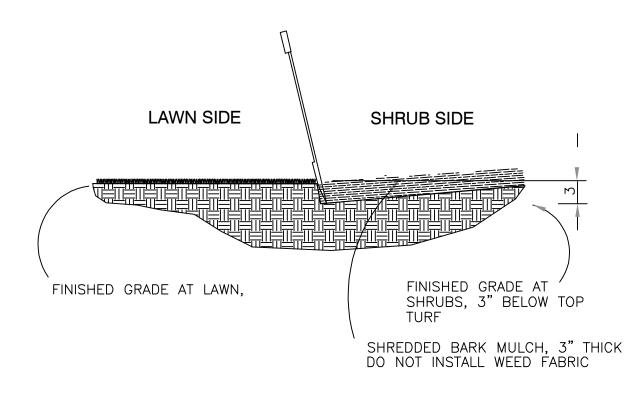
PLANT SCHEDULE

TRES Acer freemanii 'Autumn Þlaze' Malus x 'Prairifire' Ulmus x 'Patriot'	<u>COMMON NAME</u> Autumn Blaze Maple Prairifire Crab Apple Patriot Elm	<u>SIZE</u> 2.5" Cal. 6` 2.5" Cal.	CONTAINER B&B B&B B&B	<u>QTY</u>
EVEROREEN TREES Picea glauca Densata Pinus strobus Thuja occidentalis Thuja occidentalis	<u>COMMON NAME</u>	<u>SIZE</u>	CONTAINER	QTY
	Black Hills Spruce	6'	お&お	6
	White Pine	6'	み&み	9
	American Arborvitae	5'	Transplant	32
	Techny Arborvitae	4' Ht.	お&み	15
<u>SHRUBS</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	QTY
Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	3'		16
<u>ANNUALS/PERENNIALS</u>	<u>common name</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>
Iris reticulata	Iris	Transplant		33

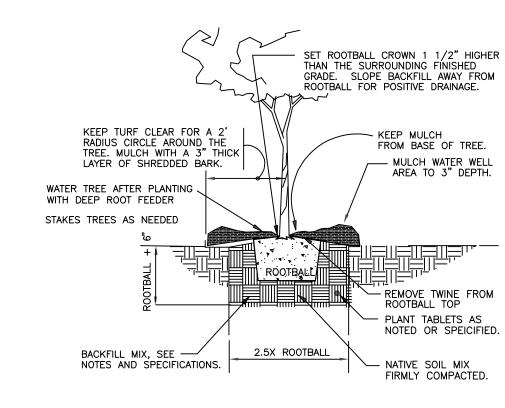
REFERENCE NOTES SCHEDULE

AGGREGATE SURFACE

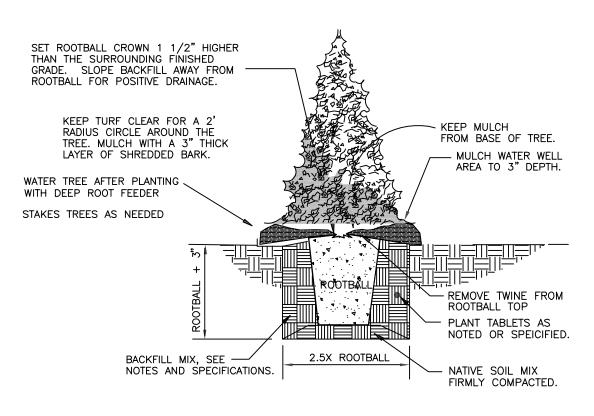
<u>SYMBOL</u>	DESCRIPTION DESCRIPTION	QTY
32- 5-45	TOP DRESS WITH 2-3" OF COMPOSTED GRANITE MULCH. REMOVE ALL WEEDS, DEBRIS BEFORE INSTALLATION. REPLACE WEED FABRIC AS NEEDED.	5 sf
<u>SYMBAL</u>	PLANTING DESCRIPTION	QTY
32-93-20	REINDARS PREMIUM 60 TURF-SEED AND DN SHORT TERM EROSION BLANKET. INSTALL PER MANUFACTURERS GUIDELINES. STAPLES MUST BE FULLY INSTALLED IN THE GROUND. BENT OVER STAPLES WILL NOT BE ACCEPTED. THE USE OF LONG TERM BLANKET (GREEN NET) WILL NOT BE ACCEPTED AND WILL BE REQUIRED TO BE REMOVED.	23,5 0 sf
<u>SYMB<i>O</i>L</u>	PLANTING ACCESSORIES DESCRIPTION	QTY
(32-94-119)	SHREDDED BARK MULCH, 3-4" DEPTH	6,149 sf
32-94- 36	3' DIAMETER MULCH TREE RING	30
(32-95-01)	EDGE, SHOVEL OUT BED EDGE, 4" DEPTH-SEE DETAIL	855 f
<u>SYMBOL</u>	<u>WOOD</u> DESCRIPTION	QTY
(F- 05-)	WOOD FENCE 4 FT HEIGHT, STYLE TBD	622 f



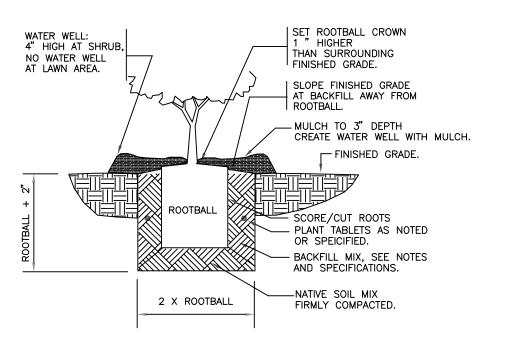




TREE PLANTING DETAIL



EVERGREEN PLANTING DETAIL



SHRUB PLANTING

GENERAL LANDSCAPE NOTES;

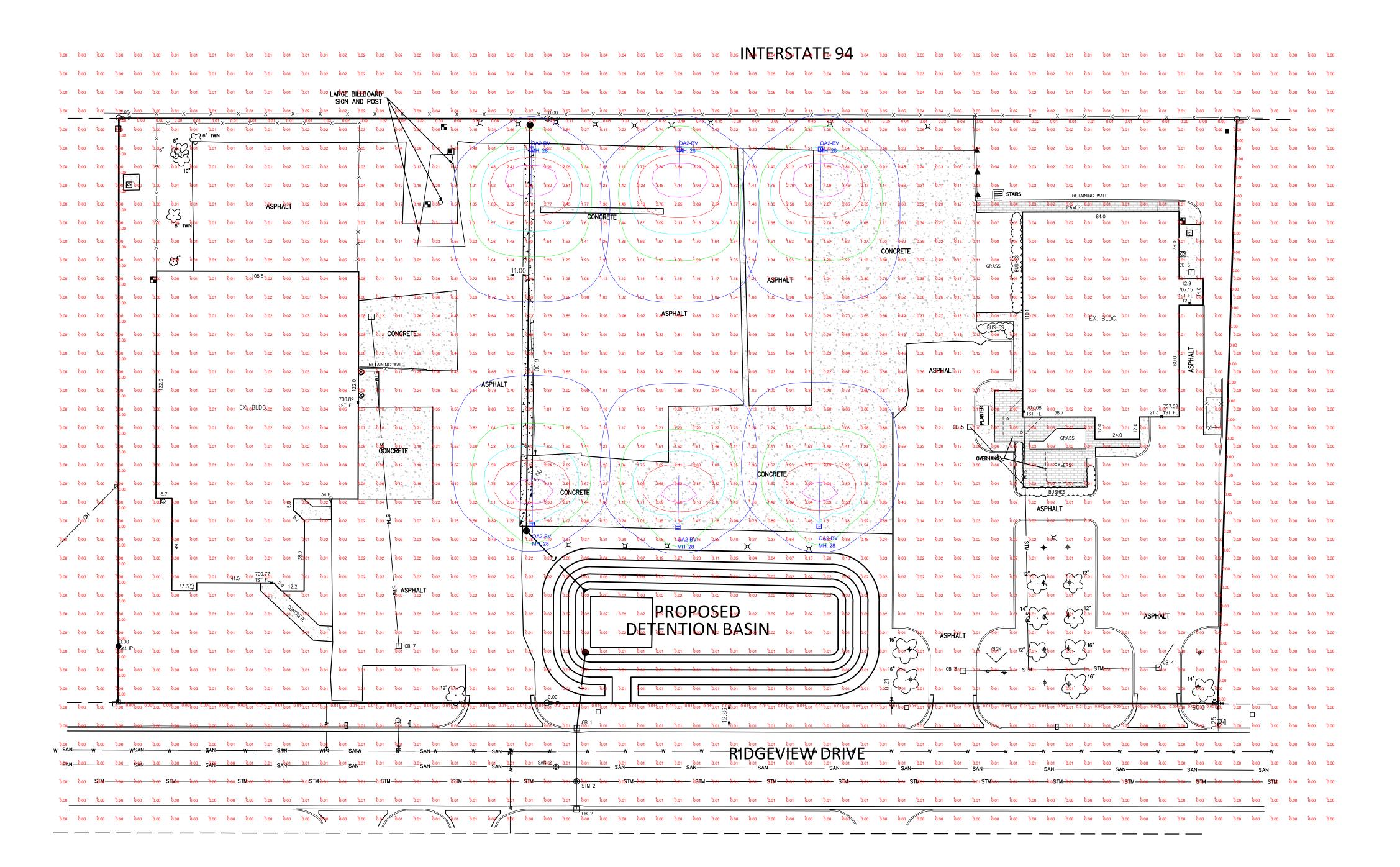
- 1. Topsoil return to depth of 4" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
- 2. Always contact Diggers Hotline (800-242-8511) or JULIE 811 (or 1-800-892-0123) before proceeding with any work.
- 3. Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
- 4. Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs. Landscape contractor is to verify plant quantities Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by city forester..
- 5. Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3' diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2" layer of shredded bark mulch.
- 6. Spade cut plant beds and tree rings with a 4" deep shovel cut.
- 7. Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
- 8. Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
- 9. Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. DO NOT USE long term (green netting) blanket except for TRM's. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
- 10. Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
- 11. Temporary irrigation system shall be set up for a period of 30 days to water lawn and plant areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment
- 12. Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. One replacement will be required of each dead plant at the end of the warranty period.

20230706 7-25-23

L-2.0

Luminaire Schedule								
Label	Qty	Arrangement	LLF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens
OA2-BV	6	SINGLE	0.950	LITHONIA	RSXF2 LED P2 xxK AWFD BV + 25' POLE + 3' BASE	114.071	684.426	15441

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	Illuminance	Fc	0.03	0.50	0.00	N.A.	N.A.
SITE	Illuminance	Fc	0.27	4.14	0.00	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.39	4.1	0.5	2.78	8.20





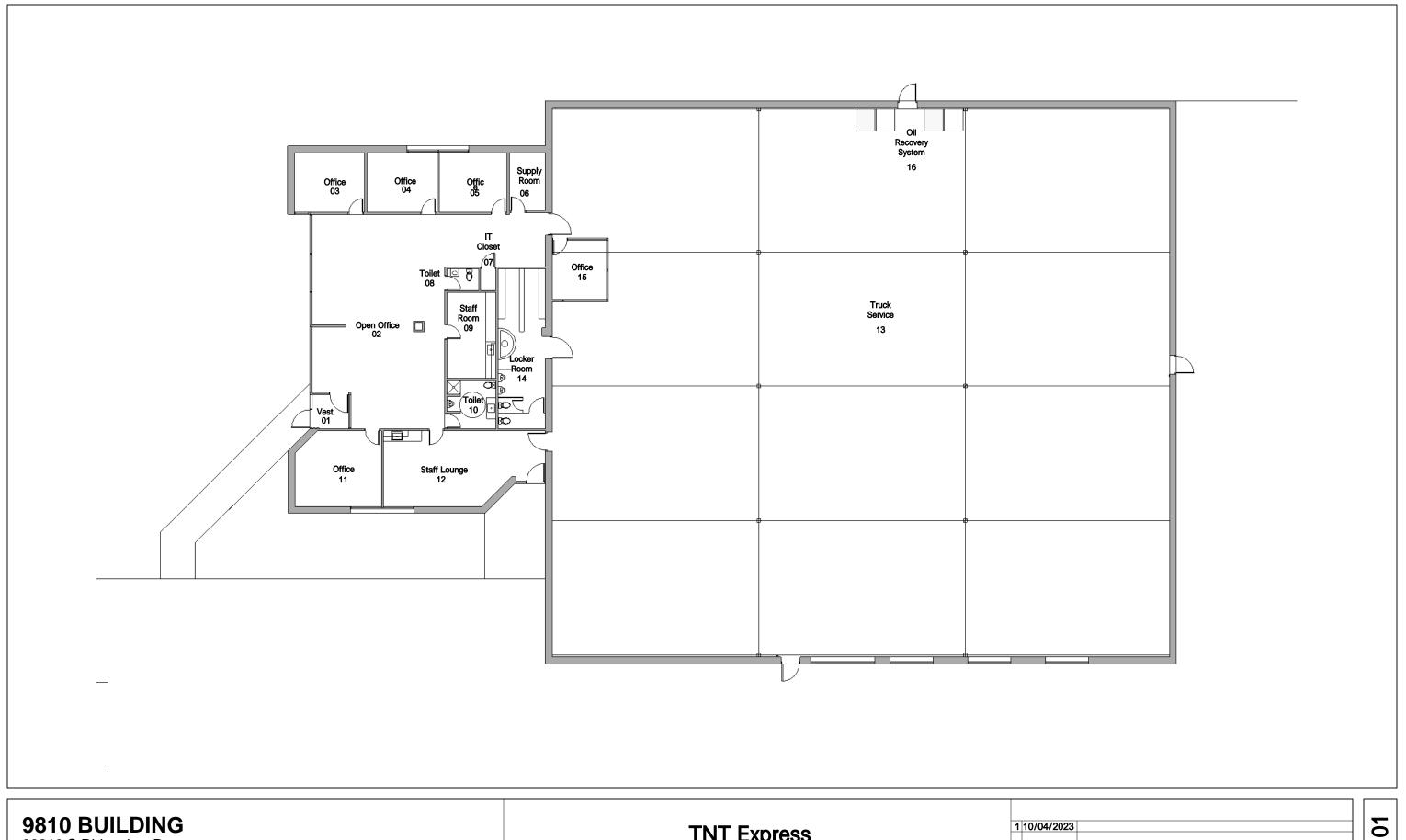
	•		•		
COMMENTS					
DATE					
#					
	RI	EVIS	SION	IS	
		22	S S	<u> </u>	

202

> WISCONSIN NDO CREEK,

Ś

BRANCH OAK OUTH

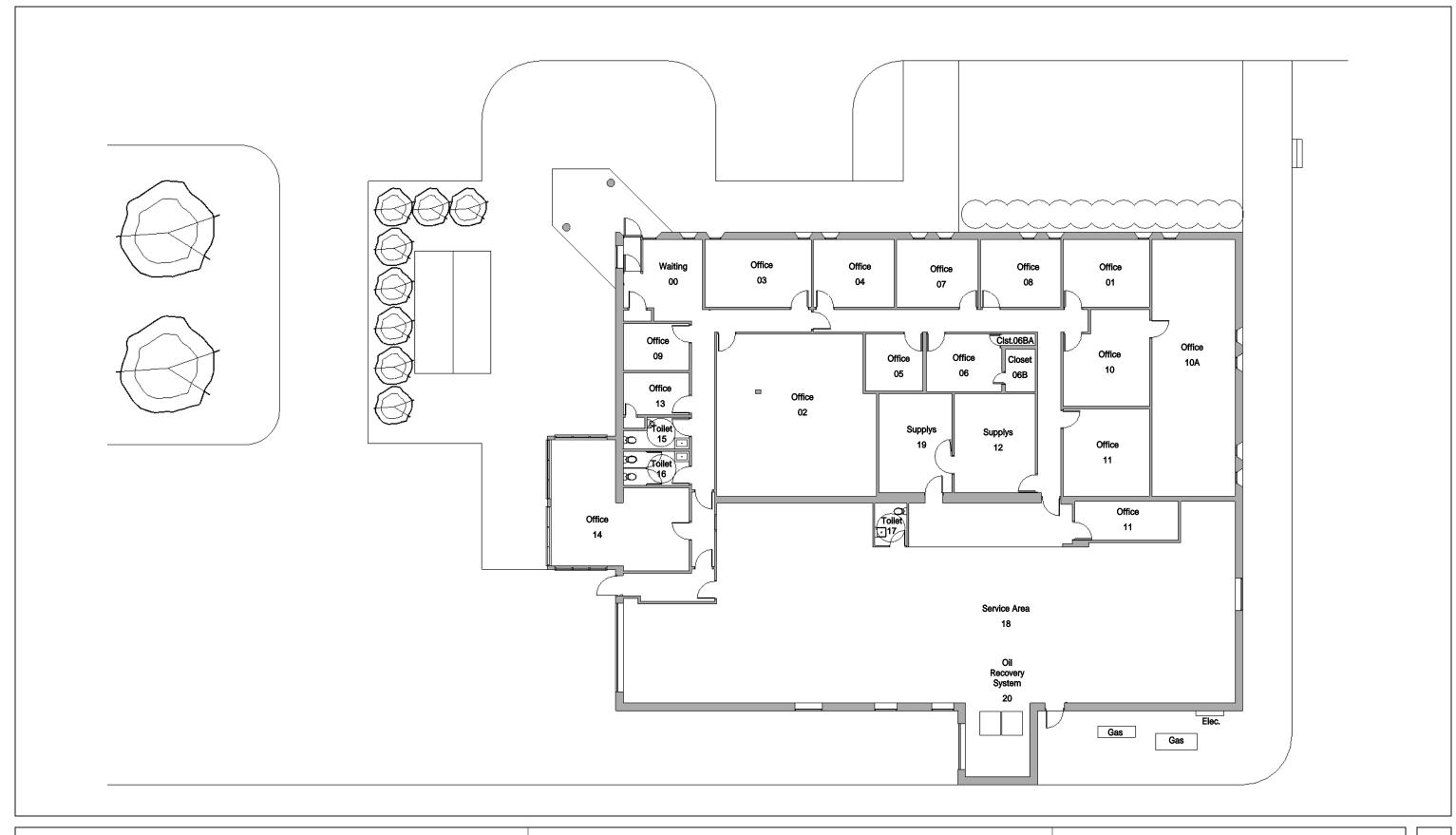


9810 BUILDING 89210 S Ridgeview Dr. Oak Creek, WI 53154

TNT EX	press
--------	-------

0/04/2023	

4

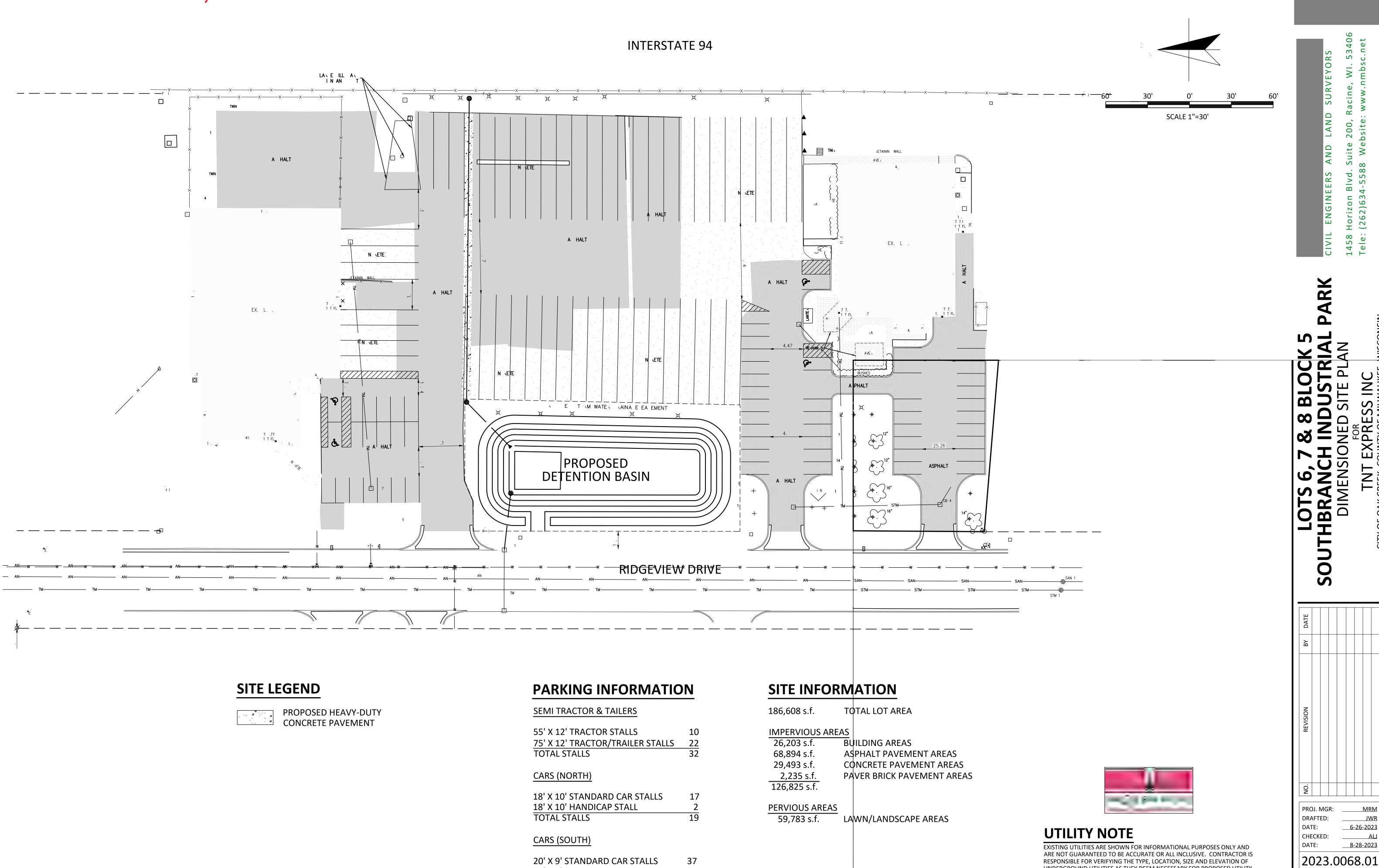


9880 BUILDING 89210 S Ridgeview Dr. Oak Creek, WI 53154

TNT Express	
-------------	--



FOR FEBRUARY 13, 2024 MEETING



20' X 9' HANDICAP STALL

TOTAL STALLS

6-26-2023 <u>8-28-2023</u>

UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY

CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL

CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

Corrective Actions for CUP Application 9810,9840,9880 S Ridgeview Drive TNT Express

Final Version February 7 2024

- The only Tenant in 9880 Building will be Keller Trucking LLC Administrative Office and Keller Trucking Repair. Total of 4 employees from 7am-5pm weekdays.
- The alarm system in the 9880 building will be repaired and fully operational.
- The area on the South Side of Building 9880 will be cleaned up, all tires, and other materials removed. The dumpster will be put in the corral and a new Corral constructed to meet City Ordinance Sec17.0506(a)
- All flammable and combustible materials inside the truck repair facility at 9880 will be properly stored or removed to the satisfaction of the Fire Inspector.
- NO TRUCK REPAIRS/Maintenance at 9880 and 9810 S
 Ridgeview Dr will be available to the General Public. Use of
 the facility will be limited to tenants' fleet of tractors at
 those locations.
 - TNT Express @9810 and Keller Truck LLC @ 9880.
- Car/Truck Parking in the trailer storage area will not be allowed. Owner/Operators/Drivers of tractors will park their personal vehicles in the designated parking stalls at 9810 S Ridgeview Drive

- The building drawings submitted will be revised to show ALL parking spaces for cars and truck trailers per written description submitted with application. Building Sq Footages will be shown on the plans per written description submitted with application.
- Landscaping plans will increase the height of plantings screen along I 94. If necessary, Plantings will be added to the eastern outside storage area on building 9810 if City Requires.
- The storage area/"holding lot" at 9810 will not have any "Junk" vehicles permanently stored and NO OTHER MATERIALS will be stored in this area. The temporary storage container will be removed. Vehicles are routinely taken to auction by lien holder after 30-45 days in the holding lot.

<u>Please note 7 days storage time is not long enough to process Lien Holder Repossession Paperwork and tow vehicles to Auction facility.</u>

 Parking spaces at 9810 will be used by 8 employees of TNT 2 Employees of Nationwide Auto Recovery and for Owner/Operator driver's personal vehicles while they are on the road. No personal vehicles will be permitted to be parked in vacated trailer spots.

- The fire suppression system at 9810 will be tested and fully operational.
- The dumpster will be kept in the enclosed Storage area and an access key provided to the Trash Removal Company.
- The Container in the storage area on East side of building (9810) will remain. It is used to secure personal property found in repossessed vehicles until the owner picks up car OR vehicle is removed and taken to auction.
- Please note that Nationwide Recovery Towing Service Auto Recovery will now be a tenant in building 9810 They have 1 employee and hours are 7am-6pm. Previously they were a tenant in Building 9880.

This document was updated on February 7 2024