



PLAN COMMISSION

September 26, 2023

6:00 P.M.

Common Council Chambers

8040 S. 6th St.
Oak Creek, WI 53154
(414) 766-7000

Daniel Bukiewicz - Chair
Dawn Carrillo
Chaucey Chandler
Donald Oldani
Chris Guzikowski
Ashley Kiepczynski
Gregory Loreck
Fred Siepert
Christine Hanna
Matt Sullivan – ex-officio
Kari Papelbon – ex-officio

The City's Vision

Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.

Find more information on agenda items at oakcreek.zoninghub.com.

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – August 22, 2023
4. Review and Discuss Report on Recent Common Council Actions
5. Review and Discuss Report on Recent Board of Housing and Zoning Appeals Actions – NONE
6. Review and Discuss Report on Recent Quarterly Parks & Recreation Commission Actions – Next Report October 24, 2023
7. Old Business
 - a. PLAN REVIEW - Review site and related plans submitted by Rosemarie Patterson, Hillside Coffee House, LLC, for an addition to the existing parking lot on the property at 237 E. Ryan Rd. (Tax Key No. 907-9988-000; 3rd Aldermanic District).
More info at ZoningHub: <https://s.zoninghub.com/P1RXYOFVE4>
8. New Business
 - a. CONDITIONAL USE PERMIT - Review a request submitted by Jeffrey Piejak, Ultimate Ninjas Chicago, LLC, dba Ultimate Ninjas Milwaukee, for a Conditional Use Permit for an indoor health/athletic/recreation facility within a portion of the existing multitenant industrial building on the property at 400 W. Bell Ct. (Tax Key No. 828-9024-000; 6th Aldermanic District).
More info at ZoningHub: <https://s.zoninghub.com/VX7NBU5YME>
 - b. PLAN REVIEW – Review site, building, and related plans submitted by Blaise Paul, Oak Creek-Franklin Joint School District, for accessory structures for the Oak Creek High School stadium on the property at 340 E. Puetz Rd. (Tax Key No. 827-9028-000; 3rd Aldermanic District).
More info at ZoningHub: <https://s.zoninghub.com/3UGRU3TK6I>

- c. **CONDITIONAL USE PERMIT AMENDMENT** - Review a request submitted by Skip Henderson, World Outreach Bible and Training Center, and LeTrisha Daniel, A Mother's Heart Learning Center, for a Conditional Use Permit for a private school and day care facility on the property at 6912 S. 27th St. (Tax Key No. 737-9026-000; 2nd Aldermanic District).
More info at ZoningHub: <https://s.zoninghub.com/1GV4TD6FFG>

Announcements & Adjournment.

Dated this 21st day of September, 2023

Posted 9-21-23 sd

Public Notice

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, AUGUST 22, 2023**

Mayor Bukiewicz called the meeting to order at 6:17 PM. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Carrillo, Commissioner Kiepczynski, Alderman Loreck, Mayor Bukiewicz, Alderman Guzikowski, Commissioner Siefert, and Commissioner Chandler. Commissioner Oldani was excused. Also present: Senior Planner Kari Papelbon, Zoning Administrator/Planner Sylvia Brueckert.

Minutes of the August 8, 2023, meeting

Commissioner Siefert moved to approve the minutes of the August 8, 2023, meeting. Alderman Guzikowski seconded. On roll call: Commissioner Kiepczynski abstained; all others voted aye. Motion carried.

**PLAN REVIEW
CHRISTOPHER FINK
7101 & 7115 S. PENNSYLVANIA AVE.
TAX KEY NOS. 768-0002-000 & 768-0001-001**

Senior Planner Papelbon provided an overview of a site, building, and related plans for a trash enclosure, parking lot expansion, and landscaping on the properties at 7101 & 7115 S. Pennsylvania Ave (see staff report for details).

Jason Heinen, 14170 W. Greenfield Ave., Brookfield, WI 53005:

"I represent Mr. Fink. I guess my only concern with the proposed motions, or conditions, in the suggested motion is – we appreciate the leniency of going from 54 to 27 – however I don't know that my client can even afford the 27 trees. What we would maybe suggest as an alternative would be, I don't know if there's already any kind of time limit within the 27 – but could we do two (2) trees every year over the next 15 years? I think part of what's driving that is, in conversations with the architect, we are dealing with having to put in about a \$35,000 sprinkler system on the second floor. So, he's realizing there's going to be some significant costs already. Plus, you're seeing the amount of landscaping he's already having to do, just for the screening. With regards to that, I have communicated this to staff already but, the installation size of all parking lot screening plants, according to the landscaper has been proposed at three (3) feet or taller. I don't know if there is just a miscommunication on – that being on the plan, but – that is what the landscaper is telling me, and I've communicated that to staff. But if that's a concern that we need to correct something on that plan we can certainly do that. Otherwise, we just ask for some different language around a minimum of 27 trees being a minimum of two (2) trees being planted outside the transition zone over the next 15 years. And, in terms of removal of the eight (8) foot fence, my client would prefer to have it be just a reduction down to six (6) foot fence. He is planning on removing any trash receptacle within that – within that fence area. But he would like to use it as a pet fence, I know there's some – probably some – permits we need to obtain for that. But as opposed to the condition being removal,

he'd like to – obviously he's put money into a brand-new wood fence – he'd like to retain 6/8ths of it. Those are my only comments.”

Commissioner Chandler asked for more clarification regarding the proposed switching of the fence and landscaped Transition Zone C locations. Senior Planner Papelbon explained that the Code states that the transition zone area requires the incorporation of a fence and landscaping. The Plan Commission has the authority to determine whether a fence is required if sufficient landscaping has been created to make a buffer. If the fence were to stay on the south side of the property, it will need to be behind the proposed landscaping. Senior Planner Papelbon stated that a fence would not be needed in this area if there is sufficient landscaping, including trees and bushes of some height, to provide a buffer zone so the business will not negatively impact the residential lot to the south.

Commissioner Chandler asked what the plan will be for the area.

Atty. Heinen:

“We would just be putting landscaping in, no fence there.”

Senior Planner Papelbon explained that the plans will now need to be updated and submitted, and the Plan Commission would have to approve that a fence will not be required in that location.

Commissioner Chandler asked if there was any feedback from the applicant regarding the spacing of the staff's suggested 27 trees on the property.

Atty. Heinen:

“No. I'm leaving it up to the landscaper to (inaudible) their expertise there.”

Commissioner Chandler asked for more information regarding the requested changes to the existing trash enclosure.

Atty. Heinen:

“Yeah, we would be removing any kind of trash receptacles within that trash enclosure. So, we are no longer seeking any kind of trash enclosure. But it is a wood enclosure that he put in prior to my being involved or us petitioning this, and so he is hoping to convert that to some kind of pet kennel.”

Commissioner Chandler stated for clarification that no trash will be located there, and asked the speaker to continue.

Atty. Heinen:

“No, you're fine, just as opposed to a complete removal.”

Commissioner Chandler asked for confirmation that no trash will be located outside on the property.

Atty. Heinen:

“Well, there will be trash associated with the residence in the area close to the house. Within, I think there’s a four (4) foot fence around that.”

Commissioner Siefert asked for more information regarding the requirements for the requested Life Safety Plan, and if it is related to the building.

Atty. Heinen:

“Yes. Correct. I believe we’ve been in touch with an architect since our last meeting. He’s put together the floor plan and been in communication with the state around the code. What we’re coming to realize is that this property doesn’t fit nicely within the code. So, it’s looking like the requirement per the code is that there would need to be some kind of sprinkler system on the second floor. I don’t know how my client’s – It’s a house structure, it’s been a house structure, it was operating as a house prior to this. So, I don’t know what his hope is there, but that is what the code is requiring (inaudible).”

Commissioner Siefert stated for confirmation that there is no problem with a safety plan.

Atty. Heinen:

“Correct. We have no problem with the safety plan, we are happy – what we were anticipating had to do with the size of hallways, doorways, lighting for exit signs – he had no problem with that. The most costly things that are coming out of that is the ADA required bathroom and the sprinkler system. There also seems to be some kind of weight requirement for the upstairs, I don’t know all the details the architect is working on that. We recognize safety is important – I think where it plays into the landscaping plan is – he has to dump several thousand dollars into the house and building structure to bring it up to code for commercial use and he doesn’t have a whole lot of money to spend on trees. So, we are trying to weigh those things and figure out (inaudible).”

Commissioner Siefert asked if there are any problems with the 27 trees staff is requesting.

Atty. Heinen:

“Yes. I’d prefer it be some – I mean he can’t uncut his trees. So, I think what I’d like to see is something more along the lines of maybe two (2) trees over the next 15 years. You know, where it’s a practice of him planting trees to slowly replace them over time. And that would give him a financial buffer to do the work to the building.”

Commissioner Siefert asked if the driveway onto Pennsylvania Avenue will be updated from the existing 11-foot width to match Code.

Atty. Heinen:

“No. We’re kind of running into the distance from the building to the intersection. And so, when we did the site plan, the engineer recommended we just keep that a one-way, which it is currently. So, all traffic enters off of Rawson and then exits off of Pennsylvania. There is not two-way traffic there.”

Commissioner Siepert stated for confirmation that a driveway off Rawson [Avenue] onto the property exists.

Atty. Heinen:

“Yeah, there is already. Correct.”

Alderman Guzikowski stated his disapproval of the proposed 15-year timeline to replant the requested 27 trees, and his support for the staff’s recommendation of 27 trees planted.

Alderman Loreck asked about any concern regarding the existing trash enclosure being converted to a pet fence. Senior Planner Papelbon explained that if the existing fence is shortened to four (4) feet high, the trash receptacles or outside storage are permanently removed, and is used as a fence for a dog run area, the Code would not prohibit the use of the fence for a dog run.

Alderman Loreck asked for confirmation that the proposed raingardens are required, to which Senior Planner Papelbon answered in the affirmative. Alderman Loreck then spoke to the termination area of the buffer zone (*comments were inaudible*).

Alderman Loreck stated his support for staff’s proposal of 27 trees being replanted on the property, and asked a question that was inaudible.

Senior Planner Papelbon clarified that the Code requires the replacement of the 54 trees removed from the property if they were all of quality and met all other criteria, but staff is recommending only 27 trees be replanted. The tree replacement requirement is in addition to any other landscaping requirement.

Alderman Loreck proposed not reducing any landscaping requirements for the corner of Rawson and Pennsylvania as it is a main entrance into the City. *Most of the additional comments made by Alderman Loreck were inaudible.*

Commissioner Kiepczynski stated plans were coordinated between the Engineering Department and the designer for the green infrastructure plan.

Commissioner Carrillo stated her support of Alderman Loreck’s proposal for not reducing landscaping on the corner and in the transition zone areas of the property, and suggested that those be addressed immediately while replanting the trees in the backyard be done on a staggered time system.

Commissioner Hanna asked if there is a range of diameter, age, and height of the requested 27 trees. Senior Planner Papelbon explained that, per Code, any tree removed between 12- and 29-inch diameter at breast height (DBH) has to be replaced at a minimum of 2.5 inch caliper, to ensure no reduction in the tree canopy. Senior Planner Papelbon went on to state the appreciation of a staggered tree replacement timeline suggestion, the tracking system to ensure all trees are replanted over 15 years would require multiple inspections to count and document location of the trees for compliance. Senior Planner Papelbon then proposed an additional small reduction in the number of trees to be replanted, instead of the staggered timeline to ensure occupancy can be granted as quickly as possible. Senior Planner Papelbon explained a landscape escrow would be an option but is only used when occupancy is to be granted outside planting seasons; no other policy is available to allow for the amount of leniency that is being asked. Commissioner Hanna stated her agreement with Senior Planner Papelbon, the staggering of the installation would defeat the purpose of the requirement and went on to state the staff's recommendation of 27 trees is very generous.

Mayor Bukiewicz stated the plan showing the replanted trees be three (3) feet or taller will need to be submitted in writing to conform to code. Senior Planner Papelbon clarified a chart was submitted, however the heights of some of the plants were missing. Mayor Bukiewicz stated his support for staffs suggested 27 trees be replanted, as opposed to a staggered timeline for replanting, Alderman Loreck's suggestions for the corner of the lot, vegetation as a buffer between the lot to the south and asked for clarification on the use and location of the trash enclosure. Senior Planner Papelbon indicated on the site plan the location of the residential garbage, explaining there is a four (4) foot fence around it, as well as the current fenced commercial garbage area, explaining the proposed changes and use of the area. Mayor Bukiewicz stated he concerns for the business not having commercial trash collection as the city requires all businesses to have them. Mayor Bukiewicz also made comments regarding the Life Safety Plan which were inaudible. Senior Planner Papelbon stated Assistant Fire Chief Havey has been contacted by the architect but has not received any life safety plans. Mayor Bukiewicz then asked what occupancy, residential or commercial, is being held in this process to which Senior Planner Papelbon answered that more information from either the architect or the state will need to be submitted to be able to make that determination.

Mayor Bukiewicz requested a condition to ensure a commercial garbage area be added to the motion of approval, stated his sympathies with the applicant, as well as had questions regarding the sign for the company. Senior Planner Papelbon explained the sign would need to meet all the requirements, per code, for a wall sign, including size. Mayor Bukiewicz then asked if there could be an additional agreement between the city and the applicant regarding the number of trees that must be replanted. Senior Planner Papelbon explained the proposed landscape plan shows all 54 trees to which Alderman Loreck confirmed. Alderman Loreck went on to state if every third tree on the proposed plan were to be planted, 26 trees would be planted. Commissioner Hanna asked if the diameter of the tree would be a determining factor. Senior Planner Papelbon stated the requirement specifies a mixture of certain kinds of tree, but staff is including the arbor vitae on the west to count toward the 27 replanted trees. Alderman Loreck suggested no less than 20 trees be replanted. Additional discussion between Alderman Loreck, Commissioner Hanna, and Mayor Bukiewicz regarding the replanting of the trees was had and was inaudible.

Senior Planner Papelbon asked for more information regarding Mayor Bukiewicz concern for the trash enclosure. Mayor Bukiewicz acknowledged the cost to build a masonry trash enclosure, other comments made were inaudible.

Mr. Heinen:

“Just to be aware, this – we are asking for office space. So, it’s not as though we are out running a construction company.”

Mayor Bukiewicz stated he has office space and is still required to have multiple dumpsters.

Mr. Heinen:

“I don’t we have a dumpster at our house (inaudible). Just telling you. I think that might be how he’s doing it. I don’t know (inaudible), he’s not wanting one anymore because he doesn’t want to spend the cost – he doesn’t want to spend the money on the masonry structure (inaudible) all this other stuff (inaudible). Maybe he will at some point, he might come back and ask for that.”

Mayor Bukiewicz stated his understanding and shared other solutions to build a less expensive masonry structure. Discussion amongst the Commission and Senior Planner Papelbon occurred regarding the requirements for commercial trash enclosures. Commissioner Hanna, Alderman Loreck, Alderman Guzikowski, and Mayor Bukiewicz stated their support of having a commercial trash receptacle on this site.

Senior Planner Papelbon suggested Condition 5 read as such, ‘existing 8-foot-tall wood fence around the trash receptacle is removed or reduced in height to a maximum of four feet and not used for outdoor storage or trash receptacles. Trash and or recycling receptacles retained on the property must be screened with a masonry enclosure in conformance with code requirements’ and for the condition to be met immediately, not over time.

Mr. Heinen:

“Four (4) feet or six (6) feet?”

Senior Planner Papelbon explained six (6) feet would be the minimum for an enclosure for trash receptacle.

Mr. Heinen:

“But for non-trash receptacle(inaudible).”

Senior Planner Papelbon stated six (6) feet would lend to outdoor storage and recommends the maximum height to be four (4) feet.

Mr. Heinen made comments that were inaudible.

Mr. Heinen:

"I think my client would ask for six (6) feet (inaudible) as opposed to four (4)."

Senior Planner Papelbon asked for what purpose.

Mr. Heinen:

"For the dog run."

Senior Planner Papelbon stated staff is supportive of four (4) feet and outdoor storage is not allowed.

Mr. Heinen:

"He does have a dog."

Alderman Loreck stated his support of staff's suggestion of the fence being four (4) feet tall.

Alderman Loreck moved that the Plan Commission approves the site and building plans submitted by Christopher Fink for a trash enclosure, parking lot expansion, and landscaping on the properties at 7101 & 7115 S. Pennsylvania Ave. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That the Certified Survey Map approved by the Common Council on May 2, 2023 is recorded prior to issuance of any permits for the property.
3. That a signed copy of the Conditions and Restrictions as part of the Conditional Use Permit approved by the Common Council is submitted to the Department of Community Development prior to submission of permit applications.
4. That the landscape plans are revised to meet all Code requirements for screening the parking area. Transition Zone C requirements on the south may terminate at the west garage line. A minimum of 27 trees outside of the Transition Zone shall be required in fulfillment of the Tree Preservation Ordinance.
5. That the existing 8-foot-tall wood fence around the trash receptacle is removed or reduced in height to a maximum of 4 feet and is not approved for outdoor storage or trash receptacles. Trash and/or recycling receptacles retained on the property shall be screened with a masonry enclosure in conformance with Code requirements.
6. That all required information for the sign – dimensions, materials, location, etc. - is provided as part of the sign permit application.
7. That a life safety plan is provided for review and approval by the Fire Department and Inspection Department prior to issuance of any permits and occupancy.
8. That all required permits (e.g., paving, green infrastructure, sign, etc.) are obtained prior to any further development or occupancy.

9. That all final plans (site, building, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

PLAN REVIEW

ROSEMARIE PATTERSON, HILLSIDE COFFEE HOUSE, LLC

237 E. RYAN RD.

TAX KEY NO. 907-9988-000

Zoning Administrator/Planner Brueckert provided an overview of the site, building, and related plans for an addition to the existing parking lot on the property at 237 E. Ryan Rd (see staff report for details).

Robert Patterson, 9060 S. Chicago Ct., representing Hillside Coffeeshouse, stated the hired paving company had not been able to provide the required elevations and drainage to show the intent of all drainage to flow into the property to the south, but the current grade of the lot supports what is required. Mr. Patterson went on to share two (2) of the staff-requested proposals have not yet been received either, and then asked for an extension of time to gather this information.

Mayor Bukiewicz stated the importance of the requested information to which Mr. Patterson agreed and ensured all the requirements will be met. Commissioner Carrillo asked for confirmation that only one (1) handicap parking stall currently exists for the building. Mr. Patterson answered in the affirmative and explained that with the additional stalls being added, an additional conversation will be had with the paving company to ensure the required number of handicapped stalls will be made. Commissioner Kiepczynski stated the proposed submissions for the grading plan sound acceptable. Alderman Guzikowski had no concerns over holding the item until the required documents are collected and submitted.

Senior Planner Papelbon confirmed with the applicant the next Plan Commission meeting would give adequate amount of time to collect documents to which Mr. Patterson agreed.

Commissioner Siefert moved that the Plan Commission HOLD until September 12, 2023, meeting, the site plans submitted by Hillside Coffeeshouse, LLC, for a parking lot expansion on the property at 237 E. Ryan Rd. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That plans are revised to show parking stall lengths that meet Code.
3. That a landscape plan is submitted that meets Code for parking lot perimeter and interior areas.
4. That a grading plan is submitted showing existing and proposed elevations, slopes, curb and gutter, and drainage.
5. That all revised plans (site, grading, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

SIGN PLAN REVIEW
NICK JUNG, F STREET OCLV, LLC
4005 E. LAKE VISTA PARKWAY
TAX KEY NO. 868-9005-000

Senior Planner Papelbon provided an overview of a proposed Sign Plan for the Coast apartment buildings at Lakeshore Commons development on the property at 4005 E. Lake Vista Parkway (Building Addresses: 9324 S. Breakwater Blvd. & 4178 E. Hemlock Dr (see staff report for details).

Commission Chandler asked for more information on what a projected sign is to which Senior Planner Papelbon used the small projecting signs within Drexel Town Square as examples to explain the type of signage. Commission Chandler then asked for clarification on which of the proposed signs will be projecting to which Senior Planner Papelbon indicated the smaller 'box' design located toward the southern end of the northern most apartment building.

Alderman Loreck asked for confirmation on the proposed location of the address shown on the plans to which Senior Planner Papelbon confirms. Commissioner Carrillo asked if the color of the signage will be the grey it is being displayed as to which Senior Planner Papelbon was unable to confirm.

Katie Monachos, RINKA 756 N. Milwaukee St., Milwaukee WI 53202, representing the applicant, explained the projected sign will be a grey box with white, raised acrylic letters mounted.

Alderman Loreck moved that the Plan Commission approves the sign plans submitted by Nick Jung, F Street OCLV, LLC, for the Lakeshore Commons property at 4005 E. Lake Vista Parkway (Buildings: 9324 S. Breakwater Blvd. & 4178 E. Hemlock Dr.) with the following conditions:

1. That all relevant Code requirements and conditions of the Traditional Neighborhood Development Planned Unit Development (TND PUD) remain in effect.
2. That the signs are included in the Master Sign Plan for the Lakeshore Commons development. The Master Sign Plan shall be reviewed and approved by the Plan Commission prior to submission of permit applications for all future signs in Lakeshore Commons.
3. That the projecting sign meets current Code requirements for size, height, and projection.
4. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn the meeting. Commissioner Siepert seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 7:33 PM.

ATTEST:

Kari Papelbon, Plan Commission Secretary

8-15-23

Date

DRAFT



Recent Common Council Actions

September 5 and 19, 2023

ITEM: 4

DATE: September 26, 2023

- **APPROVED** - Ordinance No. 3081, approving a Conditional Use Permit for a car wash facility on the property at 2440 W. Ryan Rd. (6th District)
- The Council approved a conceptual City organizational chart, and directed staff to begin implementation.

A handwritten signature in cursive script that reads "Kari Papelbon".

Kari Papelbon, CFM, AICP

Senior Planner



PLAN COMMISSION REPORT

Proposal: Plan Review – Parking Lot Expansion

Description: Site plan review for a proposed parking lot expansion

Applicant(s): Rosemarie Patterson, Hillside Coffeehouse LLC

Address(es): 237 E. Ryan Rd. (3rd Aldermanic District)

Suggested Motion: That the Plan Commission approves the site plans submitted by Hillside Coffeehouse, LLC, for a parking lot expansion on the property at 237 E. Ryan Rd. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That plans are revised to show parking stall lengths that meet Code.
3. That the landscape plan is revised to show plant height at installation, with a minimum height of 3 feet.
4. That all revised plans (site, grading, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Owner(s): Robert and Rosemarie Patterson

Tax Key(s): 907-9988-000

Lot Size(s): 1.091 ac

Current Zoning District(s): B-4, General Business

Overlay District(s): N/A
N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial

Background:

At the August 22, 2023 meeting, the Plan Commission held action on the proposal to allow the Applicant time to submit missing plans and information. Below is a list of conditions from the previous Plan Commission review, followed with updates.

- Landscape Plan – The applicant has submitted a landscape plan showing parking lot perimeter landscaping. These plans appear to meet requirements for perimeter landscaping. However, the plan should be revised to include height at planting for landscaping. Minimum height required at planting is 3 feet.
- Grading Plan – The applicant has submitted a grading plan for the property, which will require approval from Engineering.
- Parking stall length – Plans should be updated to show parking stall length to verify that they meet the minimum length of 18'. Based on other dimensions in the plan, they appear to meet this requirement, but the dimensions should be included in final plans.

Staff recommends approval with conditions, as shown in the suggested motion above.

August 22, 2023 Staff Report

The Applicant is requesting site plan approval for a proposed expansion to their parking lot to add sixteen (16) parking stalls on the northeast corner of the site. The parking lot expansion would be an extension of their existing parking lot, which contains thirteen (13) stalls, including one ADA accessible stall. As proposed, the parking lot expansion would eliminate four (4) parking stalls to create a drive aisle to the new parking area. The parking lot extension adds 4,906 square feet of impervious area to the site, which is below the threshold of 5,000 square feet, which would require the incorporation of green infrastructure.

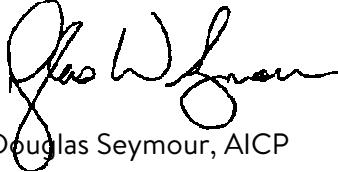
As proposed, the 24' wide drive aisle meets the dimensional standards per Sec. 15.0501(d). Parking stall widths are shown as 9' and 10' which meets Code. The plans are missing dimensions showing the length of parking stalls—for 90° parking stalls, a minimum length of 18' is required. Plans should be revised to show this dimension.

Submitted plans are missing some required elements for approval, including a landscape plan. The submitted plan shows the parking lot extension with an 18' setback, which allows space for the required 15' parking lot perimeter landscaping. For approval, a landscape plan must meet the standards of Sec. 17.0505 (1) and (2) showing both parking lot perimeter area and parking lot interior area. The proposed parking lot layout does not include areas for required landscape islands; staff has provided a suggested configuration that includes the same number of parking spaces with landscape islands shown. This concept is just an example that would meet Code and revised plans could use an alternate configuration that meets Code requirements.

Grading plans showing existing and proposed elevations, slopes, and drainage have also not been received; the Applicant should coordinate with the Engineering Department on approval for a grading plan.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



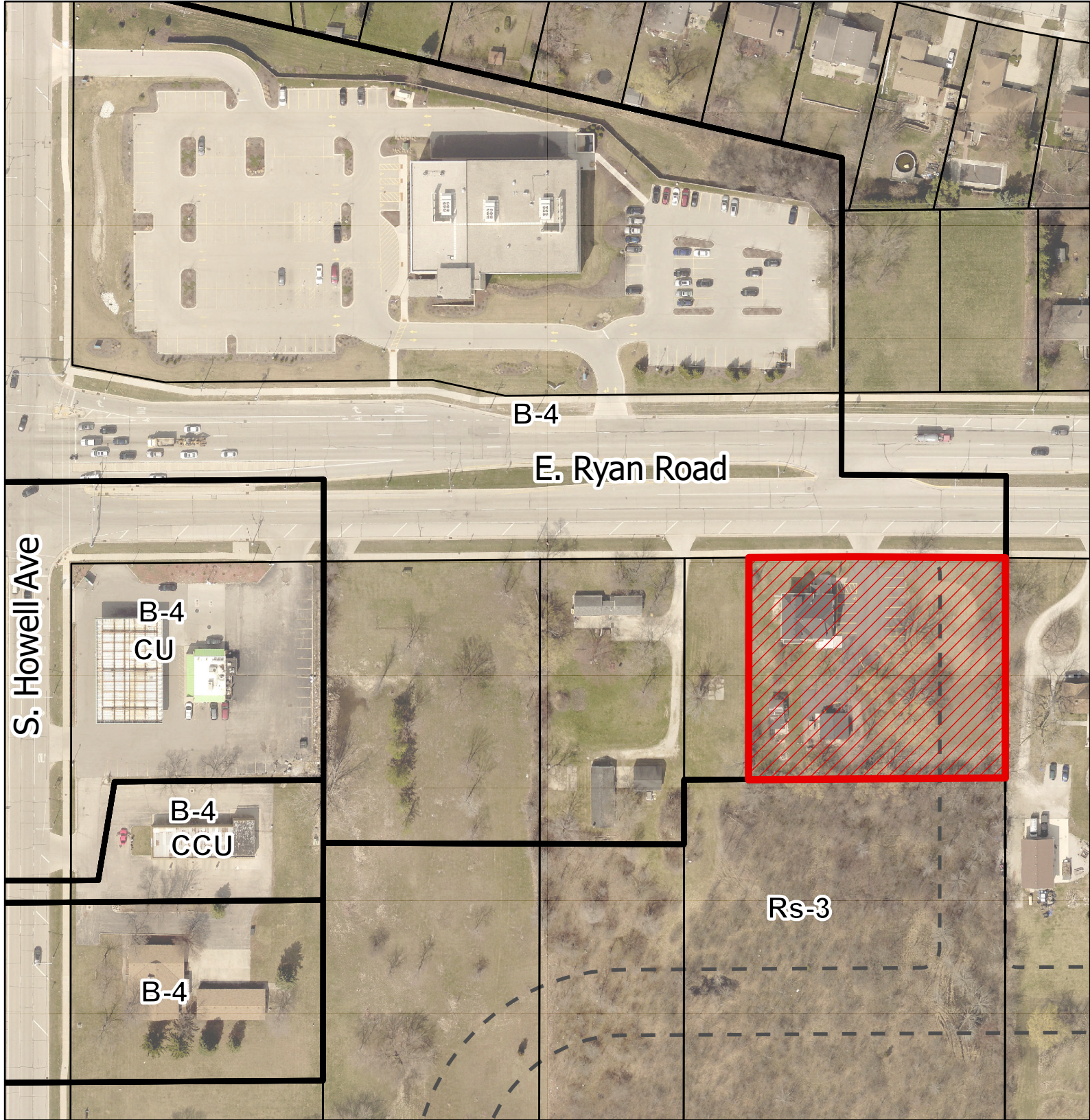
Sylvia Brueckert
Zoning Administrator/Planner

Attachments:

- Location Map
- Narrative (1 page)
- Site Plan (1 page)
- Grading Plan (1 page)
- Landscaping Plan (1 page)

Notification Map

237 E. Ryan Road



This map is not a survey of the actual boundary of the property this map depicts



Legend

- Zoning
- Official Street Map
- Flood Fringe
- Parcels
- Floodway
- 237 E Ryan Road

RECEIVED

JUL 19 2023

7-19-23

CITY OF OAK CREEK

CITY OF OAK CREEK,

ATTN: KARI PAPELSON

PLEASE BE ADVISED THIS IS OUR APPLICATION
OF PROPOSED PARKING LOT EXPANSION FOR
HILLSIDE COFFEE HOUSE, LOCATED AT 237 E. RYAN RD.

TAX KEY: 9079988000

ANY QUESTIONS PLEASE CALL MY CELL PHONE
AT: 414-581-3408

THANK YOU,

ZEKE PATTERSON

E-MAIL: PATTERSONRF@AOL.COM.

Untitled Map

Write a description for your map.

RECEIVED

JUL 19 202

CITY OF OAK CR

Legend



Blacktop Area
Paint Marked Areas

~ 4,906 S. F.

18'

24'

9' +/-

10'

4'

10'

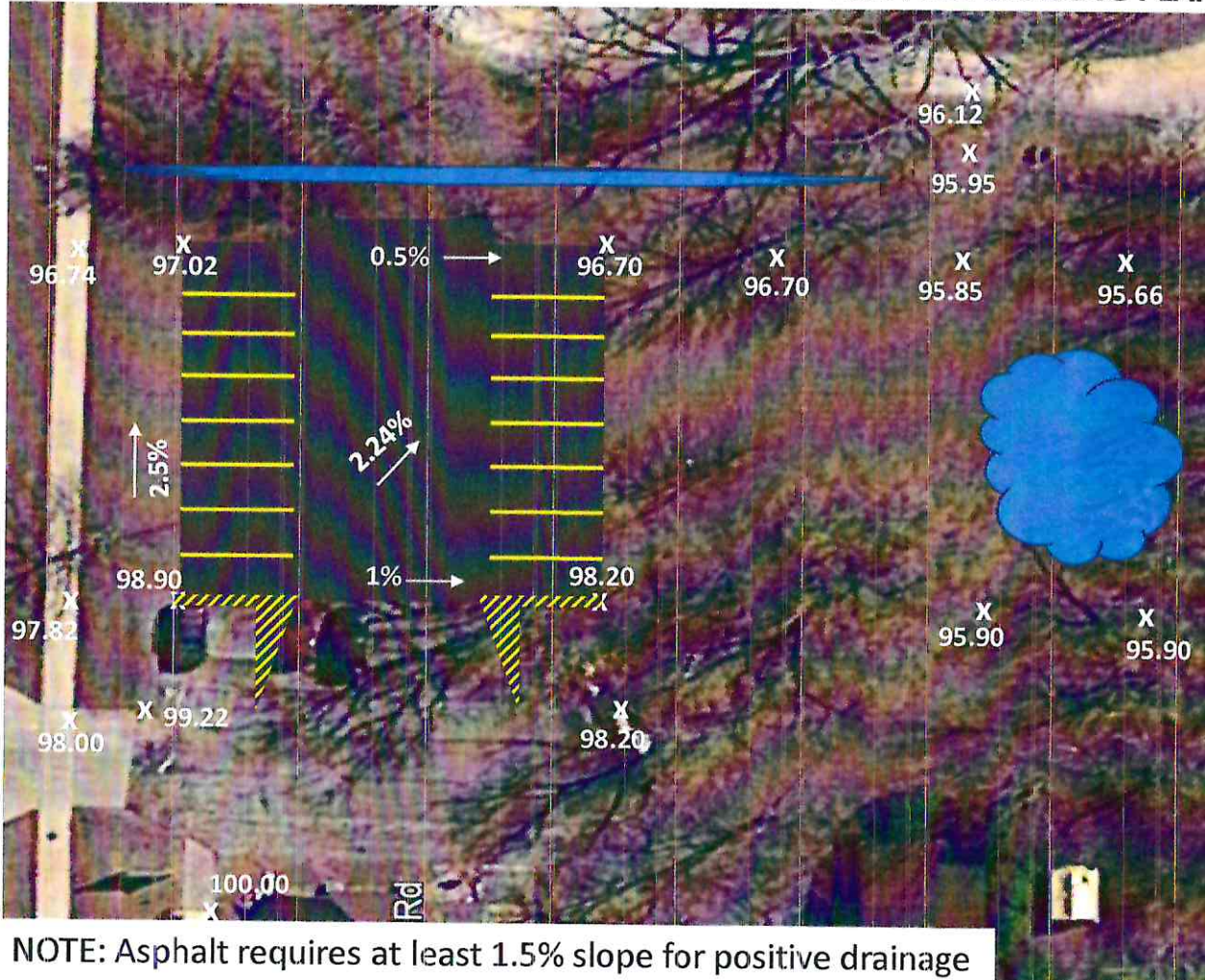
47'


65'

North Arrow

237 East Ryan Road, Oak Creek, WI

EXISTING GRADING PLAN

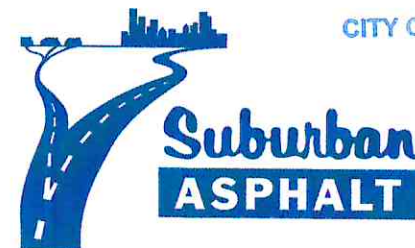


XXX.XX = Existing Elevation
X.XX% = Existing Slope
 = Drainage Area

RECEIVED

AUG 30 2023

CITY OF OAK CREEK



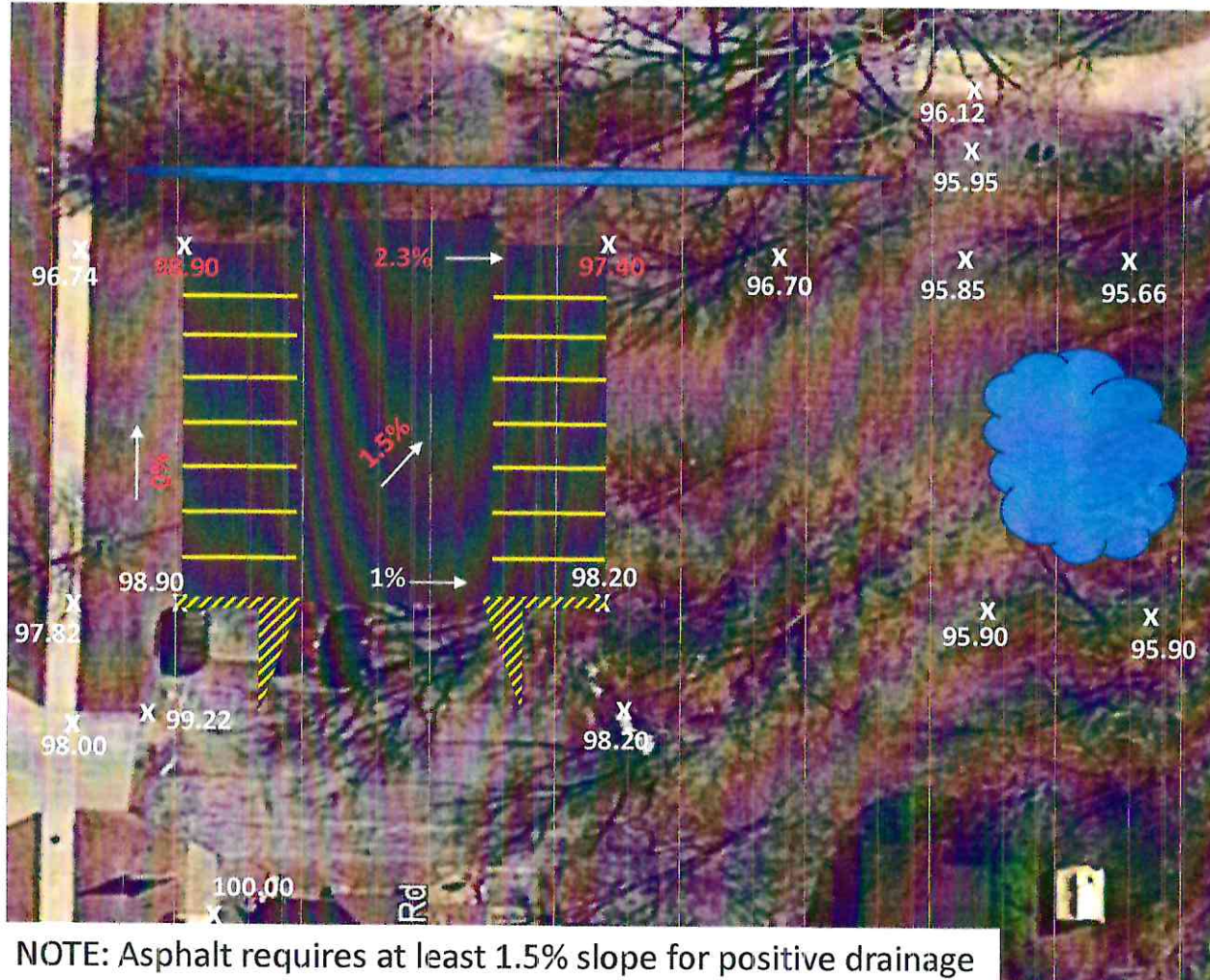
RECEIVED

AUG 30 2023

CITY OF OAK CREEK

237 East Ryan Road, Oak Creek, WI

PROPOSED GRADING PLAN



XXX.XX = Existing Elevation
X.XX% = Existing Slope
☁ = Drainage Area
XXX.XX = Proposed Elevation
X.XX% = Proposed Slope



RECEIVED

SEP 19 2023

CITY OF OAK CREEK

ERYAN RD.

EXISTING PARKWAY LAWN

EXISTING APPROACH

EXISTING LAWN

EXISTING SUGAR MAPLE
3-DENSIFORMIS YEW

1-DUF. KOREAN LILAC

3-LIMEIGHT HYDRANGEA

VINYL EDGING
WOOD MULCH

1-DUF. KOREAN LILAC

3-DENSIFORMIS YEW

WOOD MULCH

73 FT

3 FT

1-PYRAMIDAL EUROPEAN
HORNBEEAM

1-PYRAMIDAL EUROPEAN
HORNBEEAM

VERSALOK RETAINING WALL BLOCK
AND CAP RETAINING WALL - (BELGARD)

EXISTING
SHRUBS

EXISTING PARKING LOT

PROPOSED NEW PARKING LOT

SEED AND STRAW MAT



LIMEIGHT HYDRANGEA



DUF. KOREAN LILAC



DENSIFORMIS YEW



PYRAMIDAL EUROPEAN HORNBEEAM

PLANTING SCHEDULE

QTY.	COMMON NAME	BOTANICAL NAME	SIZE
3	LIMEIGHT HYDRANGEA	HYDRANGEA PANICULATA 'LIMEIGHT'	#5 CONT.
2	DUF. KOREAN LILAC	SYRINGA MEYER 'PALIBY'	#5 CONT.
6	DENSIFORMIS YEW	TAXUS X MEDIA 'DENSIFORMIS'	#5 CONT.
2	PYRAMIDAL E. HORNBEEAM	CARPINUS BETULUS 'FASTIGIATA'	15-2' CONT.

DATE 9-18-23	Milaager's LANDSCAPE DESIGN & INSTALLATION 408 South Main St., Suite 100, Oak Creek, WI 53151 Tel: 414-224-7111 Fax: 414-224-7112	NORTH
SCALE 1"=10'-0"		
DRAWN BY M. Rosinski	HILLSIDE COFFEE HOUSE 271 E. PLYMOUTH OAK CREEK, WI 53151	

LANDSCAPE PLAN

1-0"=10'-0"

FROM: HILLSIDE COFFEE HOUSE



VERSALOK RETAINING WALL BLOCK/CAP (BELGARD)



PLAN COMMISSION REPORT

Proposal: Conditional Use Permit – Indoor Health / Athletic / Recreation Facility

Description: Review a request for a Conditional Use Permit for a proposed indoor health/athletic/recreation facility within a portion of the existing multitenant industrial building on the property at 400 W. Bell Ct.

Applicant(s): Jeffrey Piejak, Ultimate Ninjas Chicago, LLC (dba Ultimate Ninjas Milwaukee)

Address(es): 400 W. Bell Ct. (6th Aldermanic District)

Suggested Motion: That the Plan Commission recommends that the Common Council approves a Conditional Use Permit for an indoor health/athletic/recreation facility on the property at 400 W. Bell Ct., after a public hearing and subject to Conditions and Restrictions that will be prepared for the Plan Commission’s review at the next meeting (October 10, 2023).

Owner(s): TOWER 9 COMMERCIAL - OAK CREEK LLC

Tax Key(s): 828-9024-000

Lot Size(s): 5.18 ac

Current Zoning District(s): M-1, Manufacturing

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Industrial

Background:

The Applicant is requesting recommendation of Conditional Use approval for an indoor health/athletic/recreation facility within a portion of the existing multitenant industrial building on the property at 400 W. Bell Ct. Indoor health/athletic/recreation facilities are Conditional Uses in the M-1, Manufacturing district.

Ultimate Ninjas will provide an indoor obstacle course-style gym similar to the television series per the submitted narrative. Up to 10 employees are anticipated during weekends with parties scheduled. Details for typical weekday operations are in the table below.

	Hours	Employees
Adult Fitness	5:30 AM – 11:00 PM	1
Lil’ Ninjas	11:00 AM – 1:30 PM	3
Ultimate Ninjas	4:00 – 8:30 PM	4-5

Peak occupancy of approximately 20 kids plus adult guardians is between 4:00 and 7:00 weekdays, and up to 45 children with 45 adults for weekend parties (noon – 4:00 PM). No regular deliveries besides pizzas for parties are anticipated, and no exterior modifications to the site or building are proposed.

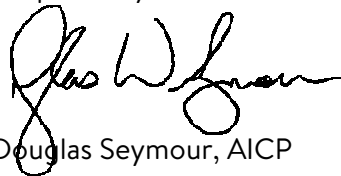
Plans originally approved in 2001 included 99 parking stalls to serve all tenants in the 51,600 square-foot building. Current parking requirements for indoor health/athletic/recreation facilities are one (1) stall for every three (3) patrons at maximum capacity, which equates to approximately 30 stalls for weekend party capacity. This does not take into consideration whether the facility is for adults, children, or a combination thereof, nor does it specify parking for employees. Per the submitted narrative, the employees are expected to parking in the loading dock area since deliveries are not required for the use. While staff do not have a complete list of the other tenants and their hours of operation, it can be reasonably assumed that night and weekend hours for the proposed use will not dramatically affect parking needs. Parking management for leased suites will be the responsibility of the landowner and/or their property management company.

NOTE: The Commission’s initial review and recommendation of the proposed Conditional Use Permit is not an endorsement of any site, architectural, landscaping, or lighting plan that may be required as part of the final Conditional Use Permit. A more detailed review of any plans required by the Conditional Use Permit will be conducted by staff and the Plan Commission as required subsequent to the issuance of the Conditional Use Permit and accompanying conditions and restrictions.

Should the Plan Commission determine that the request for a Conditional Use Permit for an indoor health/athletic/recreation facility is appropriate, Conditions and Restrictions will be prepared for the Plan Commission’s review at the October 10, 2023 meeting.

Options/Alternatives: The Plan Commission has the discretion to recommend or not recommend Common Council approval of the Conditional Use Permit request. Should the request not be recommended for Council approval, Plan Commissioners must provide the Code Sections upon which the denial is based, and the Applicant may choose to request Council approval without recommendation. In that case, the Council would have the authority to approve the request, and remand the proposal back to the Plan Commission for Conditions and Restrictions.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Senior Planner

Attachments:

Location Map

Narrative (8 pages)

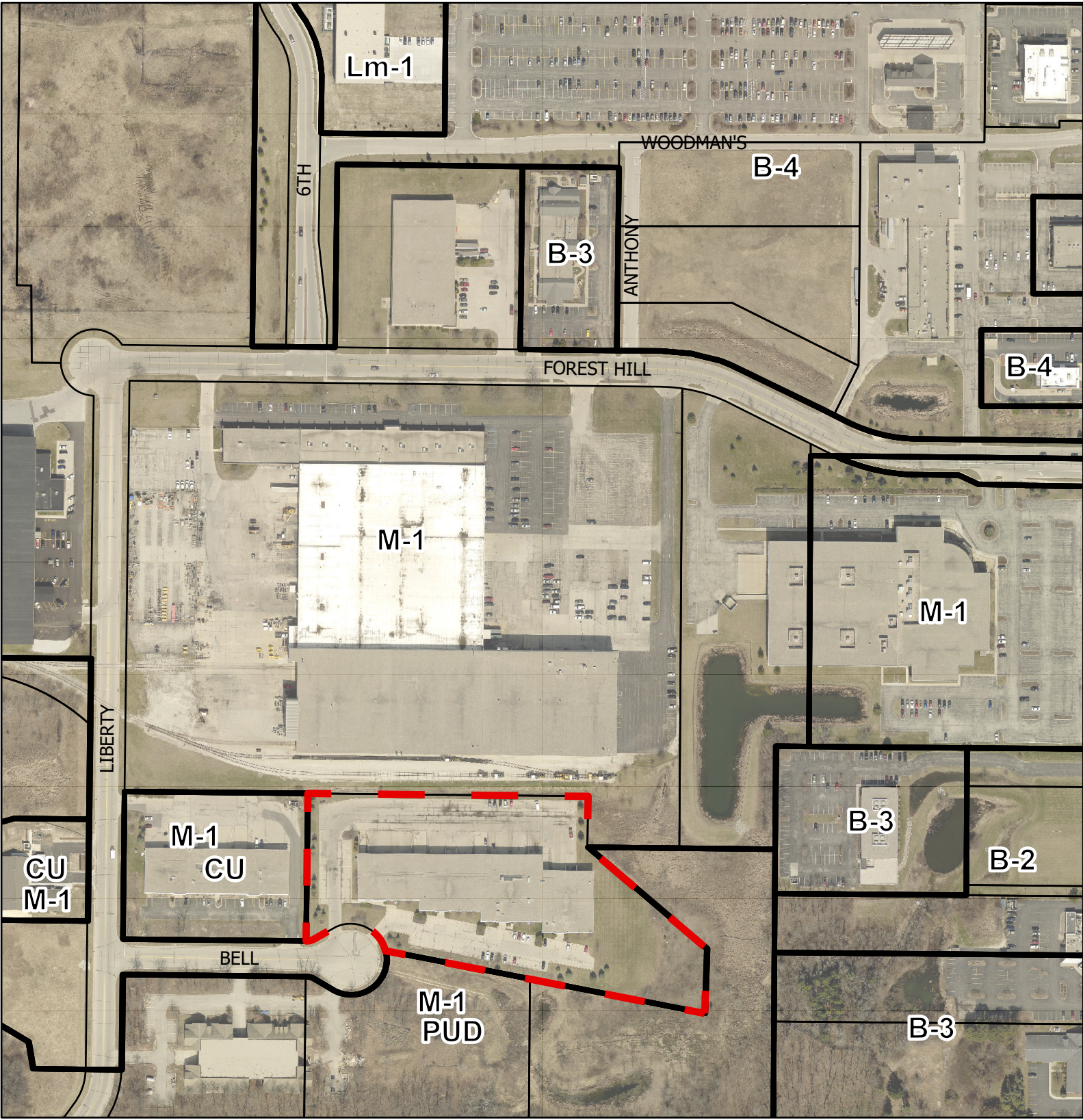
Email with additional info (1 page)

Alta Survey (1 page)

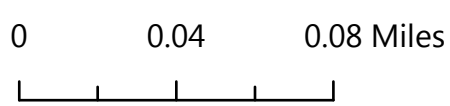
Floor Plan (1 page)

Location Map

400 West Bell Court



This map is not a survey of the actual boundary of the property this map depicts



Legend

- Zoning
- Flood Fringe
- Official Street Map
- Parcels
- Floodway
- 400 West Bell Court

NARRATIVE:

ULTIMATE NINJAS is a nationwide brand that operates several gymnasiums. There are gyms in Indianapolis, metropolitan Chicago and St Louis. The proposed Oak Creek site will be the first in Wisconsin. It has a direct relationship with the popular television show in that the facilities are run by actual contestants. And the courses mirror the show's courses. The gyms are set up as a series of obstacle courses and test full body fitness, balance and agility. They are "all ages" facilities. The majority of users are youth. They have been quite popular destinations for birthday parties. Previous locations have proven to be good neighbors in their locale and are assets to the communities in which they reside.

The primary busy hours are evenings and weekends. For many of the party events, children are dropped off and picked up at the end of the event. (The proximity to City Center and surrounding retail is one of the attributes of this site). In addition, observation areas are also provided for those who wish to remain present outside of the activity area.

Following is a point by point response to the conditions for conditional use.

(e)

Conditional use permit.

(1)

Applicability. Uses designated under the various zoning districts herein as conditional uses are so classified because they may have site-specific impacts that require the discretionary review of the Common Council. The following procedure is established to integrate the conditional uses properly with other land uses located in the district. These uses shall be reviewed and authorized or denied according to the following procedure. **The proposed use is a gymnasium which is listed as a conditional use in the zoning ordinance.**

(2)

Application. Applications for conditional use permits shall be submitted to the Community Development Director or their designee and shall include, but not be limited to the following where pertinent and necessary for proper review by the Plan Commission. **See form submittal.**

a.

Names and addresses of the applicant, owner of the site, architect, professional engineer, contractor, and all opposite and abutting property owners of record. **See form submittal**



Architect- Bleck & Bleck Architects LLC, 200 E Church St, Libertyville, IL 60048 WI license No 8711-005

Contractor- TBA

b.

Description of the subject site by lot, block, and recorded subdivision or by metes and bounds; address of the subject site; type of structure; proposed operation or use of the structure or site; number of employees; and the zoning district within which the subject site is located. [See attached ATLA survey dated 09-07-2016](#)

c.

Site plan including the information required by the Community Development Director or their designee. [See site plan submittal. Note there is no proposed sitework. Since this client is not likely to need shipping docks, we have designated an area in the shipping zone for employee parking. The number of spaces available there exceed the number of employees.](#)

d.

Additional information as may be required by the Plan Commission, City Engineer, Building Commissioner, Plumbing Inspector, Electrical Inspector, or Fire Inspector. [OK](#)

(3)

Conditional use permit review criteria. A conditional use permit may be granted upon finding in the review of the application that all applicable use specific provisions per Article **IV** of this Zoning Ordinance as well as the following criteria are met. A negative finding of fact on any of the following criteria shall require a negative vote on the application as a whole. [OK](#)

a.

The establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, or general welfare. [All operations to occur within the structure.](#)

b.

The establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. [This activity will not have an adverse effect of the future development for the surrounding parcels.](#)

c.

Adequate utilities, access roads, drainage, parking supply, internal circulation improvements, including but not limited to vehicular, pedestrian, bicycle, and other



necessary site improvements have been or are being provided. All necessary site needs and functions are in place.

d.

Measures have been or will be taken to provide adequate ingress and egress and designed to minimize traffic congestion and to ensure public safety and adequate traffic flow, both on-site and on the public streets. The parking and traffic flow are adequate for this use. The code states 1 space per 3 occupants. The user base is varied between adults (during early morning and evenings) and youth parties with a portion of the parents staying for observation while others do drop off / pick up. It should be noted that these activities occur outside of normal business hours.

Currently the site has 95 parking spaces. The subject space occupies approximately 15,600sf. The balance of the building is 34,000sf. Of that 34,000sf space assuming a generous mix of 35/65 split of office to manufacturing the result would be 11900sf office to 22100sf manufacturing. Using the M1 parking requirement of 1 space per 1500sf and 1 space per 300sf office would require 55 spaces. (40+15) That would leave 40 available spaces for this tenant which would accommodate 120 persons. Currently most of their facilities use about 20 spaces. Also note loading areas at the rear of the property can be utilized for employee parking (at least 8 additional spaces).

e.

The conditional use conforms to all applicable regulations of the district in which it is located. We believe this to be true.

(4)

First review and recommendation by the Plan Commission. At the first review and recommendation meeting, the Plan Commission shall review the conditional use permit application against the review criteria and all other provisions of this Zoning Ordinance and recommend that the application be advanced to the second review and recommendation meeting or be denied. **OK**

(5)

Second review and recommendation by the Plan Commission. At the second review and recommendation meeting, the Plan Commission shall establish the conditions by which the



conditional use permit shall be considered by the Common Council or recommend to the Common Council that the application be denied. [OK](#)

(6)
Review and action by the Common Council. The Common Council shall hold a public hearing on each application giving public notice as required by this article. The Council may subsequently approve, approve with conditions, or deny the issuance of the conditional use permit, or require the submittal of a modified application. The conditional use permit shall be granted or denied in writing. [OK](#)

(7)
Conditions and restrictions. The City may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance or by the Plan Commission. [Understood](#)

(8)
Notice to DNR. The Plan Commission shall transmit a copy of each application for a conservancy conditional use in the C-1 Shoreland Wetland Conservancy District to the Wisconsin Department of Natural Resources (DNR) by certified mail at least 10 days prior to the public hearing. Final action on the application by the Common Council shall not be taken for 30 days from the date the DNR receives notice of public hearing by certified mail or until the DNR has made its recommendation, whichever comes first. A copy of all shoreland conservancy conditional use decisions shall be transmitted to the DNR within 10 days following the decision. [With no site work or unusual discharge from this user, this should be a moot point.](#)

(9)
Expiration of approval. The conditional use permit shall expire within no less than 12 months of the date of issuance of the permit if no work has commenced. The issuance of the building permit shall constitute commencement of work. The conditional use permit shall remain valid only so long as the building permit shall remain valid. The time period to commence work and to complete the project shall be determined by the Plan Commission; and both, if not complied with, shall warrant consideration for revocation of the conditional use permit in accordance with § 17.0804(e) of this article. [OK](#)

(10)
Amendments. Changes subsequent to the initial issuance of a conditional use permit which would substantially affect the conditions listed this article shall require an amendment to the



conditional use permit. The process for amending a permit shall generally follow the same procedures as those required for granting a conditional use permit as set forth in this section.

OK

(11)

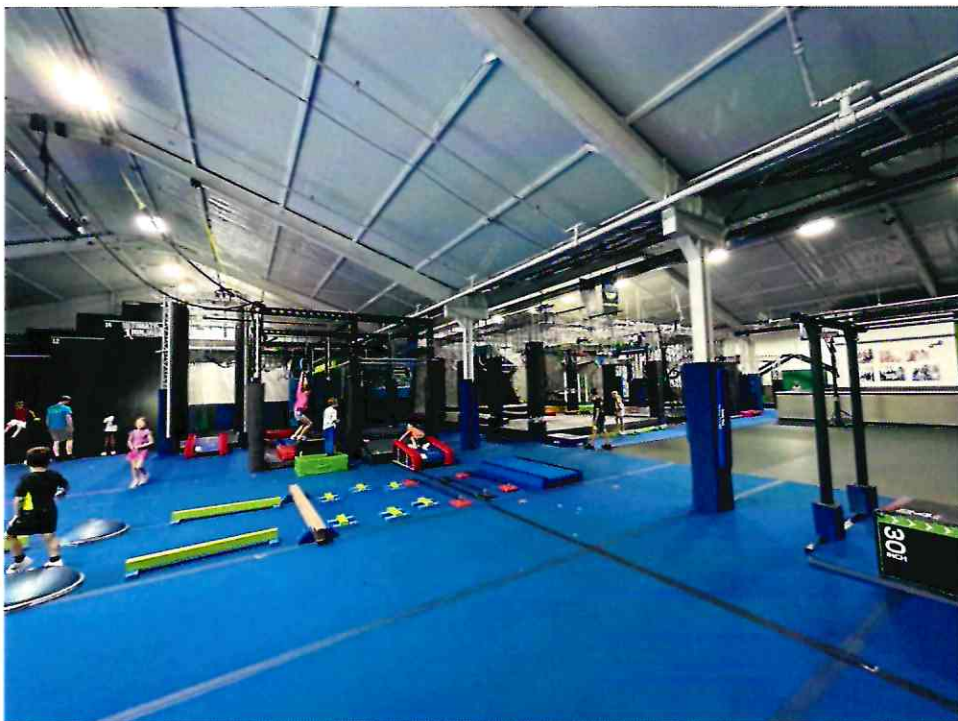
Revocation of conditional use permit. Should a conditional use permit applicant, their heirs or assigns, fail to comply with the conditions of the permit issued by the Community Development Director or their designee or should the use, or characteristics of the use be changed without prior approval by the Common Council, the conditional use permit may be revoked. The process for revoking a permit shall generally follow the same procedures as those required for granting a conditional use permit as set forth in this section. OK

(12)

Existing conditional uses. All uses existing on the effective date of this article which would be classified as conditional uses in the particular districts concerned, if they were to be established after the effective date of this article, are hereby declared to be conforming conditional uses. Any proposed change or expansion, including signage and parking, of the existing operation shall be subject to the conditional use procedures and regulations in this section, as if such use were being newly established. OK

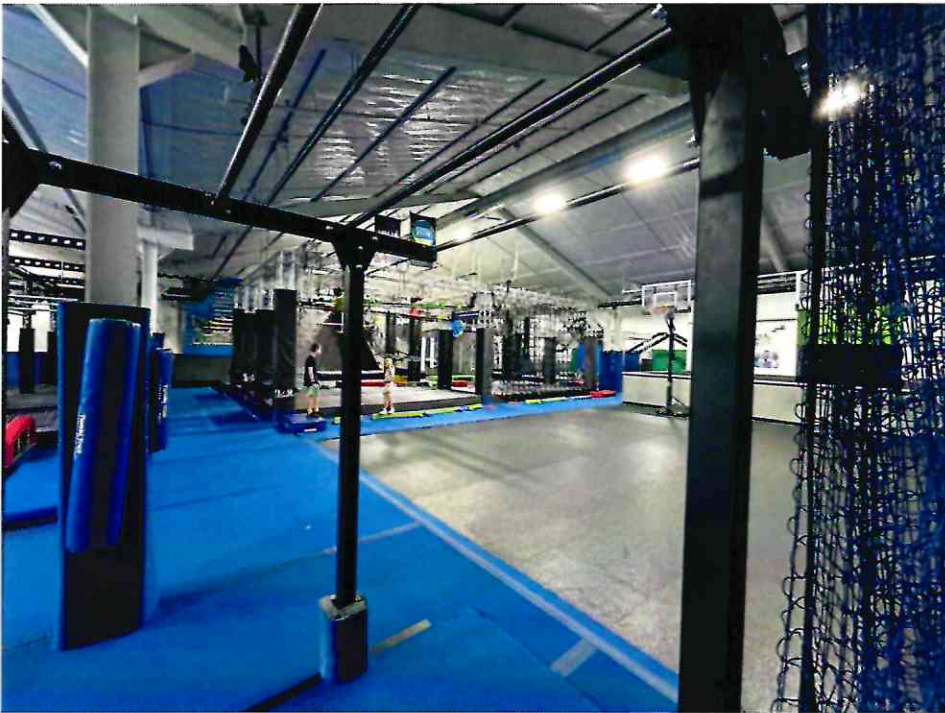
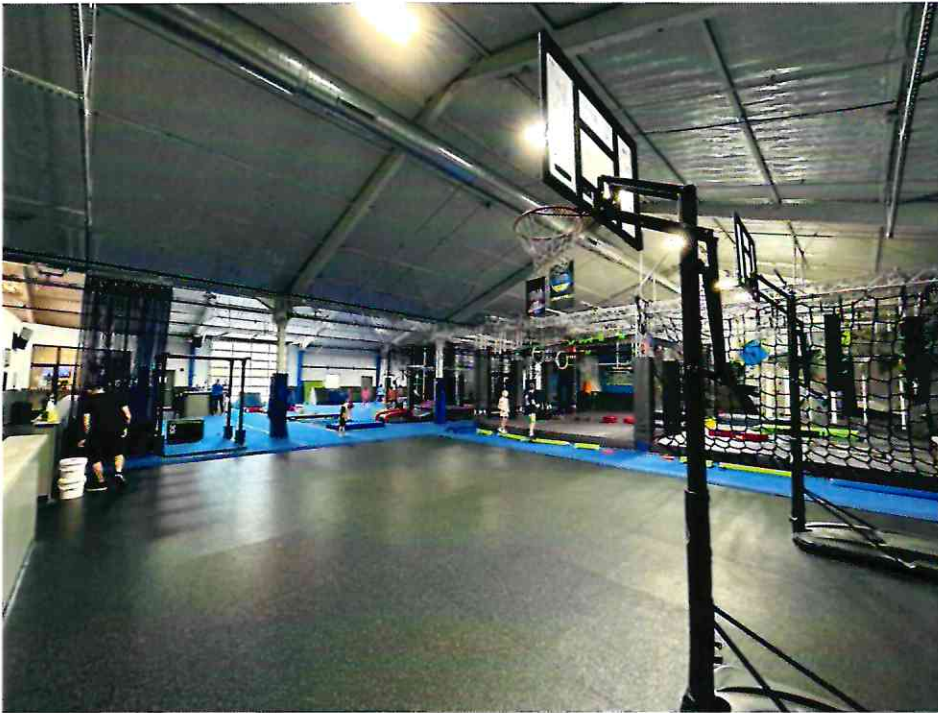


PHOTOS OF OTHER ULTIMATE NINJAS FACILITIES



Bleck&Bleck Architects LLC

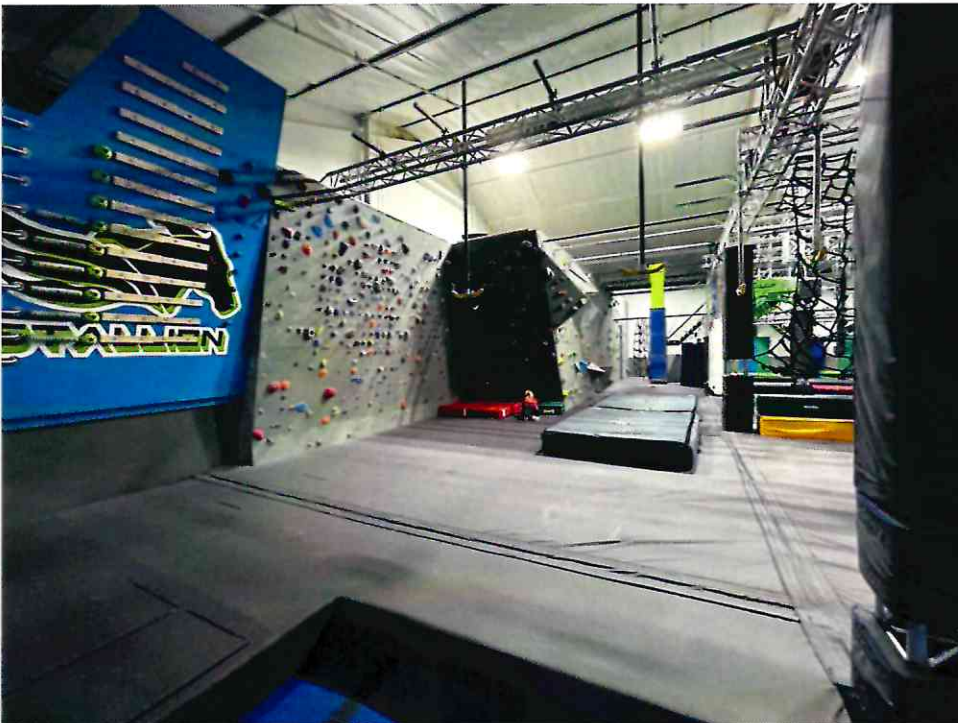
ARCHITECTURE • DESIGN • ENGINEERING



©Bleck & Bleck Architects, LLC | 200 E. Church St. | Libertyville, IL 60048 | *tel* 847.247.0303 | *fax* 847.247.1737
cbleck@bleckarchitects.com | rbleck@bleckarchitects.com | www.bleckarchitects.com

Bleck&Bleck Architects LLC

ARCHITECTURE • DESIGN • ENGINEERING



Kari Papelbon

From: Robert Bleck <rbleck@bleckarchitects.com>
Sent: Monday, September 11, 2023 3:46 PM
To: Kari Papelbon
Cc: Mike Silenzi; Jeff Piejak
Subject: RE: [EXTERNAL] NINJA gym

Kari,

The population load varies throughout the day/ week. Per the description below, peak times are birthday parties on the weekends. Moderate level of activity in late afternoon / evenings.

M-F
Adult fitness 530am-11pm (1 employee)
Lil ninjas 11am-130pm (3 employees) small children
Ultimate ninjas 4-830pm(4-5 employees) youth and young adults

Sat/sun, birthday parties
9am-8pm (8-10 employees)

Peak patron times, M-F, 4-7pm approximately 20kids in the gym, plus a handful of parents staying to watch with majority typically dropping off.

Busiest, patron opportunity is Sat/Sun from noon to 4pm. We could have up to 3 birthday parties in facility. Average size of 15 kids per party, 45 kids and approximately 45 adults.

No regular deliveries except pizzas for parties on Saturdays. The boxes for those are the primary trash generated.

Robert Bleck

P: 847.247.0303
F: 847.247.1737
C: 224.522.8965

Bleck&Bleck Architects LLC
ARCHITECTURE • DESIGN • ENGINEERING

200 E. Church Street, Libertyville, IL 60048

BleckArchitects.com
Facebook.com/BleckArchitects
Twitter.com/BleckArchitects

From: Kari Papelbon [mailto:kpapelbon@oakcreekwi.gov]
Sent: Monday, September 11, 2023 11:51 AM
To: Robert Bleck <rbleck@bleckarchitects.com>
Subject: RE: [EXTERNAL] NINJA gym

Bob,

ALTA/NSPS LAND TITLE SURVEY

CLIENT

The Dickman Company

SITE ADDRESS

400 West Bell Court, City of Oak Creek, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION

Parcel 2 of Certified Survey Map No. 7016, recorded on October 17, 2001, Reel 5181, Images 3054 to 3056 as Document No. 8152524, being a revision of Parcel 1 of Certified Survey Map No. 6549 and Parcel 3 of Certified Survey Map No. 3011, all part of the Northeast 1/4 and the Southeast 1/4 of Section 17, Town 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin.

TITLE COMMITMENT

This survey was prepared based on Chicago Title Insurance Company Commitment No. CO-6149, effective date of March 31, 2017 which lists the following easements and/or restrictions from schedule B-II:

1, 5, 6, 7 & 8 visible evidence shown, if any.

2, 3, 4, 9, 11, 12 & 13, not survey related.

10. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies, and Wisconsin Bell, Inc., a Wisconsin corporation doing business as SBC Wisconsin, for utility purposes, recorded on August 5, 2004, as Document No. 8837492. **Affects property by location, shown.**

BASIS OF BEARINGS

Bearings are referenced to the East line of South Liberty Lane, which is assumed to bear North 00°41'14" East

LAND AREA

The Land Area of the Parcel 1 subject property is 225,894 square feet or 5.1857 acres.

PARKING SPACES

There are 90 regular parking spaces and 8 handicap space marked on this site.

FLOOD NOTE

According to the flood insurance rate map of the County of Milwaukee, Community Panel No. 5502790168E, effective date of September 26, 2008, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

MUNICIPAL ZONING

Municipal Code: Sec. 17.0317.

Site is zoned: M-1 (Manufacturing District)

e. Building Height and Area:

(1) No principal building or parts of a principal building shall exceed fiftyfive (55) feet in height.

(2) The sum total of the floor area on all floors of the principal building and all accessory buildings shall not exceed eighty (80) percent of the lot area.

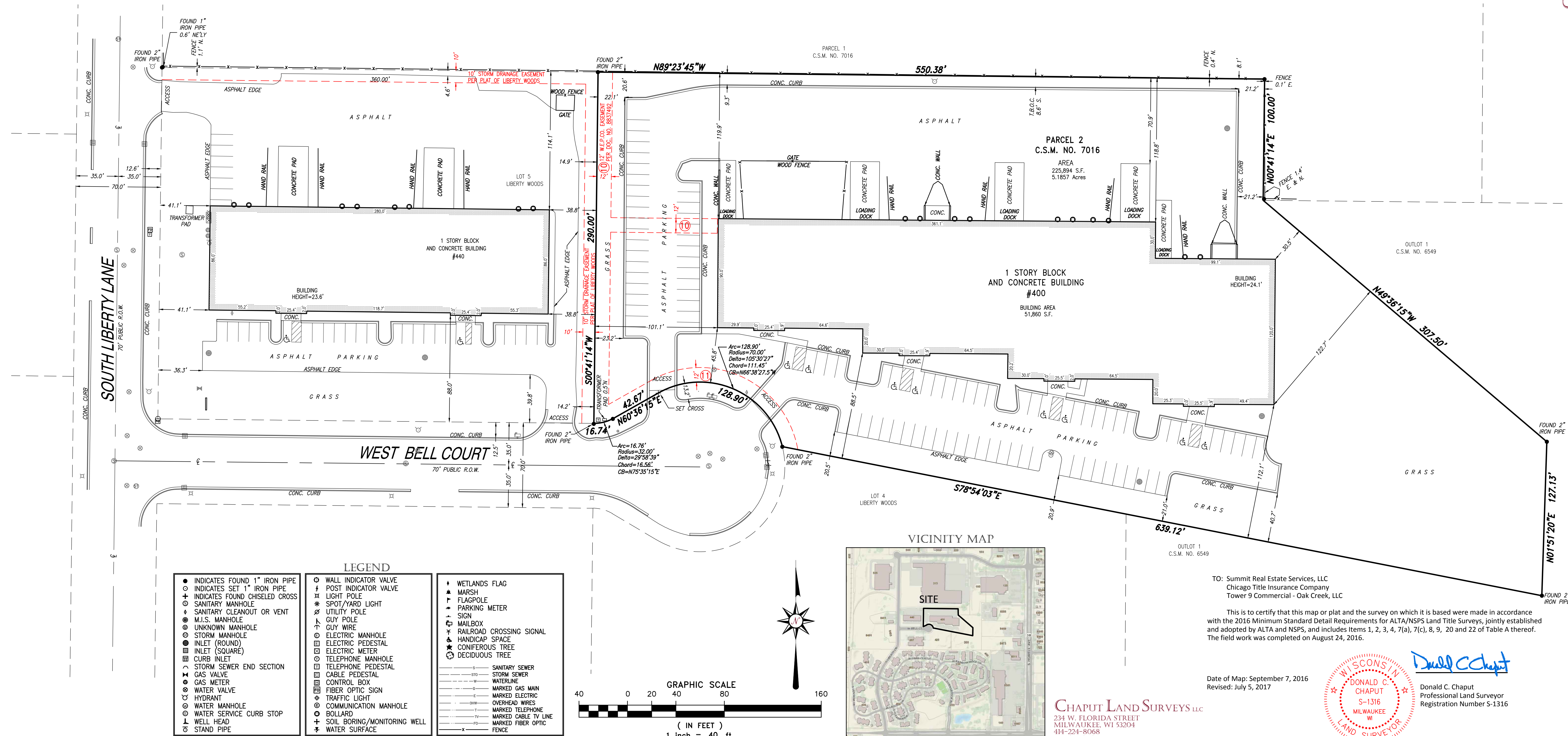
f. Setbacks:

(1) There shall be a minimum front setback of forty (40) feet from the right-of-way of all streets.

(2) There shall be a side setback on each side of all buildings of not less than twenty (20) feet. Side yards abutting a railroad right-of-way or storm water drainage channel at least twenty (20) feet in width may be reduced to fifteen (15) feet.

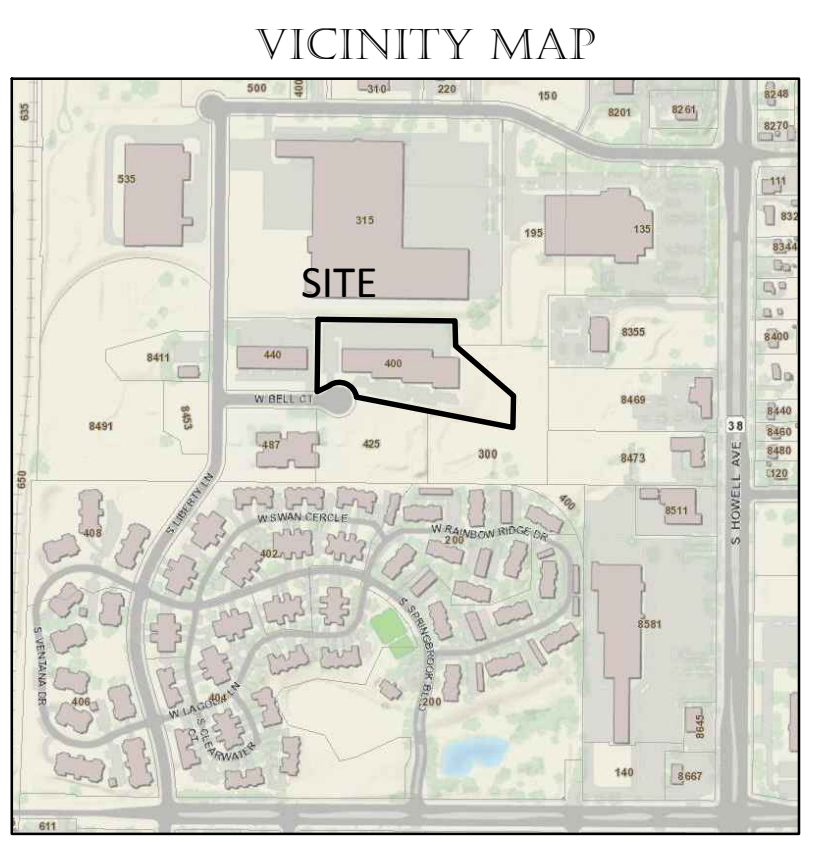
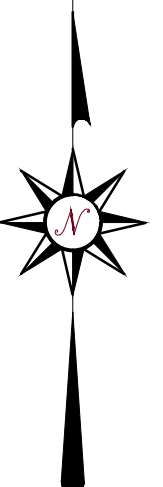
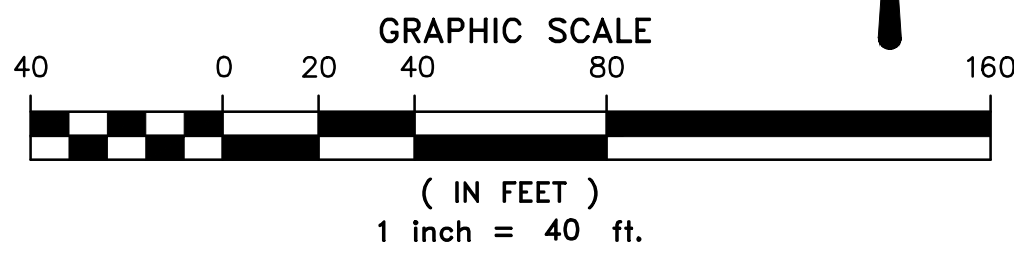
(3) There shall be a rear setback for all buildings of not less than twenty (20) feet. Rear yards abutting a railroad right-of-way or storm water drainage channel that is at least twenty (20) feet in width may be reduced to ten (10) feet.

(4) No building, structure or land within 100 feet of a residence district boundary line shall be used in connection with the operation of any establishment except off-street parking and off-street loading may be located within this area in accordance with regulations set forth in Section 17.0402 and 17.0403 of this Chapter.



LEGEND

● INDICATES FOUND 1" IRON PIPE	⊕ WALL INDICATOR VALVE	▲ WETLANDS FLAG
⊕ INDICATES SET 1" IRON PIPE	⊕ POST INDICATOR VALVE	▲ MARSH
+ INDICATES FOUND CHISELED CROSS	⊕ LIGHT POLE	▲ FLAGPOLE
⊕ SANITARY MANHOLE	* SPOT/YARD LIGHT	▲ PARKING METER
⊕ SANITARY CLEANOUT OR VENT	⊕ UTILITY POLE	▲ SIGN
⊕ M.I.S. MANHOLE	⊕ GUY POLE	▲ MAILBOX
⊕ UNKNOWN MANHOLE	⊕ GUY WIRE	▲ RAILROAD CROSSING SIGNAL
⊕ STORM MANHOLE	⊕ ELECTRIC MANHOLE	▲ HANDICAP SPACE
⊕ INLET (ROUND)	⊕ ELECTRIC PEDESTAL	▲ CONIFEROUS TREE
⊕ INLET (SQUARE)	⊕ ELECTRIC METER	▲ DECIDUOUS TREE
⊕ CURB INLET	⊕ TELEPHONE MANHOLE	— SANITARY SEWER
⊕ STORM SEWER END SECTION	⊕ TELEPHONE PEDESTAL	— STORM SEWER
▲ GAS VALVE	⊕ CABLE PEDESTAL	— WATERLINE
▲ GAS METER	⊕ CONTROL BOX	— MARKED GAS MAIN
▲ WATER VALVE	⊕ FIBER OPTIC SIGN	— MARKED ELECTRIC
▲ HYDRANT	⊕ TRAFFIC LIGHT	— OVERHEAD WIRES
▲ WATER MANHOLE	⊕ COMMUNICATION MANHOLE	— MARKED TELEPHONE
▲ WATER SERVICE CURB STOP	⊕ BOLLARD	— MARKED CABLE TV LINE
▲ WELL HEAD	⊕ SOIL BORING/MONITORING WELL	— MARKED FIBER OPTIC
▲ STAND PIPE	▲ WATER SURFACE	— FENCE



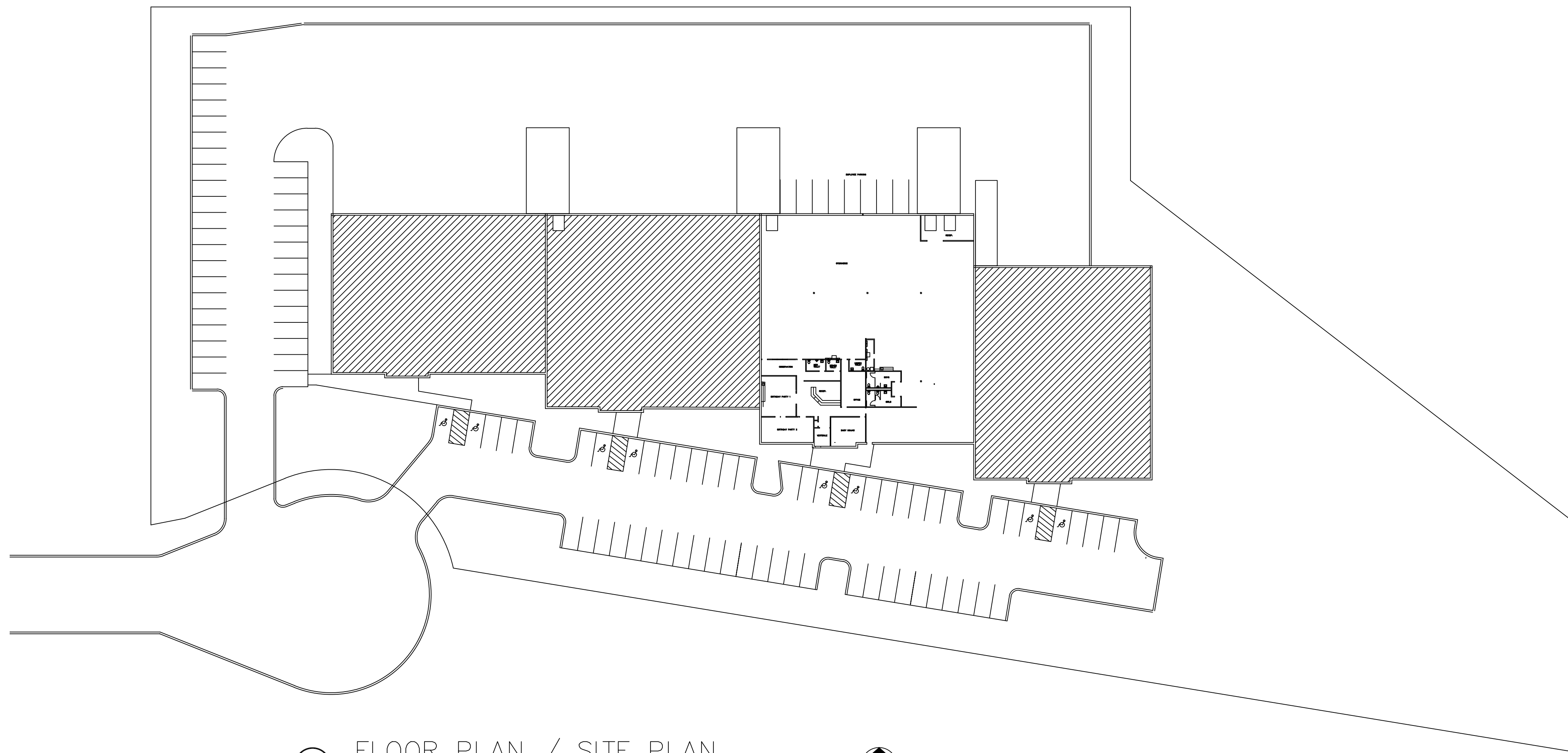
TO: Summit Real Estate Services, LLC
Chicago Title Insurance Company
Tower 9 Commercial - Oak Creek, LLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(c), 8, 9, 20 and 22 of Table A thereof. The field work was completed on August 24, 2016.

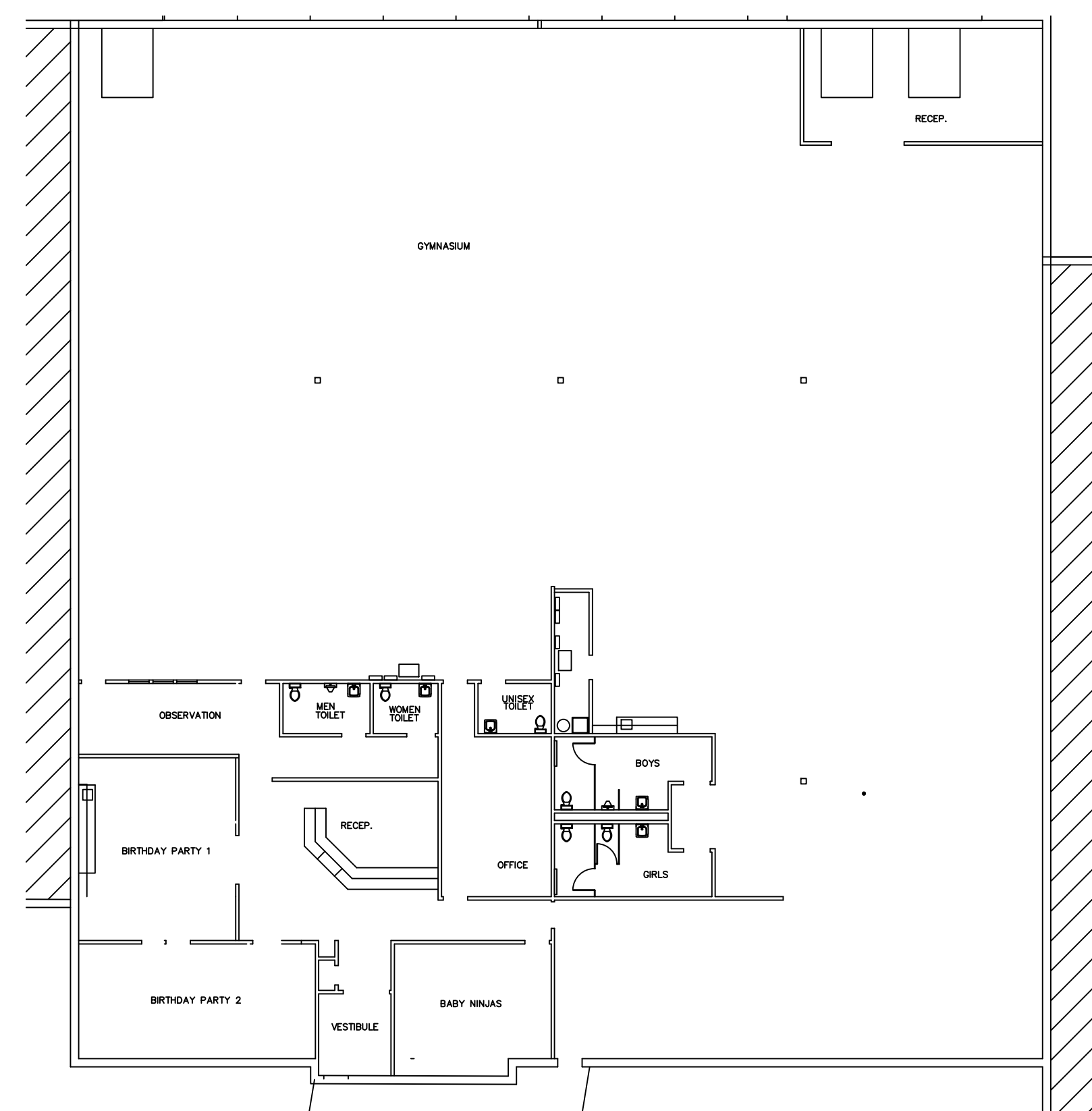
Date of Map: September 7, 2016
Revised: July 5, 2017



CHAPUT LAND SURVEYS LLC
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com



1 FLOOR PLAN / SITE PLAN
SCALE: 1"=40'-0"



2 FLOOR PLAN
SCALE: 1/16"=1'-0"



PLAN COMMISSION REPORT

Proposal: Plan Review – Accessory Building and Accessory Structure/Gate

Description: Site, building, and related plan review for a proposed accessory locker room building and accessory structure/entry gate.

Applicant(s): Blaise Paul, Oak Creek-Franklin Joint School District

Address(es): 340 E. Puetz Rd. (3rd Aldermanic District)

Suggested Motion: That the Plan Commission approves the site and building plans submitted by Blaise Paul, Oak Creek-Franklin Joint School District, for an accessory building and accessory structure (**building**)/gate on the property at 340 E. Puetz Rd. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That the plans are revised to include locations for all mechanicals, transformers, and utilities. All mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) shall be screened per Code.
3. All light sources shall be full cutoff fixtures with the light source fully shielded and directed downward, and meet all Code requirements.
4. That signs are not included in this approval.
5. That all revised plans (site, building, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Owner(s): Oak Creek-Franklin Joint School District

Tax Key(s): 827-9028-000

Lot Size(s): 58.454 ac

Current Zoning District(s): I-1, Institutional

Overlay District(s): N/A

Wetlands: Yes No

Floodplain: Yes No

Comprehensive Public/Semi-Public
Plan:

Background:

The Applicant is requesting site, building, and related plan approval for a proposed 4,078 square-foot accessory building and an accessory structure/entry gate with storage on the property at 340 E. Puetz Rd. The accessory building will accommodate locker rooms, coach's room, referee room, storage, and concessions for the high school stadium. Immediately adjacent (northwest) to the proposed building is a proposed entry gate that incorporates storage in each of the three (3) columns (total storage space = approximately 236 sf).

As proposed, the accessory building and structure/entry gate meet all setback requirements. However, the proposed entry gate columns are taller than what is allowed per Code (12 feet). If the entry gate is considered an accessory building, however, the maximum height limit is 20 feet. Since this is a unique structure, staff are not concerned with the proposal at a maximum height of 20 feet. Due to the location, landscaping is not required apart from screening of any ground, building, and rooftop mechanical units, utility boxes, and transformers. This has been included in the recommended conditions of approval above. Parking requirements are unaffected by the proposal.

Both the building and entry gate columns are proposed to be constructed primarily with CMU block. A small dormer on the west elevation of the building is proposed with composite horizontal lap siding. Windows are proposed on the north and west elevations of the building, with one (1) rollup door per elevation on the west and east. A rolling counter door is identified on the northeast for concessions. Between the columns of the accessory structure/entry gate are +/- 6-foot-tall decorative metal (black) swing gates.

Lighting plans and fixture cut sheets have been provided for the building only, consisting of "wafer" downlights under the roofline. Per Code, all fixtures except architectural accent wash lighting shall have a color temperature less than or equal to 5,000 Kelvins. Based on the submissions, it appears that the proposed lights meet all Code requirements.

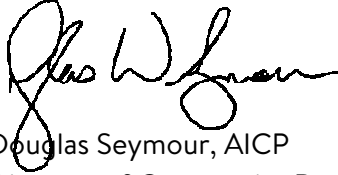
Signs are not part of this review. Prior to permitting, signs must be reviewed and approved by the Plan Commission for both the building and structure/entry gate. This is included in the recommended conditions of approval above.

With the above in mind, and recognizing that City staff will continue to work with the Applicant and all involved parties on outstanding issues, staff has provided a suggested motion for approval with conditions above for Plan Commission consideration.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan

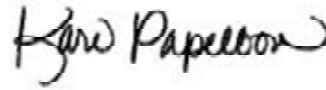
Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Senior Planner

Attachments:

Location Map

Narrative (1 page)

Plans

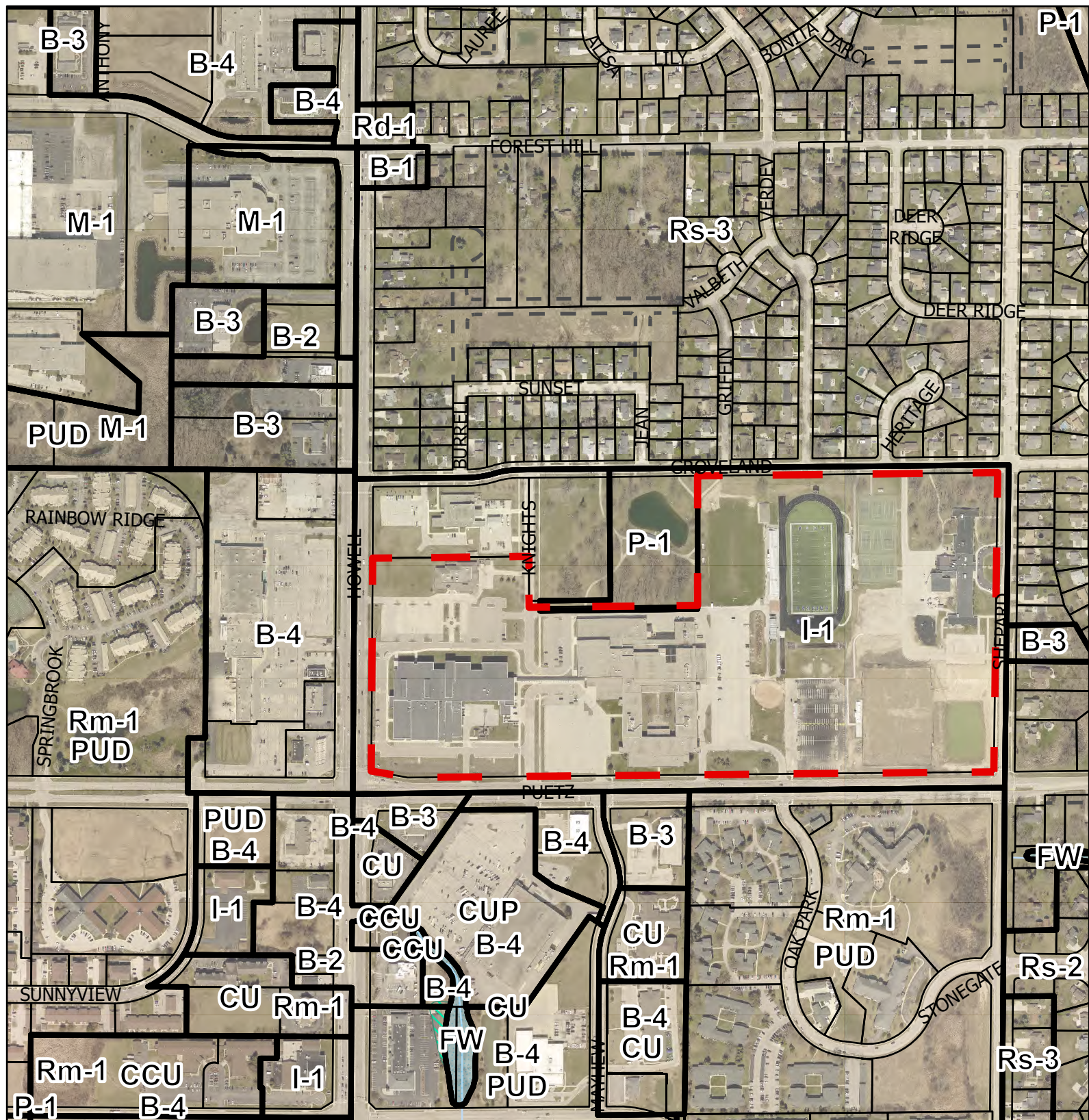
Cover Sheets, Site and Civil Plans (9 pages)

Building Plans (4 pages)

Photometric & Lighting Cut Sheets (1 page)

Notification Map

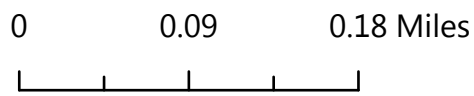
340 E. Puetz Rd.



This map is not a survey of the actual boundary of the property this map depicts

Legend

-  Zoning
-  Official Street Map
-  Floodway
-  Flood Fringe
-  Parcels
-  340 E. Puetz Rd.





The Boldt Company
205 W. Wacker Drive
Suite 250
Chicago, IL 60606

800.992.6538
312.283.3200
boldt.com

Oak Creek High School – Stadium Improvement Project (Narrative)

The stadium improvement project will be a joint effort between Boldt and the students of Knights Construction. The project will consist of the deconstruction of the existing ticket booth and blue storage shed, construction of a new gated entrance, and the construction of a new team room building that will consist of the following:

- Home and Visitor Team Room with rest rooms
- Coach's Room
- (2) Storage areas
- Usable storage within the pillars at the entrance
- Referee Room with rest room
- Concession area
- Utility Closet
- Electrical/IT Closet

The project will require new site utilities (electrical, domestic water, sanitary sewer, and storm sewer) to be run to the new structure(s) which will require some parking lot pavement replacement. All structures are to be constructed of split face block with a wood framed roof structure.

The goal of the project is to allow the students of Knights Construction to opportunity to gain valuable knowledge about commercial construction. The students will work with key personnel from various trades to garner real world knowledge and experience from technical experts within the various industries. This project will lead to updated amenities for all the students at Oak Creek High School that use Knights Community Stadium for a variety of activities. The new Team Room building will also serve as a shelter from inclement weather. The new entrance will allow for better flow for spectators to enter/leave the stadium along with providing better access for emergency vehicles.

OAK CREEK HIGH SCHOOL - STADIUM IMPROVEMENT PROJECT

340 E. PUETZ ROAD, OAK CREEK, WISCONSIN 53154



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AUGUST 29, 2023



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ARCHITECTS

JLA PROJECT NUMBER: 23-0518

ABBREVIATIONS

A	AC AIR CONDITION	D	DEMO DEMO	G	(CONTINUED)	N	NORTH	S	(CONTINUED)
AE ARCHITECT/ENGINEER	DEPT DEPARTMENT	GLU LAM GLEUE LAMINATED WOOD	GR GRADE	GR GR	GRADE, GRADING	NA NA	NOT APPLICABLE	STNB STONE BASE	STRICT STRUCTURE, STRUCTURAL
ACT ADDITIONAL	DRINKING FOUNTAIN	GRAN GRANITE	GT GROUT	GT	GLAZED WALL TILE	NO NO	NOMINAL	SV SHEET VINYL	
ADD ADDITION	DIAMETER	DR DR	DR	DR	DOOR	NS NS	NO SCALE		
AFB ABOVE FINISHED GRADE	DOOR FRAME	DR FR	DR FR	DR FR	DOOR FRAME	NTS NTS	NOT TO SCALE	T	TIME AND MATERIALS
AFS ABOVE FINISHED SLAB	DOOR WASH	DW DW	DW	DW	DOOR WASH	TEMP TEMP	TEMPERATURE	TEMP TEMP	TEMPORARY
ALU ALUMINUM	DRAWING	HW HW	HW	HW	HOT WATER	TERR TERR	TERRAZO	TERR TERR	TERRAZO BASE
APP APPROVED		HW WF	HW WF	HW WF	HARDWOOD FLOOR	TKB TKB	TACKBOARD	TKB TKB	TOP OF FINISH FLOOR
APT APARTMENT		HM HM	HM	HM	HOLLOW METAL	TOB TOB	TOP OF BEAM	TOB TOB	TOP OF CONCRETE
ASC ABOVE SUSPENDED CEILING		HSP HSP	HSP	HSP	HOUSEKEEPING	TOC TOC	TOP OF CONCRETE	TOC TOC	TOP OF JOIST
		HT HT	HT	HT	HEIGHT	TOJ TOJ	TOP OF JOIST	TOJ TOJ	TOP OF JOIST
B	BB BASEBOARD	IBB IBB	IBB	IBB	INSIDE DIAMETER	TOPO TOPO	TOPOGRAPHY	TOPO TOPO	TOP OF SLAB
BB BULLETIN BOARD	BUILDING	EL ELEC	ELEV	ELEV	ELECTRIC, ELECTRICAL	TOS TOS	TOP OF STEEL	TOS TOS	TOP OF STEEL
BLD BUILDING	BLN BLN	ELN ELN	ELN	ELN	ELECTRIC, ELECTRICAL	TV TV	TELEVISION	TV TV	TYPICAL
BLN BLINDS (WINDOW)	BORROWED LIGHT	EP EP	EP	EP	EPOXY				
BLT BORROWED LIGHT	BLOW	EPB EPB	EPB	EPB	EPOXY BASE				
BLW BLOW	BASE PLATE	EQ EQ	EQ	EQ	EQUAL				
BO BOTTOM OF	BOTTOM OF STEEL BEARING	EXP EXP	EXP	EXP	EXPAND, EXPANSION				
BRG BEARING		EXT EXT	EXT	EXT	EXTERIOR				
C	CB CATCH BASIN	CFB CFB	CFB	CFB	CONCRETE BULLETIN BOARD				
CB CATCH BASIN	CONSTRUCTION BULLETIN BOARD	CFI CFI	CFI	CFI	CONTRACTOR FURNISHED				
CFB CONSTRUCTION BULLETIN BOARD	CONTRACTOR FURNISHED	CFI CFI	CFI	CFI	CONTRACTOR FURNISHED				
CFI CONTRACTOR FURNISHED	OWNER INSTALLED	CFVI CFVI	CFVI	CFVI	CONTRACTOR FURNISHED				
CFVI CONTRACTOR FURNISHED	VENDOR INSTALLED	CG CG	CG	CG	CORNER GUARD				
CG CORNER GUARD	CAST IN PLACE	CJ CJ	CJ	CJ	CONTROL JOINT				
CP CAST IN PLACE	CEILING	CLG CLG	CLG	CLG	CEILING				
CJ CONTROL JOINT	CLEAR	CLR CLR	CLR	CLR	CLEAR				
CLG CEILING	CONSTRUCTION MANAGEMENT	CM CM	CM	CM	CONCRETE MASONRY UNIT				
CLR CLEAR	CLEANOUT	CMU CMU	CMU	CMU	CONCRETE MASONRY UNIT				
CM CONSTRUCTION MANAGEMENT	CONCRETE MASONRY UNIT	CO CO	CO	CO	COLUMN				
CMU CONCRETE MASONRY UNIT	COLUMN	COL COL	COL	COL	CONCRETE				
CO COLUMN	CORNER GUARD	CONC CONC	CONC	CONC	CORNER				
CONC CONCRETE	CORNER	CONT CONT	CONT	CONT	CONTINUOUS				
CONC CONCRETE	CORNER	CRS CRS	CRS	CRS	CARPET				
CONT CONTINUOUS	CARPET	CRT CRT	CRT	CRT	CASEWORK				
CRT CARPET	CASEWORK	CSWK CSWK	CSWK	CSWK	CERAMIC TILE				
CSWK CASEWORK	CERAMIC TILE	CT CT	CT	CT	CERAMIC TILE				
CT CERAMIC TILE	CERAMIC TILE	CTB CTB	CTB	CTB	CERAMIC TILE				
CTB CERAMIC TILE									

SYMBOL LEGEND

VIEW NUMBER 19	TITLE 1/2" = 1' - 0"	VIEW NAME WALL TAG	VIEW SCALE 1/2" = 1' - 0"	WALL TAG XX	CASEWORK TAG (PLAN OR ELEVATION) 000 W' x H' x D'
DETAIL CALLOUT SIM 00 A000	SECTION CALLOUT SIM 00 A000	ELEVATION CALLOUT 2 A000 3	ELEVATION DATUM Level 0' - 0"	DOOR TAG 000	KEYNOTE TAG 000.000
REVISION TAG 0	FURNITURE TAG 000	EQUIPMENT TAG 000	WINDOW TAG XX	FLOOR BASE WALL REMARKS	FINISH PLAN TAG
NEW GRID AND IDENTIFICATION A B 1 2	EXISTING GRID AND IDENTIFICATION A B 1 2	CEILING TAG TYPE HEIGHT	ROOM TAG NAME 0000		

VICINITY MAP



PROJECT ADDRESS

340 E. PUETZ ROAD, OAK CREEK, WISCONSIN 53154

OWNER INFORMATION

OAK CREEK-FRANKLIN JOINT SCHOOL DISTRICT
7630 S. 10th Street Oak Creek, WI 53154

CONTACT: Blaise, Paul
EMAIL: b.paul@ocfsd.org
MAIN: 414.768.5880

PROJECT TEAM

GENERAL CONTRACTOR

BOLDT
N21W23340 Ridgeview Parkway
Waukesha, WI 53188
CONTACT: Adam Martin
EMAIL: Adam.Martin@boldt.com
MAIN: 414.315.2753

ARCHITECTURAL

JLA ARCHITECTS & PLANNERS
311 E. Chicago Street, Suite 240
Milwaukee, WI 53202
CONTACT: Sal Impellitteri
EMAIL: simpel@jla-ap.com
MAIN: 414.988.7521

CIVIL ENGINEERING

KAPUR
7711 N. Port Washington Road
Milwaukee, WI 53217
CONTACT: Tom Perez
EMAIL: tperez@kapurinc.com
MAIN: 414.751.7224

STRUCTURAL ENGINEERING

REYN ENGINEERING
131 W. Seeboth Street, Suite 220
Milwaukee, WI 53204
CONTACT: Patrick Reynolds
EMAIL: pdr@reynengineering.com
MAIN: 414.254.8526

SET ISSUE

PLAN COMMISSION SET
AUGUST 29, 2023

SHEET INDEX

SHEET INDEX		REVISIONS	
SHEET DISCIPLINE AND NUMBER	COVER	Mark	Date
		GENERAL	
G000	COVER		
G001	INDEX SHEET		
CIVIL			
C101	SITE DEMOLITION PLAN		
C102	SITE LAYOUT & GEOMETRIC PLAN		
C103	SITE GRADING PLAN		
C104	SITE UTILITY & EROSION CONTROL PLAN		
C105	SITE DOWNSPOUT PLAN		
C201	SITE EROSION CONTROL DETAILS		
C202	SITE DETAILS		
ARCHITECTURAL			
A101.1	ENTRANCE GATE PLANS		
A101.2	LOCKER BUILDING PLANS		
A200	EXTERIOR ELEVATIONS ENTRANCE GATE		
A201	EXTERIOR ELEVATIONS LOCKER BLDG		
LIGHTING			
E101	SITE LIGHTING PLAN		

SHEET ORGANIZATION

EACH DRAWING SHEET IS BASED UPON A 20 SQUARE GRID SYSTEM, STARTING WITH '1' IN THE TOP LEFT HAND CORNER AND WORKING LEFT-TO-RIGHT AND TOP-TO-BOTTOM TO '20' IN THE BOTTOM RIGHT HAND CORNER, EXAMPLE BELOW:

1	2	3	4	5	TITLEBLOCK
6	7	8	9	10	
11	12	13	14	15	
16	17	18	19	20	



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OAK CREEK HIGH SCHOOL - STADIUM IMPROVEMENT PROJECT

PLAN COMMISSION SET

DATE OF ISSUANCE: AUGUST 29, 2023

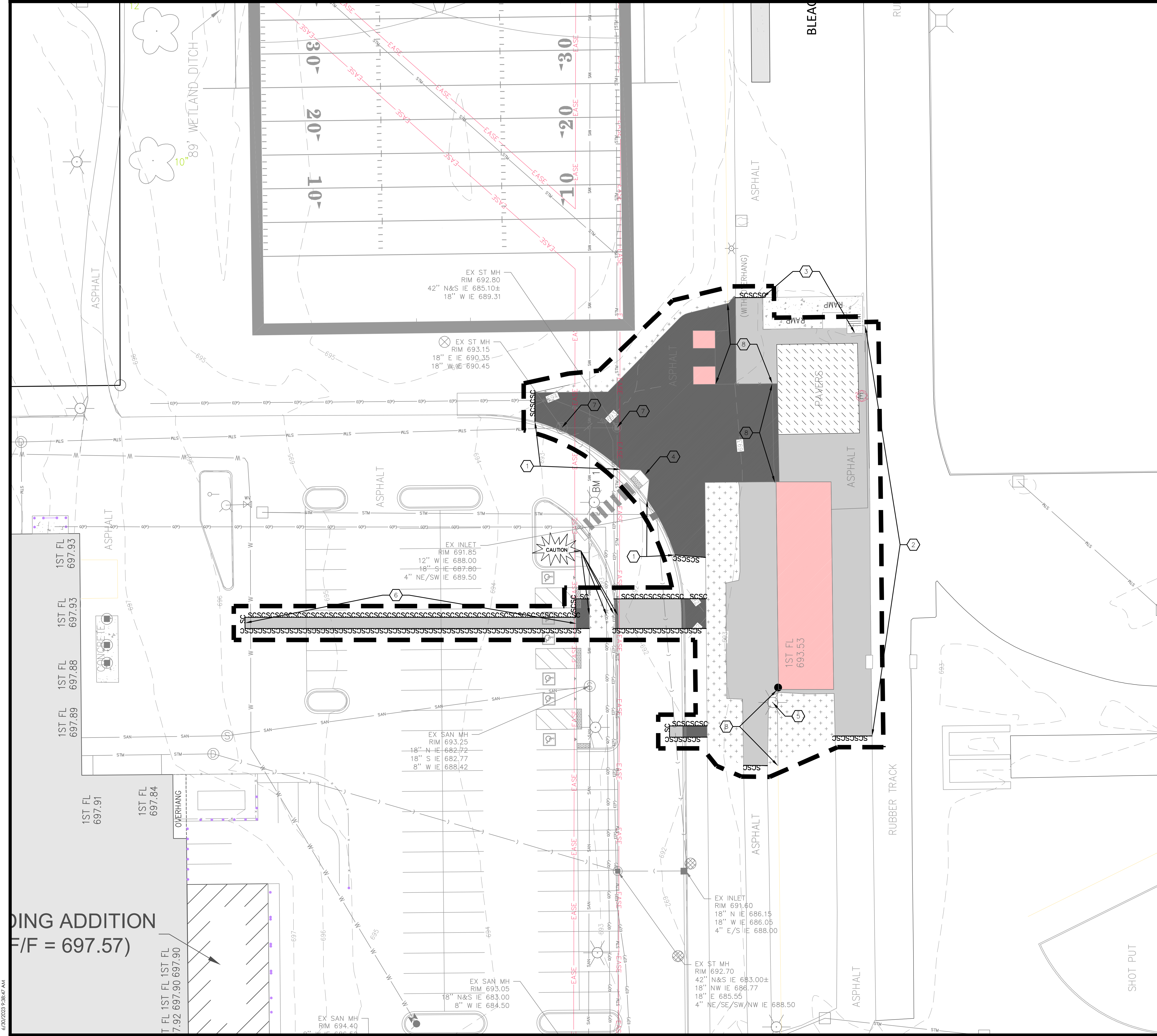
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

INDEX SHEET

SHEET NUMBER

G001



Scale: 0 10 20 40
Scale: 1" = 20'

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KEY INDEX

- PROJECT LIMITS
- EASEMENT LINE
- VEGETATION TO BE REMOVED & DISPOSED OFFSITE. IF SUITABLE FOR REUSE, TOPSOIL TO BE STOCKPILED. UNUSED & UNSUITABLE TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- ASPHALT PAVEMENT & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OFFSITE. PAVEMENT & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OFFSITE. CONCRETE & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- EXISTING PAVERS TO BE REMOVED, IF SUITABLE FOR REUSE. PAVERS TO BE STOCKPILED AND REUSED. REFER TO SITE PLAN FOR PROPOSED PAVEMENT LOCATION. UNUSED PAVERS TO BE REMOVED OFFSITE.
- EXISTING BUILDING & FOUNDATION TO BE RAZED. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- SAWCUT FULL DEPTH
- KNOWN UTILITY AND POTENTIAL CONFLICT EXIST
- CURB & GUTTER TO REMAIN. RECONSTRUCT IN KIND IF NEEDED FOR PROPOSED GRADING
- EXISTING FENCE TO REMAIN
- EXISTING STAIR & BLEACHERS TO REMAIN
- EXISTING ACCESSIBILITY RAMP TO REMAIN
- EXISTING LIGHT POLE TO BE REMOVED AND DISPOSED OFFSITE
- AREA DISTURBED FOR UTILITY TRENCH. REPLACE PAVEMENT AS NEEDED. RESTRIPE, REPLACE SIGN & DETECTABLE WARNING FIELD AS NEEDED
- STORM MANHOLE TO REMAIN. ADJUST RIM AS NEEDED FOR PROPOSED GRADING
- REMOVE & DISPOSE OF EXISTING FENCING OFFSITE

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OAK CREEK HIGH SCHOOL - STADIUM IMPROVEMENT PROJECT
PLAN COMMISSION SET

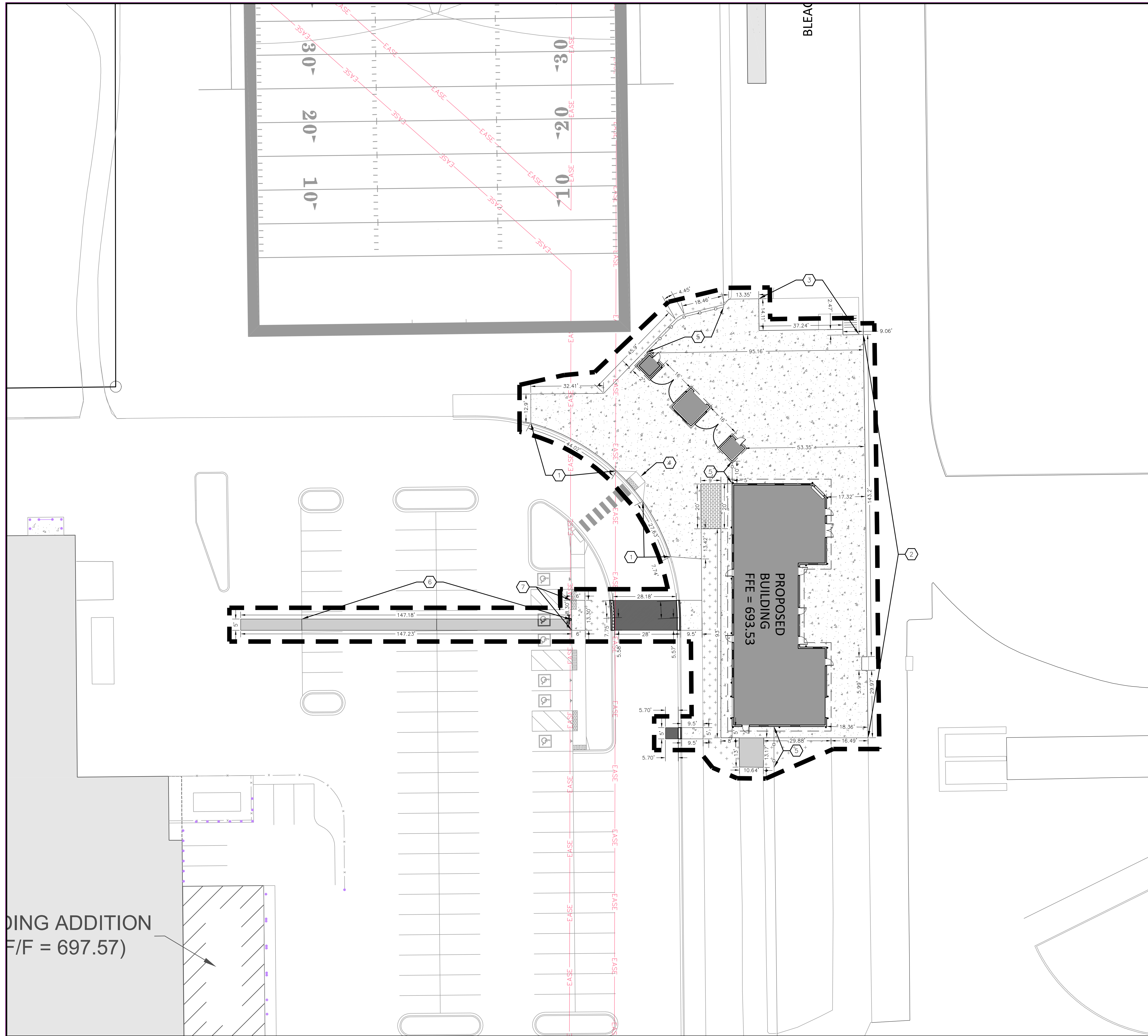
DATE OF ISSUANCE: AUGUST 29, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE: **SITE DEMOLITION PLAN**
SHEET NUMBER: **C101**

ADDITION (F/F = 697.57)

6/30/2023 9:38:47 AM



Scale: 0 10 20 40

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KEY INDEX

- PROJECT LIMITS
- EASEMENT LINE
- AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
- NEW ASPHALTIC CONCRETE (LIGHT DUTY) (1)
C202
- NEW ASPHALTIC CONCRETE (HEAVY DUTY) (1)
C202
- NEW CONCRETE SLAB (2)
C202
- EXISTING PAVERS TO BE REUSED IN NEW LOCATION. VERIFY NUMBER OF USEABLE PAVERS TO ESTABLISH EXTENTS.
- HIGH-SIDE CONCRETE CURB & GUTTER 18" BARRIER UNLESS OTHERWISE NOTED (4)
C202
- LOW-SIDE CONCRETE CURB & GUTTER 18" BARRIER UNLESS OTHERWISE NOTED (4)
C202
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING FENCE TO REMAIN
- EXISTING STAIR & BLEACHERS TO REMAIN
- EXISTING ACCESSIBILITY RAMP TO REMAIN
- NEW 6' HIGH CHAIN LINK FENCE
- RESTRIPE, REPLACE SIGN & REPLACE DETECTABLE WARNING FIELD AS NEEDED FOR UTILITY TRENCH
- REPLACE SIDEWALK WITH INTEGRAL CURB AS NEEDED FOR UTILITY TRENCH



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OAK CREEK HIGH SCHOOL - STADIUM IMPROVEMENT PROJECT

PLAN COMMISSION SET

DATE OF ISSUANCE: AUGUST 29, 2023

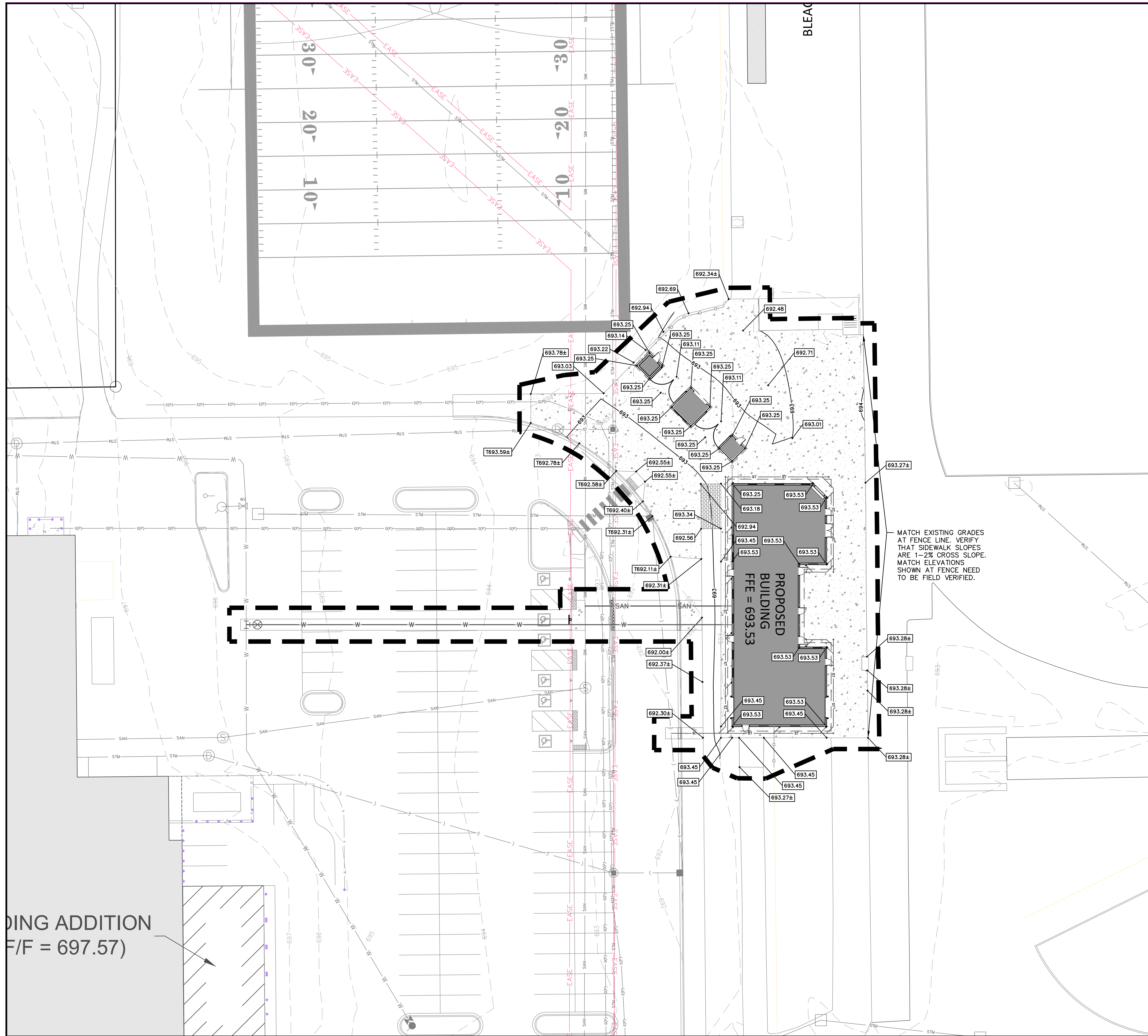
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

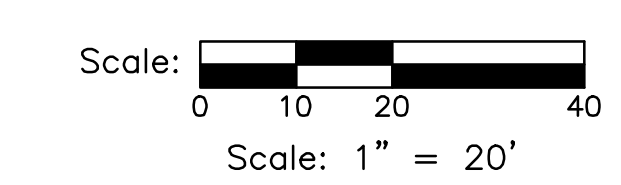
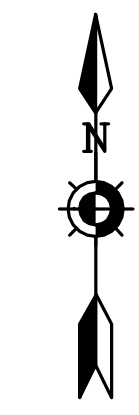
SITE LAYOUT & GEOMETRIC PLAN

SHEET NUMBER

C102



GRADING ADDITION
(F/F = 697.57)



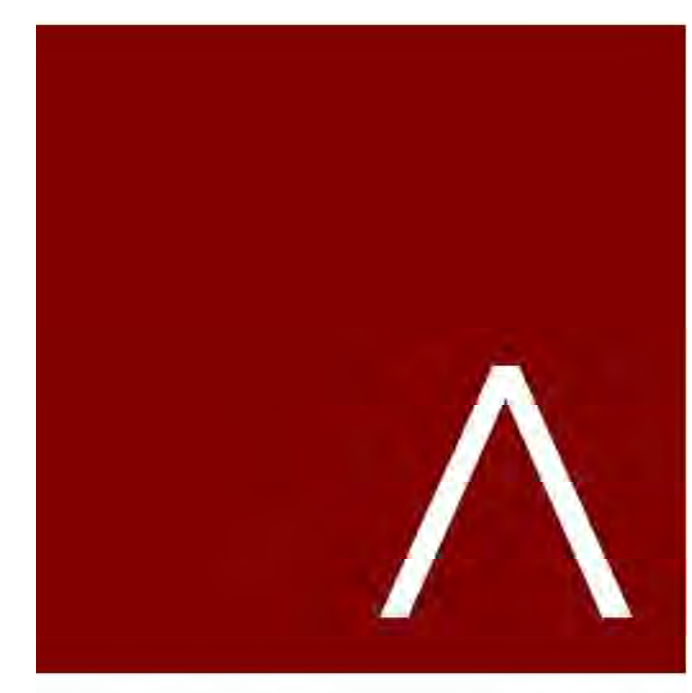
DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

GRADING NOTES

GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.

KEY INDEX

- PROJECT LIMITS
- EASEMENT LINE
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED CONTOUR MAJOR
- PROPOSED SPOT GRADE
- MATCH EXISTING GRADE
- MATCH EXISTING TOP OF CURB GRADE



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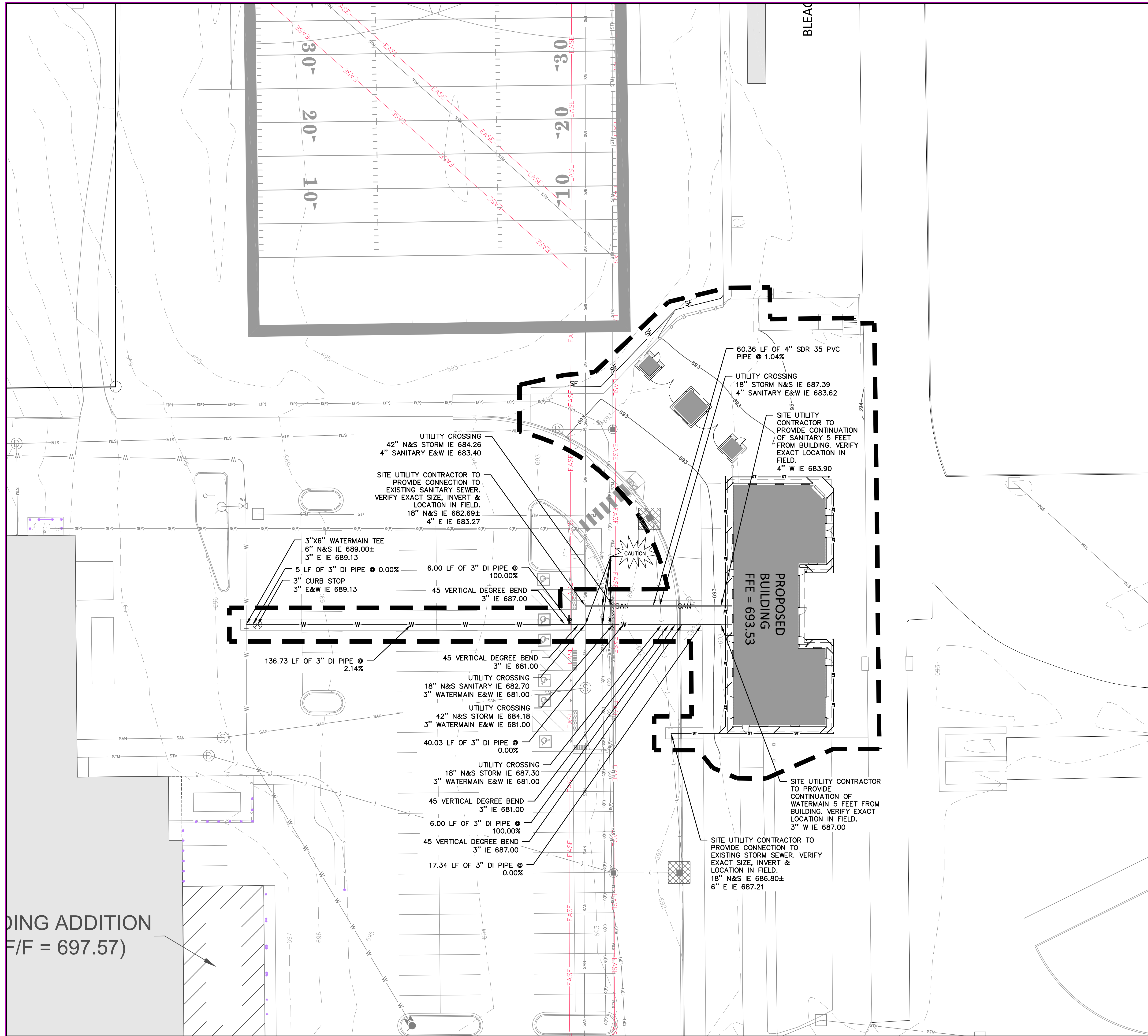
PLAN COMMISSION SET

DATE OF ISSUANCE: AUGUST 29, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
SITE GRADING PLAN

SHEET NUMBER
C103



Scale: 0 10 20 40
Scale: 1" = 20'

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EROSION NOTES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WPDES PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

LAND OWNER:
FRANK CARINI - PRESIDENT
OAK CREEK - FRANKLIN SCHOOL DISTRICT
7630 S. 10TH ST.
OAK CREEK, WI 53154
PHONE: (414) 768-5880

PROJECT ENGINEER:
DANIEL JANKE, P.E.
KAPUR & ASSOCIATES, INC
7711 NORTH PORT WASHINGTON ROAD
MILWAUKEE, WI 53217
PHONE: (262) 758-6014

CONSTRUCTION MANAGER:
ADAM J MARTIN - PROJECT MANAGER
BOLDT CONSTRUCTION
N21W23340 RIDGEVIEW PKWY
WALKESSHA, WI 53188
PHONE: (414) 315-2753

KEY INDEX

- PROJECT LIMITS
- EASEMENT LINE
- FILTER FABRIC FENCE
- STONE TRACKING PAD REQUIRED. LOCATION TO BE DETERMINED BY SELECTED CONTRACTOR'S APPROVED WORK PLAN.
- DESIGNATES EXISTING INLETS THAT MUST BE PROTECTED

- 1 C202
- 2 C202
- 3 C202

KEY INDEX

- PROJECT LIMITS
- EASEMENT LINE
- WATER MAIN TEE
- WATER MAIN VALVE
- STORM SEWER
- SANITARY SEWER
- WATER MAIN

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OAK CREEK HIGH SCHOOL - STADIUM IMPROVEMENT PROJECT
PLAN COMMISSION SET

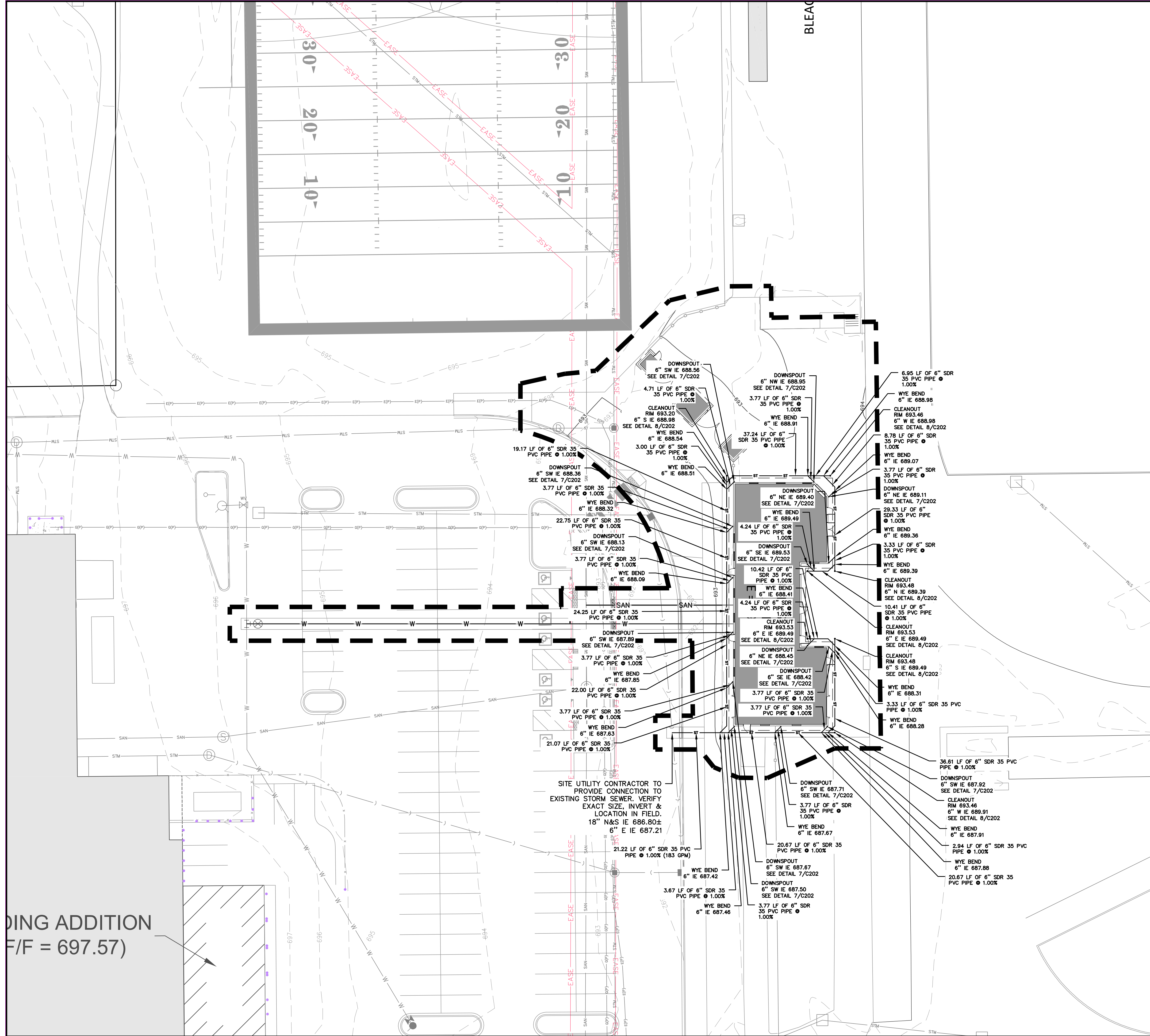
DATE OF ISSUANCE: AUGUST 29, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE: SITE UTILITY & EROSION CONTROL PLAN

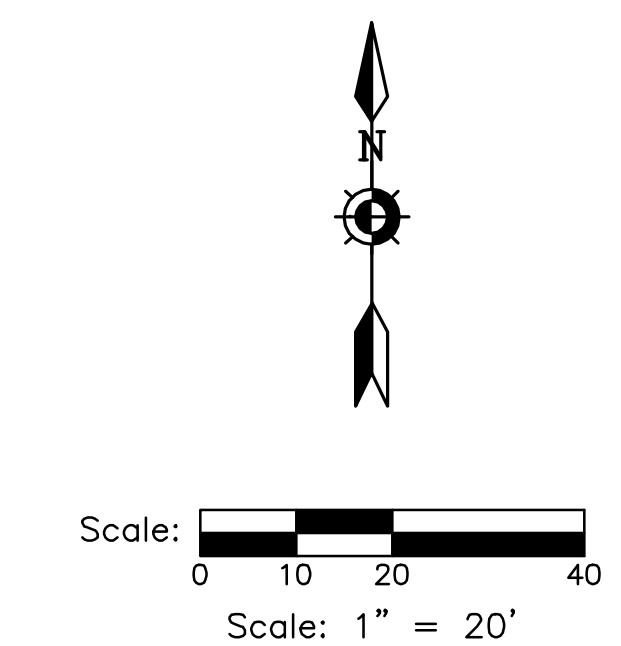
SHEET NUMBER: C104

BUILDING ADDITION
(F/F = 697.57)



ADDING ADDITION
(F/F = 697.57)

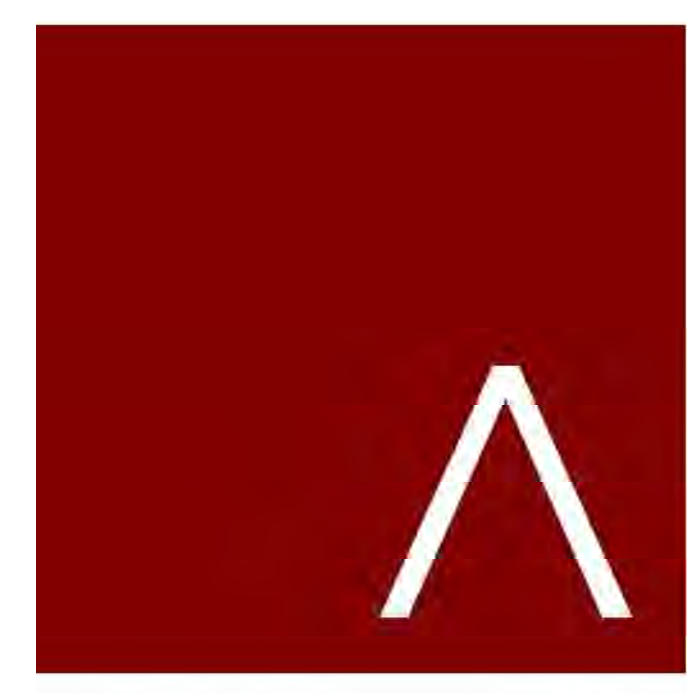
SITE UTILITY CONTRACTOR TO
PROVIDE CONNECTION TO
EXISTING STORM SEWER. VERIFY
EXACT SIZE, INVERT &
LOCATION IN FIELD.
18" N&S IE 686.80±
6" E IE 687.21



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KEY INDEX

	PROJECT LIMITS
	EASEMENT LINE
	WATER MAIN TEE
	WATER MAIN VALVE
	STORM SEWER
	SANITARY SEWER
	WATER MAIN



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Milwaukee, Wisconsin 53202
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OAK CREEK HIGH
SCHOOL - STADIUM
IMPROVEMENT
PROJECT

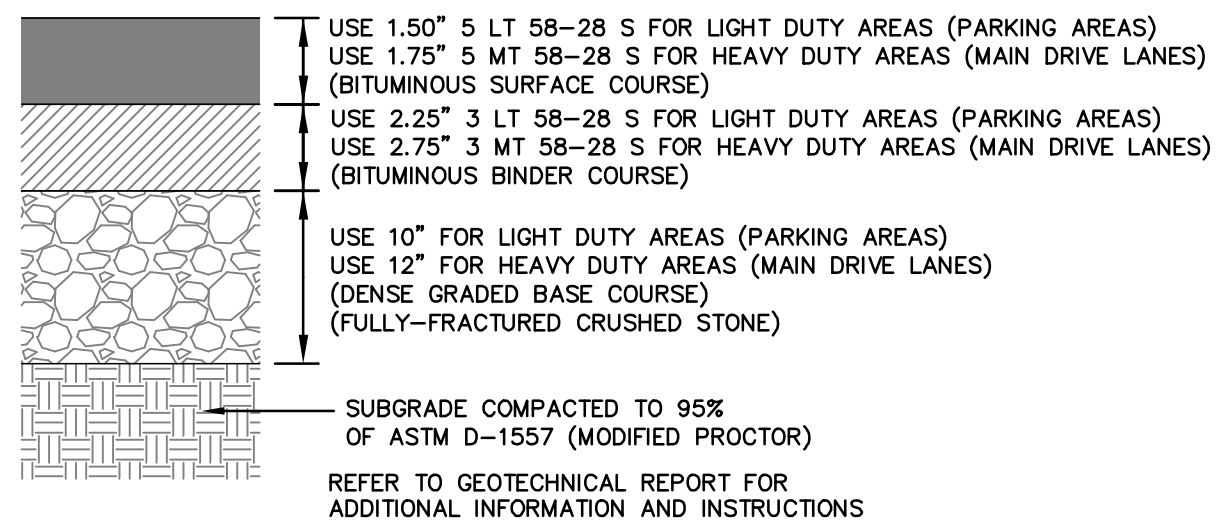
PLAN COMMISSION SET

DATE OF ISSUANCE: AUGUST 29, 2023

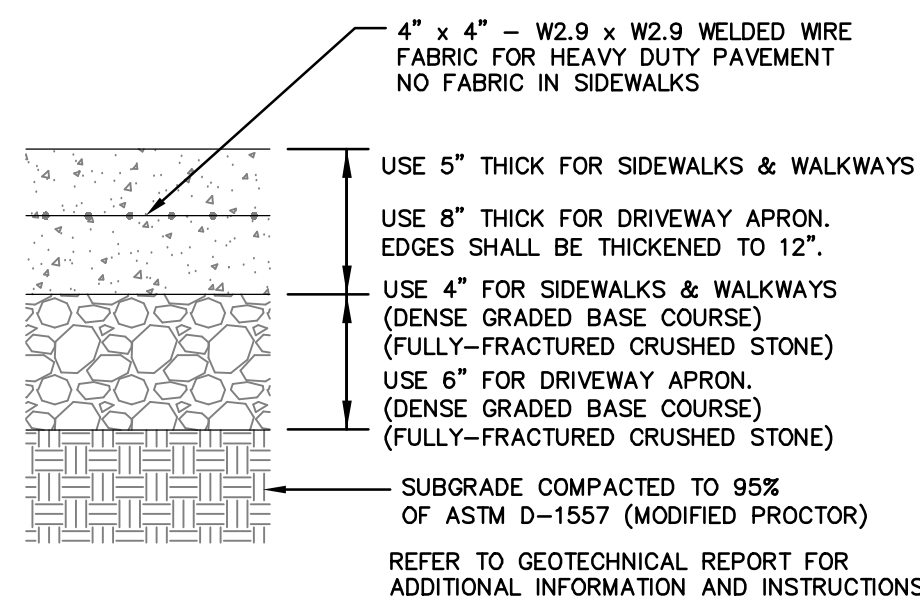
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
**SITE DOWNSPOUT
PLAN**

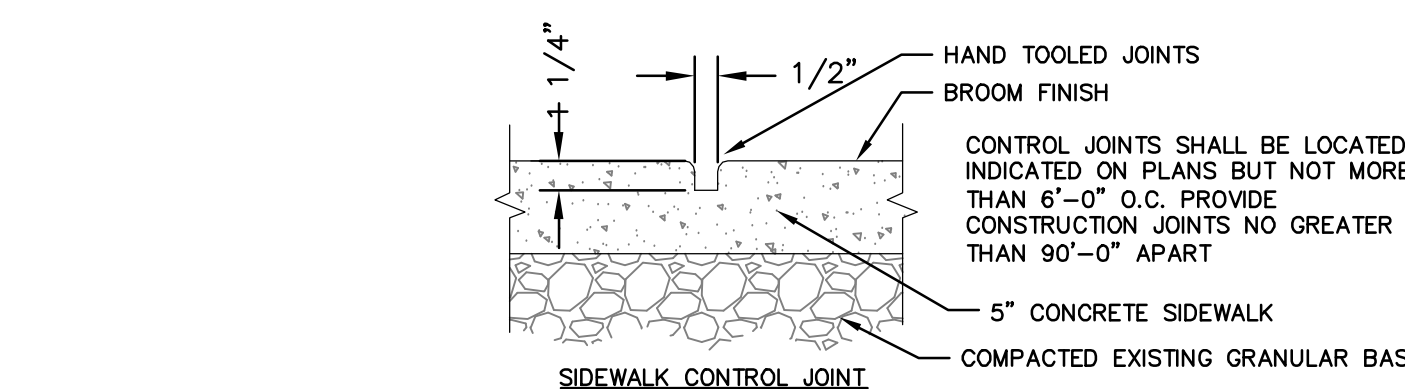
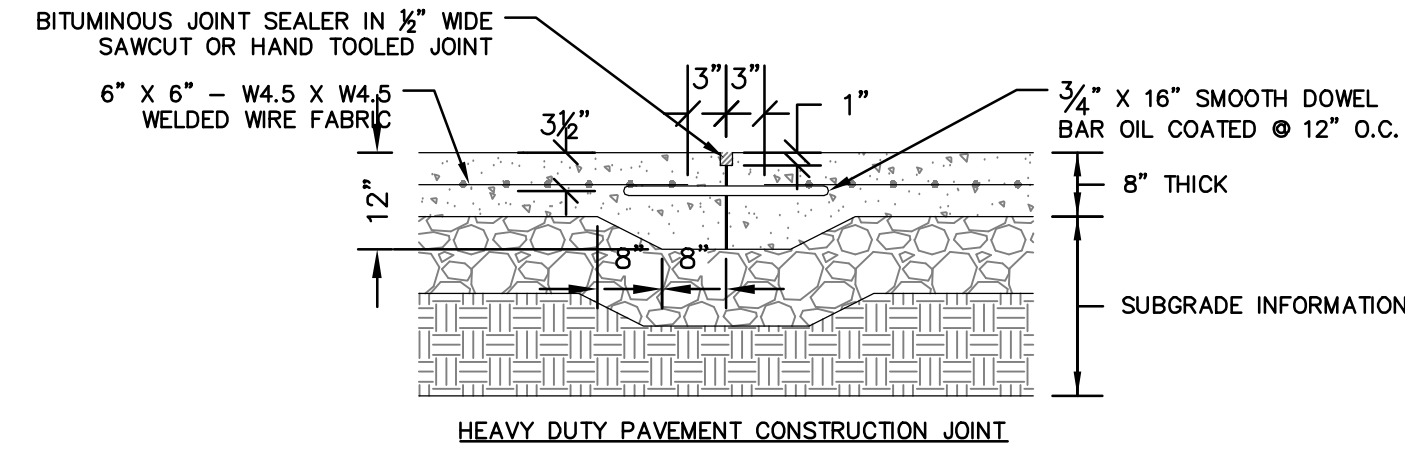
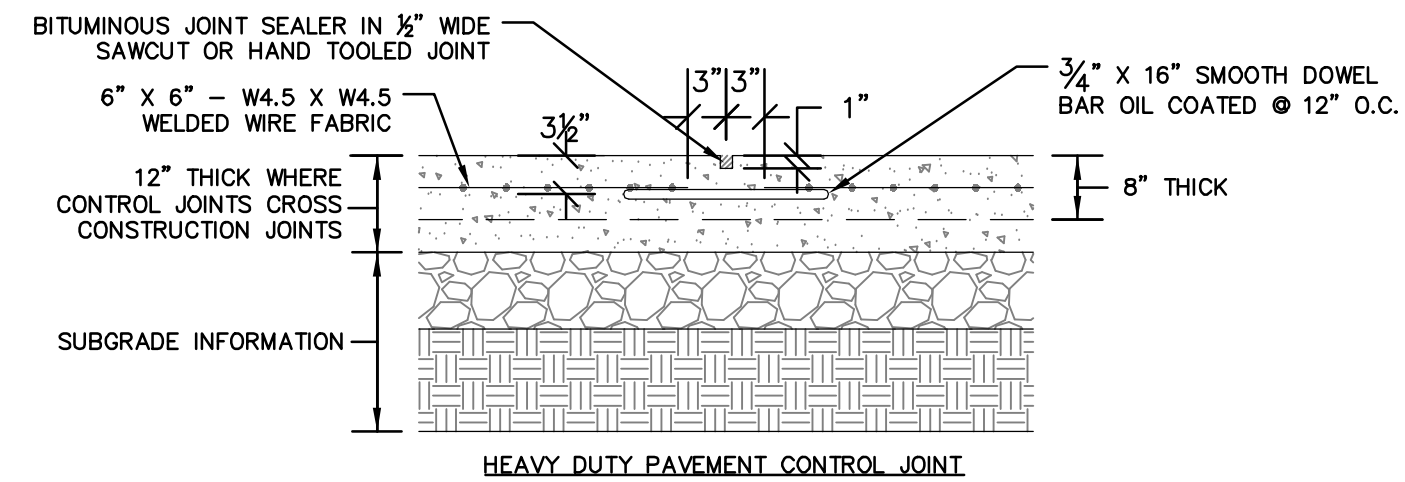
SHEET NUMBER
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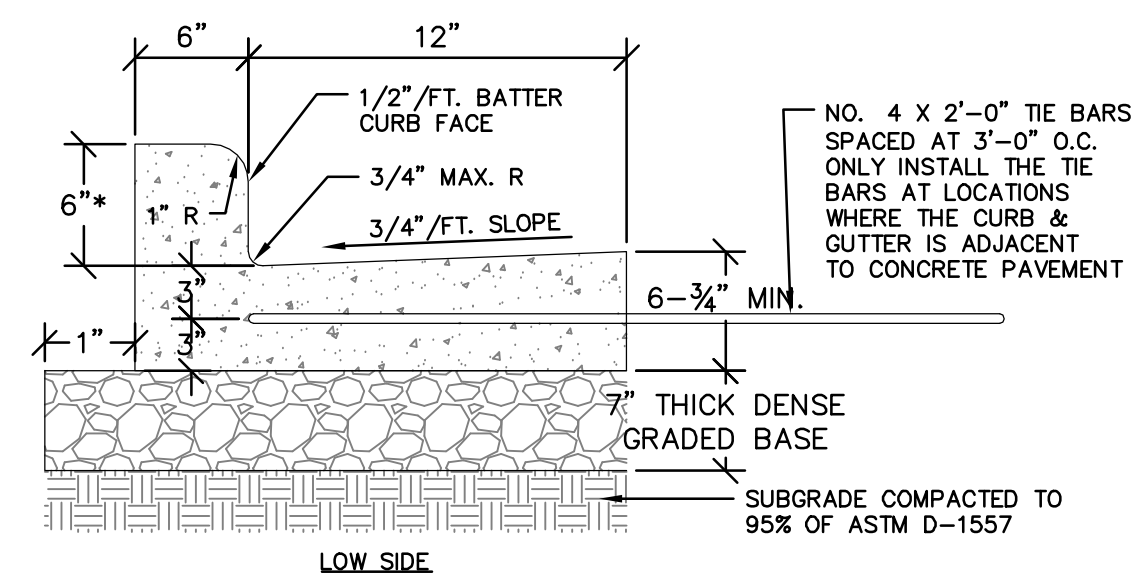
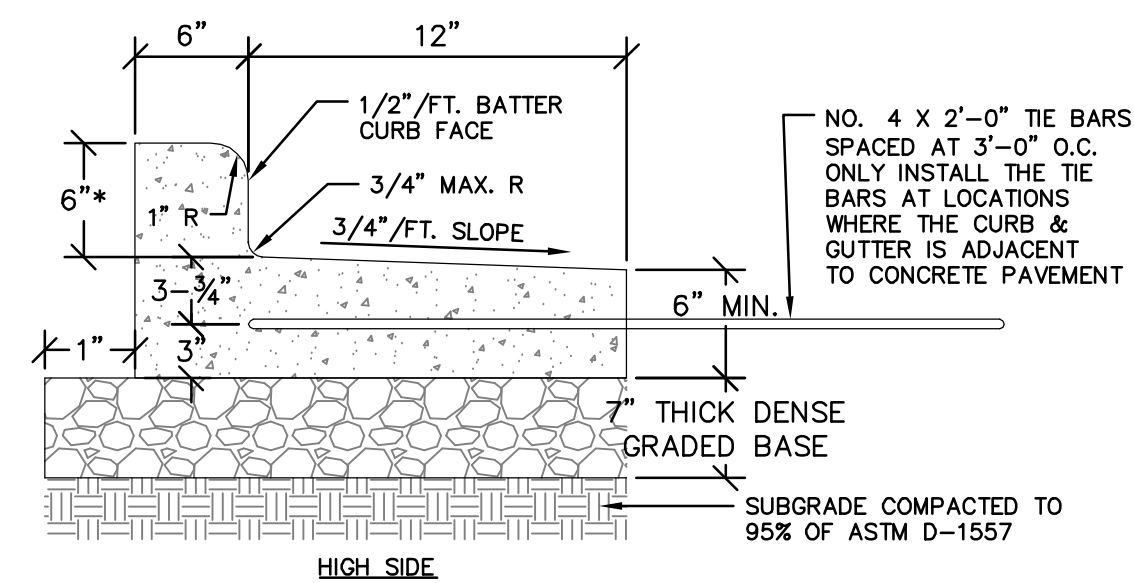
1 ASPHALTIC CONCRETE PAVEMENT
 C202 N.T.S.



2 CONCRETE SIDEWALK/SLAB
 C202 N.T.S.

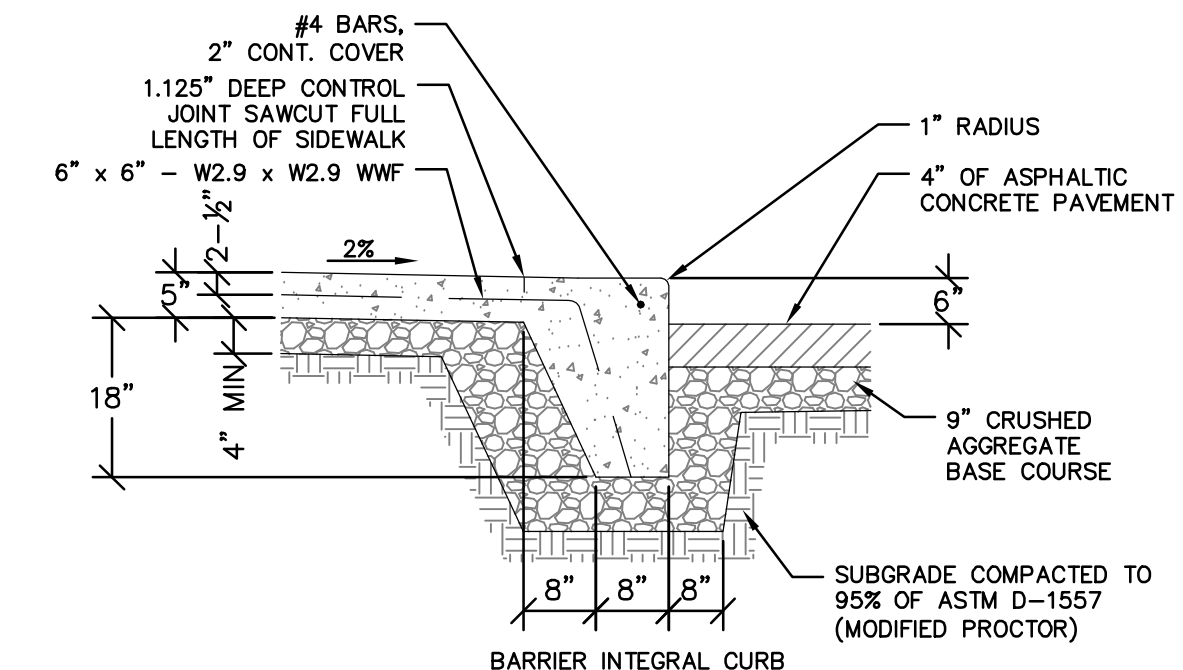
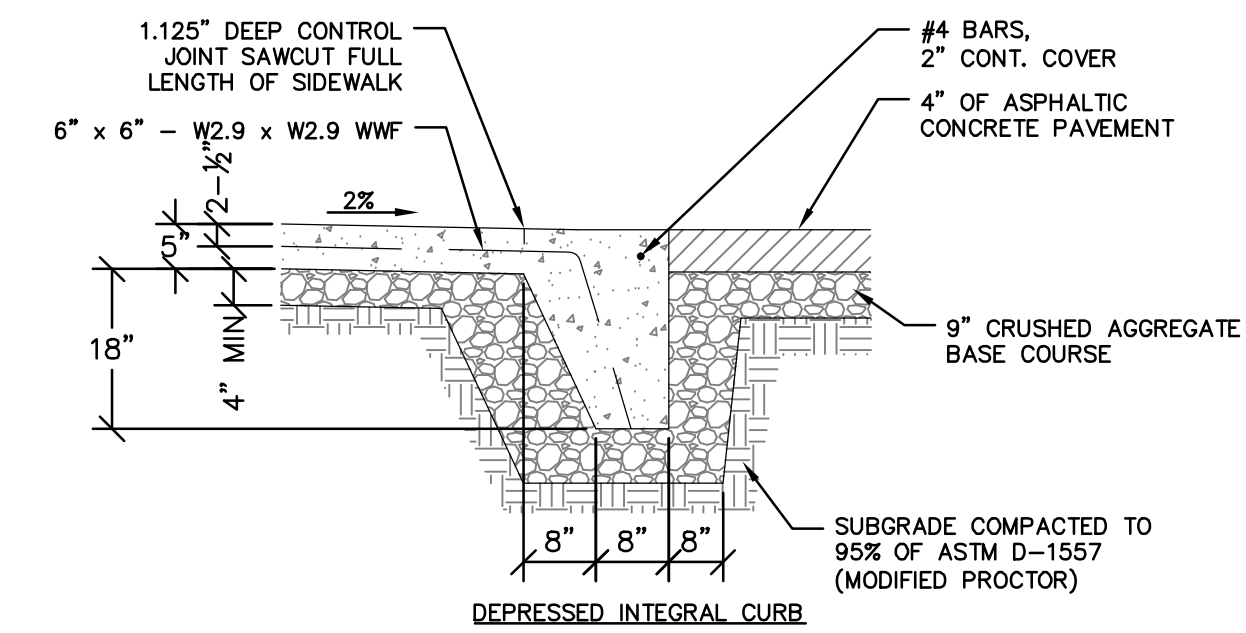


3 CONTROL & CONSTRUCTION JOINT DETAILS (TYP.)
 C202 N.T.S.

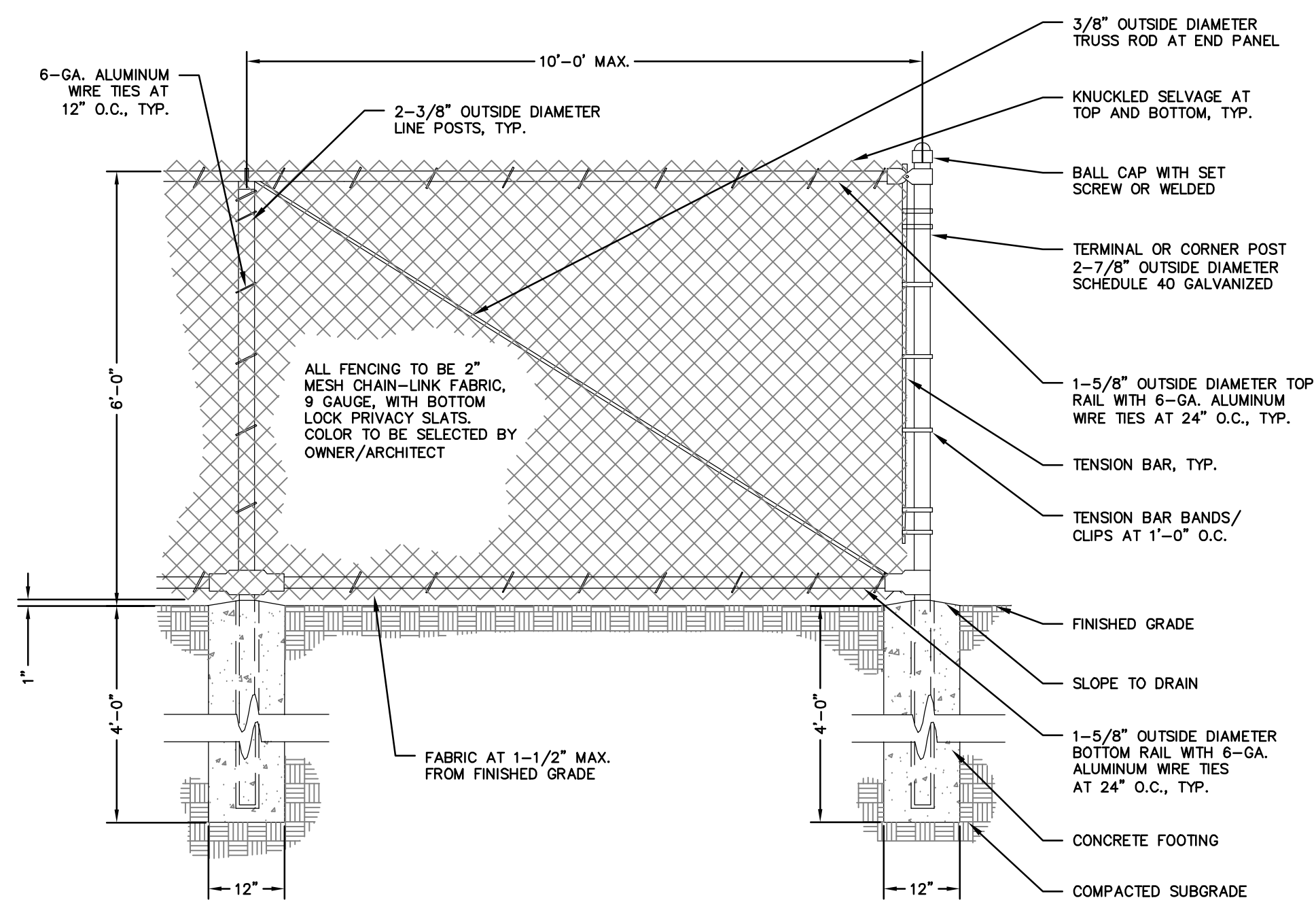


*CURB HEIGHT MAY VARY. SEE SITE GRADING PLAN FOR EXACT CURB HEIGHTS. CONTACT ENGINEER WITH ANY QUESTIONS THAT ARISE. PROVIDE CONSTRUCTION JOINTS BETWEEN 10'-FEET AND 300'-FEET.

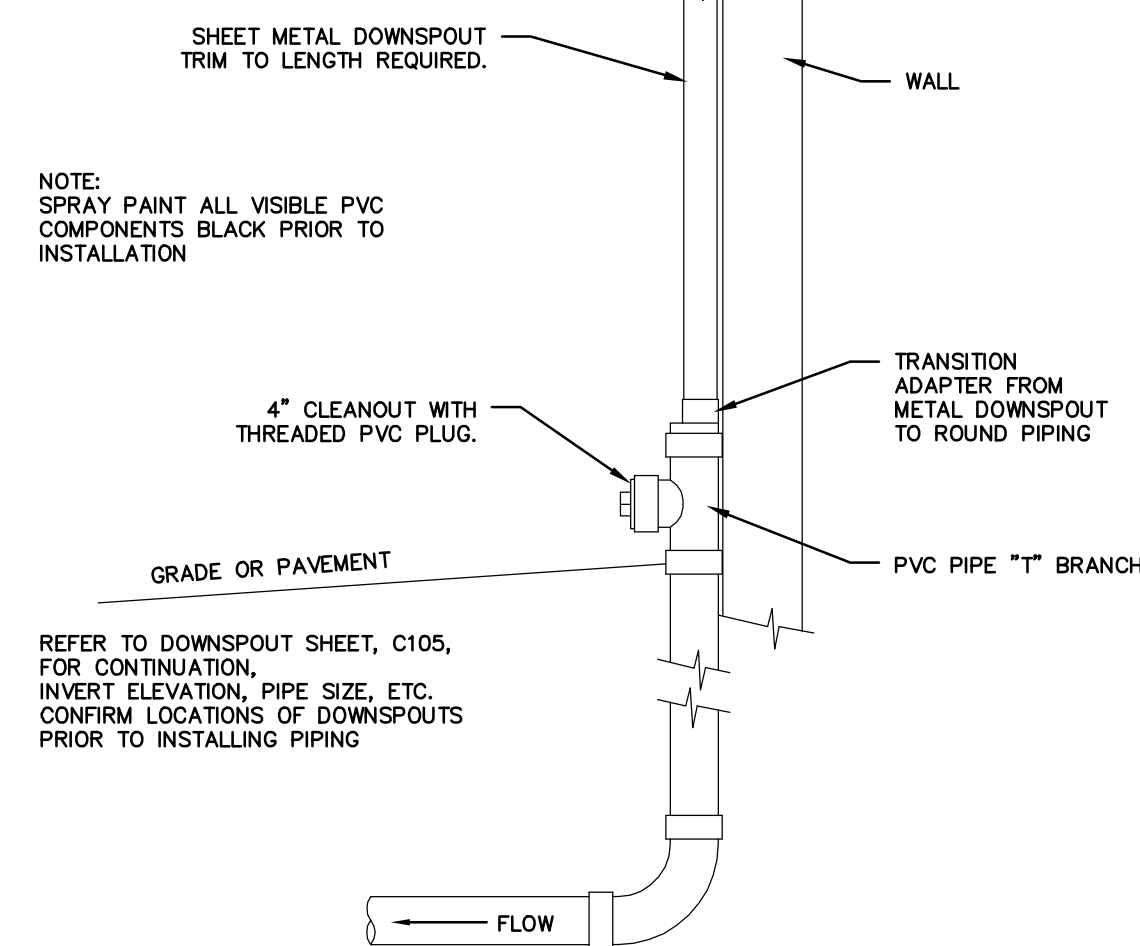
4 18-INCH BARRIER CONCRETE CURB & GUTTER
 C202 N.T.S.



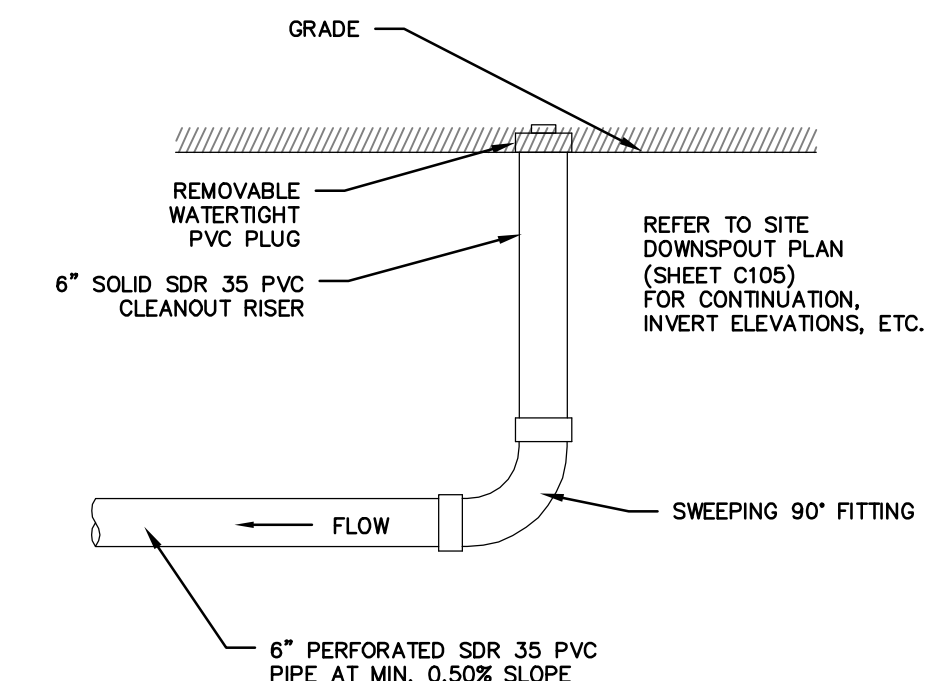
5 CONCRETE SIDEWALK WITH INTEGRAL CURB
 C202 N.T.S.



6 6'-0" CHAIN LINK FENCE DETAIL
 C202 N.T.S.



7 DOWNSPOUT CONNECTION
 C202 N.T.S.



8 STORM SEWER END RUN
 C202 N.T.S. 6" CLEANOUT



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JLA PROJECT NUMBER: 23-0518



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788 N. Jefferson Street, Ste 900
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OAK CREEK HIGH SCHOOL - STADIUM IMPROVEMENT PROJECT
 PLAN COMMISSION SET

DATE OF ISSUANCE: AUGUST 29, 2023

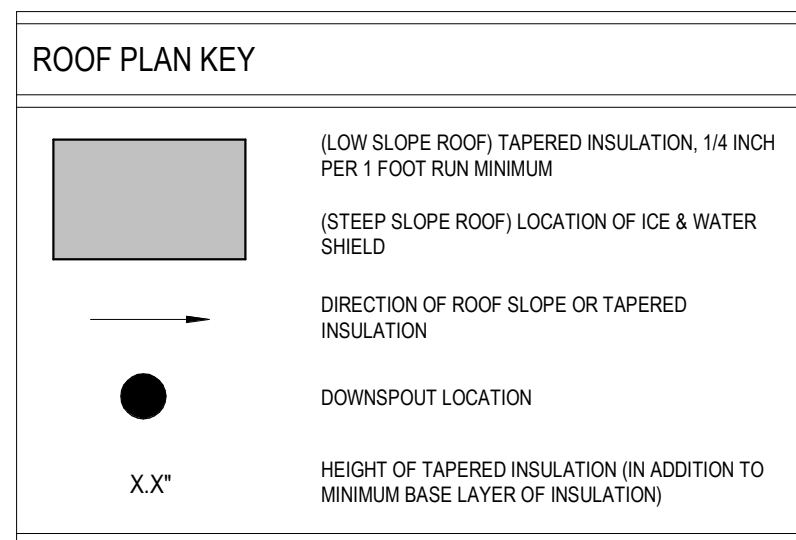
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
 SITE DETAILS

SHEET NUMBER
 C202

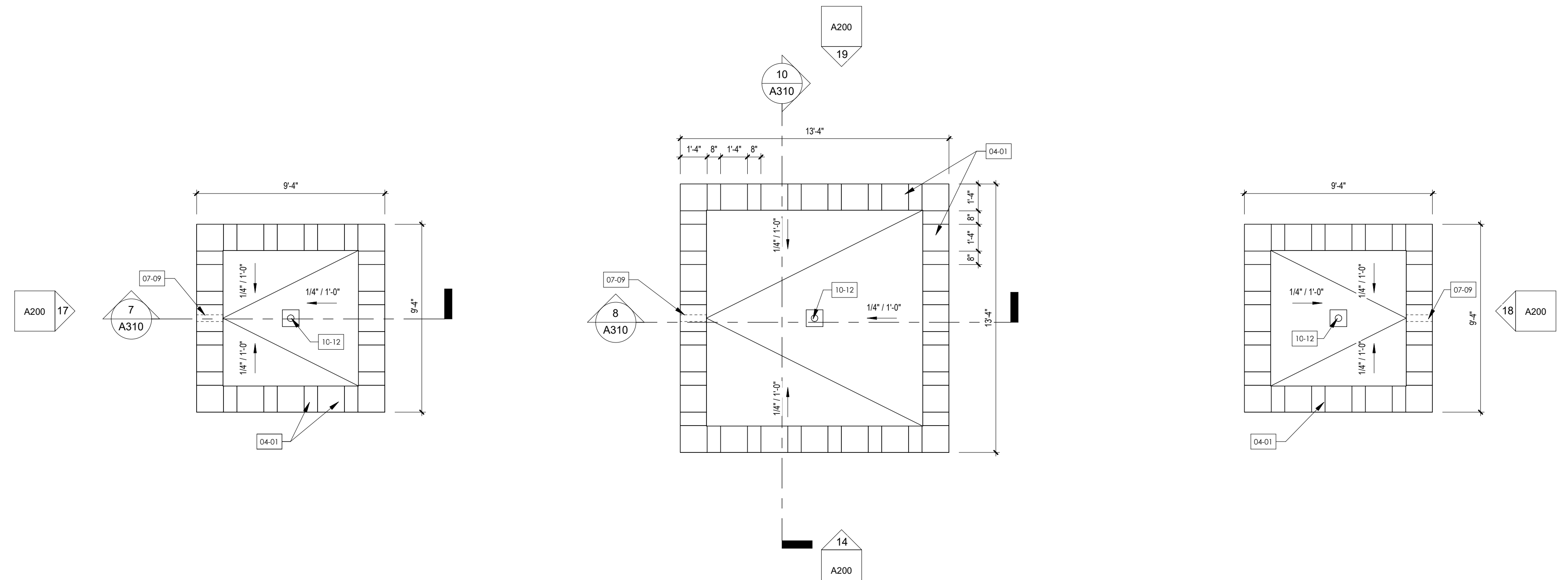
- GENERAL NOTES - FLOOR PLANS**
- DIMENSIONS ARE TO FACE OF CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO OPENING OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - INTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO OPENING OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
 - ALL INTERIOR WALLS TYPES ARE TO BE AS TAGGED AND/OR INDICATED ON THE INTERIOR WALL ASSEMBLIES SHEET.
 - VERIFY ALL STRUCTURAL MEMBER SIZE, SPACING, REINFORCING, AND BRACING WITH STRUCTURAL DRAWINGS.
 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE G300 SERIES SHEETS.
 - VERIFY ALL APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - FIELD VERIFY ALL CABINETS AND COUNTERTOP LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL ADJACENT APPLIANCES & FIXTURES.
 - CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPLASHES & SIDESPLASHES.
 - PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
 - ARCHITECT ASSUMES NO GAS CONNECTION TO BUILDING. ALL TEMPORARY HEATING PROVIDED BY ELECTRIC MEANS. COORDINATE WITH DESIGN-BUILD ELECTRICAL AND MECHANICAL CONTRACTORS.
 - ALL STRUCTURES ARE NOT FULLY CONDITIONED (NOT HEATED AND COOLED). IF LOCKER ROOM STRUCTURE IS TO BE BOTH HEATED AND COOLED ON A PERMANENT BASIS, NOTIFY ARCHITECT.

- ROOF NOTES - LOW SLOPED**
- ALL ROOF SLOPES SHALL BE AS SHOWN ON THE ROOF PLAN.
 - TYPICAL FLAT ROOF FRAMING SHALL BE WOOD JOISTS AT 24" O.C. MAX. WITH COVER BOARD, RIGID BOARD INSULATION, AND EPDM ROOF MEMBRANE. INSULATION SHALL BE PITCHED AT 1/4" INCH PER FOOT TO PROVIDE ROOF DRAINAGE.
 - ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
 - VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH DESIGN / BUILD MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
 - ROOF DRAINAGE IS SHOWN FOR INTENT ONLY. ROOFING AND PLUMBING CONTRACTORS SHALL DETERMINE AND COORDINATE FINAL DRAINAGE LOCATION AND OUTLET SIZING BASED ON DRAINAGE CALCULATIONS PROVIDED BY PLUMBING CONTRACTOR.

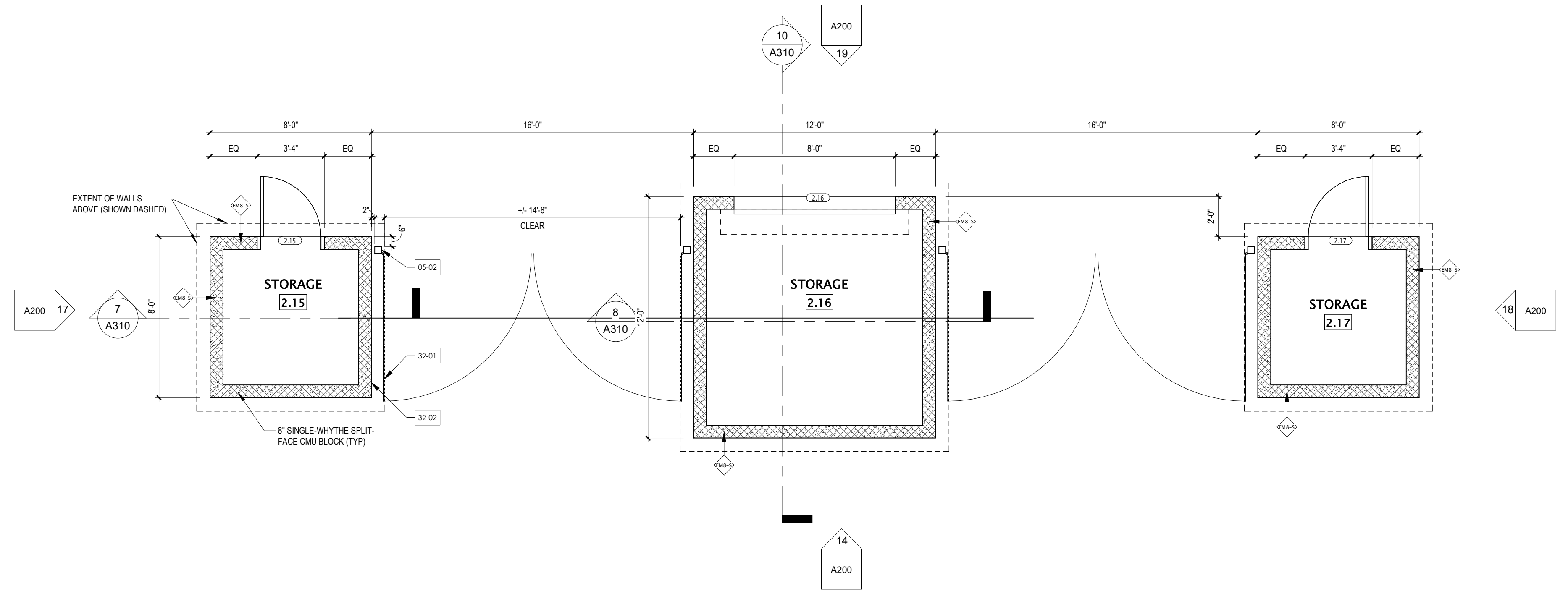


KEYNOTE SCHEDULE

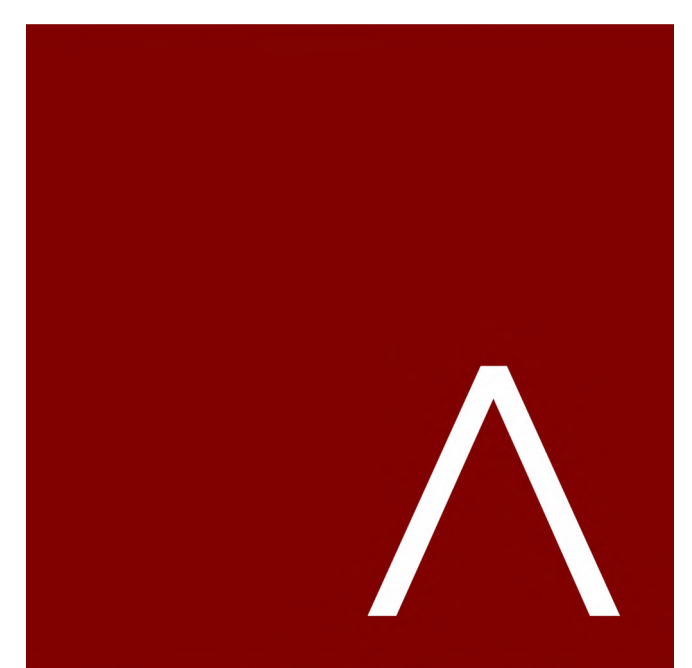
MARK	NOTE
04-01	BRICK BATTLEMENT / CRENELLATION AT TOP OF WALLS (TYP)
05-02	HSS 4x4x1/2 PAINTED (BLACK) STEEL POST FRAMING, CONCRETE-FILLED WITH SONOTUBE FOOTINGS (TYP)
07-09	4" x 4" THRU-WALL SCUPPER FOR DRAINAGE
10-12	ALUMINUM FLAGPOLE, ANCHORED TO ROOF JOISTS (DESIGN BY OTHERS), PROVIDE LIGHTNING PROTECTION AS REQUIRED
32-01	METAL DECORATIVE SWING GATES (BLACK) WITH BOTTOM WHEEL SUPPORT AND PIN STOP ACCESSORIES
32-02	PROVIDE GATE STOPS ON WALL



12 ROOF PLAN - ENTRANCE GATE
1/4" = 1'-0"



17 ENTRANCE GATE FLOOR PLAN
1/4" = 1'-0"



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OAK CREEK HIGH SCHOOL - STADIUM IMPROVEMENT PROJECT

PLAN COMMISSION SET

DATE OF ISSUANCE: AUGUST 29, 2023

REVISION SCHEDULE

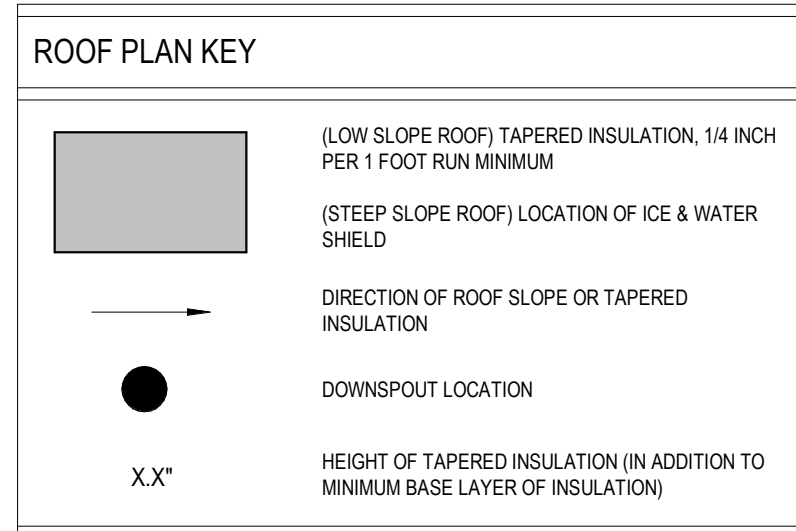
Mark	Description	Date

SHEET TITLE
ENTRANCE GATE PLANS

SHEET NUMBER
A101.1

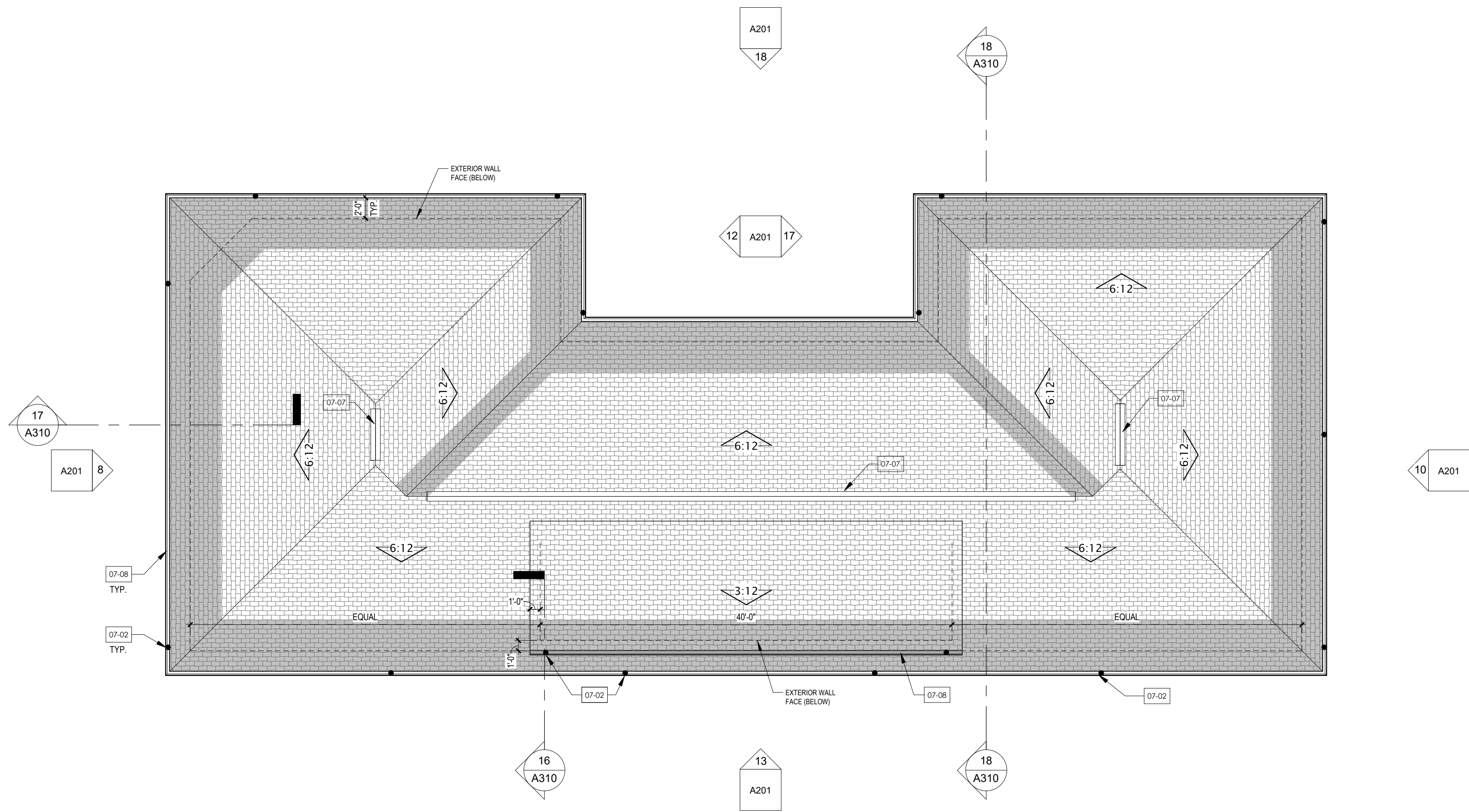
- GENERAL NOTES - FLOOR PLANS**
- DIMENSIONS ARE TO FACE OF CONCRETE MASONRY UNIT WALLS UNLESS OTHERWISE NOTED.
 - EXTERIOR WINDOW & DOOR LOCATION DIMENSIONS ARE TO OPENING OF WINDOW/DOOR UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER.
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 - ALL WOOD EXPOSED TO THE EXTERIOR OR IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED.
 - INSTALL FIXTURES, ACCESSORIES, ETC. ACCORDING TO THE MOUNTING HEIGHT SCHEDULE - SEE THE G300 SERIES SHEETS.
 - VERIFY ALL APPLIANCE, EQUIPMENT, ETC. ROUGH OPENINGS & CLEARANCE REQUIREMENTS WITH MANUFACTURER.
 - FIELD VERIFY ALL CABINETS AND COUNTERTOP LAYOUTS AND COORDINATE WITH THE DIMENSIONAL REQUIREMENTS OF ALL ADJACENT APPLIANCES & FIXTURES.
 - CAULK AT PERIMETER OF ALL COUNTERTOP BACKSPASHES & SIDESPLASHES.
 - PROVIDE 3/4" FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR ELECTRICAL EQUIPMENT. INSTALL AT 1/4" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH DESIGN-BUILD ELECTRICAL CONTRACTOR.
 - ARCHITECT ASSUMES NO GAS CONNECTION TO BUILDING. ALL TEMPORARY HEATING PROVIDED BY ELECTRIC MEANS. COORDINATE WITH DESIGN-BUILD ELECTRICAL AND MECHANICAL CONTRACTORS.
 - ALL STRUCTURES ARE NOT FULLY CONDITIONED (NOT HEATED AND COOLED). IF LOCKER ROOM STRUCTURE IS TO BE BOTH HEATED AND COOLED ON A PERMANENT BASIS, NOTIFY ARCHITECT.

- ROOF NOTES - STEEP SLOPED**
- ALL ROOF SLOPES SHALL BE AS SHOWN ON THE ROOF PLAN.
 - TYPICAL SLOPED ROOF FRAMING SHALL BE PRE-ENGINEERED OPEN-WEB WOOD TRUSSES AT 24" O.C. MAX. WITH CLASS IV ARCHITECTURAL / DIMENSIONAL FIBERGLASS OR ASPHALT SHINGLES.
 - ROOF ROUGH FRAMING DISTANCES BEYOND EXTERIOR WALL FACE SHALL BE 2'-0" FOR ALL EAVES.
 - PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS:
 - EAVES: FROM EDGE OF ROOF TO 24" MIN. PAST FACE OF EXTERIOR WALLS.
 - VALLEYS: FROM VALLEY TO 18" MIN. PAST EACH SIDE OF VALLEY (36" TOTAL). INSTALL UNDER METAL FLASHINGS AT VALLEYS.
 - ROOF PENETRATIONS: EXTEND 18" MIN. IN ALL DIRECTIONS.
 - PROVIDE METAL FLASHING AT ALL VALLEYS AND ALL ROOF/WALL INTERSECTIONS.
 - INSTALL ROOF ATTIC VENTING TO PROVIDE 1SF OF VENT AREA PER 300 SF OF ATTIC AREA. HALF OF THE REQUIRED VENTING SHALL OCCUR AT RIDGE AND HALF SHALL OCCUR AT EAVE. PROVIDE CAN VENTS ONLY WHEN NECESSARY. ROOFING CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTING PRIOR TO INSTALLATION.
 - ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
 - DOWNSPOUT LOCATION AND QUANTITY TO BE DETERMINED BY DESIGN-BUILD ROOFING CONTRACTOR. LOCATION OF DOWNSPOUTS TO BE DETERMINED IN THE FIELD BY GENERAL CONTRACTOR AND DESIGN-BUILD PLUMBING CONTRACTOR.
 - GUTTERS, DOWNSPOUTS, AND ALL PREFINISHED ACCESSORIES SHALL MATCH IN COLOR AND STYLE, AND ARE LOCATED CLEAR OF ALL DOORS AND WINDOWS.

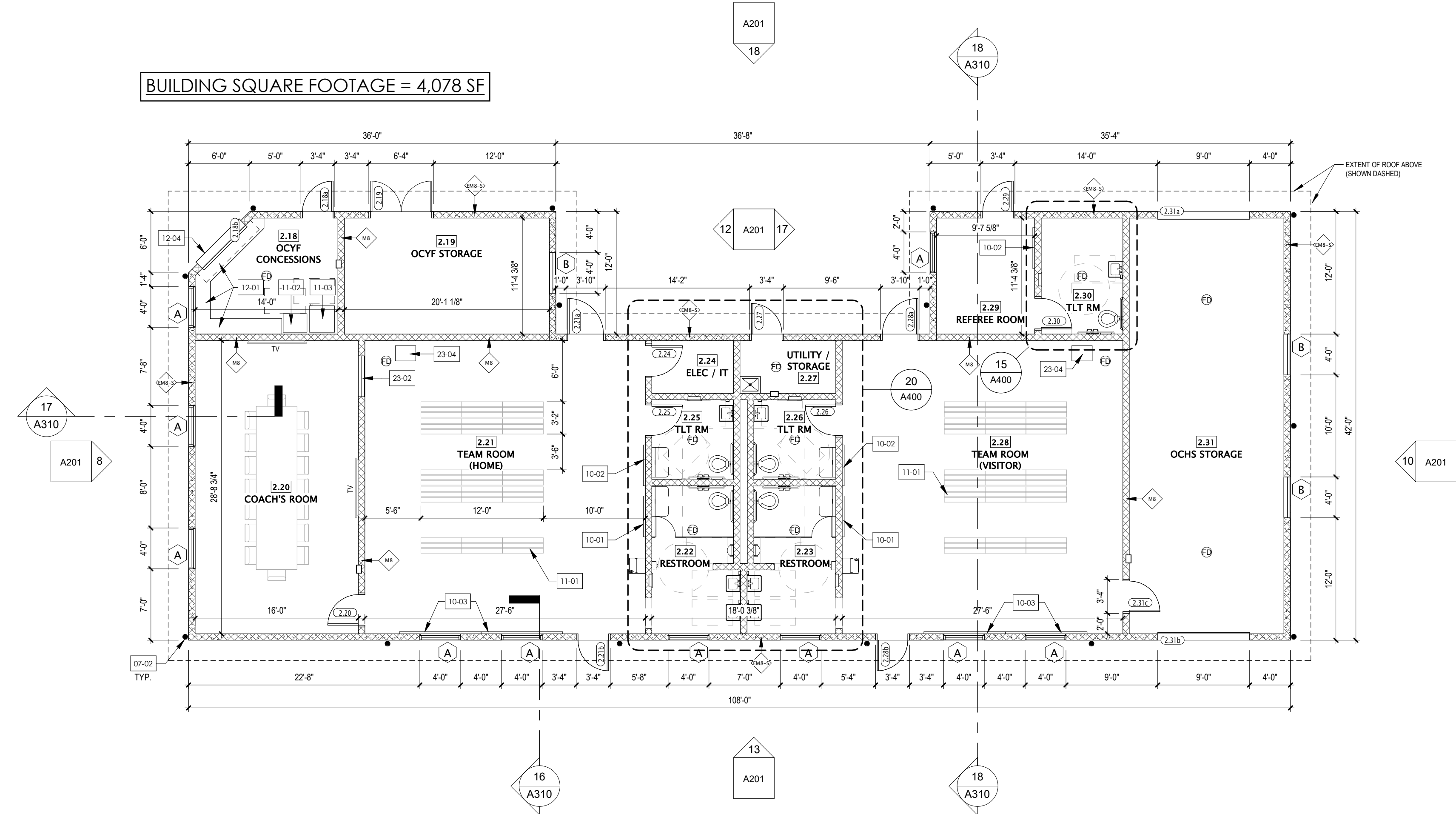


KEYNOTE SCHEDULE

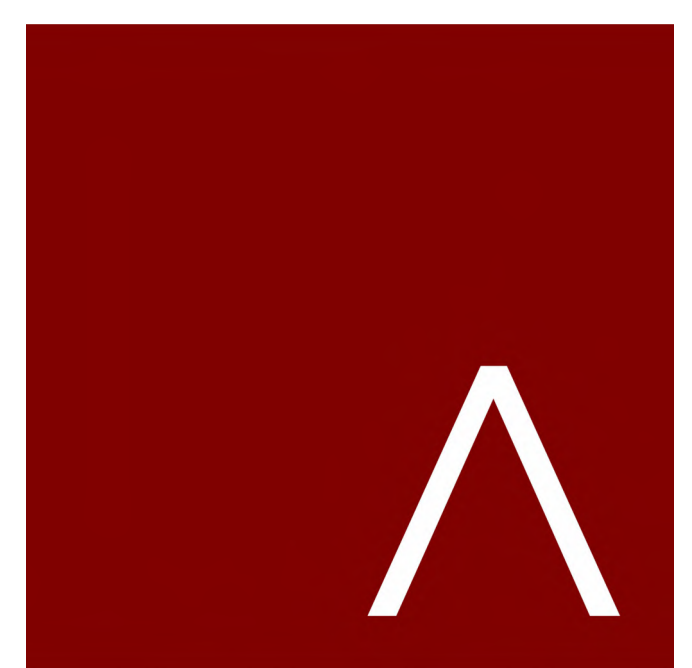
MARK	NOTE
07-02	PREFINISHED ALUMINUM DOWNSPOUT. COLOR TO MATCH GUTTERS. REFER TO EXTERIOR ELEVATIONS AND ROOF PLAN FOR PROPOSED LOCATIONS. COORDINATE INSTALL REQ'S LOCATION & SIZE W/ ROOFING CONTRACTOR.
07-07	ROOFTOP RIDGE VENT; COORDINATE REQ'D VENT AREA W/ RIDGE VENT MFR; SEE EXT MATERIALS SCHEDULE FOR COLOR SELECTION.
07-08	PREFINISHED ALUMINUM "K STYLE" GUTTER. COLOR TO MATCH DOWNSPOUTS. COORDINATE INSTALL REQ'S LOCATION & SIZE W/ ROOFING CONTRACTOR.
10-01	(1) 4'-0" x 4'-0" BULLETIN BOARD
10-02	(1) 4'-0" x 4'-0" WHITEBOARD
10-03	(2) 4'-0" x 8'-0" WHITEBOARDS
11-01	WOOD LOCKER ROOM BENCHES WITH STEEL TUBE PEDESTAL
11-02	CHEST FREEZER - SIZE TBD
11-03	UPRIGHT REFRIGERATOR - SIZE TBD
12-01	18" x 42" STAINLESS STEEL COUNTER ON WALL-MOUNT METAL SUPPORT BRACKETS
12-04	42" STAINLESS STEEL COUNTER - COORDINATE WITH ROLLING COUNTER DOOR
23-02	48" W x 24" H TRANSFER GRILLE. TOP OF GRILLE TO BE 8'-8" A.F.F. VERIFY SIZE AND LOCATION WITH MECHANICAL CONTRACTOR. VERIFY OPENING REQUIREMENTS WITH STRUCTURAL ENGINEER.
23-04	DEHUMIDIFIER - VERIFY LOCATION WITH MECHANICAL CONTRACTOR



8 LOCKER PLAN - LOCKER BUILDING
1/8" = 1'-0"



18 LOCKER BUILDING FLOOR PLAN
1/8" = 1'-0"



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OAK CREEK HIGH SCHOOL - STADIUM IMPROVEMENT PROJECT

PLAN COMMISSION SET

DATE OF ISSUANCE: AUGUST 29, 2023

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

LOCKER BUILDING PLANS

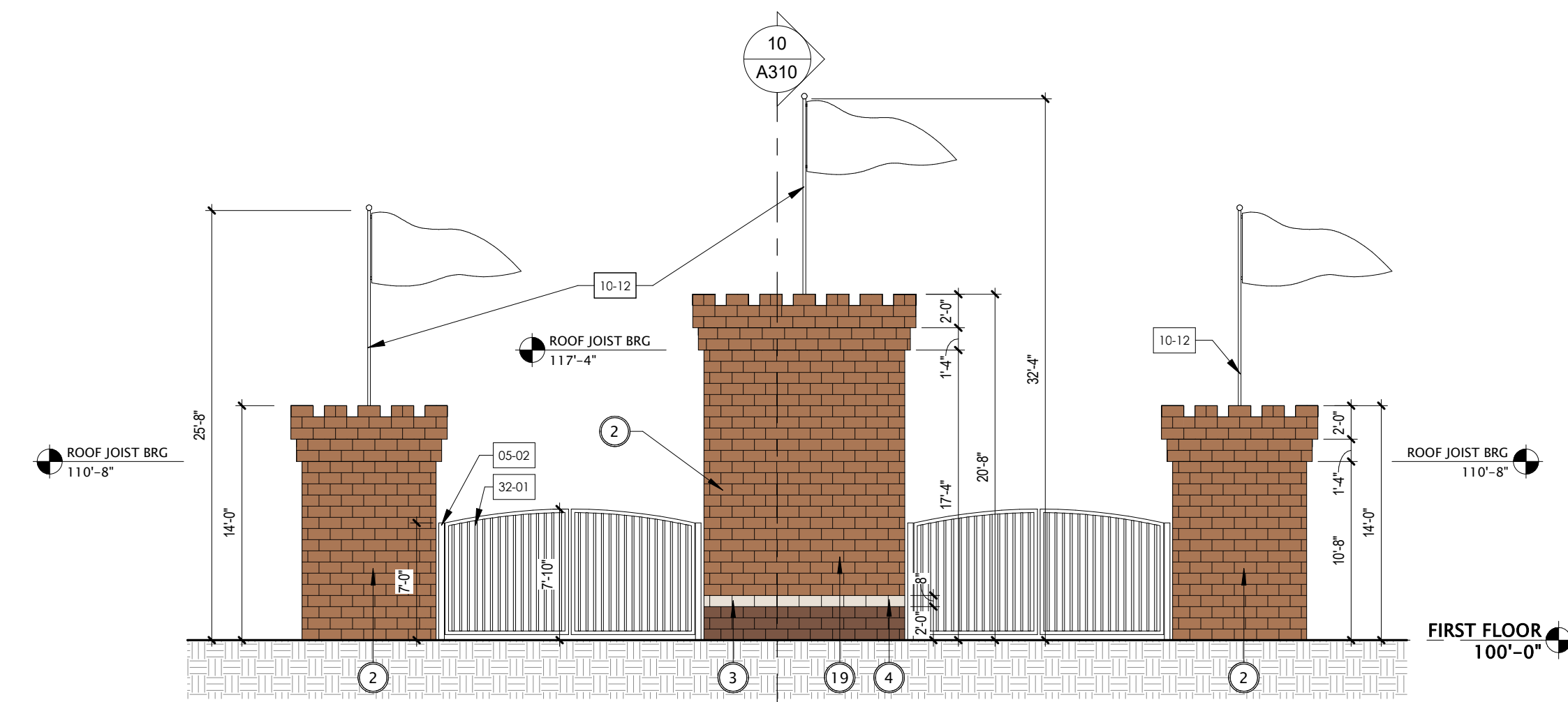
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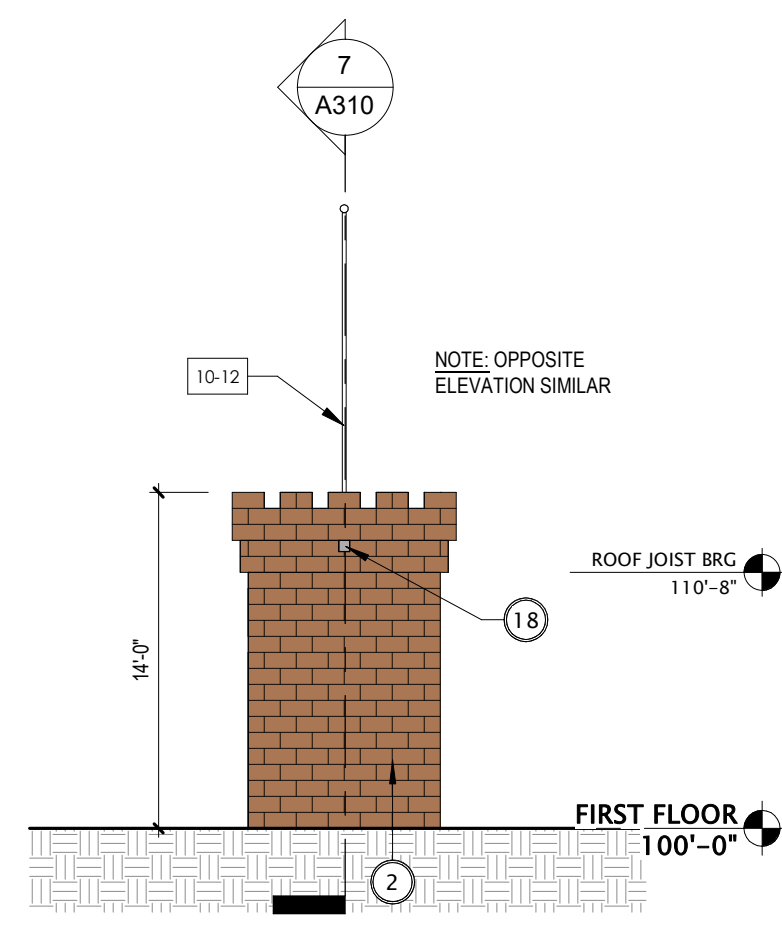
GENERAL NOTES - EXTERIOR ELEVATIONS	
1.	COORDINATE WITH ARCHITECT THE LOCATION OF ALL MEP-RELATED PENETRATIONS OF THE EXTERIOR ENVELOPE.
2.	COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS.
3.	SEE SHEET A800 FOR WINDOW TYPES AND SCHEDULE.

KEYNOTE SCHEDULE	
MARK	NOTE
05-02	HSS 4x4x1/2 PAINTED (BLACK) STEEL POST FRAMING, CONCRETE-FILLED WITH SONOTUBE FOOTINGS (TYP)
10-12	ALUMINUM FLAGPOLE, ANCHORED TO ROOF JOISTS (DESIGN BY OTHERS). PROVIDE LIGHTNING PROTECTION AS REQUIRED
32-01	METAL DECORATIVE SWING GATES (BLACK) WITH BOTTOM WHEEL SUPPORT AND PIN STOP ACCESSORIES

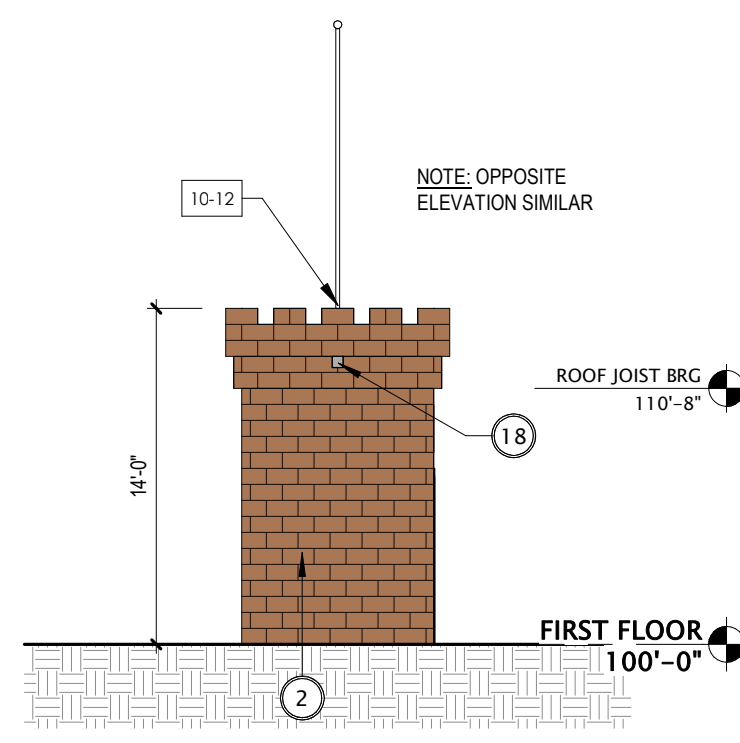
EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	FIBERGLASS WINDOWS	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	
2	CMU BLOCK	COUNTY MATERIALS	SPLIT-FACED, SINGLE-WYTHE	SEE PLANS	ORANGE	PAINTED BLOCK - MATCH CAMPUS COLOR
3	CMU BLOCK	COUNTY MATERIALS	SPLIT-FACED, SINGLE-WYTHE	SEE PLANS	RED	PAINTED BLOCK - MATCH CAMPUS COLOR
4	CMU BLOCK	COUNTY MATERIALS	SPLIT-FACED, SINGLE-WYTHE	SEE PLANS	WHITE	PAINTED BLOCK - MATCH CAMPUS COLOR
5	CMU BLOCK	COUNTY MATERIALS	SPLIT-FACED, SINGLE-WYTHE	SEE PLANS	BLUE	PAINTED BLOCK - MATCH OAK CREEK STANDARD
6	CMU BLOCK	COUNTY MATERIALS	SPLIT-FACED, SINGLE-WYTHE	SEE PLANS	LIGHT BLUE	PAINTED BLOCK - MATCH OAK CREEK STANDARD
7	COMPOSITE HORIZONTAL LAP SIDING	LP SMARTSIDE	38 SERIES CEDAR TEXTURE	6" EXPOSURE	BLUE	MATCH OAK CREEK STANDARD
8	COMPOSITE TRIM	LP SMARTSIDE	440 SERIES CEDAR TEXTURE	3-1/2"	BLUE	MATCH OAK CREEK STANDARD
9	COMPOSITE FASCIA	LP SMARTSIDE	440 SERIES CEDAR TEXTURE	7-1/4"	WHITE	
10	COMPOSITE SOFFIT	LP SMARTSIDE	38 SERIES VENTED CEDAR TEXTURE	24" WIDTH	WHITE	
11	SWING DOOR	THERMA-TRU (OR EQUAL)	INSULATED	SEE PLANS	WHITE	
12	OVERHEAD SECTIONAL GARAGE DOOR	MODEL 430		SEE PLANS	WHITE	
13	ROLLING SERVICE DOOR	OVERHEAD DOOR	MODEL 600	SEE PLANS	WHITE	
14	ROLLING COUNTER DOOR	OVERHEAD DOOR	MODEL 651	SEE PLANS	WHITE	
15	ALUMINUM GUTTERS & DOWNSPOUTS	TBD	K-STYLE	SEE PLANS	WHITE	
16	ASPHALT SHINGLES	CERTAINTEED	LANDMARK SERIES	SEE PLANS	DRIFTWOOD	
17	LOUVER / GRILLE	TBD	TBD	SEE PLANS	WHITE	
18	THRU-WALL ROOF DRAIN	PAC-CLAD (OR EQUAL)	PREFINISHED ALUMINUM	SEE PLANS	BLACK	
19	CHANNEL LETTERING	POBLOCKI	PREFINISHED ALUMINUM	SEE PLANS	WHITE	
20	PAINTED LETTERING / LOGO	-	-	SEE PLANS	SEE PLANS	PAINTED BLOCK - MATCH OAK CREEK STANDARD



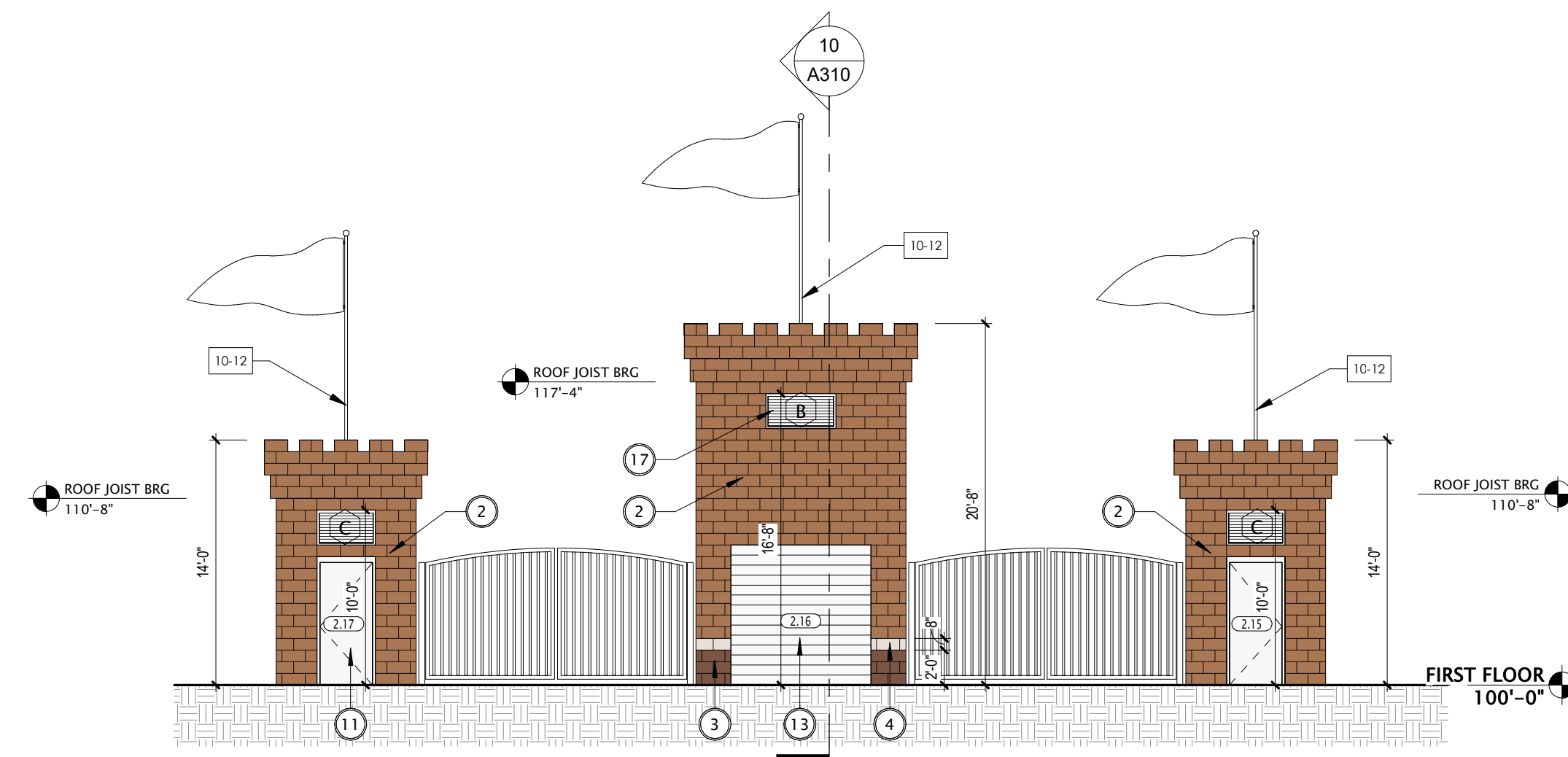
14 ENTRY GATE - SOUTH ELEVATION
1/8" = 1'-0"



17 ENTRY GATE - WEST ELEVATION
1/8" = 1'-0"



18 ENTRY GATE - EAST ELEVATION
1/8" = 1'-0"



19 ENTRY GATE - NORTH ELEVATION
1/8" = 1'-0"



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SHEET TITLE
EXTERIOR ELEVATIONS
ENTRANCE GATE

SHEET NUMBER

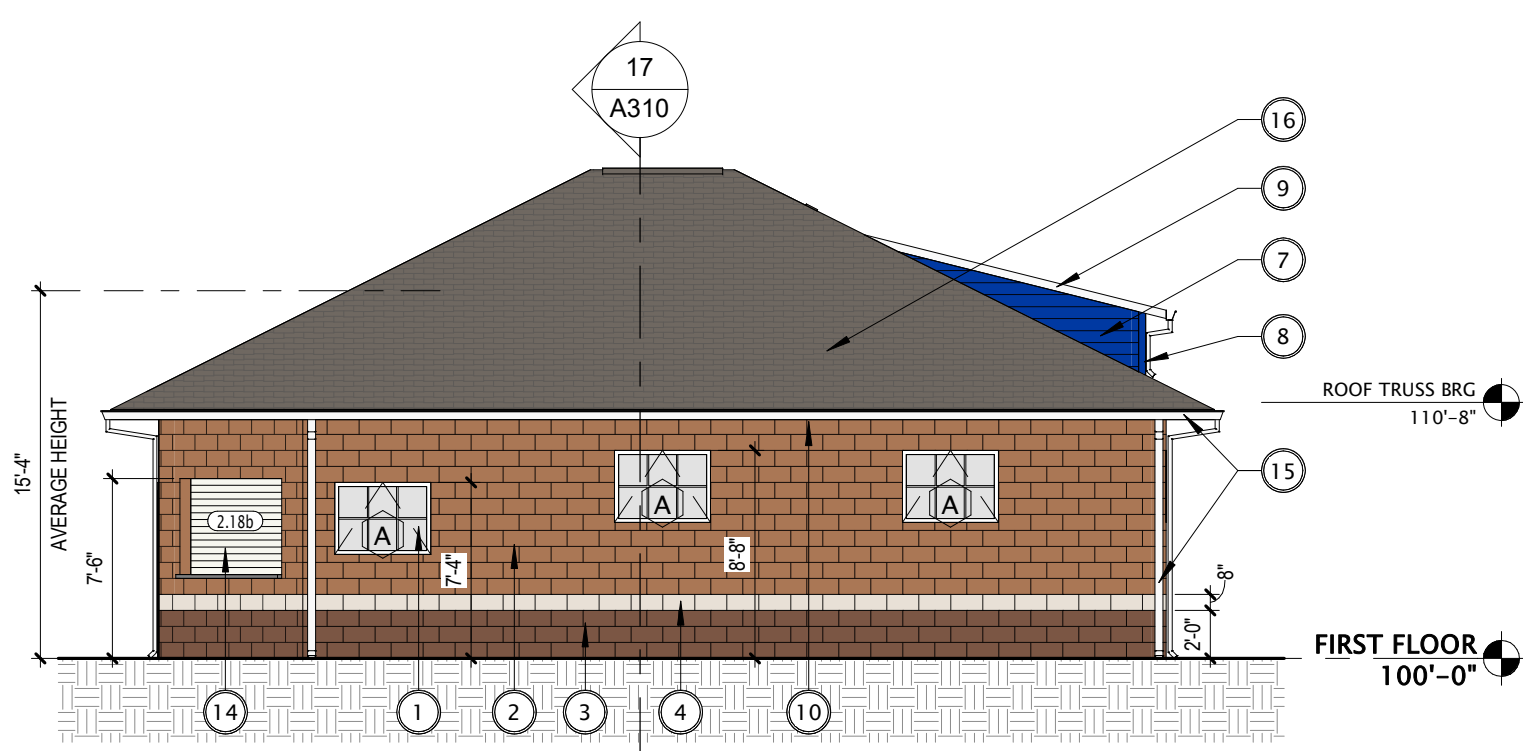
A200

GENERAL NOTES - EXTERIOR ELEVATIONS

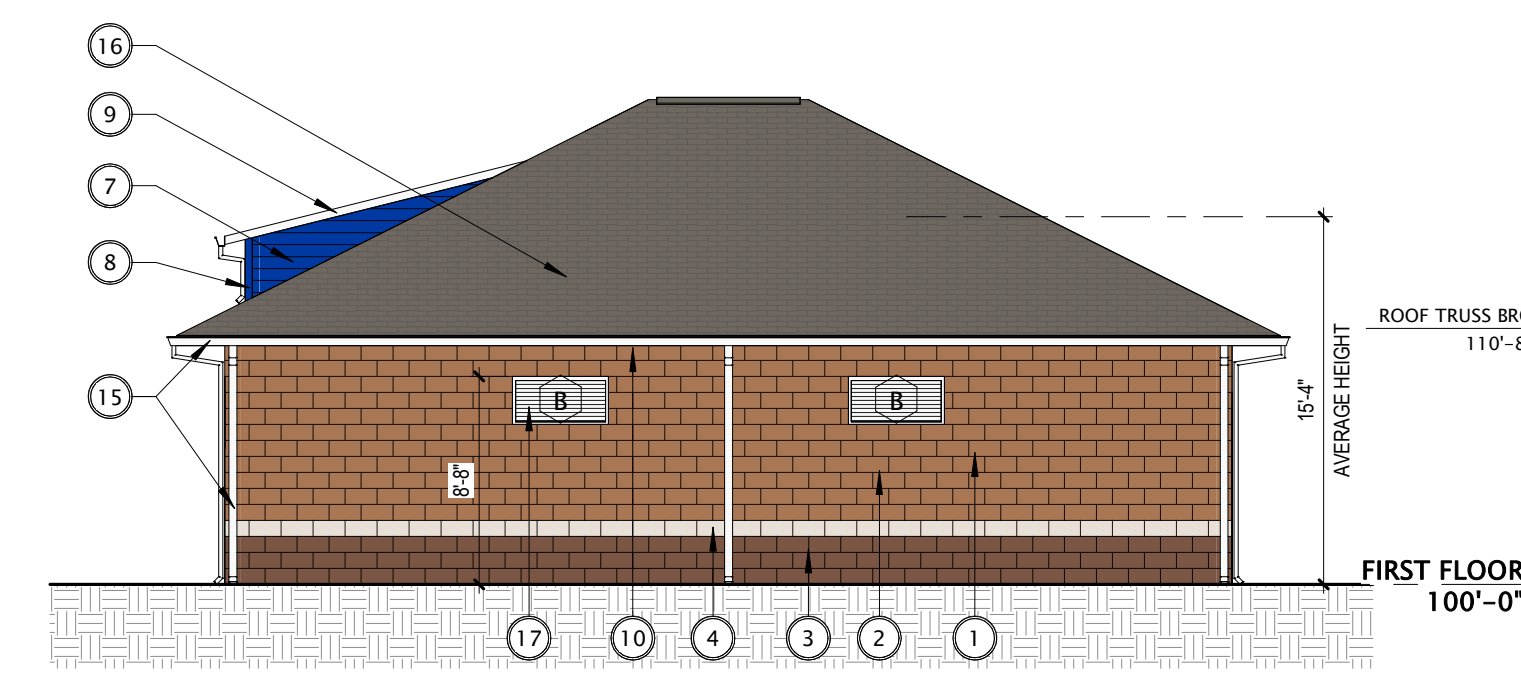
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- COORDINATE WITH ARCHITECT THE LOCATION OF ALL EXTERIOR MATERIAL PANEL JOINTS, CONTROL JOINTS, AND EXPANSION JOINTS.
- SEE SHEET A800 FOR WINDOW TYPES AND SCHEDULE.

EXTERIOR MATERIALS SCHEDULE

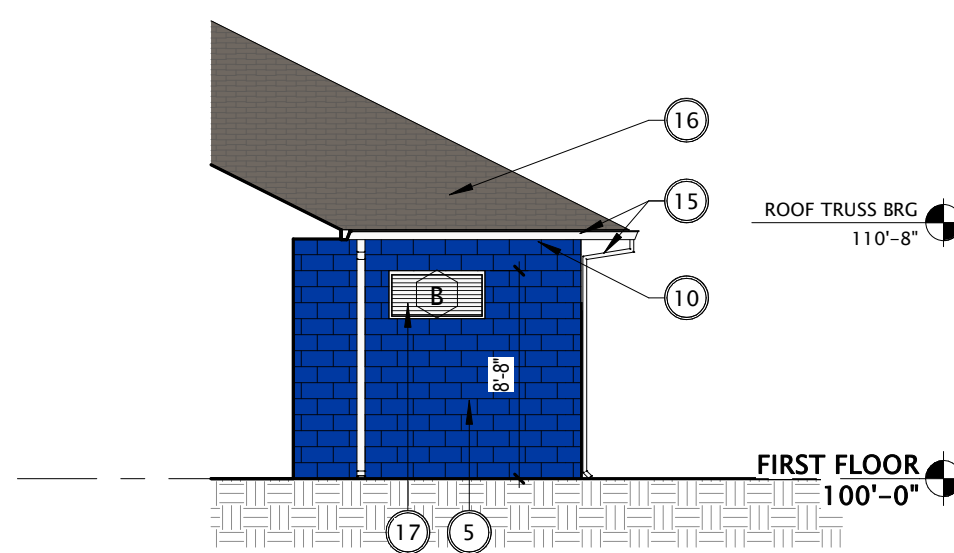
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
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5	CMU BLOCK	COUNTY MATERIALS	SPLIT-FACED, SINGLE-WYTHE	SEE PLANS	BLUE	PAINTED BLOCK - MATCH OAK CREEK STANDARD
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18	THRU-WALL ROOF DRAIN	PAC-CLAD (OR EQUAL)	PREFINISHED ALUMINUM	SEE PLANS	BLACK	
20	PAINTED LETTERING / LOGO	--	--	SEE PLANS	SEE PLANS	PAINTED BLOCK - MATCH OAK CREEK STANDARD



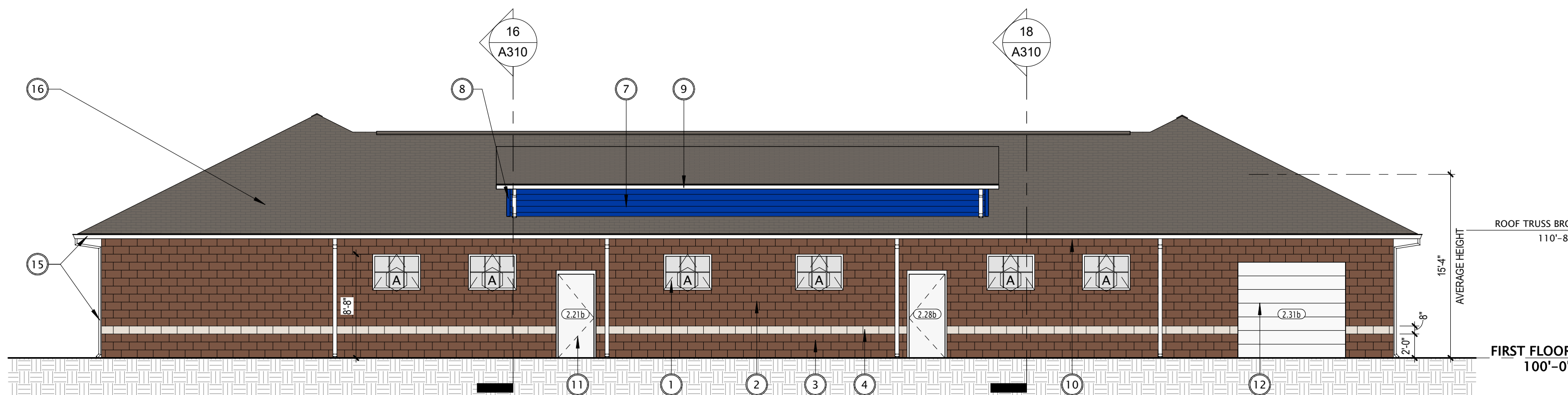
8 LOCKER BUILDING - NORTH ELEVATION
1/8" = 1'-0"



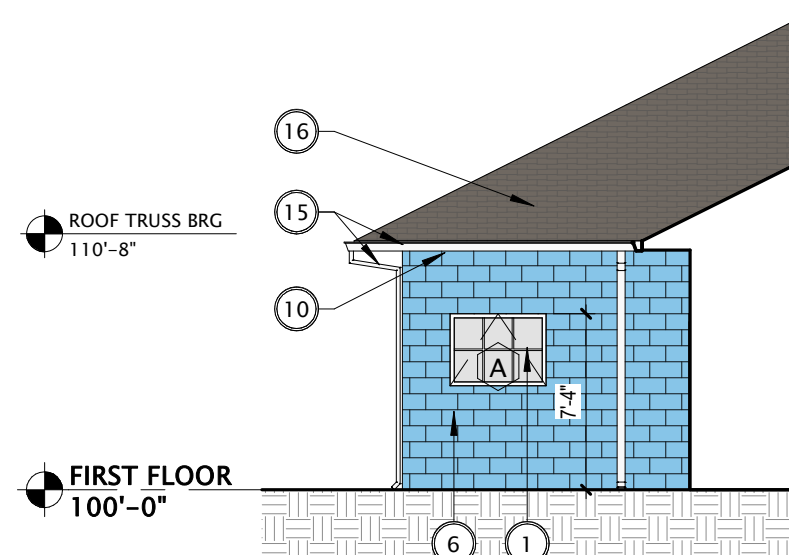
10 LOCKER BUILDING - SOUTH ELEVATION
1/8" = 1'-0"



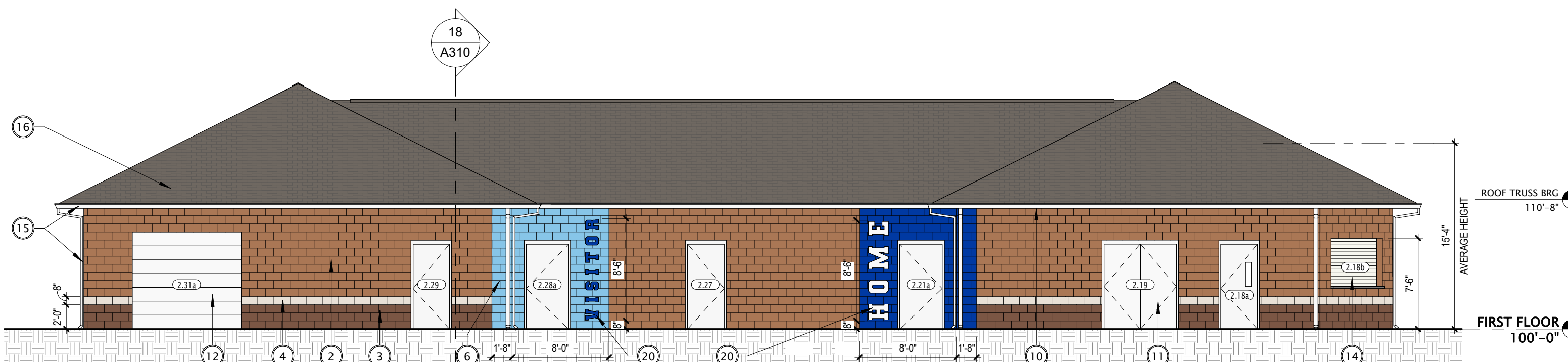
12 LOCKER BUILDING - SOUTH INSIDE ELEVATION
1/8" = 1'-0"



13 LOCKER BUILDING - WEST ELEVATION
1/8" = 1'-0"



17 LOCKER BUILDING - NORTH INSIDE ELEVATION
1/8" = 1'-0"



18 LOCKER BUILDING - EAST ELEVATION
1/8" = 1'-0"



JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: 23-0518



BOLDT
BUILD BOLDLY

OAK CREEK HIGH SCHOOL - STADIUM IMPROVEMENT PROJECT

PLAN COMMISSION SET

DATE OF ISSUANCE: AUGUST 29, 2023

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
EXTERIOR ELEVATIONS
LOCKER BLDG

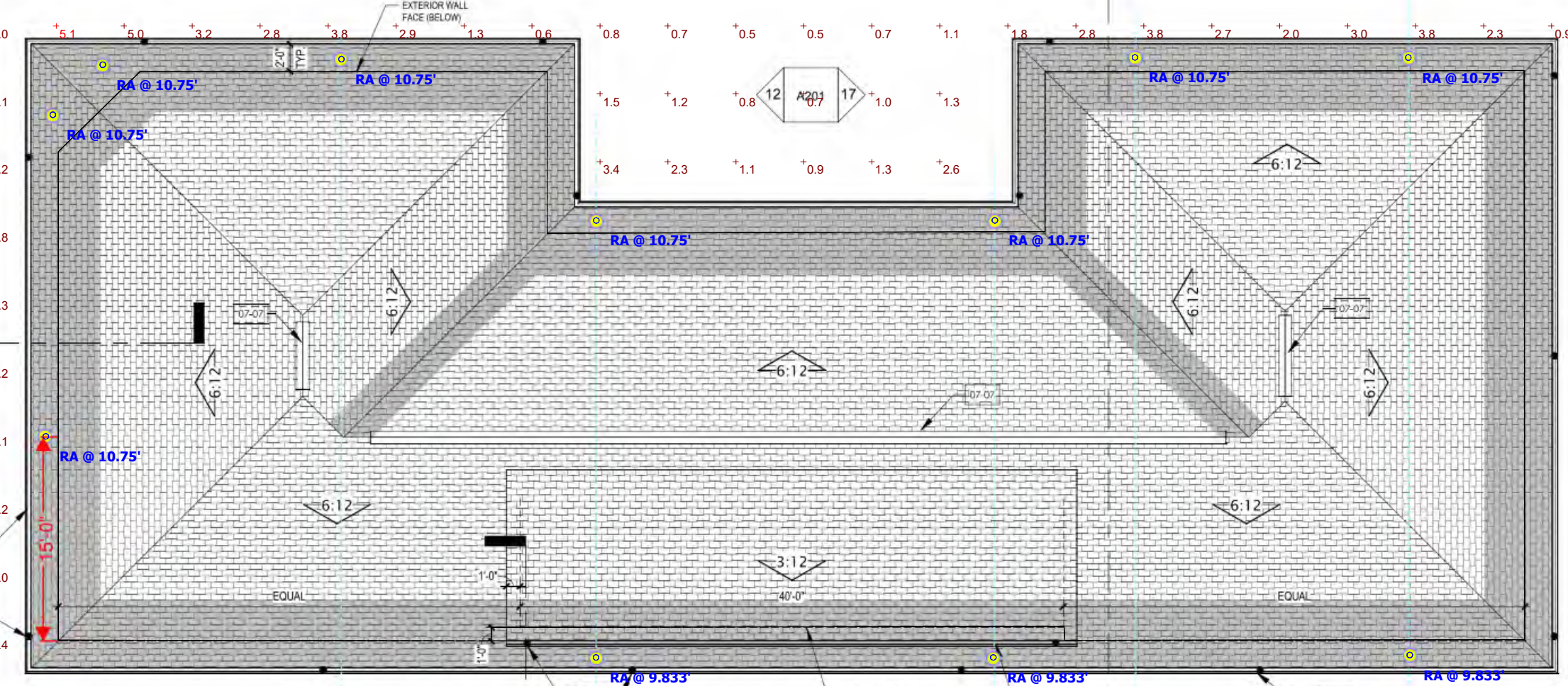
SHEET NUMBER

A201



Luminaire Locations										
Location										Aim
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	RA	-35.85	22.50	10.75	10.75	0.00	0.00	-35.85	22.50	0.00
2	RA	-39.52	18.82	10.75	10.75	0.00	0.00	-39.52	18.82	0.00
3	RA	0.46	11.03	10.75	10.75	0.00	0.00	0.46	11.03	0.00
4	RA	0.44	-21.13	9.83	9.83	0.00	0.00	0.44	-21.13	0.00
5	RA	29.66	-21.13	9.83	9.83	0.00	0.00	29.66	-21.13	0.00
6	RA	60.30	-20.95	9.83	9.83	0.00	0.00	60.30	-20.95	0.00
7	RA	-40.04	-4.86	10.75	10.75	0.00	0.00	-40.04	-4.86	0.00
8	RA	-18.29	22.91	10.75	10.75	0.00	0.00	-18.29	22.91	0.00
9	RA	29.77	11.04	10.75	10.75	0.00	0.00	29.77	11.04	0.00
10	RA	40.08	23.03	10.75	10.75	0.00	0.00	40.08	23.03	0.00
11	RA	60.19	23.03	10.75	10.75	0.00	0.00	60.19	23.03	0.00

Statistics										
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min				
Calc Zone #2	+	0.2 fc	5.1 fc	0.0 fc	N/A	N/A				



Plan View
Scale = 1" = 10ft

LITHONIA LIGHTING

WF6 LED Recessed Downlight

WF6 6" LED Switchable White Color Temperature

FEATURES & SPECIFICATIONS

- RECESSED:** 6" diameter, 1.5" depth, 1.5" trim diameter. Fits into standard 6" recessed ceiling.
- RETRACTABLE:** 6" diameter, 1.5" depth, 1.5" trim diameter. Fits into standard 6" recessed ceiling.
- RETRACTABLE:** 6" diameter, 1.5" depth, 1.5" trim diameter. Fits into standard 6" recessed ceiling.

PHOTOMETRICS

Beam Angle	Beam Diameter @ 10'	Beam Diameter @ 20'	Beam Diameter @ 30'	Beam Diameter @ 40'	Beam Diameter @ 50'	Beam Diameter @ 60'	Beam Diameter @ 70'	Beam Diameter @ 80'	Beam Diameter @ 90'	Beam Diameter @ 100'
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PHOTOMETRICS

Beam Angle	Beam Diameter @ 10'	Beam Diameter @ 20'	Beam Diameter @ 30'	Beam Diameter @ 40'	Beam Diameter @ 50'	Beam Diameter @ 60'	Beam Diameter @ 70'	Beam Diameter @ 80'	Beam Diameter @ 90'	Beam Diameter @ 100'
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90°	20.0"	40.0"	60.0"	80.0"	92.0"	104.0"	116.0"	128.0"	134.0"	140.0"

WF6 Switchable White 6" LED Wafer Module

PHOTOMETRICS

Beam Angle	Beam Diameter @ 10'	Beam Diameter @ 20'	Beam Diameter @ 30'	Beam Diameter @ 40'	Beam Diameter @ 50'	Beam Diameter @ 60'	Beam Diameter @ 70'	Beam Diameter @ 80'	Beam Diameter @ 90'	Beam Diameter @ 100'
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WF6 Switchable White 6" LED Wafer Module

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WF6 Switchable White 6" LED Wafer Module

ENERGY DATA

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LIGHTING PERFORMANCE DATA

HIGH LUMEN



PLAN COMMISSION REPORT

Proposal: Conditional Use Permit Amendment – Private School and Daycare Facility

Description: Review a request for an amendment to the existing Conditional Use Permit for a proposed private school and daycare facility within a portion of the existing institutional building on the property at 6912 S. 27th St.

Applicant(s): Skip Henderson, World Outreach Bible and Training Center, and LeTrisha Daniel, A Mother’s Heart Learning Center

Address(es): 6912 S. 27th St. (2nd Aldermanic District)

Suggested Motion: That the Plan Commission recommends that the Common Council approves a Conditional Use Permit Amendment to allow a private school and daycare facility on the property at 6912 S. 27th St., after a public hearing and subject to Conditions and Restrictions that will be prepared for the Plan Commission’s review at the next meeting (October 10, 2023).

Owner(s): WORLD OUTREACH AND BIBLE TRAINING CENTER INC

Tax Key(s): 737-9026-000

Lot Size(s): 6.935 ac

Current Zoning District(s): I-1, Institutional

Overlay District(s): CU

Wetlands: Yes No **Floodplain:** Yes No

Comprehensive Plan: Commercial

Background:

The Applicant is requesting recommendation of approval for an amendment to the existing Conditional Use Permit for a private school and daycare facility within a portion of the existing institutional building on the property at 6912 S. 27th St. Private schools and daycare facilities are Conditional Uses in the I-1, Institutional

district. A copy of the Conditions and Restrictions for the establishment of a religious institution approved May 16, 2017 by Ord. 2851 is included with this report for Plan Commission reference.

Per the submitted information, the operations for a daycare facility will be established first and are anticipated to continue through August of 2025. At that point, the daycare facility will move offsite, and the school will be established in the same space. Details for each of the operations are in the table below.

	Staff	Classrooms	Children/Classroom	Hours
Daycare (2023-2025)	14 - 16	5 - 6	10	6:00 AM - 6:00 PM
2-year-olds		1		
3-year-olds		1		
4-year-olds		2		
5-year-olds		2		
School (2025 - 2029)	20	8	10	6:00 AM - 6:00 PM
3- & 4-year-olds		2		
5- & 6-year-olds		2		
7- & 8-year-olds		2		
9- & 10-year-olds		2		

No outdoor operations, including playground areas, are anticipated at opening; however, the option will be explored following the opening of the daycare facility. Should an outdoor play area be proposed, Site and Building Plan Review before the Plan Commission will be required. It is unclear whether there is an existing trash and recycling enclosure onsite, and no information on such has been submitted. Trash and recycling containers must be located within an approved and screened enclosure per Code.

While staff did not receive information on the operations for World Outreach and Bible Training Center, including the use of the remaining building areas, the submitted narrative states that the same classrooms will be utilized for their Sunday operations. All areas must comply with Fire Code, Building Code, and State licensure requirements.

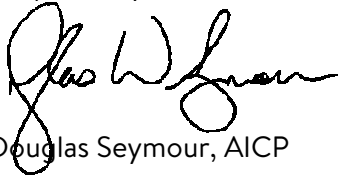
Plans originally approved for the theater included more than 400 parking stalls. Current parking requirements are one (1) stall for every 250 square feet for daycare facilities, one (1) stall for every two (2) persons at maximum capacity for religious institutions, and as needed based on a parking demand study for private schools. Based on the estimated square footage for the daycare and school area, which includes hallways and restrooms, 24 parking stalls would be required for the daycare portion. No parking demand study has been submitted for the school portion, nor has a maximum capacity for the religious institution use been provided. It can be reasonably assumed that since the parking lot was originally designed for theater capacity that the proposed uses will not require parking beyond existing.

NOTE: The Commission’s initial review and recommendation of the proposed Conditional Use Permit is not an endorsement of any site, architectural, landscaping, or lighting plan that may be required as part of the final Conditional Use Permit. A more detailed review of any plans required by the Conditional Use Permit will be conducted by staff and the Plan Commission as required subsequent to the issuance of the Conditional Use Permit and accompanying conditions and restrictions.

Should the Plan Commission determine that the request for a Conditional Use Permit Amendment for a private school and daycare facility is appropriate, Conditions and Restrictions will be prepared for the Plan Commission’s review at the October 10, 2023 meeting.

Options/Alternatives: The Plan Commission has the discretion to recommend or not recommend Common Council approval of the Conditional Use Permit request. Should the request not be recommended for Council approval, Plan Commissioners must provide the Code Sections upon which the denial is based, and the Applicant may choose to request Council approval without recommendation. In that case, the Council would have the authority to approve the request, and remand the proposal back to the Plan Commission for Conditions and Restrictions.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Senior Planner

Attachments:

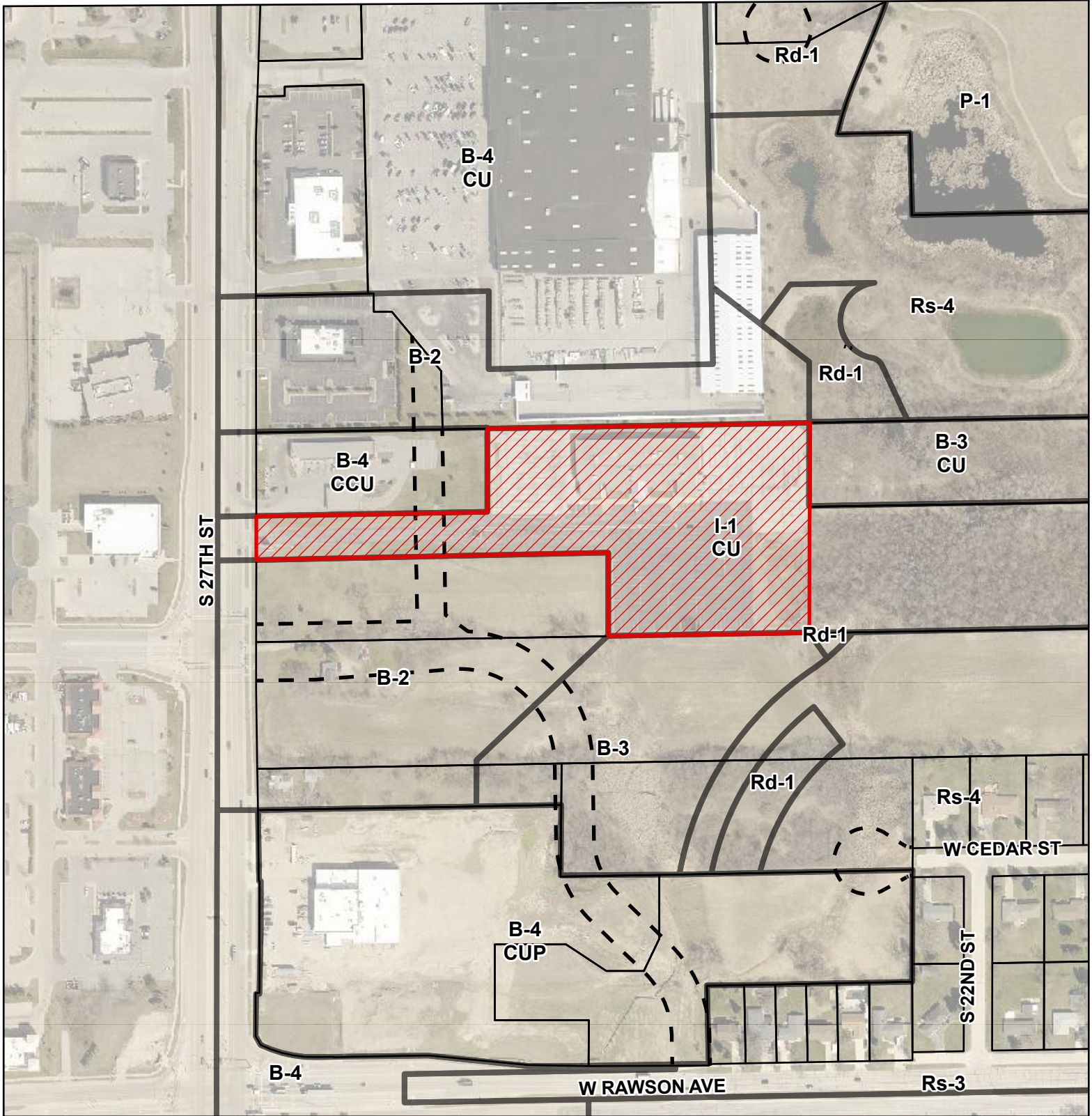
Location Map

Conditions & Restrictions, Ord. 2851 (7 pages)

Narrative & Addenda (18 pages)

LOCATION MAP

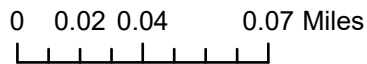
6912 S. 27th St.



This map is not a survey of the actual boundary of any property this map depicts.



Community Development



Legend

- Zoning
- Official Map
- Floodway
- Flood Fringe
- 6912 S. 27th St.

**City of Oak Creek – Conditional Use Permit (CUP)
Conditions and Restrictions**

Applicant: Mark Weigt, The Ridge Community Church
Property Addresses: 6912 & 6912R S. 27th St.
Tax Key Number(s): 737-9026-000 & 737-9028-000
Conditional Use: Religious Institution

Approved by Plan Commission: 4-25-17
Approved by Common Council: 5-16-17
(Ord. #2851)

1. LEGAL DESCRIPTION

PARCEL A, 6912 S. 27th St.:

Parcel 2 of Certified Survey Map No. 5886, recorded on September 28, 1993 on Reel 3128, Images 1489 to 1492 as Document No. 6833527, being a division of Parcel 2 in Certified Survey Map No. 4678 and lands in the NE 1/4, NW 1/4, SE 1/4 and SW 1/4 of the SW 1/4 of Section 6, T 5 N, R 22 E, in the City of Oak Creek, County of Milwaukee, State of Wisconsin.

PARCEL B, 6912R S. 27th St.:

Outlot 1 of Certified Survey Map No. 5886 recorded on September 28, 1993 on Reel 3128, Images 1489 to 1492 as Document No. 6833527, being a division of Parcel 2 in Certified Survey Map No. 4678 and lands in the NE 1/4, NW 1/4, SE 1/4 and SW 1/4 of the SW 1/4 of Section 6, T 5 N, R 22 E, in the City of Oak Creek, County of Milwaukee, State of Wisconsin.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. A precise detailed site plan for the area affected by the Conditional Use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) General Development Plan

- a) Detailed building location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
 - i) Location(s)
 - ii) Number of employees
 - iii) Number of parking spaces for all uses/users
 - iv) Dimensions
 - v) Setbacks
- h) Location(s) of loading berth(s)
 - i) Location of sanitary sewer (existing & proposed)
 - j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- l) Location(s) of wetlands & floodplains (field verified)
- m) Location(s), square footage and height of sign(s)

2) Landscape Plan

- a) Screening plan
- b) Number, initial size and type of plantings
- c) Parking lot screening/berming

3) Building Plan

- a) Architectural elevations (w/dimensions)
- b) Building floor plans
- c) Materials of construction (including colors, details)

4) Lighting Plan

- a) Type(s) & color(s) of fixtures
- b) Mounting heights
- c) Type(s) & color of poles
- d) Photometrics of proposed fixtures

5) Grading, Drainage and Stormwater Management Plan

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) Fire Protection

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction

- B. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.
- C. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.
- D. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements required in Item 1 above, and/or as specified by these conditions and restrictions.
- E. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, etc.) shall be subject to approval by the City Engineer.
- F. If required by the City of Oak Creek, public easements for telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted; provided there is access to each of the aforementioned systems and their appurtenances.
- G. All electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- H. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit.

3. PARKING, LOADING, AND ACCESS

- A. Parking for this project shall utilize the existing parking stalls. Any changes shall require Plan Commission review and be provided in accordance with Sections 17.0329, 17.0330, and 17.0403. The number of parking stalls shall be in accordance with Sections 17.0403(j)(6)(a).
- B. Where 90° parking is indicated on the site plans, individual-parking stalls shall be nine (9) feet in width by eighteen (18) feet in length. The standards for other types of angle parking shall be those as set forth in Section 17.0403(d) of the Municipal Code.
- C. Movement aisles for 90° parking shall be at least twenty-two (22) feet in width.
- D. All off-street parking areas shall be surfaced with an all-weather wearing surface of plant mix asphaltic concrete over crushed stone base subject to approval by the City Engineer. A proposal to use other materials shall be submitted to the Plan Commission and the Engineering Department for approval. All parking areas, garages, and private drives shall be in place in accordance with the signed Development Agreement.
- E. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.
- F. All driveway approaches to this property shall be in compliance with all the standards set forth in Chapter 6 of the Oak Creek Municipal Code. Any off-site improvements shall be the responsibility of the property owner.
- G. All new or reconfigured off street parking areas shall be landscaped in accordance with Sections 17.0329, 17.0330, 17.0403, and 17.1010 of the Municipal Code.
- H. Adjustments to required parking may be made by the Plan Commission in accordance with Section 17.0404.

4. LIGHTING

All plans for new outdoor lighting for each stage of the development shall be reviewed and approved by the Plan Commission and Electrical Inspector in accordance with Sections 17.0329, 17.0330, & 17.0808 of the Municipal Code.

5. LANDSCAPING

A. Landscaping modifications shall be in accordance with Sections 17.0329, 17.0330, 17.0403(g), (h), & 17.1010.

B. Parking Lot Screening. Those parking areas for five (5) or more vehicles if adjoining a residential zoning district line or public right-of-way shall be screened from casual view by an earth berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way. All screening materials shall be placed and maintained at a minimum height of three (3) feet.

1. At least one ornamental deciduous tree, no less than 2.5" caliper, shall be incorporated into the design for every 35 linear feet of public street frontage.
2. At least 25% of the total green space area shall be landscaped utilizing plant materials, other than maintained turf, that contribute to ground coverage.
3. For purposes of determining the number of plants necessary to meet the minimum 25% ground coverage requirement, plant types are categorized by their general size and potential mature at-grade coverage area.

<u>Plant Type</u>	<u>Area of Coverage Provided</u>
Evergreen Tree (>8' Dia.)	75 sq. ft.
Large Shrub (6-8' Dia.)	38 sq. ft.
Medium Shrub (4-6' Dia.)	20 sq. ft.
Small Shrub (2-4' Dia.)	12 sq. ft.
Perennial (4.5" Pot)	6 sq. ft.

* Note shade and ornamental trees are not considered a plant type contributing to "at grade" coverage.

4. To assure a diversity of color, texture and year-round interest, the total number of plant materials must be comprised of a minimum 25% evergreens, but no more than 70%.

C. Interior Landscape Area. All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape islands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. Landscape islands or peninsulas shall be dispersed throughout the off-street parking area. Landscape islands shall provide a minimum 30-inch clear area for vehicle overhang and snow storage. One shade tree shall be provided within the interior planting area for every 300 square feet of interior landscaping. For parking lots designed for twenty-five (25) parking spaces or more, interior parking lot landscaping shall be provided at the following rates:

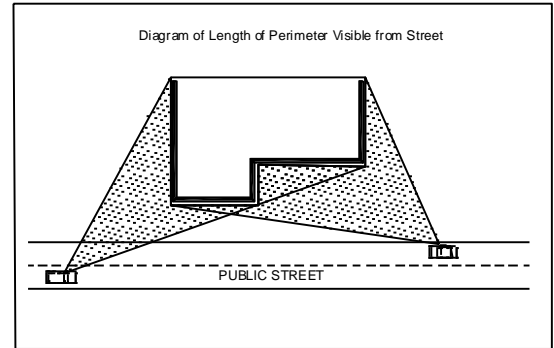
<u>Total Paved Area</u>	<u>Required Interior Planting Area</u>
0-49,999 sq. ft.	5% of paved area
50,000 sq. ft. or larger	10% of paved area

- D. Perimeter Landscape Area. In an effort to prevent adjacent parking lots from becoming one large expanse of paving, perimeter landscaping shall be required. The perimeter strip shall be a minimum 5 feet in width. A minimum of one tree and five shrubs is required for every 35 linear feet of the perimeter of the parking area and located within the perimeter landscape area.
- E. Landscaping Adjacent to Buildings. There shall be a minimum three-foot landscaped area provided between the edge of pavement and the entrance elevation(s) of all buildings.
- F. Screening of Trash. Trash receptacles shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- G. Screening of Ground Mounted Mechanical Equipment. Ground mounted mechanical equipment shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- H. Screening of Roof Mounted Mechanical Equipment. Roof mounted mechanical equipment shall be screened from casual view.
- I. Retaining Walls. No retaining wall shall exceed four (4) feet in height unless it has been designed and its construction supervised by a Professional Engineer. A retaining wall may be stepped to achieve greater height. Each step of the wall shall be no more than four (4) feet in height and shall be set back a minimum of three (3) feet from the previous step. Acceptable materials for retaining walls are: segmental masonry type, timber, or concrete. All retaining walls must incorporate landscaping as part of the design.
- J. Berms. Side slopes of berms shall not exceed a gradient of 1-ft. vertical to 3-ft. horizontal unless approved by the City Engineer.
- K. Buffer Yards. Appropriate buffers shall be provided between dissimilar uses as set forth in Section 17.0205 (d) of the Municipal Code.
- L. Submittal Requirements. A Landscape Plan (to scale) must be submitted which includes details of all proposed landscaping, buffering and screening, including the estimated cost of the landscaping. These plans shall be prepared by a landscape professional and show the location and dimensions of all existing and proposed structures, parking, drives, right-of-ways and any other permanent features, and all other information required by the Plan Commission, including but not limited to the following:
 - 1. A plant list and coverage chart showing the location, quantity, size (at time of planting and at maturity), spacing and the scientific and common names of all landscape materials used.
 - 2. The location and type of existing trees over four (4) inches in diameter (measured six (6) inches above the ground) within the area to be developed.
 - 3. The location and percent of slope of all proposed berms using one (1) foot contours.
 - 4. Detailed sections showing elevations of all proposed architectural features, such as walls, lighting or water features.
 - 5. Methods used in staking, mulching, wrapping or any other early tree care used.
 - 6. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule.
- L. The Plan Commission may modify any of the above standards by a $\frac{3}{4}$ majority vote of those Commissioners present at a meeting, but only if supplemental design elements or improvements are incorporated into the project which compensate for the modification of the particular standard.

6. ARCHITECTURAL STANDARDS

A. All new or modified structures shall meet the requirements of Sections 17.0329 and 17.0330 (General 27th Street Overlay Districts Design Standards and Regional Retail Overlay district) as well as Section 17.1009. No building shall be permitted if the design or exterior appearance is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.

B. No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades of surrounding properties and presents an attractive appearance to the public. Predominant exterior building materials must be of high quality. These include, but are not limited to brick, stone and tinted/textured concrete masonry units (CMUs). Smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel panels are not permitted as a primary exterior building materials.



C. The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material.

D. Material and color samples shall be submitted to the Plan Commission for review and approval.

E. The Plan Commission may modify any of the above building design standards by a $\frac{3}{4}$ vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the modification of the particular standard. In support of the modification request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the modification is requested (Sections 17.0329(c)(2)(c)(1) and Sec. 17.0329(c)(2)(c)(2).

F. The relative proportion of a building to its neighboring buildings or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.

G. Buildings shall be designed in such a manner that long expanses of blank wall are broken up by the use of windows, articulation, or modulation of the building footprint and/or changes in building materials and colors. Visible building facades in excess of 100 feet in length must incorporate recesses and projections along the length of the façade. Windows, awnings, and arcades must be an integral part of the façade abutting a public street.

H. Each principal building shall have a clearly defined, highly visible customer entrance with features such as canopies or porticos, arcades, arches, wing walls, and integral planters.

I. Sides of a building that are visible from adjoining residential properties and/or public streets should contribute to the pleasing scale features of the building by featuring characteristics similar to the front façade of the building. No overhead garage doors or loading docks shall face upon any street right-of-way or residential property unless otherwise modified by the Plan Commission pursuant to Section 17.1009(e) of the Municipal Code.

J. Dumpsters and other trash receptacles shall be fenced and/or screened from view from street rights-of-way and adjacent residential uses.

K. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule; as well as the approved protection of the identified wetlands and woodlands on the approved plan.

7. BUILDING AND PARKING SETBACKS*

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure	50'	50'	50'
Accessory Structure**	50'	See §17.0318(f)(3)	See §17.0318(f)(3)
Off-street Parking	15'	15'	15'

* These properties are located within the 27th Street & Regional Retail Overlay Districts.
 **No accessory structures shall be permitted in the front yard or in required buffer yards.

8. MAINTENANCE AND OPERATION

- A. The number, size, location and screening of appropriate solid waste collection units shall be subject to approval of the Plan Commission as part of the required site plan. Solid waste collection and recycling shall be the responsibility of the owner.
- B. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the owners.
- C. Regular hours of operation shall be:
 - a. Between the hours of 8:00 AM and 9:00 PM Monday through Saturday.
 - b. Between the hours of 7:00 AM and 2:00 PM Sunday.

9. SIGNS

All signs shall conform to the provisions of Sections 17.0329, 17.0330, and 17.0706 of the Municipal Code.

10. PERMITTED USES

- A. All permitted uses in the I-1, Institutional zoning district.
- B. All permitted uses in the RRO, Regional Retail Overlay district.
- C. One (1) religious institution.
- D. Usual and customary accessory uses to the above listed permitted uses.

11. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these conditions and restrictions for the Conditional Use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a Conditional Use Permit. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the ordinance if a building permit has not been issued for this use. The applicant shall re-apply for a Conditional Use approval prior to recommencing work or construction.

12. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, ordinances, and orders not heretofore stated or referenced, is mandatory.

13. VIOLATIONS & PENALTIES

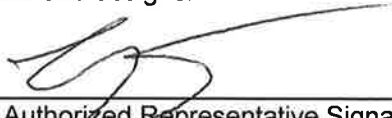
Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances. If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the city shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 14 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other city ordinances.

14. REVOCACTION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code.

15. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.



Owner / Authorized Representative Signature

5-18-17

Date

Rev Mark Wright

(please print name)



A Mother's Heart Learning Center
A Place Where LOVE Abounds

www.amhlc-wi.com
love@amhlc-wi.com

September 18, 2023

To The Common Council of the City of Oak Creek:

A Mother's Heart Learning Center (AMHLC) proposes using the area highlighted in **Addendum A** to establish a child development facility, *A Mother's Heart Learning Center - 003*. AMHLC will serve children ages 2 through 5 years old. We will operate at 6912 South 27th Street, Oak Creek, WI 53154, from 6:00 am - 6:00 pm, Monday through Friday. AMHLC will operate out of 6912 South 27th Street in years 2023 through August 31, 2025. AMHLC will then move to an offsite facility (to be determined). On September 1, 2025, our school, *Wellspring Mastery Academy (WMA)*, will open and occupy the same space once utilized by AMHLC. Wellspring Mastery Academy will serve scholars ages 3 through 10 years. We will operate Monday through Friday, 6:00 am - 6:00 pm.

We have included a 6-phase rollout plan (**see Addendums B**) which details how AMHLC will utilize the property (during Phases 1 and 2) and WMA will use the space (during Phases 3 through 6). The same space/square footage will be occupied for each phase of our rollout plan. No changes to the foundation or structure of 6912 South 27th Street, Oak Creek, WI 53154 are needed. An outdoor play area will be investigated during Phase 1 and a separate application will be submitted. The identified square footage will be used by AMHLC or WMA Monday through Friday, and used by World Outreach Bible and Training Center on Sunday.

Respectfully Submitted,

Le'Trisha Daniel

Le'Trisha Daniel
c/o A Mother's Heart Learning Center

RECEIVED

SEP 18 2023

CITY OF OAK CREEK

Addendum A p.1

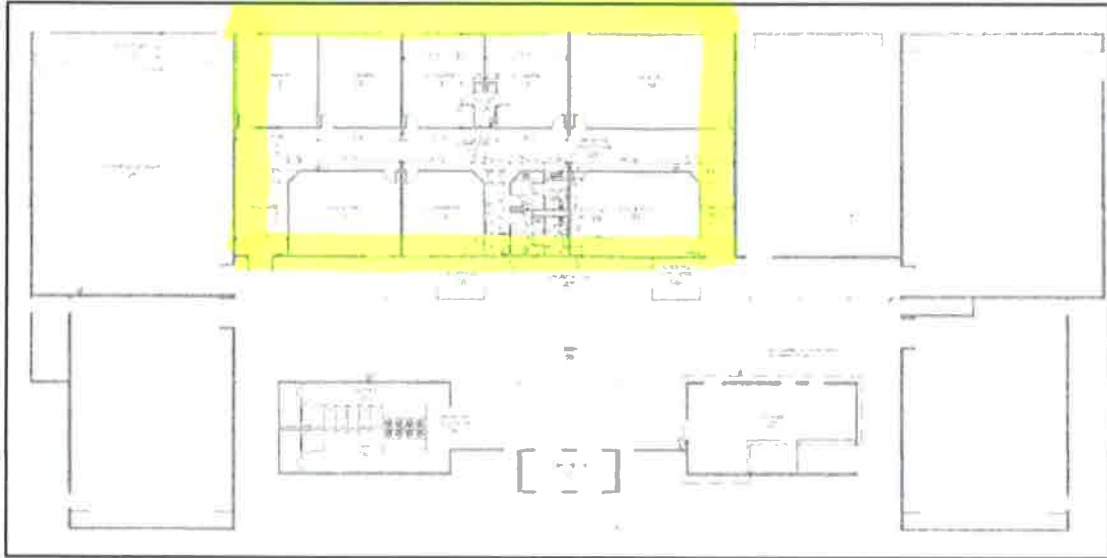
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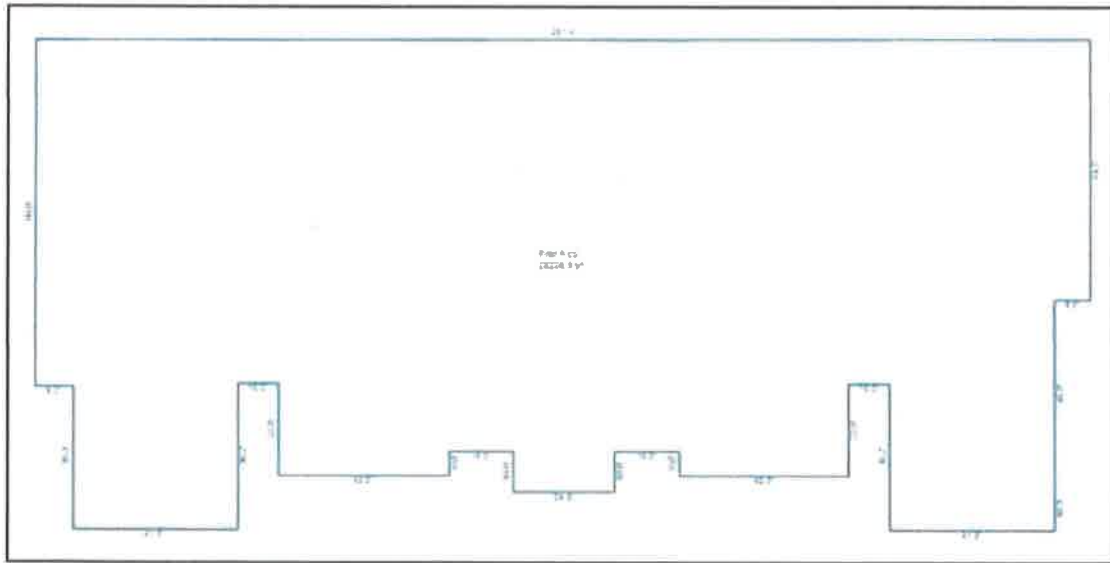
CITY OF OAK CREEK



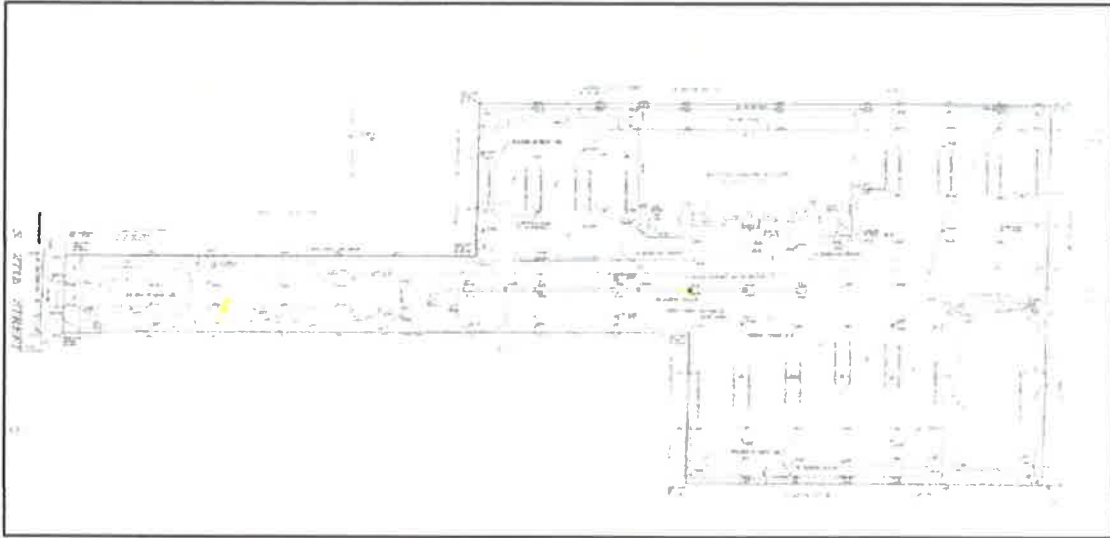
Appraisal Report
49 | Page



Building Floor Plan – First Floor



Building Sketch – Based on Measurements made during Inspection



Survey – Usable Portion of Site Only

PHOTOGRAPHS OF THE SUBJECT PROPERTY

Additional Photographs of the Subject Property are included in the Addenda



South and east elevations



North (rear) elevation – facing west

Addendum A p.3



Main entrance on south elevation



Facing west in driveway



Facing north on west elevation



Facing east on south elevation



Facing southeast on south elevation



Facing southeast/south on south elevation

Addendum A p. 4



Facing south on south elevation



Facing southwest on south elevation



Facing north along east parking lot boundary



Facing west showing south and east elevations



West elevation



Drain in parking lot

Addendum A p. 5



Foyer/gathering area



Foyer/gathering area



Foyer/gathering area



Foyer/gathering area



Cafes bar



Main entrance

Addendum A p.6



Foyer/gathering area



Foyer/gathering area



Unfinished space - former theater



Unfinished space - former theater



Unfinished space - former theater



Unfinished space - former theater

Addendum A p.7



Unfinished space - former theater



Unfinished space - former theater



Unfinished space - former theater



Education wing - classroom



Entrance to education wing



Corridor



Addendum A - p. 8



Classroom



Classroom



Classroom



Classroom



Classroom



Classroom

Addendum A - p. 9



Foyer/gathering area and entrance to auditorium



Exit to south



Unfinished former theater space



Unfinished former theater space



Sanctuary



Sanctuary

Addendum A - p. 10



Sanctuary



Sanctuary - sound booth



Mezzanine



Stairs down from mezzanine

A MOTHER'S HEART LEARNING CENTER ~ 003

ADDENDUM B - p.1

5 YEAR PROJECTIONS

RECEIVED

SEP 16 2023

OAK CREEK



A MOTHER'S HEART LEARNING CENTER

A PLACE WHERE LOVE ABOUNDS

A MOTHER'S HEART LEARNING CENTER

*Although I am not their mother,
I care for them each day.
I cuddle, sing, and read to them
And watch them as they play.
I see each new accomplishment
and help them grow and learn.
I understand their language
and listen with concern.
They come to me for comfort
And I soothe away their tears.
They proudly show their work to me.
I give the loudest cheers!
No, I am not their mother,
But my role is just as strong.
I nurture them and keep them safe,
though maybe not for long.
I know someday the time may come
When we will have to part.
But I know each child I have cared for
Is forever in my heart!*

-Author Unknown

PHASE 1: CHILD DEVELOPMENT CENTER (2-4 YRS) ♥

We will establish **A Mother's Heart Learning Center ~ 003**. Our development center will serve children ages 2 through 4 years. We will have 5 classrooms, 1 for 2 year olds, 2 for 3 year olds, and 2 for 4 year olds. At full capacity, we anticipate employing fourteen staff members and educating ten children per classroom (i.e., a total of 64 persons on campus). Please note: room assignments may change based on enrollment.

PHASE 2: CHILD DEVELOPMENT CENTER (2-5 YRS) ♥

We will continue growing **A Mother's Heart Learning Center ~ 003**. Our development center will expand service to children ages 2 through 5 years. We will have 6 classrooms, 1 for 2 year olds, 1 for 3 year olds, 2 for 4 year olds, and 2 for 5 year olds. At full capacity, we anticipate employing sixteen staff members and educating ten children per classroom (i.e., a total of 76 persons on campus). Please note: room assignments may change based on enrollment.

PHASE 3: MASTERY ACADEMY (3-7 YRS) ♥

A Mother's Heart Learning Center ~ 003 will move to another location (to be determined). We will found **Wellspring Mastery Academy**. WMA will be located at 6912 S 27th Street. Our academy will serve scholars ages 3 through 7 years. We will have 8 classrooms, 2 for 3/4 year olds, 2 for 4/5 year olds, 2 for 6 year olds, and 2 for 7 year olds. At full capacity, we anticipate employing twenty staff members and educating ten children per classroom (i.e., a total of 100 persons on campus). Please note: room assignments may change based on enrollment.

PHASE 4: MASTERY ACADEMY (3-8 YRS) ♥

Wellspring Mastery Academy will serve scholars ages 3 through 8 years. We will have 8 classrooms, 1 for 3/4 year olds, 1 for 4/5 year olds, 2 for 6 year olds, 2 for 7 year olds, and 2 for 8 year olds. At full capacity, we anticipate employing twenty staff members and educating ten children per classroom (i.e., a total of 100 persons on campus). Please note: room assignments may change based on enrollment.

PHASE 5: MASTERY ACADEMY (3-9 YRS) ♥

We will continue growing **Wellspring Mastery Academy**. WMA will serve scholars ages 3 through 9 years. We will have 8 classrooms, 1 for 3/4 year olds, 1 for 5/6 year olds, 2 for 7 year olds, 2 for 8 year olds, and 2 for 9 year olds. At full capacity, we anticipate employing twenty staff members and educating ten children per classroom (i.e., a total of 100 persons on campus). Please note: room assignments may change based on enrollment.

PHASE 6: MASTERY ACADEMY (3-10 YRS) ♥

Wellspring Mastery Academy will serve scholars ages 3 through 10 years. We will have 8 classrooms, 2 for 3/4 year olds, 2 for 5/6 year olds, 2 for 7/8 year olds, and 2 for 9/10 year olds. At full capacity, we anticipate employing twenty staff members and educating ten children per classroom (i.e., a total of 100 persons on campus). Please note: room assignments may change based on enrollment.

Addendum B - p.5

5 Year Projections - Expansion at World Outreach Bible & Training Center

Phase	Ages Served	# Classrooms	Breakdown by Age(s)	Est. # Staff (at Capacity)	Staff Breakdown	Est. # Students (at Capacity)
I AMHLC	2 - 4 years old (2023 - 2024)	5	2 yrs - 1 room	14 Staff	Administrator	50 (10/room)
			3 yrs - 2 rooms		Director - Ed	
			4 yrs - 2 rooms		Director - Op	
					Admin Assistant	
					Educators (10)	
II AMHLC	2 - 5 years old (2024 - 2025)	6	2 yrs - 1 room	16 Staff	Administrator	60 (10/room)
			3 yrs - 1 room		Director - Ed	
			4 yrs - 2 rooms		Director - Op	
			5 yrs - 2 rooms		Admin Assistant	
					Educators (12)	
III WMA	3 - 7 years old (2025 - 2026)	8	3/4 yrs - 2 rooms	20 Staff	Administrator	80 (10/room)
			4/5 yrs - 2 rooms		Director - Ed	
			6 yrs - 2 rooms		Director - Op	
			7 yrs - 2 rooms		Admin Assistant	
					Educators (16)	
IV WMA	3 - 8 years old (2026 - 2027)	8	3/4 yrs - 1 room	20 Staff	Administrator	80 (10/room)
			4/5 yrs - 1 room		Director - Ed	
			6 yrs - 2 rooms		Director - Op	
			7 yrs - 2 rooms		Admin Assistant	
					Educators (16)	
V WMA	3 - 9 years old (2027 - 2028)	8	3/4 yrs - 1 room	20 Staff	Administrator	80 (10/room)
			5/6 yrs - 1 room		Director - Ed	
			7 yrs - 2 rooms		Director - Op	
			8 yrs - 2 rooms		Admin Assistant	
					Educators (16)	
VI WMA	3 - 10 years old (2028 - 2029)	8	3/4 yrs - 2 rooms	20 Staff	Administrator	80 (10/room)
			5/6 yrs - 2 rooms		Director - Ed	
			7/8 yrs - 2 rooms		Director - Op	
			9/10 yrs - 2 rooms		Admin Assistant	
					Educators (16)	

Addendum B - P. 6

5 Year Projections - Floor Plan Key

Phase	Ages Served	# Classrooms	Breakdown by Age(s)	Classroom Assignment
I AMHLC	2 - 4 years old (2023 - 2024)	5	2 yrs - 1 room	Green Room - North
			3 yrs - 2 rooms	Red Room & Yellow Room - South
			4 yrs - 2 rooms	Blue Room & Green Room - South
II AMHLC	2 - 5 years old (2024 - 2025)	6	2 yrs - 1 room	Green Room - North
			3 yrs - 1 room	Red Room
			4 yrs - 2 rooms	Yellow Room - North Yellow Room - South
			5 yrs - 2 rooms	Blue Room & Green Room - South
III WMA	3 - 7 years old (2025 - 2026)	8	3/4 yrs - 2 rooms	Red Room Green Room - North
			4/5 yrs - 2 rooms	Yellow Room - North Yellow Room - South
			6 yrs - 2 rooms	Blue Room & Green Room - South
			7 yrs - 2 rooms	Romper Room Cafeteria
IV WMA	3 - 8 years old (2026 - 2027)	8	3/4 yrs - 1 room	Red Room
			4/5 yrs - 1 room	Green Room - North
			6 yrs - 2 rooms	Yellow Room - North Yellow Room - South
			7 yrs - 2 rooms	Blue Room & Green Room - South
			8 yrs - 2 rooms	Romper Room Cafeteria
V WMA	3 - 9 years old (2027 - 2028)	8	3/4 yrs - 1 room	Red Room
			5/6 yrs - 1 room	Green Room - North
			7 yrs - 2 rooms	Yellow Room - North Yellow Room - South
			8 yrs - 2 rooms	Blue Room & Green Room - South
			9 yrs - 2 rooms	Romper Room Cafeteria
VI WMA	3 - 10 years old (2028 - 2029)	8	3/4 yrs - 2 rooms	Red Room Green Room - North
			5/6 yrs - 2 rooms	Yellow Room - North Yellow Room - South
			7/8 yrs - 2 rooms	Blue Room & Green Room - South
			9/10 yrs - 2 rooms	Romper Room Cafeteria

