



PLAN COMMISSION

August 22, 2023

6:00 P.M.

Common Council Chambers

8040 S. 6th St.
Oak Creek, WI 53154
(414) 766-7000

Daniel Bukiewicz - Chair
Dawn Carrillo
Chaucey Chandler
Donald Oldani
Chris Guzikowski
Ashley Kiepczynski
Gregory Loreck
Fred Siepert
Christine Hanna
Matt Sullivan - ex-officio
Kari Papelbon - ex-officio

The City's Vision

Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.

Find more information on agenda items at oakcreek.zoninghub.com.

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – August 8, 2023
4. Review and Discuss Report on Recent Common Council Actions
5. Review and Discuss Report on Recent Board of Housing and Zoning Appeals Actions – NONE
6. Review and Discuss Report on Recent Quarterly Parks & Recreation Commission Actions – next report September 12, 2023
7. Old Business
 - a. PLAN REVIEW - Review site, building, and related plans submitted by Christopher Fink for a trash enclosure, parking lot expansion, and landscaping on the properties at 7101 & 7115 S. Pennsylvania Ave. (Tax Key Nos. 768-0002-000 & 768-0001-001; 1st Aldermanic District). More info at ZoningHub: <https://s.zoninghub.com/ODU7TUBGKA>
8. New Business
 - a. PLAN REVIEW - Review site and related plans submitted by Rosemarie Patterson, Hillside Coffee House, LLC, for an addition to the existing parking lot on the property at 237 E. Ryan Rd. (Tax Key No. 907-9988-000; 3rd Aldermanic District). More info at ZoningHub: <https://s.zoninghub.com/P1RXYOFVE4>
 - b. SIGN PLAN REVIEW - Review a proposed Sign Plan submitted by Nick Jung, F Street OCLV, LLC, for the Coast apartment buildings at Lakeshore Commons development on the property at 4005 E. Lake Vista Parkway (Building Addresses: 9324 S. Breakwater Blvd. & 4178 E. Hemlock Dr.; Tax Key No. 868-9005-000; 4th Aldermanic District). More info at ZoningHub: <https://s.zoninghub.com/W8W9422DCC>

Visit our website at www.oakcreekwi.org for the agenda and accompanying Plan Commission reports.

Announcements & Adjournment.

Dated this 16th day of August, 2023

Posted 8-16-2023 AA

Public Notice

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, AUGUST 8, 2023**

Mayor Bukiewicz called the meeting to order at 6:00 PM. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Carrillo, Alderman Loreck, Mayor Bukiewicz, Alderman Guzikowski, Commissioner Oldani, Commissioner Siepert, and Commissioner Chandler. Commissioner Kiepczynski was excused. Also present: Senior Planner Kari Papelbon, Zoning Administrator/Planner Brueckert, Assistant Fire Chief Mike Havey, and Environmental Engineer Sue Winnen.

Minutes of the July 25, 2023, meeting

Commissioner Siepert moved to approve the minutes of the July 25, 2023, meeting. Alderman Guzikowski seconded. On roll call: all others voted aye. Motion carried.

**CONDITIONS AND RESTRICTIONS
ALAN KIRCHOFF, 7B BUILDING AND DEVELOPMENT
2440 W. RYAN RD
TAX KEY NO. 878-9038-001**

Senior Planner Papelbon provided an overview of a request for a Conditional Use Permit for a proposed car wash facility on the property at 2440 W. Ryan Rd (see staff report for details).

Eihab Atout, 11007 65th Street, Kenosha, stated the applicants would like number 8 removed from the Conditions and Restrictions. Mr. Atout stated it came to his attention Friday evening from the car wash company, and that he spoke with Senior Planner Papelbon and the ten-year time frame is not an Ordinance.

Mayor Bukiewicz stated the City standard puts ten (10) years on this type of business. Mr. Atout said they do not see the car dealer on 27th Street and Rawson. Mayor Bukiewicz clarified that a car dealer is not the same as a car wash. Mr. Atout stated that he has been in development for 30 years, and this is the first time he has come across something like this. Mr. Atout stated that he is trying to find out the difference between a car wash and a car dealer.

Mayor Bukiewicz clarified that the City applies the ten-year restriction because the business may not stand. The ten-year restriction was applied to businesses on 27th Street, and the last car wash that came through. Mr. Atout listed different businesses that require Conditional Use Permits, and stated that Senior Planner Papelbon brought to his attention traffic control.

Mayor Bukiewicz stated one (1) other thing that the ten-year restriction helps with is if, in the future, there is a nuisance property that is a problem, and the City is not getting the cooperation, then the Conditional Use Permit goes away.

Commissioner Hanna asked the applicant what conflict he is presenting for the ten-year requirement. Mr. Atout stated that he has not seen anything like that in 30 years, and that he was shocked about the requirement and brought it to Senior Planner Papelbon's attention.

Commissioner Carrillo asked if the City has had anyone else refer to this. Senior Planner Papelbon explained that, per Statute, the City is allowed to assign durations or expiration dates to Conditional Use Permits. Because it is in Statute, the City does not need to have it in the Ordinance [Code]. The City has several Conditional Use Permits, but it [Statute] allows the Plan Commission and Common Council to determine whether a Conditional Use Permit needs to have the duration attached to it. It gives the Plan Commission the authority to determine an appropriate timeframe. Senior Planner Papelbon stated staff throws out ten years as an option for consideration, but the Plan Commission and Common Council can determine if it should be a shorter time frame, longer time frame, or no time frame.

Senior Planner Papelbon stated that Mayor Bukiewicz is correct that there are several instances, because Conditional Use Permits are assigned to a property, where operations or ownership changes, the City can end up with issues that are not covered by the conditions, or the City is not getting compliance and the conditions are not being fulfilled the Conditional Use Permit would then expire. Senior Planner Papelbon stated that the applicant can come in before the expiration date and renew it, but it also offers the opportunity for the Plan Commission and the Common Council to identify areas that are not working as anticipated, and the Conditions and Restrictions need to be amended. Senior Planner Papelbon clarified that the City has assigned durations of permits to other Conditional Uses.

Alderman Loreck asked if the proposed business will be 100% a car wash, and referenced the car wash at 140 W. Puetz Rd. that had been approved with a dog wash. Senior Planner Papelbon stated that the car wash on Puetz is now strictly a car wash.

Alderman Guzikowski stated that the proposed business is in his District, and he was contacted a couple of times about the proposal. Alderman Guzikowski state that he supports staff, and thinks a duration is needed. The City has done it with other businesses such as the car wash on Puetz Road.

Commissioner Siefert stated that he supports staff on the ten years.

Mayor Bukiewicz inquired if there will be vacuums. Senior Planner Papelbon answered in the affirmative.

Alderman Guzikowski asked about a dog wash. Senior Planner Papelbon stated that no dog wash is proposed.

Mr. Atout stated that if all the approved conditions are the same in ten years and being met by the business there should be an automatic renewal. Mayor Bukiewicz reiterated that if conditions change, the applicant would be able to come in and adjust it as needed. Senior Planner Papelbon stated there is always the opportunity for amendments to the Conditional Use Permit, but that there is no automatic renewal mechanism at this point.

Commissioner Siefert moved that the Plan Commission recommends that the Common Council adopts the Conditions and Restrictions as part of a Conditional Use Permit for a car wash facility on the property at 2440 W. Ryan Rd., after a public hearing.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW
OAK CREEK VETERINARY CARE
8000 S. HOWELL AVE.
TAX KEY NO. 814-9047-000**

Senior Planner Papelbon provided an overview of the site, building, and related plan review for proposed additions to an existing commercial building on the property at 8000 S. Howell Ave. (see staff report for details).

Ken Krahe, MSI General, Oconomowoc, stated that the applicant is excited to expand some of their services offered, and happy to be part of the community.

Commissioner Chandler asked Mr. Krahe what the fenced-in area is used for. Mr. Krahe stated that it is just a patio for staff to have the opportunity to take their lunches outside. Commissioner Chandler inquired if there is any parking near that area. Mr. Krahe responded not at all, that is a road that drives perpendicular to it.

Commissioner Siepert asked what type of fencing will be used for the patio area. Mr. Krahe stated an aluminum decorative fence that will be pre-finished. Mr. Krahe explained they do not have the exact style picked out, but they do have the architectural renderings, so it will be something similar.

Commissioner Siepert asked Senior Planner Papelbon if the fencing fits into the City's standards. Senior Planner Papelbon stated that she thinks for this it is fine because it will be a decorative metal fence that is only six (6) feet tall and is 18 feet from the driveway access for the property to the north.

Alderman Loreck stated that he is not a fan of the giant brick cube, and asked if there is any requirement from the City that it needs to include some type of architectural elements. Senior Planner Papelbon stated that this is going to be facing the parking lot, and that with the other elements of the east elevation, the proposal will meet the requirements. Senior Planner Papelbon stated that the Plan Commission can request an architectural element, but there is no Code requirement for it.

Mayor Bukiewicz asked if there would ever be a need for a sign on the brick part. Mr. Krahe said there is no thought of it - it is designed that way because that is for the X-ray and ultrasound rooms that will have lead lining.

Alderman Loreck moved that the Plan Commission approves the site and building plans submitted by Bryan Majewski, Oak Creek Veterinary Care, for additions to the existing commercial building on the property at 8000 S. Howell Ave. with the following conditions:

1. That all Conditions and Restrictions of Ord. 2770 and relevant Code requirements remain in effect.
2. That the landscape plans are revised to meet requirements per Ord. 2770.
3. That the exterior brick building veneer meets the minimum 4-inch thickness requirement per Ord. 2770.

4. That the plans are revised to include locations for all mechanicals, transformers, and utilities. All mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) shall be screened per Code.
5. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Alderman Guzikowski seconded.

Assistant Fire Chief Havey stated there are no comments or concerns from the Fire Department.

On roll call: all voted aye. Motion carried.

**TEMPORARY USE PERMIT
EDGERTON CONTRACTORS, INC.
8850 S. 5TH AVE.
TAX KEY NO. 886-9001-000**

Zoning Administrator/Planner Brueckert provided an overview of the request for a Temporary Use Permit for a temporary concrete crushing operation related to the bluff stabilization project on the property at 8850 S. 5th Avenue (see staff report for details).

Commissioner Hanna inquired if trucks would be taking the path marked in blue on the screen to get to the crushing site. Environmental Engineer Sue Winnen stated that this is a City-designated project, and that there will not be any concrete coming in from offsite. The road will be primarily used during demolition if they need to haul waste material to the landfill.

Commissioner Hanna asked to confirm that there will not be aggregate or any dust tracking on the main road. Environmental Engineer Winnen stated that the large building shown on the screen will be demolished. The steel and other recyclables will be removed, but at the City's request, the concrete will be crushed and remain onsite for future use on the project. Environmental Engineer Winnen clarified that no trucking is associated with the crushing permit.

Commissioner Hanna stated that her concern is the main road because she does not see a condition regarding clean-up after the hauling. Environmental Engineer Winnen explained that, in the contract, the contractor will need to street sweep if needed. They have dust controls on the interior and will minimize the traffic.

Commissioner Hanna asked if the crushing going to 7:00 PM is too late. Environmental Engineer Winnen stated that the actual crushing is set back quite a way from the residential areas, and there is a fair amount of trees and vegetation. Environmental Engineer Winnen stated that she is not sure if the contractors will be crushing until 7:00 PM; they typically will work until it gets dark.

Commissioner Oldani asked if the area covered by the proposal is considered part of the main contamination to the south. Environmental Engineer Winnen stated that the entire site is subject to the remediation requirements required by the Wisconsin DNR, and the demolition of this building is part of getting the entire site remediated. Ramboll, the environmental

consultant for the City, is overseeing the project to ensure that all environmental requirements are met.

Commissioner Oldani asked if all of that needs to be completed before the crushing and work can begin. Environmental Engineer Winnen responded in the affirmative. The City has a report on the building, and they have already done the asbestos removal and abatement. The report evaluates the building for special waste, and everything will need to be removed prior to crushing.

Commissioner Siefert inquired if there is any problem with noise for the neighborhood. Environmental Engineer Winnen stated that it is her understanding that it is set quite a way back. The City has been active on the site for a long time with a lot of trucking, and this is probably less than they have encountered during the major haul operations that were done in the past.

Commissioner Siefert asked to confirm that there were no problems with noise in the past. Environmental Engineer Winnen confirmed there were no problems in the past, and stated that if there is a problem, the City will work with the contractor to mitigate the problem. There will be no hauling in and minimal dump truck activities.

Commissioner Chandler asked if the timeframe includes from the point all the other activities start. Environmental Engineer Winnen stated that they have already done the abatement, they anticipate demolition of the building starting the 15th or 21st of August, and the proposal starts after the activities.

Mayor Bukiewicz stated that the contractor is requesting 12 hours, until 7:00 PM, to get the maximum amount of daylight time. With an end date of September 20, it is possible they will do overtime.

Commissioner Hanna suggested doing a flyer for the neighbors. Mayor Bukiewicz stated that he thinks the neighbors do get informed, and it is typically within 300 feet. Environmental Engineer Winnen stated that there was a mailing, and a public open house was held with everyone in District 4 invited to attend. The residents are quite happy to have the building come down.

Mayor Bukiewicz asked if the site will be gated. Environmental Engineer Winnen stated that it will be double-gated. Environmental Engineer Winnen referenced the site map, and stated that there currently is a gate along 5th Avenue and the south part of the property. Within the perimeter gate, around the green work area, they have another set of chain link fencing with a gate that is locked every night.

Assistant Fire Chief Havey stated that the Fire Department is working with Environmental Engineer Winnen early on to get a workers' safety plan in place and the mitigation plan.

Patrick Lasusa, 8955 and 8943 South 5th Avenue and 3960 East Maple:

"I received no notice regarding a meeting for the Aldermanic District there on this project. The only notice I got was this mailer. I'm delighted that this is going forward, believe me, I do however because I do rent those properties have concerns about the

hours of operation, especially on the weekends. The trucking that has been going on for a long time down there has become part of the background noise, if you will, for everyone in that area. Adding this to it, I don't know what the decibel level is or the dB level is of a rock crushing plant, but I know what the level of a earthmoving equipment or piece of earthmoving equipment is going to stabilize the bluff and haul the stuff around the site, if that type of activity is going to be going on along with the rock crushing until 7 o'clock on a Saturday night I've got a concern. I've got a concern for my tenants. You've answered all my other questions with ingress, egress, point of entry. The last question I have here. Is there going to be a change to the elevation of the site? And is the primary objective of this project the demolition of the building or the stabilization of the bluff?"

Mayor Bukiewicz stated that they go hand-in-hand because this property will become part of what's north Lake Vista Park. Mayor Bukiewicz stated that he would imagine the grade will stay the same because the City does not want to incur the cost of digging down.

Environmental Engineer Winnen stated that typically on Saturdays they will work until noon or 2:00 PM. During the week they are off the site by 6:30 PM, and the last hour is just getting everything organized. Currently, the overall site is not being graded, and the actual footprint within the building will be a low stockpile of crushed material and low stockpile of soil that will be about four (4) feet tall.

Alderman Loreck moved that the Plan Commission approves the Temporary Use Permit for a temporary concrete crushing operation at 8850 S. 5th Ave with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That hours of operation for crushing be limited to Monday – Saturday between 7:00am and 7:00pm.
3. That crushing is limited to concrete from the demolition on-site.
4. That crushed material remain on site for future use in City projects.
5. That onsite dust control measures are utilized throughout the operation.
6. That no external signage is placed and that internal signage is limited to cautionary and directional signs.
7. That a site safety plan is shared with the Oak Creek Fire and Police departments prior to the beginning of the project.
8. That the operation shall end by September 30, 2023.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn the meeting. Commissioner Siepert seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 6:54 PM.

ATTEST:

Kari Papelbon, Plan Commission Secretary

8-15-23

Date



Recent Common Council Actions

August 15, 2023

ITEM: 4

DATE: August 22, 2023

- **APPROVED** - Ordinance No. 3079, approving a Conditional Use Permit for general office use on the properties at 7101 and 7115 S. Pennsylvania Ave. (1st District)
- **APPROVED** - Ordinance No. 3080, rezoning a portion of the property at 9709 S. Howell Ave. from Rs-3, Single Family Residential to Rs-2, Single Family Residential (5th District).

A handwritten signature in black ink that reads "Kari Papelbon".

Kari Papelbon, CFM, AICP
Senior Planner



PLAN COMMISSION REPORT

Proposal:	Plan Review
Description:	Site, building, and related plan review for a trash enclosure, parking lot expansion, and landscaping.
Applicant(s):	Christopher Fink
Address(es):	7101 & 7115 S. Pennsylvania Ave. (1 st Aldermanic District)
Suggested Motion:	<p>That the Plan Commission approves the site and building plans submitted by Christopher Fink for a trash enclosure, parking lot expansion, and landscaping on the properties at 7101 & 7115 S. Pennsylvania Ave. with the following conditions:</p> <ol style="list-style-type: none">1. That all relevant Code requirements remain in effect.2. That the Certified Survey Map approved by the Common Council on May 2, 2023 is recorded prior to issuance of any permits for the property.3. That a signed copy of the Conditions and Restrictions as part of the Conditional Use Permit approved by the Common Council is submitted to the Department of Community Development prior to submission of permit applications.4. That the landscape plans are revised to meet all Code requirements for screening the parking area. Transition Zone C requirements on the south may terminate at the west garage line. A minimum of 27 trees outside of the Transition Zone shall be required in fulfillment of the Tree Preservation Ordinance.5. That the existing 8-foot-tall wood fence around the trash receptacle is removed. If any trash and/or recycling receptacles are retained on the property, a masonry enclosure in conformance with Code requirements will be required.6. That all required information for the sign – dimensions, materials, location, etc. - is provided as part of the sign permit application.7. That all required permits (e.g., paving, green infrastructure, sign, etc.) are obtained prior to any further development or occupancy.8. That all final plans (site, building, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Owner(s): Christopher Fink

Tax Key(s): 768-0002-000 & 768-0001-001

Lot Size(s): 0.677 ac (following consolidation)

Current Zoning District(s): B-2, Community Business

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial

Background:

At the June 13, 2023 meeting, the Plan Commission held action on the proposal to allow the Applicant time to address several concerns raised in the staff report. Below is a list of those concerns. Details from the previous staff report are also included for Plan Commission reference.

- Parking – as previously presented, the parking did not meet required setbacks. The revised site plan shows the removal of a parking stall and pavement to meet the minimum setback.
- Landscaping, Transition Zone C, Tree Inventory – as previously presented, the landscape plan was incomplete, and did not include the transition zone or Tree Inventory and Preservation/Replacement Plan. While the plan has been updated to include details, the transition zone, and the Tree Inventory, there are still revisions required. Staff also have a few options for the Plan Commission to consider.
 - Many of the landscape items intended for parking lot screening do not meet minimum height requirements at installation. The minimum installation height required is 3 feet per Code. This will need to be revised.
 - Transition Zone C along the south property line has been included. However, staff note that the 6-foot-tall wood fence and proposed tree locations should be swapped – the trees should be on the outside of the fence. Staff propose that the Transition Zone requirements could end at the area in line with the west portion of the garage. If the Plan Commission agrees, this should be incorporated into the motion for approval.
 - Staff are concerned for the spacing of the proposed arbor vitae on the west property line, and suggest that the plans incorporate details for proper spacing to ensure long-term viability.
 - Similar to the concerns for the spacing of the proposed arbor vitae along the west property line, staff have concerns for the proposed Fall Fiesta Sugar Maple trees along the north property line. Since these trees are proposed to meet the requirements of the Tree Replacement Plan, staff recommend spacing them out on the west side of the property.
 - Finally, with regard to the Tree Inventory and Preservation/Replacement Plan, staff note that the trees on the property were removed without retaining information regarding size, species, and

condition. Therefore, the Tree Inventory is an estimate based on aeriels and Google Street imagery that show the removal of approximately 18 trees. While it is the City's intention to preserve high-quality tree canopy, staff recognize that there may be insufficient space to provide 54 replacement trees on the property. It is suggested that the property incorporate 27 trees to fulfill the replacement requirement. If the Plan Commission agrees, this should be incorporated into the motion for approval.

- Trash enclosure – the plans note that the existing 8-foot-tall wood fence around the trash receptacle will be removed. Any trash receptacles must be screened with an enclosure per Code requirements.
- Clarification on 4-foot-tall fence – this is a small area on the northwest side of the building for the residential trash carts. No additional action is required.
- Lighting – no lighting plans submitted; it is assumed that no outdoor lighting is proposed.
- Sign – as of writing this report, staff are waiting for an updated sign graphic with dimensions and details.
- Life Safety Plan – as of writing this report, staff have been made aware that a life safety plan is being drafted.

Staff have revised the suggested conditions of approval to reflect the revisions received to-date, and to incorporate outstanding items still required.

June 13, 2023

The Applicant is requesting approval for several site modifications affecting the properties at 7101 & 7115 S. Pennsylvania Ave. Directly related to the Conditional Use Permit request in the previous agenda item, the proposal is for after-the-fact approval for the addition/expansion of a parking area, the construction of a trash enclosure, and proposed landscaping for the modifications. No changes to the exterior of the existing building or garage have been requested.

Plans submitted show the site in a post-development state with the exceptions of the rain gardens, landscaping, and the removal of concrete on the west. Aerial images from 2020 and 2022 are included with this report for Plan Commission reference to provide context for pre-development conditions as well as development progression. Asphalt and concrete have been added for the access off of Rawson Avenue to the north, parking, and between the house and the existing garage. Access to the property had been from Pennsylvania Avenue only, but an additional driveway from Rawson Avenue was permitted by Milwaukee County as of May 8, 2023. Per Code, commercial driveways are required to be a minimum of 24 feet wide (max. 36 feet wide) at the property line. Neither driveway meets this requirement, although the driveway access off of Pennsylvania Ave. is a preexisting residential driveway. The partial driveway on the west is identified to be removed per staff recommendation.

Parking for six (6) vehicles is shown on the plans on the northeast portion of the property, but less than the required 15 feet from the right-of-way on the corner per Code. Landscape plans show grasses and flowering bushes as the predominant vegetative screening. However, details for the plants were not included, and

staff are unable to accurately determine whether the proposal meets Code requirements. The plans are also missing landscaping as required along the south property line (Transition Zone C), and a tree inventory and preservation/replacement plan was not included.

Immediately north of and connected to the garage is an 8-foot-tall wood fence trash enclosure. Per Section 17.0506(a)(1) of the Zoning Code, trash enclosures “shall be screened on three (3) sides with an opaque masonry wall or fence...” and incorporate shrubs for every three (3) feet of the enclosure. Gates for the enclosure shall be constructed with opaque, non-combustible materials and not visible from public rights-of-way or residential properties. The existing wood fence will be required to be removed and replaced with a Code-compliant enclosure. Although the site plan identifies the replacement, it refers to the landscape plan for details. The landscape plan includes no details for the replacement enclosure.

A 4-foot-tall wood fence was installed on the northwest corner of the house, and a concrete walkway was also added on the west side of the house wrapping around the corner to the south entry. No outdoor storage was requested as part of Conditional Use Permit; however, the area on the northwest corner of the building with a 4-foot-tall fence includes a label “carts.” Staff have requested clarification on this item. The 4-foot-tall chain link fence identified on the plans has been on the property since at least 2007.

No lighting plans have been submitted, and staff have requested clarification as to whether any exterior lighting will be installed. Plan Commissioners will note that the site plan and submissions include a sign on the north elevation of the building. While the email from the Applicant’s attorney indicated that the sign would be unlit, currently mounted on a wall measuring 36’ x 15.5,’ and no larger than 30 square feet as allowed by Code, dimensions for the sign itself were not included on the submitted graphic. The graphic also does not match the existing sign as shown on the included Google Street View image. Clarification of all items will be required prior to permitting.

Finally, per Fire Codes, a life safety plan is required for the commercial use of the building. Within the submissions are references to difficulties in locating a consultant to create such a plan; however, this is not a requirement for which there is a variance. Prior to issuance of any permits for all of the above modifications, a life safety plan will be required.

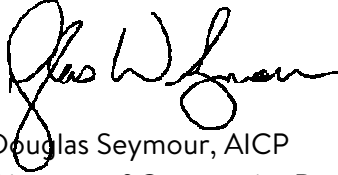
The integration of commercial uses into this existing, likely nonconforming residential structure, albeit on a property zoned for Community Business, creates some challenges. This is further complicated by the unauthorized changes that were made to the property in violation of the City’s Municipal Code. Staff supports these types of redevelopment opportunities, but they must be done so safely and in a manner that is respectful of community standards as expressed in the Zoning Code.

Based on the above, it appears that the application as submitted is incomplete or requires revision for Code compliance. Therefore, staff are unable to support or recommend approval of the proposal at this time.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan

Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Senior Planner

Attachments:

Location Map

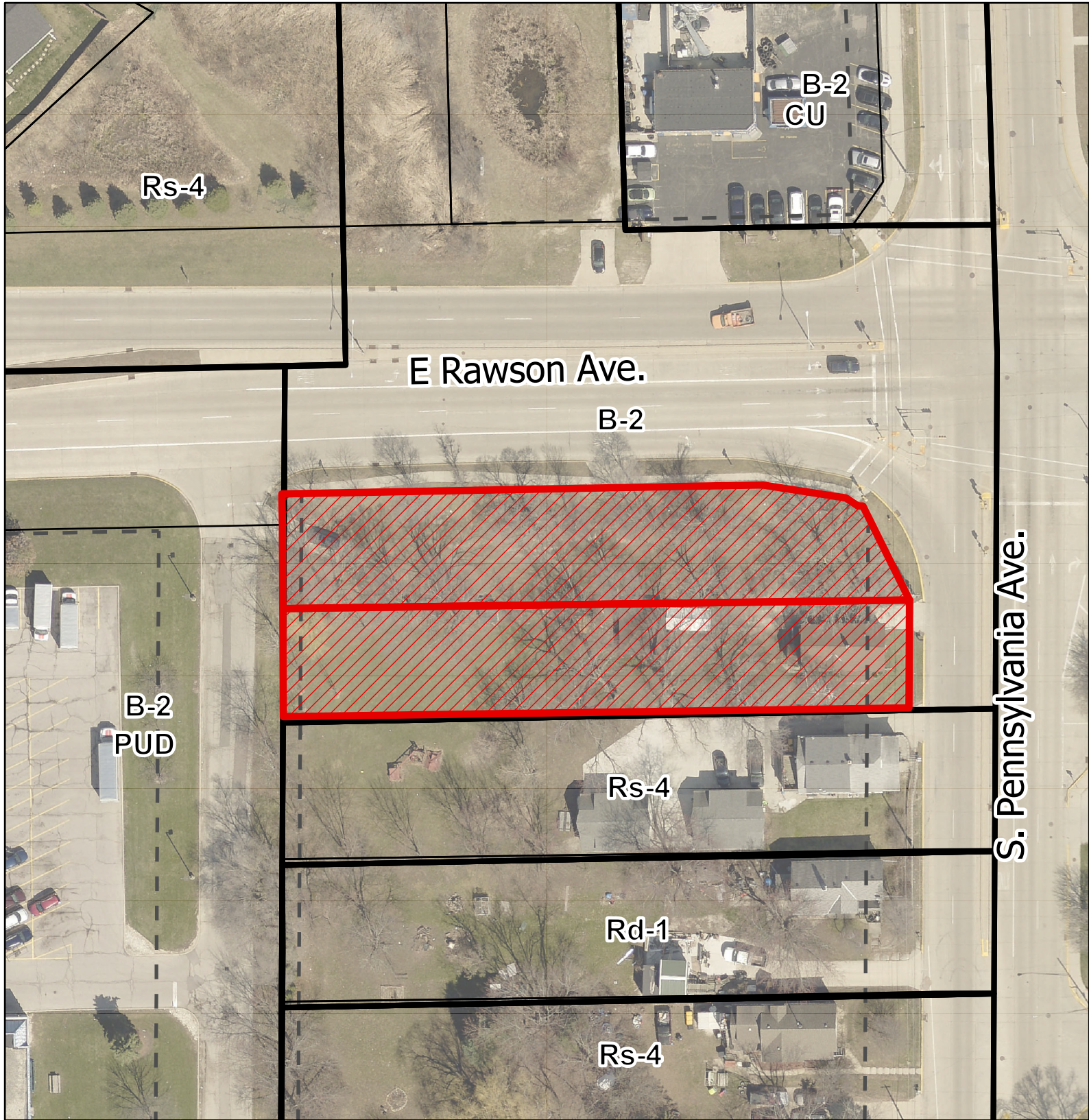
Narrative and Emails (15 pages)

Site, Erosion Control, Grading, & Green Infrastructure Plans (2 pages)

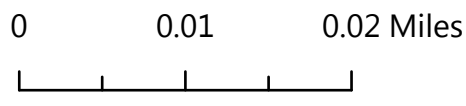
Landscape Plan and Tree Inventory (3 pages)

Location Map

7101 & 7115 S. Pennsylvania Ave.



This map is not a survey of the actual boundary of the property this map depicts



Legend

- Zoning
- Flood Fringe
- Official Street Map
- Parcels
- Floodway
- 7101 & 7115 S. Pennsylvania Ave.

PLAN COMMISSION APPLICATION

NARRATIVE DESCRIBING THE PROPOSAL FOR SITE PLAN REVIEW AND CONDITIONAL USE PERMIT

The owner of 7101 and 7115 S. Pennsylvania Avenue, Christopher Fink, is seeking to combine these two lots. There is currently a house and garage on the site, as can be seen on the site plan and CSM. These will remain as is. The landscaping, driveway, and enclosed as outlined on the site plan will remain as is.

The above-ground floor (second floor) of the house will serve as a 600 square foot, 2-bedroom 1-bathroom apartment.

The ground floor (first floor) will serve as a 700 square foot general office suite for a painting business with an office, meeting room for employees, and bathroom. The painting business has a total of 3 employees and operates during the hours of 9:00 a.m. to 5:00 p.m., however, no customers will be coming on site as the office is only for employees.

Kari Papelbon

From: Kari Papelbon
Sent: Tuesday, August 15, 2023 8:48 AM
To: 'Jason J. Heinen'
Cc: Literski & Rogaczewski
Subject: RE: [EXTERNAL] FW: Updated Landscape Plan

Jason,

The plants to screen the parking areas need to be installed at a minimum height of 3 feet. This is not in reference to the proposed rain gardens.

Kari Papelbon, CFM, AICP • Senior Planner
[City of Oak Creek • Community Development](#)

8040 South 6th Street • Oak Creek, WI 53154
Direct: 414-766-7027
Email: kpapelbon@oakcreekwi.gov
Pronouns: she/her/hers

From: Jason J. Heinen <attyheinen@knutsonlawfirm.com>
Sent: Monday, August 14, 2023 4:45 PM
To: Kari Papelbon <kpapelbon@oakcreekwi.gov>
Subject: [EXTERNAL] FW: Updated Landscape Plan

Kari,

Please see the updated landscaping plans and email below.

Sincerely,

Jason J. Heinen

Attorney at Law

THE LAW OFFICES OF MARK S. KNUTSON, S.C.

[14170 West Greenfield Avenue](#)

[Brookfield, WI 53005](#)

[262-785-9000](#) Office

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e-mail and then delete this message and its attachments. Do not deliver, distribute or copy this message and/or any attachments and if you are not the intended recipient, do not disclose the contents or take any action in reliance upon the information contained in this communication or any attachments.

From: Mike Vande Kolk <mikev@hillandvalleylandscaping.com>
Sent: Monday, August 14, 2023 4:24 PM
To: Jason J. Heinen <attyheinen@knutsonlawfirm.com>
Cc: Kevin Sannes <kevin@hillandvalleylandscaping.com>; paint1fink@gmail.com; jhensel@northshoreengineering.net
Subject: Upadated Landscape Plan

Jason,

Here is the updated landscape plan after receiving the updated site plan. None of the plant material changed, it was just rearranged to accommodate the new bed space. In regards to the second bullet point from Kari, the installation size of all parking lot screening plants has been proposed at 3' or taller, I believe she may be looking at the plants that make up the rain gardens which, to my knowledge, do not have to be 3' or taller at installation. I will wait for alternative plant options from Oak Creek.

Thanks,

--

Mike Vande Kolk
Operations Manager



6831 W. Ryan Road, Franklin, WI 53132
P 414-423-8873 F 866-312-8873
www.hillandvalleylandscaping.com
kevin@hillandvalleylandscaping.com

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Kari Papelbon

From: Kari Papelbon
Sent: Monday, August 14, 2023 3:07 PM
To: 'Jason J. Heinen'
Cc: Christopher Fink (paint1fink@gmail.com); Literski & Rogaczewski
Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Importance: High

Jason,

I just spoke with Assistant Fire Chief Havey and he has not yet received the Life Safety Plan. Please have the architect send that as soon as possible. We are also still waiting for the updated sign graphic as of writing this email. We absolutely must have these items today as reports must be completed tomorrow.

Kari Papelbon, CFM, AICP • Senior Planner
[City of Oak Creek • Community Development](#)

8040 South 6th Street • Oak Creek, WI 53154
Direct: 414-766-7027
Email: kpapelbon@oakcreekwi.gov
Pronouns: she/her/hers

From: Jason J. Heinen <attyheinen@knutsonlawfirm.com>
Sent: Monday, August 14, 2023 9:10 AM
To: Kari Papelbon <kpapelbon@oakcreekwi.gov>
Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>
Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Kari,

I was out of the office all last week, but judging by my emails you should have everything except the updated sign graphic and the life safety plan. My client is working on the sign graphic and I believe our architect has sent the floor plan to the deputy fire chief for their input. Please let me know if we are missing anything.

Sincerely,

Jason J. Heinen

Attorney at Law

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From: Kari Papelbon <kpapelbon@oakcreekwi.gov>
Sent: Wednesday, August 9, 2023 3:12 PM
To: Jason J. Heinen <attyheinen@knutsonlawfirm.com>; Jim Hensel <jhensel@northshoreengineering.net>; kevin@hillandvalleylandscaping.com
Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>
Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property
Importance: High

Jason,

As of this email I have not received additional updates per our correspondence. Please note that we must have all of the required information by no later than this Friday by noon as staff reports are due the next week.

Kari Papelbon, CFM, AICP • Senior Planner
City of Oak Creek • Community Development

8040 South 6th Street • Oak Creek, WI 53154
Direct: 414-766-7027
Email: kpapelbon@oakcreekwi.gov
Pronouns: she/her/hers

From: Kari Papelbon
Sent: Tuesday, July 25, 2023 9:00 AM
To: Jason J. Heinen <attyheinen@knutsonlawfirm.com>; Jim Hensel <jhensel@northshoreengineering.net>; kevin@hillandvalleylandscaping.com
Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>
Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Jason,

The setback is to the property line/ROW. When we spoke I did not have the property boundaries in front of me to confirm whether the inside sidewalk/curb line was also the property line.

Kari Papelbon, CFM, AICP • Senior Planner
City of Oak Creek • Community Development

8040 South 6th Street • Oak Creek, WI 53154
Direct: 414-766-7027
Email: kpapelbon@oakcreekwi.gov
Pronouns: she/her/hers

From: Jason J. Heinen <attyheinen@knutsonlawfirm.com>
Sent: Tuesday, July 25, 2023 8:44 AM
To: Kari Papelbon <kpapelbon@oakcreekwi.gov>; Jim Hensel <jhensel@northshoreengineering.net>;
kevin@hillandvalleylandscaping.com
Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>
Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Kari,

Sorry, I misunderstood the engineer's last email.

One point of clarification before we have the engineer revise the site plan. Is it 15' from the curb or 15' from the property line. When we spoke you said the inside of the curb (or sidewalk if there is one), but now you are saying property line in your note on the site plan you sent. Which is the correct one?

Sincerely,

Jason J. Heinen
Attorney at Law
THE LAW OFFICES OF MARK S. KNUTSON, S.C.

[14170 West Greenfield Avenue](#)
[Brookfield, WI 53005](#)
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From: Kari Papelbon <kpapelbon@oakcreekwi.gov>
Sent: Monday, July 24, 2023 9:13 AM
To: Jason J. Heinen <attyheinen@knutsonlawfirm.com>; Jim Hensel <jhensel@northshoreengineering.net>;
kevin@hillandvalleylandscaping.com
Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>
Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Jason,

The attached is the site plan with my notes, not an updated plan. The second page does not match the first.

Kari Papelbon, CFM, AICP • Senior Planner
City of Oak Creek • Community Development

8040 South 6th Street • Oak Creek, WI 53154

Direct: 414-766-7027

Email: kpapelbon@oakcreekwi.gov

Pronouns: she/her/hers

From: Jason J. Heinen <attyheinen@knutsonlawfirm.com>

Sent: Monday, July 24, 2023 9:09 AM

To: Kari Papelbon <kpapelbon@oakcreekwi.gov>; Jim Hensel <jhensel@northshoreengineering.net>;
kevin@hillandvalleylandscaping.com

Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>

Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Kari,

Here is the revised plan showing that it will be removed.

Also, the landscapers tell us that they are done with their revisions, but they are working with the Landscape Architect to make sure they can get the tree inventory/preservation plan completed by the end of August. I will update you as I obtain more information.

Sincerely,

Jason J. Heinen

Attorney at Law

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From: Kari Papelbon <kpapelbon@oakcreekwi.gov>

Sent: Thursday, July 20, 2023 10:54 AM

To: Jason J. Heinen <attyheinen@knutsonlawfirm.com>; Jim Hensel <jhensel@northshoreengineering.net>;
kevin@hillandvalleylandscaping.com

Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>
Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Jason,

The entire asphalt parking area on the far east must be removed. Please see the attached for clarification.

Kari Papelbon, CFM, AICP • Senior Planner
City of Oak Creek • Community Development

8040 South 6th Street • Oak Creek, WI 53154
Direct: 414-766-7027
Email: kpapelbon@oakcreekwi.gov
Pronouns: she/her/hers

From: Jason J. Heinen <attyheinen@knutsonlawfirm.com>
Sent: Wednesday, July 19, 2023 9:07 AM
To: Kari Papelbon <kpapelbon@oakcreekwi.gov>; Jim Hensel <jhensel@northshoreengineering.net>;
kevin@hillandvalleylandscaping.com
Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>
Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Kari,

Attached please find the revised site plan. We are still waiting on the updated landscaping plan from Kevin and the life safety plan, but we will get that over to you as soon as possible.

Sincerely,

Jason J. Heinen
Attorney at Law
THE LAW OFFICES OF MARK S. KNUTSON, S.C.

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From: Kari Papelbon <kpapelbon@oakcreekwi.gov>

Sent: Thursday, July 6, 2023 12:27 PM

To: Jason J. Heinen <attyheinen@knutsonlawfirm.com>; Jim Hensel <jhensel@northshoreengineering.net>;
kevin@hillandvalleylandscaping.com

Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>

Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Jason,

If a trash enclosure is proposed, it must meet the requirements of [Sec. 17.0506\(a\)](#). This is not the same as the 4-foot-tall fence on the northwest corner of the house for residential trash bins.

Kari Papelbon, CFM, AICP • Senior Planner
City of Oak Creek • Community Development

8040 South 6th Street • Oak Creek, WI 53154

Direct: 414-766-7027

Email: kpapelbon@oakcreekwi.gov

Pronouns: she/her/hers

From: Jason J. Heinen <attyheinen@knutsonlawfirm.com>

Sent: Thursday, July 6, 2023 11:58 AM

To: Kari Papelbon <kpapelbon@oakcreekwi.gov>; Jim Hensel <jhensel@northshoreengineering.net>;
kevin@hillandvalleylandscaping.com

Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>

Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Kari,

Thank you. One point of clarification, we discussed not removing the trash enclosure, but merely reducing its height to 4 feet so we will note that. Also, just so everyone knows, the trash enclosure you are referring to is the one by the garage, not the fence around the “carts” by the house. That fence can remain and carts will change to “garbage cans”.

Sincerely,

Jason J. Heinen

Attorney at Law

THE LAW OFFICES OF MARK S. KNUTSON, S.C.

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[Brookfield, WI 53005](#)

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From: Kari Papelbon <kpapelbon@oakcreekwi.gov>

Sent: Thursday, July 6, 2023 11:52 AM

To: Jason J. Heinen <attyheinen@knutsonlawfirm.com>; Jim Hensel <jhensel@northshoreengineering.net>; kevin@hillandvalleylandscaping.com

Cc: Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>; Literski & Rogaczewski <literskirog@att.net>

Subject: RE: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Jason,

A few points of clarification in **red** below.

Kari Papelbon, CFM, AICP • Senior Planner
City of Oak Creek • Community Development

8040 South 6th Street • Oak Creek, WI 53154

Direct: 414-766-7027

Email: kpapelbon@oakcreekwi.gov

Pronouns: she/her/hers

From: Jason J. Heinen <attyheinen@knutsonlawfirm.com>

Sent: Thursday, July 6, 2023 10:43 AM

To: Jim Hensel <jhensel@northshoreengineering.net>; kevin@hillandvalleylandscaping.com

Cc: Kari Papelbon <kpapelbon@oakcreekwi.gov>; Christopher Fink (paint1fink@gmail.com) <paint1fink@gmail.com>

Subject: [EXTERNAL] 7101 S. Pennsylvania Avenue Property

Jim & Kevin,

Christopher and I met with Mrs. Papelbon last week and reviewed the items she still is needing corrected or provided with respect to the site map and landscaping plan. I am carbon copying Mrs. Papelbon to this communication in an effort to avoid middleman miscommunication and ensure that I am including everything. Attached are copies of the Site Plan and Landscaping Plan that we provided to the City, for your reference.

Site Plan - Jim

1. The far eastern parking stall and parking lot pavement there will need to be moved over to allow for the 15' set back from the inside edge of the curb (if no sidewalk) and sidewalk (to the extent it is there on the northern edge); the plan should still contain 6 stalls though.
2. Please change the reference to carts within the 4' fence on the northwest corner of the principal building to garbage cans.

Please update the note on the plan to state "existing fence for trash enclosure to be removed."

Landscaping Plan - Kevin

1. The City is asking for page 2 of the landscape plans—Is there a second page, Kevin?
2. They are looking for 3' tall at maturity. **Per Code, 3 feet is the installation height.**
3. Please provide the A & E you are referencing in the May 12th email to comply with the requirements of section 17.0505(e).
4. Please include Transition Area C in plans per the May 12th email.

5. Please proceed with getting the tree **inventory & preservation/replacement** plan from the Landscape architect.

Sign Application - Christopher

1. Please insert, or have your sign graphics designer insert, the dimensions of the sign (5' x 6') directly within the pdf of the sign graphic attached. **If this is not the correct version of the sign, please have the graphic updated as well. The graphic must include basic details regarding lighting, materials, and depth (we know it is a flat, unlit sign, but that needs to appear on the graphic so that we have an accurate record on file).**

Kari, if I am missing anything, please feel free to reply all to this email so we can get you everything you need **well before** the planning commission meeting on August 22nd. **Please continue to work on the life safety plan issue.**

Sincerely,

Jason J. Heinen

Attorney at Law

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Kari Papelbon

From: Kari Papelbon
Sent: Tuesday, May 9, 2023 4:06 PM
To: 'paint1fink@gmail.com'; 'Jason J. Heinen'
Cc: Literski & Rogaczewski; Doug Seymour
Subject: Oak Creek Plan Commission Applications

Good afternoon.

Staff meet late last week to discuss the proposed Conditional Use Permit and site plans for the properties at 7101 & 7115 S. Pennsylvania Ave., and had the following questions/comments:

- No outdoor storage requested, none to be approved.
- Max. parking stalls allowed = 3-4; 6 requested.
- Partial driveway on west to be removed.
- Code requires min. 24-foot-wide driveway at property line for commercial developments.
- Parking lot
 - Perimeter landscaping required at minimum depth of 15 feet.
 - Min. planting height for parking lot screening = 3 feet.
 - Landscape plans missing requirements per Sec. 17.0505(e).
 - No details provided for landscaping on south as referenced on civil plans; Transition Area C required.
- Site plan refers to landscape plan for items, but are not included on the landscape plan.
- What are the “carts” behind the 4-foot-tall wood fence on the west side of the building?
- No tree inventory and preservation/replacement plan provided.
- Existing trash enclosure does not meet Code requirements of Sec. 17.0506(a).
- No outdoor lighting provided.
- Sign on north elevation proposed to be max. 30 sf (unlit), but graphic does not include dimensions.
- Life safety plan required.
- All permits required.

I will be out of the office Wednesday, May 10 – Friday, May 12, but please feel free to email updated plans/info during that time.



Kari Papelbon, CFM, AICP • Senior Planner
City of Oak Creek • Community Development

8040 South 6th Street • Oak Creek, WI 53154

Direct: 414-766-7027

Email: kpapelbon@oakcreekwi.gov

Pronouns: she/her/hers



Kari Papelbon

From: Jason J. Heinen <attyheinen@knutsonlawfirm.com>
Sent: Tuesday, May 2, 2023 3:06 PM
To: Kari Papelbon
Cc: Literski & Rogaczewski
Subject: [EXTERNAL] RE: Application Submissions for 7101 & 7115 S. Pennsylvania Ave.

Follow Up Flag: Follow up
Flag Status: Flagged

Kari & Greg,

Our responses to your latest email is below in **RED**.

My client is very hopeful this resolves all remaining issues. He has expended several tens of thousands of dollars on improving this property and will spend several thousand more to accomplish these plans. The building and land he purchased was in a horrible condition, as you should know, and he has done tons to improve the property. He has found little to no collaborative help from the City and he is getting to the point where he will simply walk away from this and refuse to spend any further time or money on the property. I am making you both aware of this so that you can properly temper your expectations/demands for anything further.

Sincerely,

Jason J. Heinen
Attorney at Law
THE LAW OFFICES OF MARK S. KNUTSON, S.C.

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[Brookfield, WI 53005](#)
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From: Kari Papelbon <kpapelbon@oakcreekwi.gov>
Sent: Friday, April 21, 2023 12:37 PM
To: Jason J. Heinen <attyheinen@knutsonlawfirm.com>

Cc: Literski & Rogaczewski <literskirog@att.net>

Subject: Application Submissions for 7101 & 7115 S. Pennsylvania Ave.

Good afternoon.

We received a letter dated April 10, 2023 with additional information regarding the applications for the properties at 7101 & 7115 S. Pennsylvania Ave. Staff have the following comments and questions:

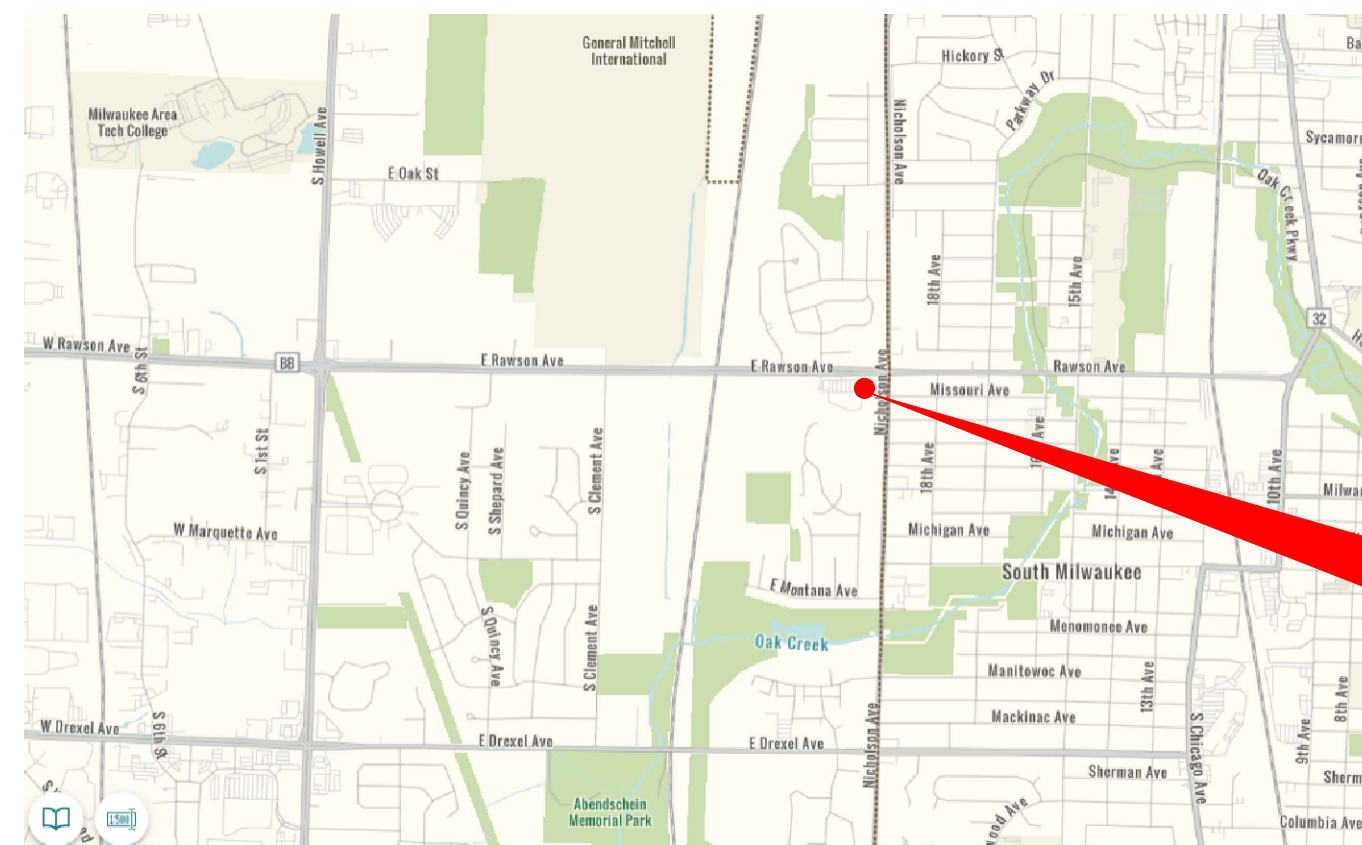
- The life safety plan that is required must be submitted. Please coordinate with the Fire Department. We unable to provide recommendations regarding architects unwilling to provide such a plan. **We continue to try, but cannot find anyone. As soon as we do, we will get it done and get it over to the fire department.**
- Where will the paint and materials used for the business be stored? The amount of paint and storage locations/methods will be of concern for the Fire Department. No outdoor storage will be allowed. **No paint stored on site, all is delivered and stored to the job site per that job. He does not store paint, which he used to do years ago, but the problem is that at the end of the job the business would end up with all kinds of extra paint it does not need. So no paint is stored on site.**
- If there are a total of four (4) employees, including the landowner and resident of the property, with no plans for onsite customer vehicles, why are six (6) parking stalls required? If there are seven (7) vehicles for the business, why are six (6) parking stalls requested? **We need the 6 for the additional vehicles that at times get parked on-site. Not all vehicles in the business's fleet will be on site though, often employees or subcontractors take vehicles home. Thus that is why 6 stalls would be ideal.**
- Please provide written approval from Milwaukee County regarding the access from Rawson Ave. **The County tells us we do not need a permit (I will forward their email to you), but we will work with Vernon to obtain some written statement of approval from them and will provide as soon as we receive it.**
- We have not received the required landscape plans, the tree inventory and replacement plan, full grading plans, elevations and details for the trash enclosure, or sign plans (including the elevation on which the sign is to be place, the details for the sign itself, and the calculation of the wall area on which the sign is placed to determine conformance with Code requirements). There was not a graphic of the sign included with the letter. **Attached please find the Landscape plans from the Landscape company. You should have the green infrastructure plan (I have attached to this email as well). No grading is being done. Once we find an architect, we will have them provide plans for the trash enclosure as well. As for the sign, please see the graphic of the sign attached. Not sure what further details you want. I don't see anything in the Code regarding materials or elevation. There will be no lighting. The dimensions of the wall are 36' x 15.5', but my understanding from the Code (section 17.0604) is that the largest we can go is 30 square feet on a permanent wall sign, which is what he would like to do. It will not protrude above the highest roofline or the top of the parapet wall or mansard roof, it will not cover any architectural features, it will not be affixed to any HVAC or elevator, it will not be more than 12' from the Wall, and it will be the only sign. Please let me know if there is something we are missing here.**
- The submitted site plan is missing parking stalls and dimensions, setbacks for the parking stalls, dimensions for all impervious areas (including driveway widths) and calculations to determine conformance to green space requirements, and bike parking areas referenced in the letter. **Attached please find the revised site plan. The parking stalls were shown on the one I sent previously, we are not sure what more you want for dimensions of all impervious areas, but we did add driveway widths. Green Space calculations are in there. There is nothing in the letter regarding bike parking.**
- Please provide the height of the chain-link fence on the property. **54 inches (4 and ½ feet) tall.**
- It will be staff's recommendation that the area identified on the northwest portion of the plans as "concrete" be removed. **That is fine; do you need that changed in the site plan for that in some way or are you just notifying us that we will have to do that work after approval? The site plan does show that it will be removed.**

Kari Papelbon, CFM, AICP • Senior Planner
City of Oak Creek • Community Development

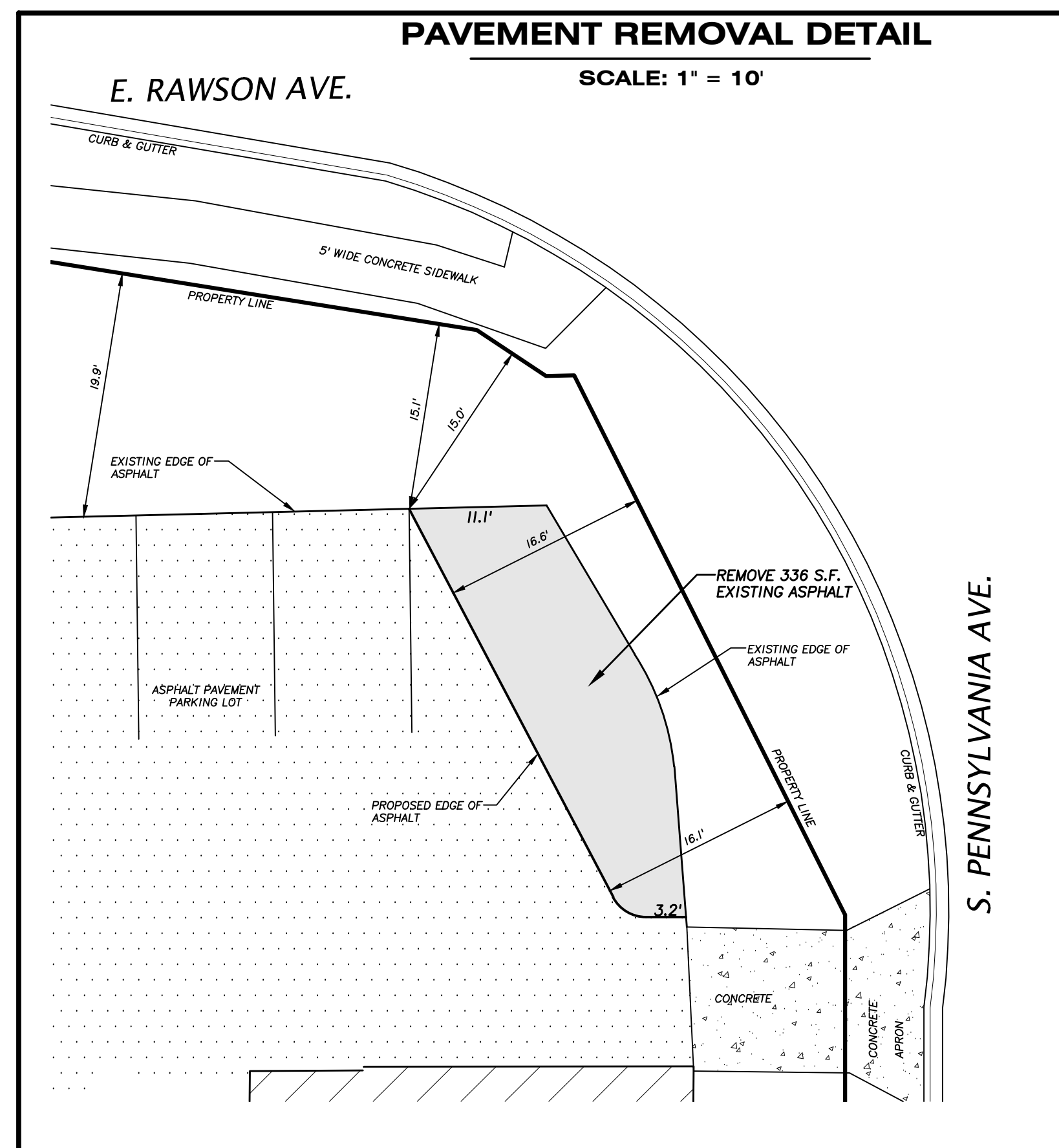
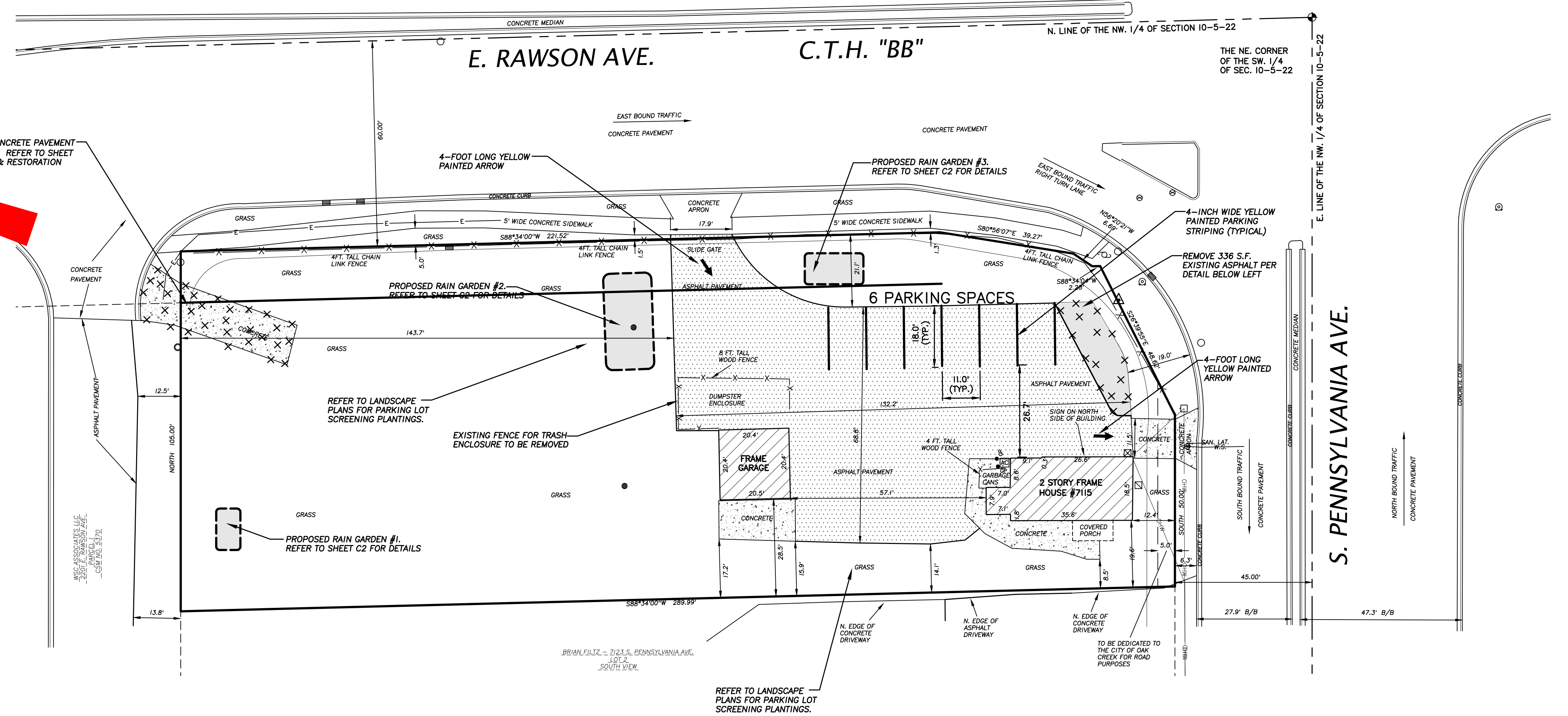
8040 South 6th Street • Oak Creek, WI 53154
Direct: 414-766-7027

SITE LOCATION MAP

(NOT TO SCALE)



Note: Refer Sheet C2 for Erosion Control, Grading and Green Infrastructure Plans.



Green Space Calculation:
Total Property Area = 29,505 sq. ft./0.6773 ac.

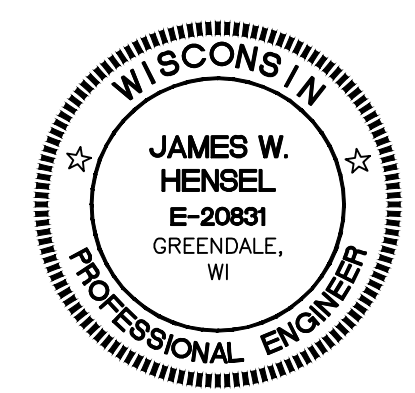
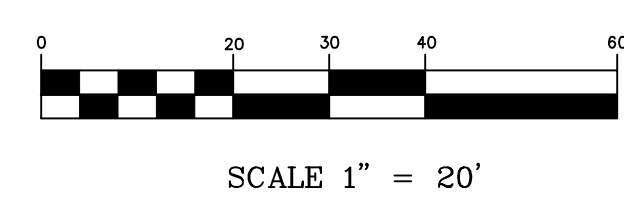
Pre-Development Impervious Area = 2,785 sq. ft./0.0639 ac.
Pre-Development Green Space Area = 26,720 sq. ft./0.6134ac.
Pre-Development Green Space Area Percentage = 90.6%

Post Development Impervious Area = 9,082 sq. ft./0.2085 ac.
Post Development Green Space Area = 20,423 sq. ft./0.4688 ac
Post Development Green Space Area Percentage = 69.2%

LEGEND	
AIR CONDITIONING UNIT	ACU
CATCH BASIN/INLET	CB
CULVERT INLET/OUTLET	CI/O
ELECTRIC METER	EM
GAS METER	GM
GUARD POST	GP
SEWER MANHOLE	SM
TRAFFIC SIGNAL	TS
WATER VALVE	WV
FIRE HYDRANT	FH
PROPERTY LINE	---
RIGHT-OF-WAY	---
FENCE LINE	-X-X-
OVERHEAD WIRES	OHW

CERTAIN UNDERGROUND STRUCTURES HAVE BEEN LOCATED ON THE DRAWING. THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND STRUCTURES, WHETHER SHOWN ON THE DRAWING OR NOT.

DIGGERS HOTLINE
Call 811 or Toll Free (800) 242-8511
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



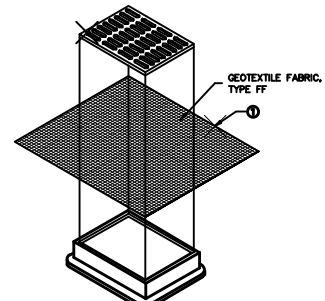
NSE NORTH SHORE ENGINEERING, INC.
Consulting Engineers & Land Surveyors
11433 N. Port Washington Rd., Mequon, Wisconsin, 53092
(262) 241-9400 • FAX: (262) 241-5337
www.NorthShoreEngineering.net

CITY OF OAK CREEK			
MILWAUKEE COUNTY	WISCONSIN		
CHRISTOPHER FINK			
7101 & 7115 S. PENNSYLVANIA AVENUE			
SITE REMEDIATION PLAN			
DESIGNED: J.W.H.	DRAWN: J.M.B.	CHECKED: J.W.H.	SHEET
DATE: 04-05-2023	SCALE: H: 1" = 20'	C1	
APPROVED:	PROJECT: LS-5066	of 2	

EROSION CONTROL DETAILS

(NOT TO SCALE)

INLET PROTECTION - DETAIL



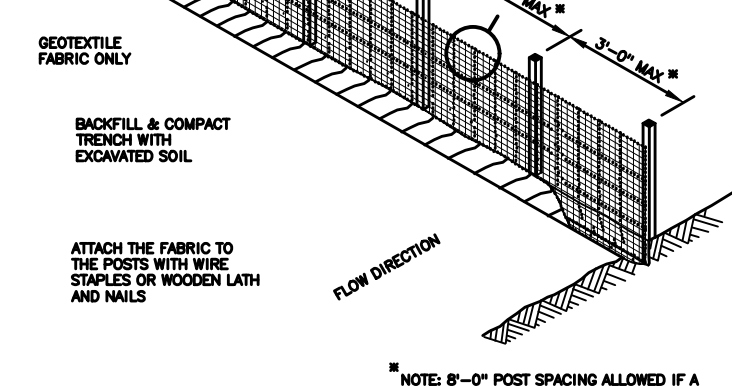
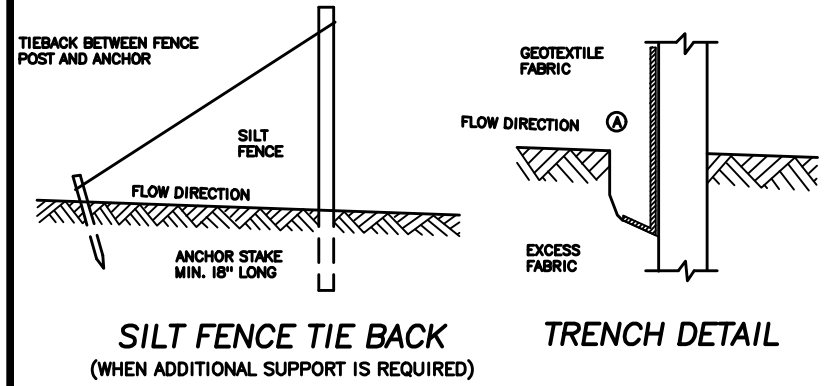
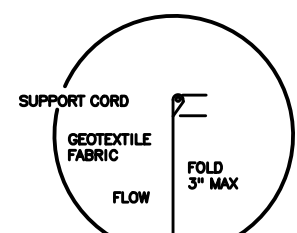
INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(SEE DETAILS FOR CURB BOX)

GENERAL NOTES
INSTALLER SHALL VERIFY APPROVED AND LISTED IN THE CATALOGUE OF THE MANUFACTURER. THE FABRIC SHALL BE 30" WIDE AND 12' LONG. THE FABRIC SHALL BE 30" WIDE AND 12' LONG. THE FABRIC SHALL BE 30" WIDE AND 12' LONG. THE FABRIC SHALL BE 30" WIDE AND 12' LONG.

GENERAL NOTES & DETAIL- SILT FENCE

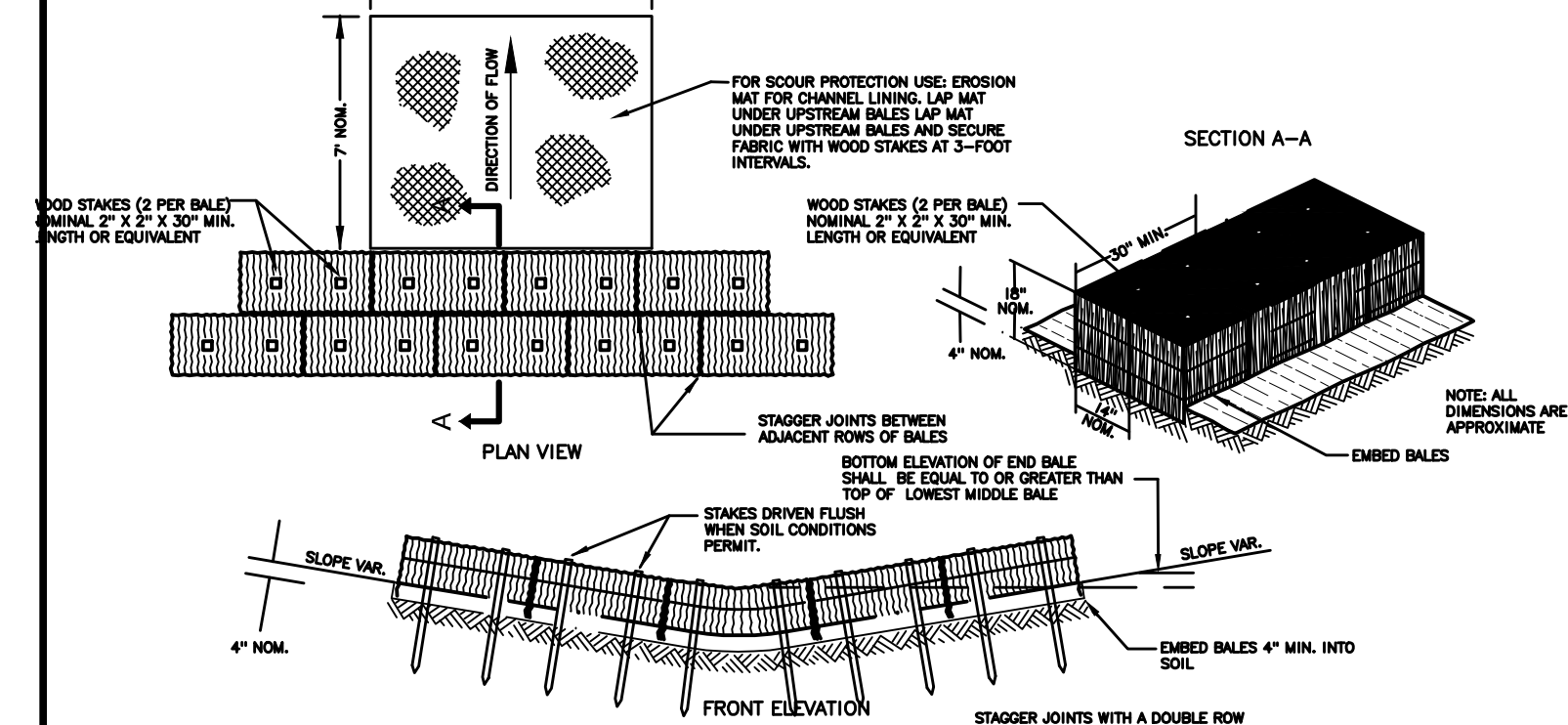
- A TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURRY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- B WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- C CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTH.

NOTE: ADDITIONAL POST DEPTH OR THE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.



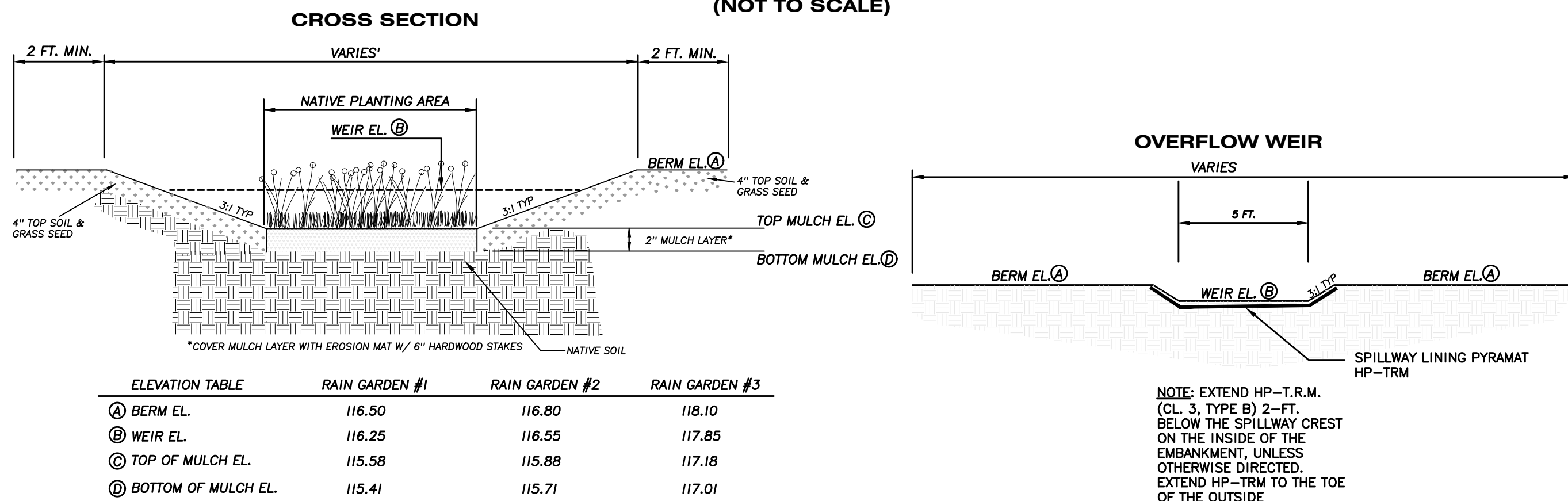
SILT FENCE

EROSION BALES/TEMPORARY DITCH CHECK DETAIL



RAIN GARDEN BASINS DETAIL

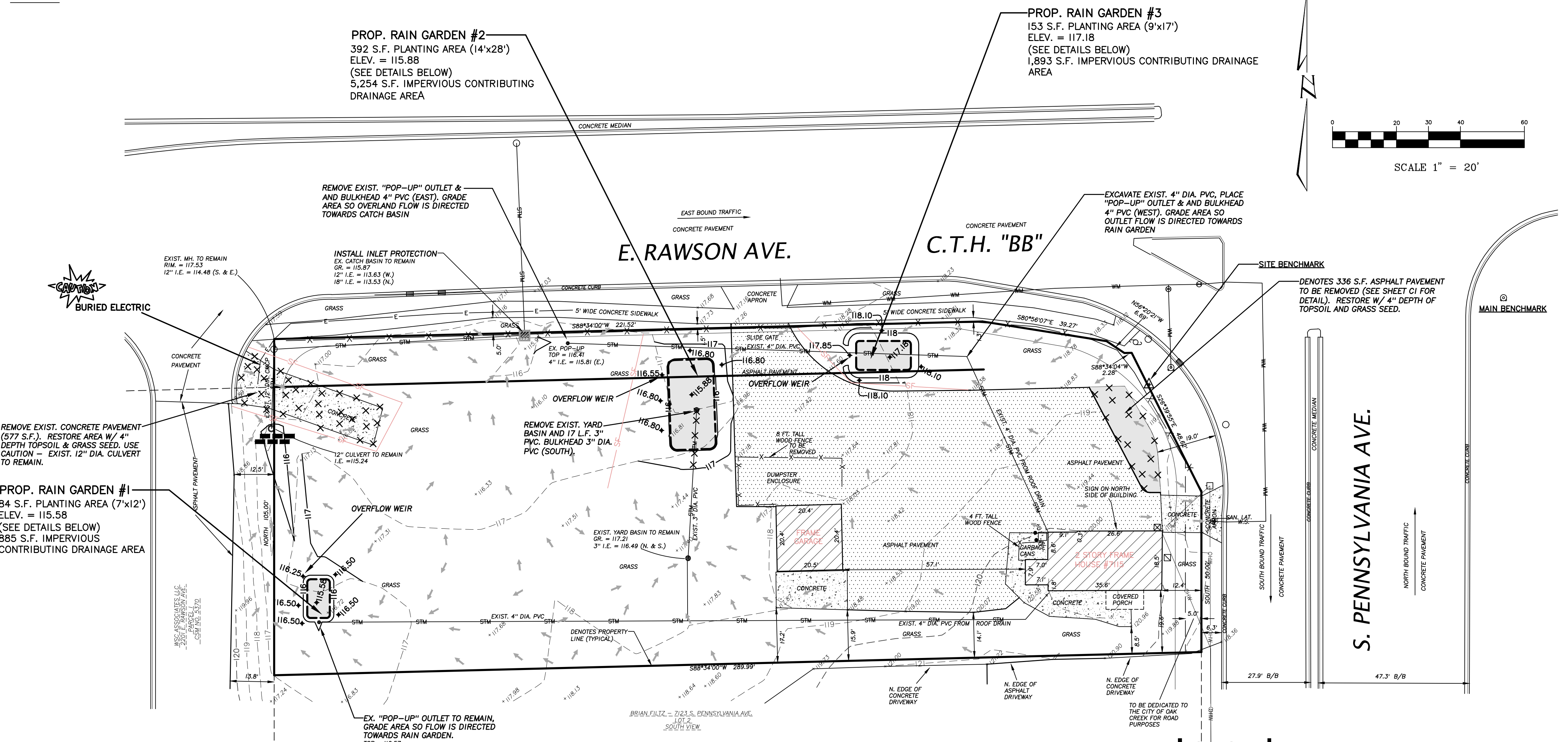
(NOT TO SCALE)



ELEVATION TABLE	RAIN GARDEN #1	RAIN GARDEN #2	RAIN GARDEN #3
A BERM EL.	116.50	116.80	118.10
B WEIR EL.	116.25	116.55	117.85
C TOP OF MULCH EL.	115.58	115.88	117.18
D BOTTOM OF MULCH EL.	115.41	115.71	117.01

NOTE: EXTEND HP-T.R.M. (CL. 3, TYPE B) 2-FT. BELOW THE SPILLWAY CREST ON THE INSIDE OF THE EMBANKMENT, UNLESS OTHERWISE DIRECTED. EXTEND HP-T.R.M. TO THE TOE OF THE OUTSIDE EMBANKMENT SLOPE.

Note: Refer Sheet C1 for Site Remediation and Parking Plan.



SCALE 1" = 20'

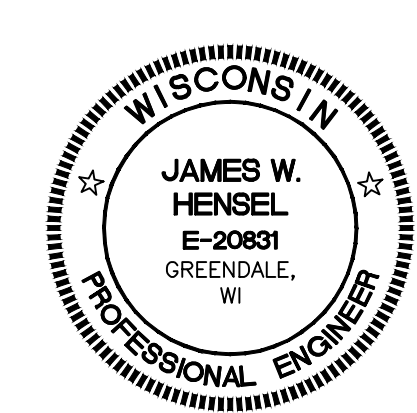
GENERAL NOTES

1. A CITY OF OAK CREEK PERMIT IS REQUIRED (PROVIDED BY OWNER).
2. THE FOLLOWING REFERENCES SHALL APPLY FOR ALL WORK ON THIS PROJECT:
 - 2.1. CURRENT CITY OF OAK CREEK CODES AND ORDINANCES.
 - 2.2. B. STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2019 EDITION (STATE DOT SPECIFICATIONS).
 - 2.3. WISCONSIN DEPARTMENT OF NATURAL RESOURCES CURRENT TECHNICAL STANDARDS.
 - 2.4. METROPOLITAN MILWAUKEE SEWERAGE DISTRICT, CHAPTER 13 - STORMWATER RULES & REGULATIONS FOR GREEN INFRASTRUCTURE (MARCH 25, 2019 ISSUE).
3. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE AND REMAIN IN PLACE FOR THE DURATION OF PROJECT.
4. PROPOSED GREEN INFRASTRUCTURE INSTALLATION SHALL BE CONSTRUCTED PER M.M.S.D. & WDNR TECHNICAL GUIDELINES.
5. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED BEFORE, OR DURING THE COURSE OF CONSTRUCTION, SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER SO THAT THEY MAY BE CLARIFIED AND/OR ADDRESSED ACCORDINGLY (AND APPROVED IF NECESSARY).
6. PROPOSED RAIN GARDENS SHALL NOT BE USED AS SEDIMENTATION BASINS. PROTECT RAIN GARDENS FROM STORMWATER RUNOFF UNTIL SITE HAS REACHED FINAL STABILIZATION.
7. TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED WHEN ALL LAND DISTURBING CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE SITE HAS REACHED FINAL STABILIZATION.
8. ALL ELEVATIONS SHOWN ON PLANS ARE REFERENCED TO CITY OF OAK CREEK DATUM.
9. SITE BENCHMARK TOP OF CONCRETE MONUMENT WITH ALUMINUM CAP AT NORTHEAST CORNER OF PROPERTY, AS SHOWN ON ABOVE. ELEVATION = 118.89
10. MAIN BENCHMARK IS CHISELED CROSS IN TOP OF WEST SIDE OF HYDRANT FLANGE AT NORTHEAST CORNER OF E. RAWSON AVE. & S. PENNSYLVANIA AVE, AS SHOWN ABOVE. ELEVATION = 121.93

Site Area:
Total Property Area = 29,505 sq. ft./0.6773 ac.
Impervious Area (2021) = 2,785 sq. ft./0.0639 ac.
Impervious Area (2023*) = 9,082 sq. ft./0.2085 ac.
* After Concrete Apron & Asphalt Removal
Net New Impervious Area = 6,297 sq. ft./0.1445 ac.

Symbol	Description
--- 10.3 ---	DENOTES EXISTING MINOR CONTOUR
--- 105 ---	DENOTES EXISTING MAJOR CONTOUR
---	DENOTES PROPOSED MINOR CONTOUR
---	DENOTES PROPOSED MAJOR CONTOUR
○	DENOTES EXISTING SPOT ELEVATION
○	DENOTES PROPOSED SPOT ELEVATION
→	DENOTES OVERLAND FLOW PATTERN
---	DENOTES PROPOSED SILT FENCE
---	DENOTES EROSION BAILE DITCH CHECK
---	DENOTES TYPE "B" INLET PROTECTION

Symbol	Description
⊠	AIR CONDITIONING UNIT
⊠	CATCH BASIN/INLET
○	CULVERT INLET/OUTLET
⊠	ELECTRIC METER
⊠	GAS METER
⊠	GUARD POST
○	SEWER MANHOLE
○	TRAFFIC SIGNAL
○	WATER VALVE
⊠	FIRE HYDRANT
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	FENCE LINE
---	OVERHEAD WIRES
---	ELECTRIC
---	WATER MAIN
---	STORM SEWER

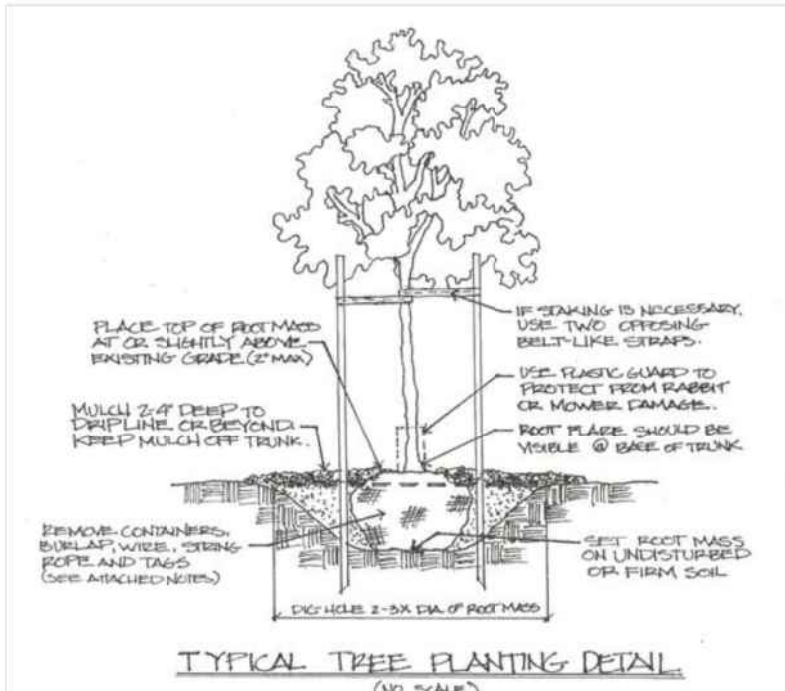
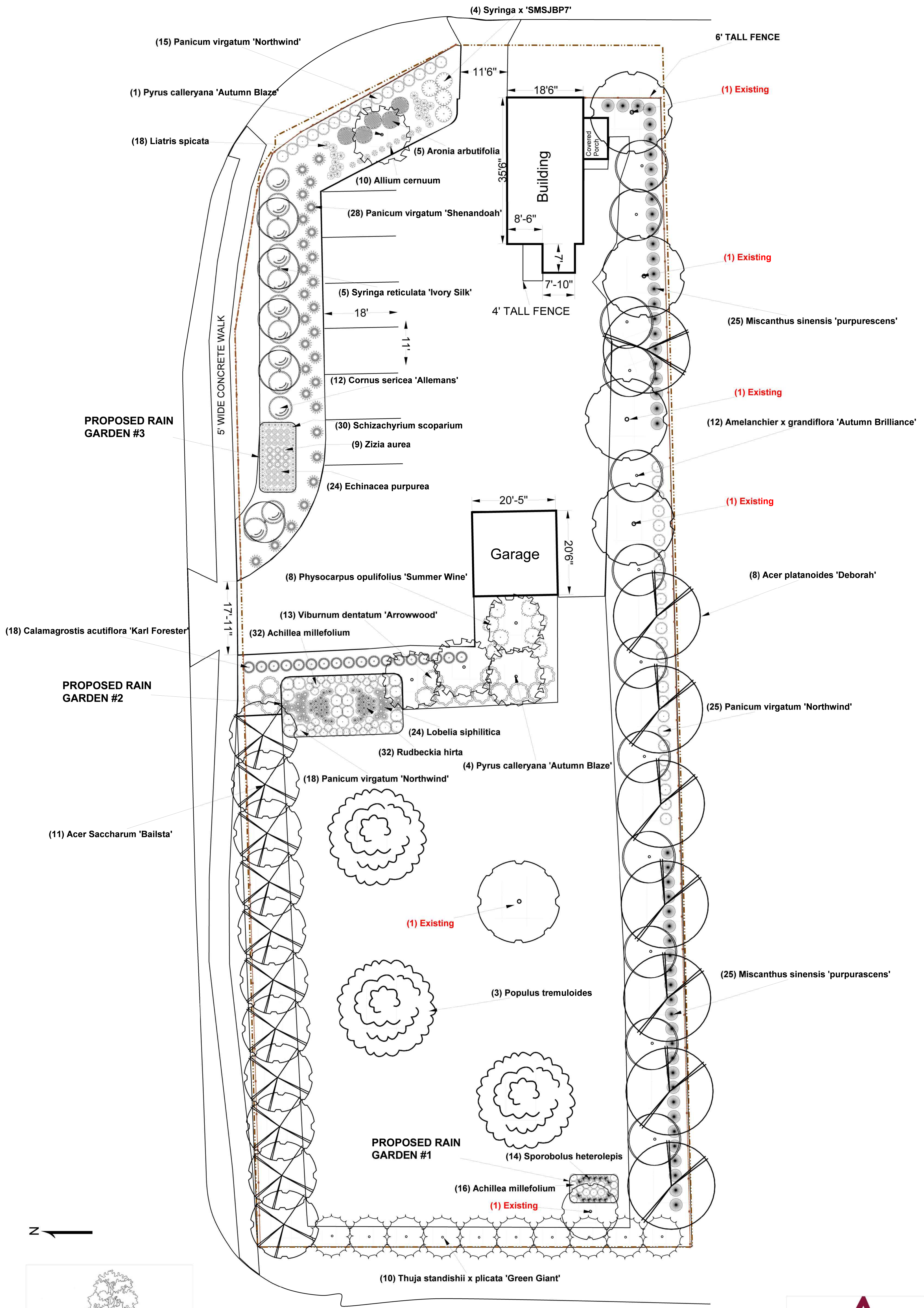


CERTAIN UNDERGROUND STRUCTURES HAVE BEEN LOCATED ON THE DRAWING. THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND STRUCTURES, WHETHER SHOWN ON THE DRAWING OR NOT.

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MARK	DATE	REVISION	BY	APVD
3	7/26/2023	REVISIONS PER CITY COMMENTS (7/25/23 EMAIL)	JMB	JWH
3	7/18/2023	REVISIONS PER CITY COMMENTS (7/6/23 EMAIL)	JMB	JWH
2	5/9/2023	CORRECTED RG#2 - CONTRIBUTING DRAINAGE AREA	JMB	JWH
1	5/2/2023	ADDED PARKING LOT DIMENSIONS - PER CITY COMMENTS	JMB	JWH

CITY OF OAK CREEK			
MILWAUKEE COUNTY WISCONSIN			
CHRISTOPHER FINK			
7101 & 7115 S. PENNSYLVANIA AVENUE			
EROSION CONTROL, GRADING & GREEN INFRASTRUCTURE PLAN			
DESIGNED: J.W.H.	DRAWN: J.M.B.	CHECKED: J.W.H.	SHEET
DATE: 04-05-2023	SCALE: H: 1" = 20'	C2	
APPROVED:	PROJECT: LS-5066	of 2	



Design by: MVK Date: 7/24/2023
Hill & Valley Landscaping, LLC
 6831 W. Ryan Rd. Franklin, WI 53132
 E-mail: info@hillandvalleylandscaping.com
 Phone Number: 414-423-8873

Scale = 1:10 Design 2
Fink Residence
 7115 S. Pennsylvania Ave.
 Oak Creek, WI 53154
 * These plans are conceptual only and not intended for construction purposes. All measurements must be verified in the field. All construction must be engineered and constructed to meet local and state requirements. This drawing is the sole property of Hill & Valley Landscaping and is entitled to compensation for use of any part of this design.



Plant Legend						
Symbol	Qty	Inst Size	Mature Ht	Mature Wth	Common	Botanical
	13	3'	5-9'	5-9'	Arrowwood Viburnum	Viburnum dentatum 'Arrowwood'
	10	6'	50-60'	12-20'	Green Giant Arborvitae	Thuja standishii x plicata 'Green Giant'
	5	3'	6-8'	6-8'	Red Chokeberry	Aronia arbutifolia
	32	1 gal	2-3'	1-2'	Black Eyed Susan	Rudbeckia hirta
	5	2" cal	35'	20'	Autumn Blaze Pear	Pyrus calleryana 'Autumn Blaze'
	12	3'	4-5'	4-5'	Alleman's Compact Dogwood	Cornus sericea 'Allemans'
	24	1 gal	2-3'	1-1.5'	Blue Cardinal Flower	Lobelia siphilitica
	58	3 gal	4-6'	2-3'	Northwind Switch Grass	Panicum virgatum 'Northwind'
	28	5 gal	4'	2-3'	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'
	18	3 gal	4-6'	2-3'	Feather Reed Grass	Calamagrostis acutiflora 'Karl Forester'
	18	3 gal	2-4'	0.75-1.5'	Dense Blazing Star	Liatris spicata
	10	3 gal	1-1.5'	0.25-0.5'	Nodding Onion	Allium cernuum
	5	1.75" cal	20-25'	15-20'	Lilac Tree	Syringa reticulata 'Ivory Silk'
	30	1 gal	2-4'	1.5-2'	Little Bluestem	Schizachyrium scoparium
	8	3'	5-6'	5-6'	Summer Wine Ninebark	Physocarpus opulifolius 'Summer Wine'
	50	5 gal	4-5'	2.5-3'	Purple Maiden Grass	Miscanthus sinensis 'Purpurascens'
	14	1 gal	2-3'	2-3'	Northern Drop-seed	Sporobolus heterolepis
	8	2.5" cal	40-50'	30-50'	Deborah Norway Maple	Acer platanoides 'Deborah'
	24	1 gal	2-5'	1.5-2'	Purple Coneflower	Echinacea purpurea
	3	8' Multi	40-50'	20-30'	Quaking Aspen	Populus tremuloides
	12	1.5" cal	15-25'	15-25'	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'
	9	1 gal	1.5-3'	1.5-2'	Golden Alexander	Zizia aurea
	11	2.5" cal	50'	40'	Fall Fiesta Sugar Maple	Acer saccharum 'Bailsta'
	6	N/A	N/A	N/A	Existing	Existing
	4	3'	4-6'	4-6'	Bloomerang Dark Purple Lilac	Syringa x 'SMSJBP7'
	48	1 gal	2-3'	2-3'	Yarrow	Achillea millefolium

Estimated Cost for Landscaping = \$52,500

PLAN COMMISSION REPORT

Proposal: Plan Review – Parking Lot Expansion
Description: Site plan review for a proposed parking lot expansion
Applicant(s): Rosemarie Patterson, Hillside Coffeehouse LLC
Address(es): 237 E. Ryan Rd. (3rd Aldermanic District)
Suggested Motion: Staff have concerns regarding the request as stated in the report below. Please refer to the report when considering the following motion.

That the Plan Commission approves the site plans submitted by Hillside Coffeehouse, LLC, for a parking lot expansion on the property at 237 E. Ryan Rd. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That plans are revised to show parking stall lengths that meet Code.
3. That a landscape plan is submitted that meets Code for parking lot perimeter and interior areas.
4. That a grading plan is submitted showing existing and proposed elevations, slopes, curb and gutter, and drainage.
5. That all revised plans (site, grading, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Owner(s): Robert and Rosemarie Patterson

Tax Key(s): 907-9988-000

Lot Size(s): 1.091 ac

Current Zoning District(s): B-4, General Business

Overlay District(s): N/A
N/A

Wetlands: Yes No
 Floodplain: Yes No

Comprehensive Commercial
Plan:

Background:

The Applicant is requesting site plan approval for a proposed expansion to their parking lot to add sixteen (16) parking stalls on the northeast corner of the site. The parking lot expansion would be an extension of their existing parking lot, which contains thirteen (13) stalls, including one ADA accessible stall. As proposed, the parking lot expansion would eliminate four (4) parking stalls to create a drive aisle to the new parking area. The parking lot extension adds 4,906 square feet of impervious area to the site, which is below the threshold of 5,000 square feet, which would require the incorporation of green infrastructure.

As proposed, the 24' wide drive aisle meets the dimensional standards per Sec. 15.0501(d). Parking stall widths are shown as 9' and 10' which meets Code. The plans are missing dimensions showing the length of parking stalls—for 90° parking stalls, a minimum length of 18' is required. Plans should be revised to show this dimension.

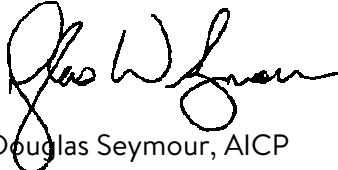
Submitted plans are missing some required elements for approval, including a landscape plan. The submitted plan shows the parking lot extension with an 18' setback, which allows space for the required 15' parking lot perimeter landscaping. For approval, a landscape plan must meet the standards of Sec. 17.0505 (1) and (2) showing both parking lot perimeter area and parking lot interior area. The proposed parking lot layout does not include areas for required landscape islands; staff has provided a suggested configuration that includes the same number of parking spaces with landscape islands shown. This concept is just an example that would meet Code and revised plans could use an alternate configuration that meets Code requirements.

Grading plans showing existing and proposed elevations, slopes, and drainage have also not been received; the Applicant should coordinate with the Engineering Department on approval for a grading plan.

Due to the substantial missing elements, staff recommends holding this item until revisions are received.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



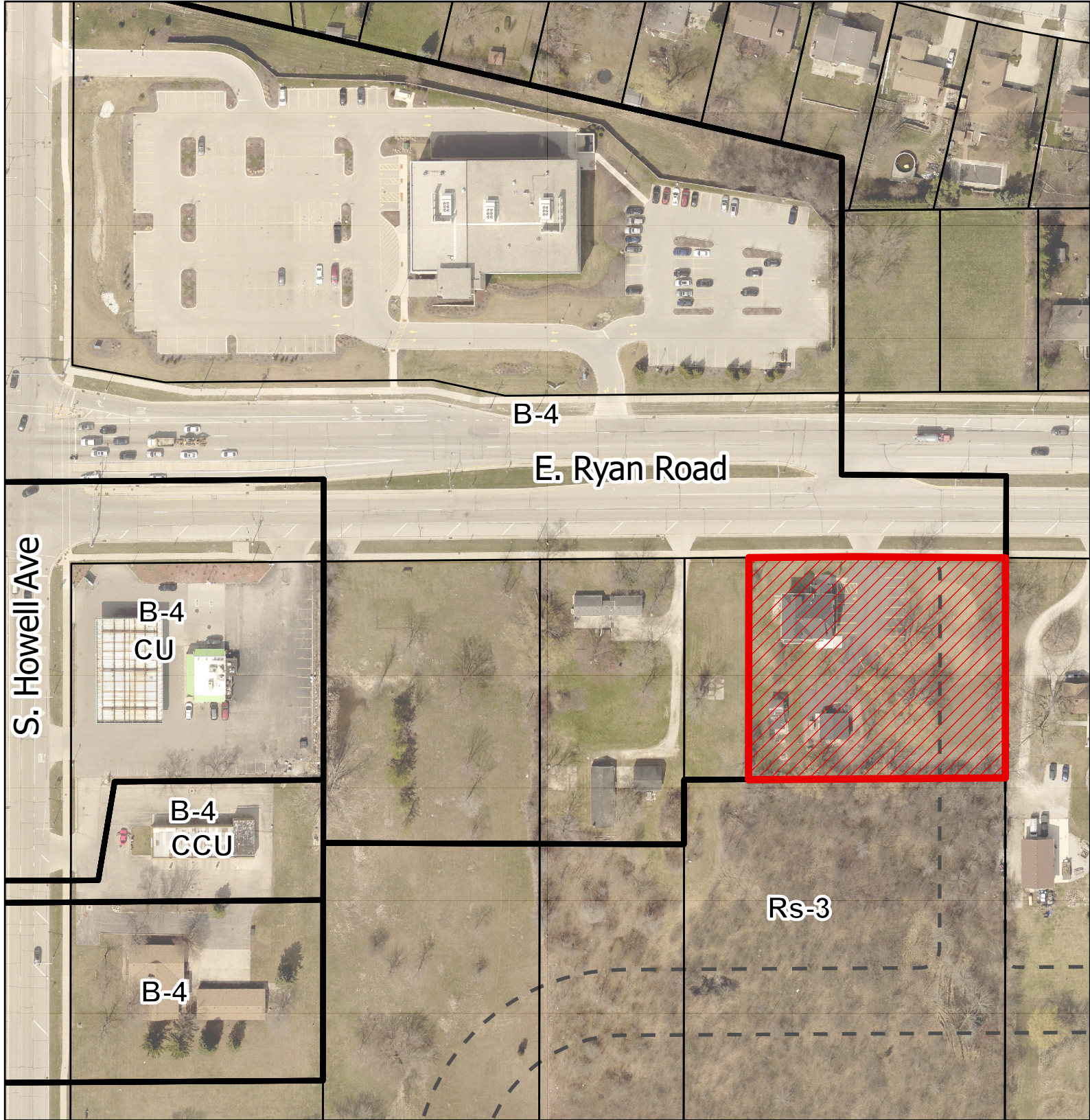
Sylvia Brueckert
Zoning Administrator/Planner

Attachments:

- Location Map
- Narrative (1 page)
- Site Plan (1 page)

Notification Map

237 E. Ryan Road



This map is not a survey of the actual boundary of the property this map depicts



Legend

- Zoning
- Official Street Map
- Flood Fringe
- Parcels
- Floodway
- 237 E Ryan Road

RECEIVED

JUL 19 2023

7-19-23

CITY OF OAK CREEK

CITY OF OAK CREEK,

ATTN: KARI PAPELSON

PLEASE BE ADVISED THIS IS OUR APPLICATION
OF PROPOSED PARKING LOT EXPANSION FOR
HILLSIDE COFFEE HOUSE, LOCATED AT 237 E. RYAN RD.

TAX KEY: 9079988000

ANY QUESTIONS PLEASE CALL MY CELL PHONE
AT: 414-581-3408

THANK YOU,

ZEKE PATTERSON

E-MAIL: PATTERSONRF@AOL.COM.

RECEIVED

JUL 19 202

CITY OF OAK CR



Blackout Lines
Paint Hatched Areas

4,906 sq ft

41E

65'

North Arrow

Legend



PLAN COMMISSION REPORT

Proposal: Sign Plan Review – Lakeshore Commons Coast Apartment Signs

Description: Review proposed plans for wall and projecting signs for Lakeshore Commons Coast Apartments.

Applicant(s): Nick Jung, F Street OCLV, LLC

Address(es): 4005 E. Lake Vista Pkwy. (Buildings: 9324 S. Breakwater Blvd. & 4178 E. Hemlock Dr.) (4th Aldermanic District)

Suggested Motion: That the Plan Commission approves the sign plans submitted by Nick Jung, F Street OCLV, LLC, for the Lakeshore Commons property at 4005 E. Lake Vista Parkway (Buildings: 9324 S. Breakwater Blvd. & 4178 E. Hemlock Dr.) with the following conditions:

1. That all relevant Code requirements and conditions of the Traditional Neighborhood Development Planned Unit Development (TND PUD) remain in effect.
2. That the signs are included in the Master Sign Plan for the Lakeshore Commons development. The Master Sign Plan shall be reviewed and approved by the Plan Commission prior to submission of permit applications for all future signs in Lakeshore Commons.
3. That the projecting sign meets current Code requirements for size, height, and projection.
4. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Owner(s): F Street OCLV LLC

Tax Key(s): 868-9005-000

Lot Size(s): 34.519 ac

Current Zoning District(s): Traditional Neighborhood Devel. (TND)

Overlay District(s): PUD N/A

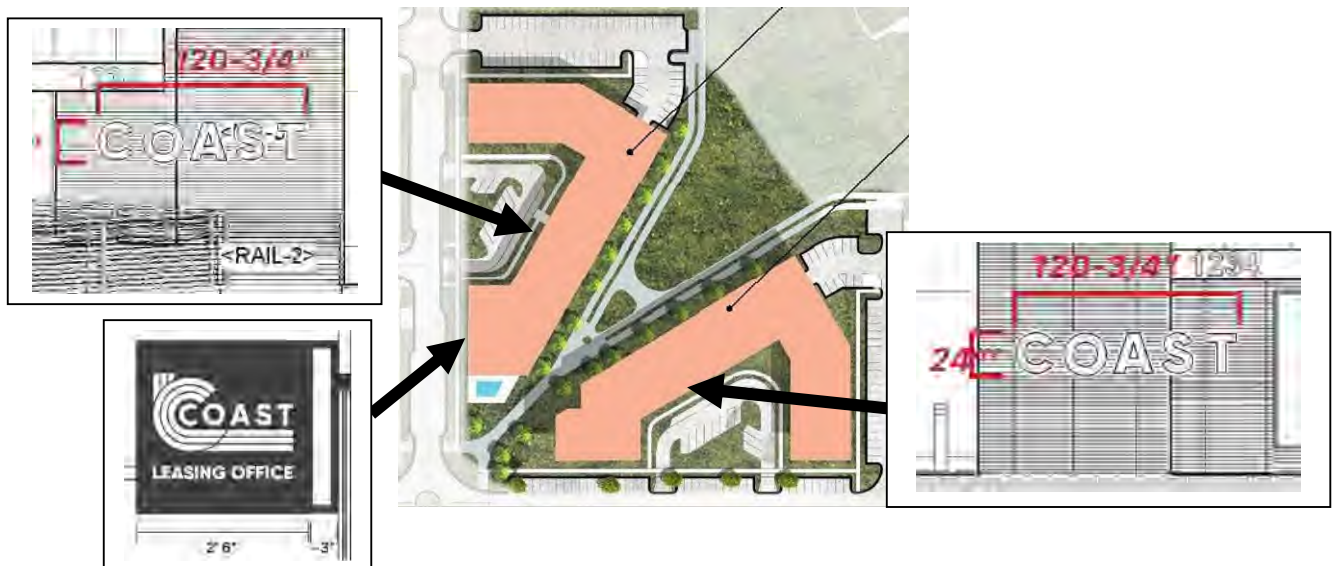
Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Mixed Use

Background:

The Applicant is requesting approval of wall and projecting signs for the Lakeshore Commons Coast Apartment buildings at 9324 S. Breakwater Blvd. & 4178 E. Hemlock Dr. (parcel address: 4005 E. Lake Vista Pkwy.). Plan Commissioners will recall that Lakeshore Commons is zoned as a Traditional Neighborhood Development Planned Unit Development (TND PUD), the Amended Conditions and Restrictions for which were approved in Ord. 3063 in January of 2023. Per Section 6 of the Conditions and Restrictions, signs for “multifamily buildings of four (4) or more units and mixed-use buildings” must be included in the Master Sign Plan for the development. Similar to the development monument signs approved at the June 27, 2023 meeting, the signs for the Coast Apartments are being presented for review and approval prior to the submission of the formal Master Sign Plan for Plan Commission review. The request is due to time constraints; finalization of sign details for the remainder of the development is currently in progress.

Each of the Coast buildings is proposed to have a 120 3/4” (l) x 24” (h) wall sign placed at the main entrances. For the north building, this will be on the wall facing the parking off of Breakwater Boulevard. For the south building, this will be on the wall facing the parking off of Hemlock Drive (see graphic below).

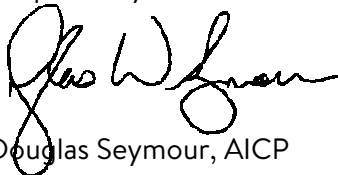


The north building is also proposed to have one (1) projecting sign on the southern portion facing Breakwater Boulevard. Although projecting signs are not listed as allowed signs in residential districts in the Zoning Code, the Traditional Neighborhood Development PUD for Lakeshore Commons allows for signage on the apartment buildings as part of a Master Sign Plan. In this case, staff would recommend that the projecting sign meet the current Code requirements for size (max. 6 sf), height, and projection. A Master Sign Plan for the development will incorporate all signs per the PUD as previously stated, and will be presented for Plan Commission approval prior to submission of any further signs in Lakeshore Commons.

With the above in mind, and recognizing that City staff will continue to work with the Applicant revisions and Master Sign Plan requirements, staff has provided a suggested motion for approval with conditions above for Plan Commission consideration.

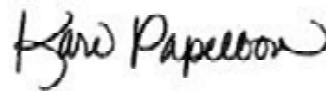
Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Senior Planner

Attachments:

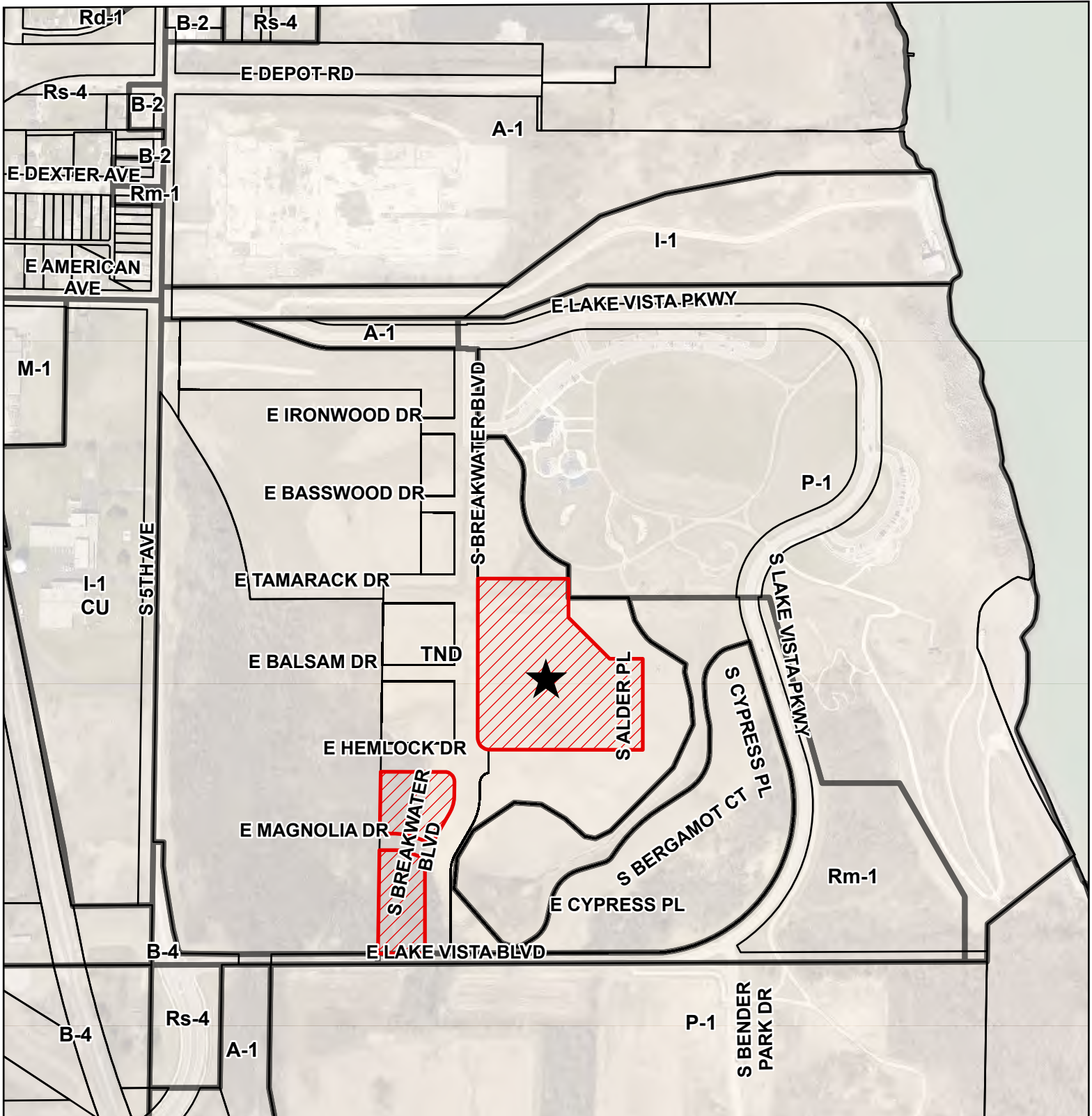
Location Map

Plans (6 pages)

Email with Projecting Sign Graphic (2 pages)

LOCATION MAP

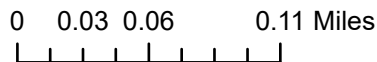
9324 S. Breakwater Blvd. & 4178 E. Hemlock Dr.



This map is not a survey of the actual boundary of any property this map depicts.



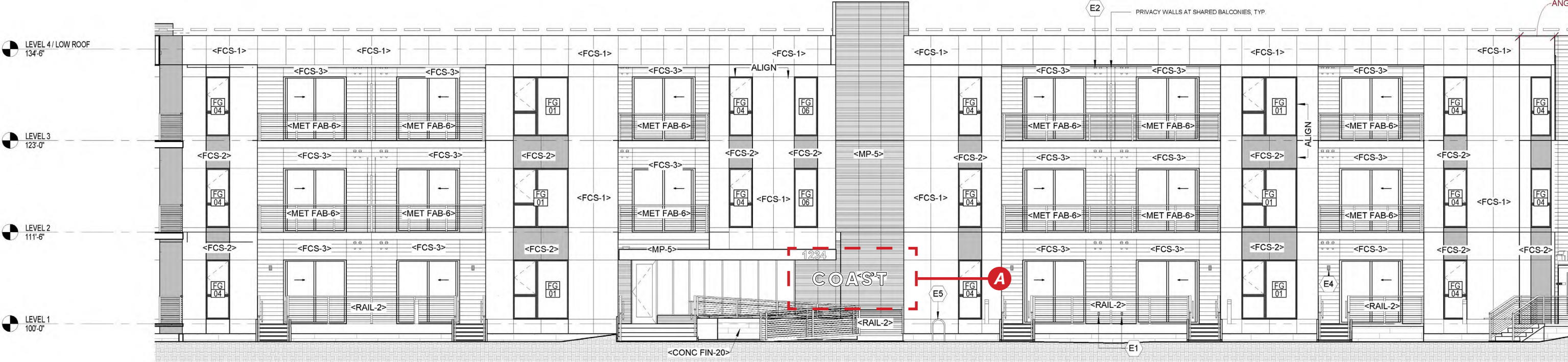
Community Development



Legend

- Zoning
- Official Map
- Floodway
- Flood Fringe
- Subject Property

EXTERIOR ILLUMINATED SIGNAGE - NORTH BUILDING

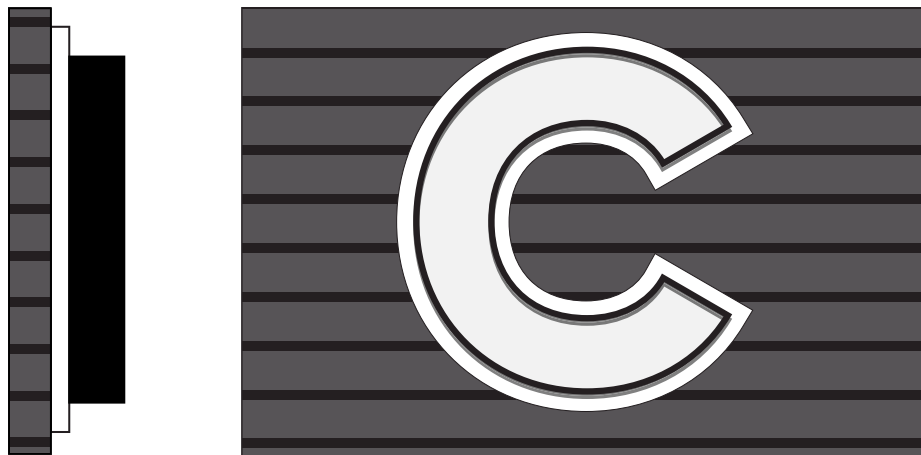


2 NORTH BUILDING - ELEVATION
1/8" = 1'-0"

A

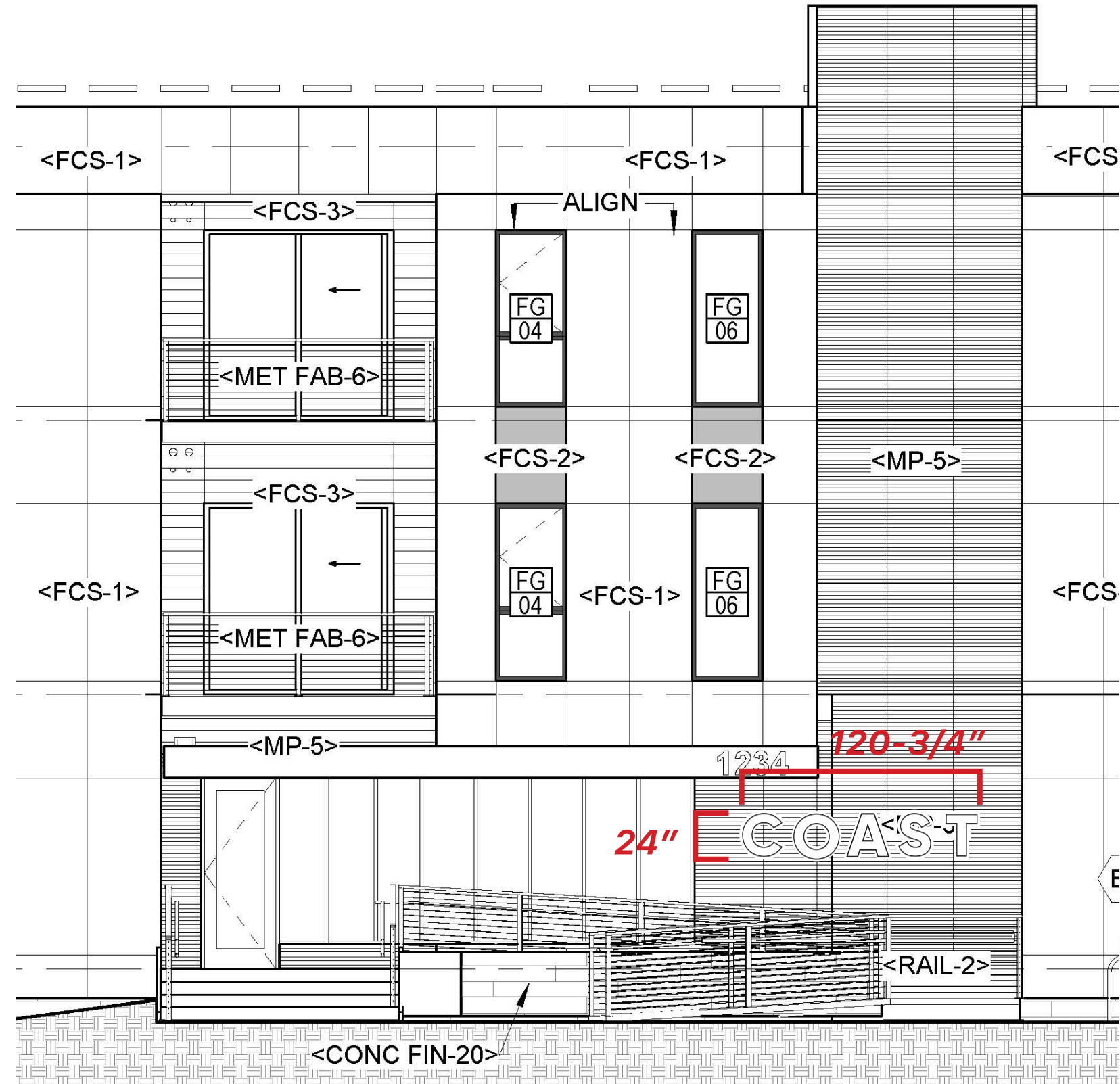
EXTERIOR ILLUMINATED SIGNAGE - NORTH BUILDING

- EXTERIOR LED "NEON" OPEN CHANNEL LETTERS
- 24" TALL READING "COAST"
- APPROXIMATELY 120-3/4" WIDE
- 1/2" THICK PVC BACKER PIECE LARGER THAN THE LETTER FOR THE BORDER
- LETTERS WILL BE FLUSH MOUNTED TO THE BUILDING WITH REMOTE POWER SUPPLY

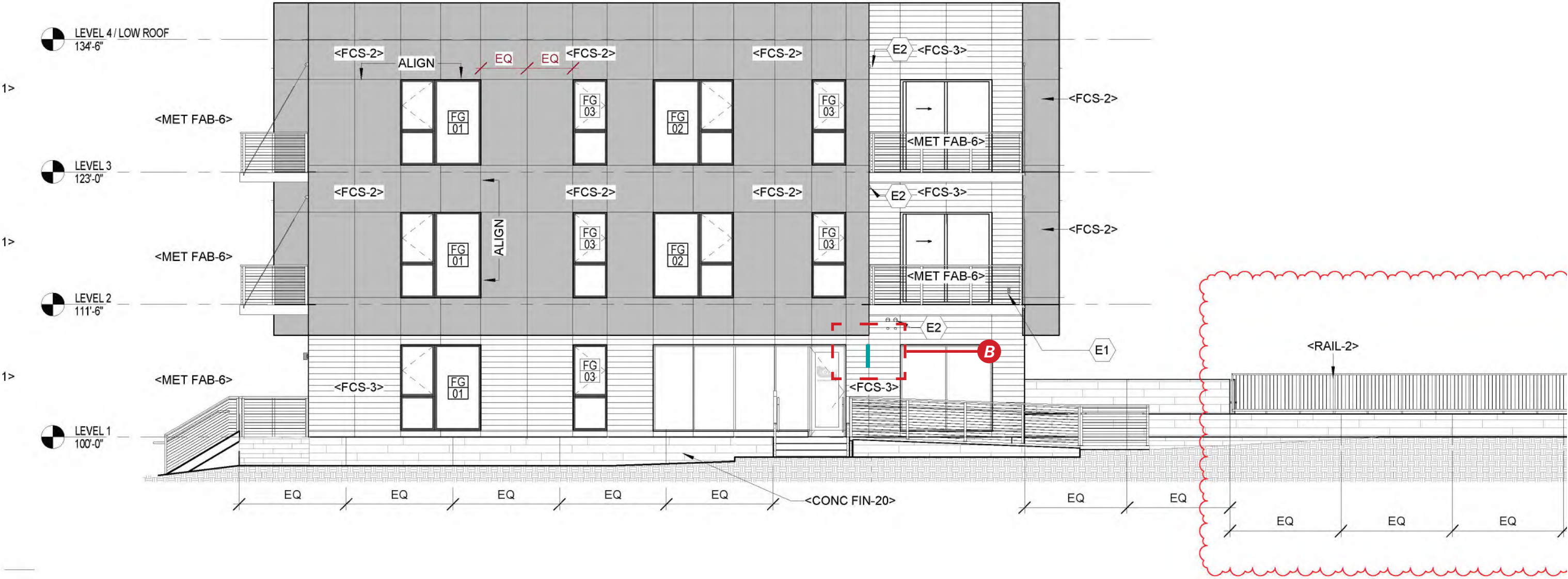


SIDE VIEW

FRONT VIEW



EXTERIOR NON-LIT MOUNTED SIGN

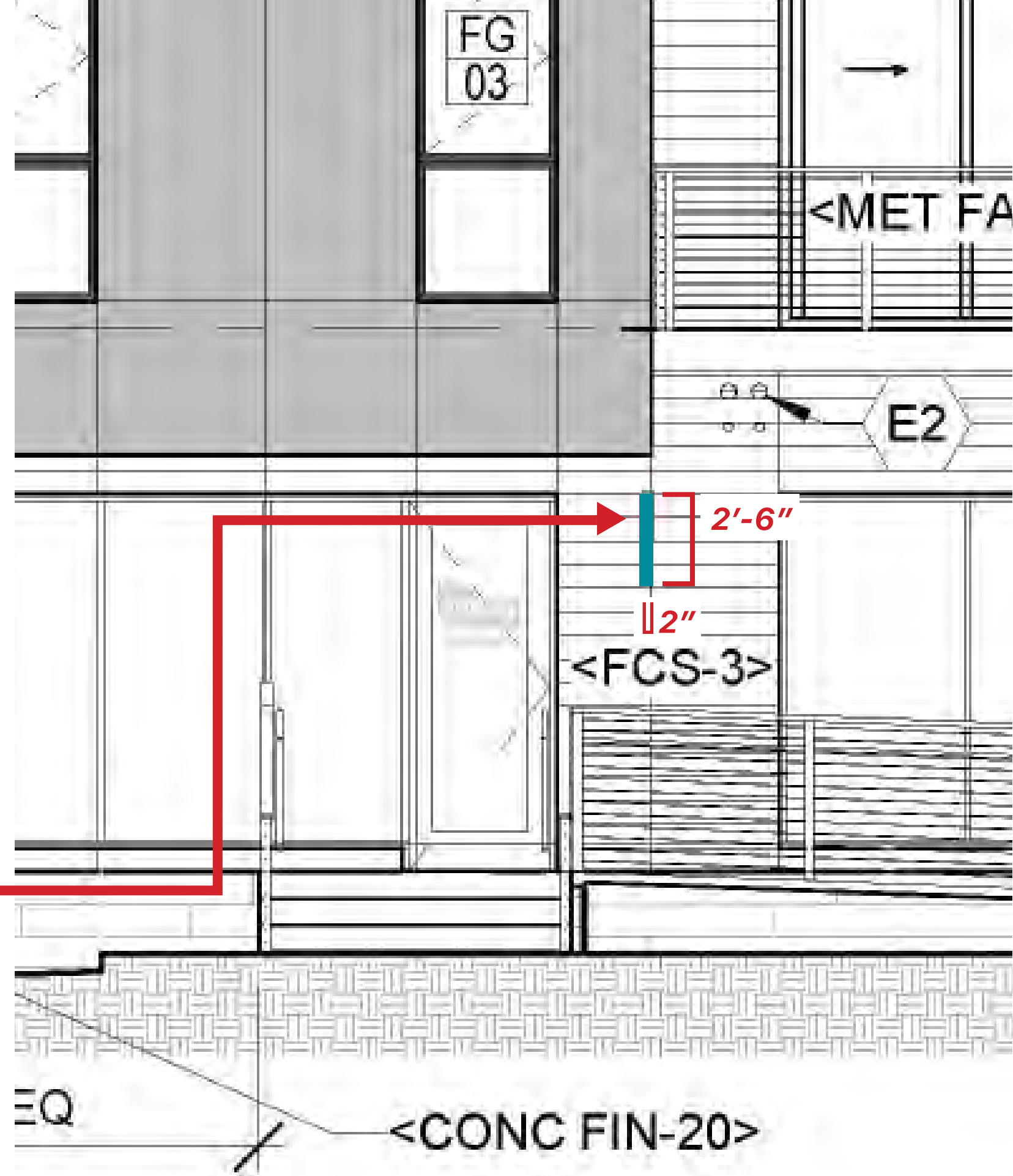
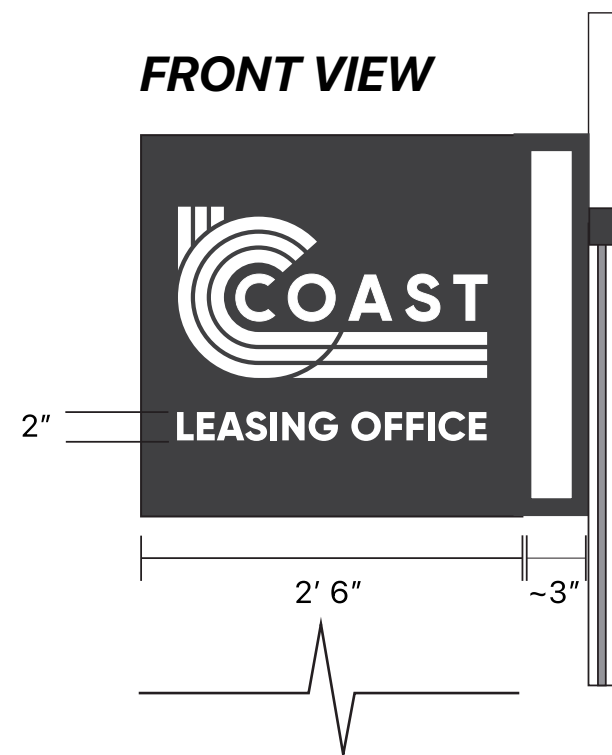


5 NORTH BUILDING - ELEVATION
 1/8" = 1'-0"

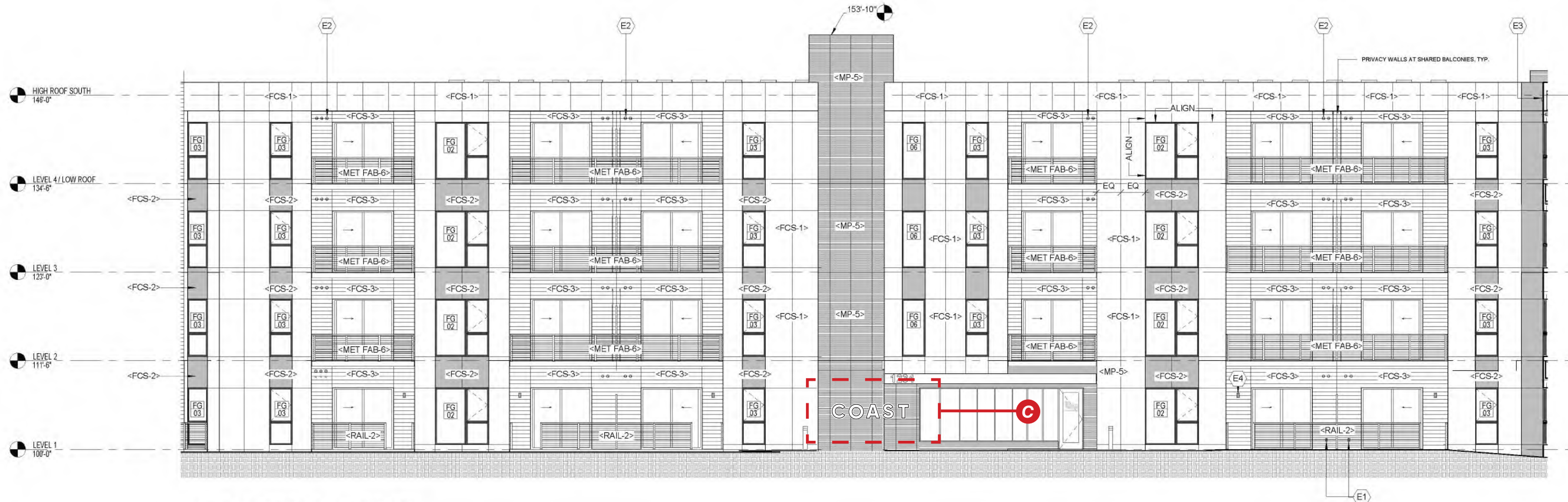
B

EXTERIOR NON-LIT MOUNTED SIGN

- DOUBLE FACE NON-LIT WALL MOUNTED SIGN FOR LEASING OFFICE
- APPROXIMATELY 2'-6" SQUARE
- SIGN CABINET TO BE 2" DEEP, FACE PAINTED GREY, SIDES AND BOTTOM PAINTED TEAL
- SIGN TO BE INSTALLED WITH TOP OF SIGN ALIGNED WITH TOP OF ADJACENT LEASING ENTRY DOOR
- 1/4" ACRYLIC RAISED COPY AND LOGO, WHITE



EXTERIOR ILLUMINATED SIGNAGE - SOUTH BUILDING

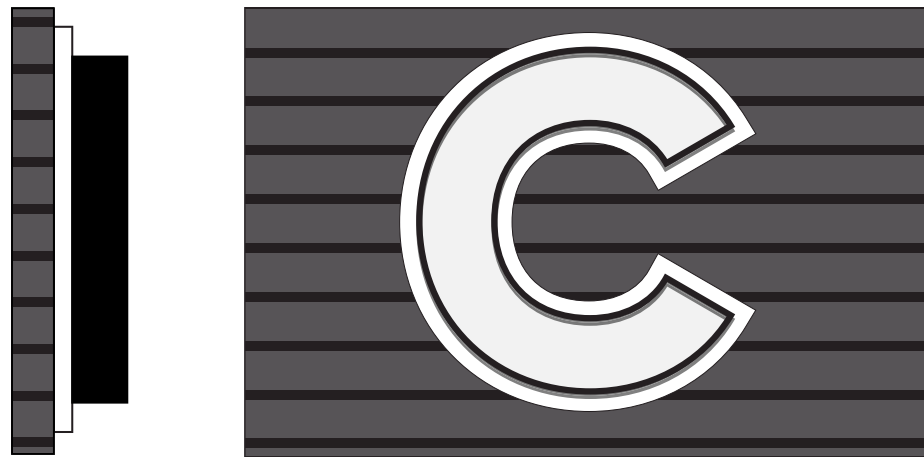


2 SOUTH BUILDING - ELEVATION
1/8" = 1'-0"



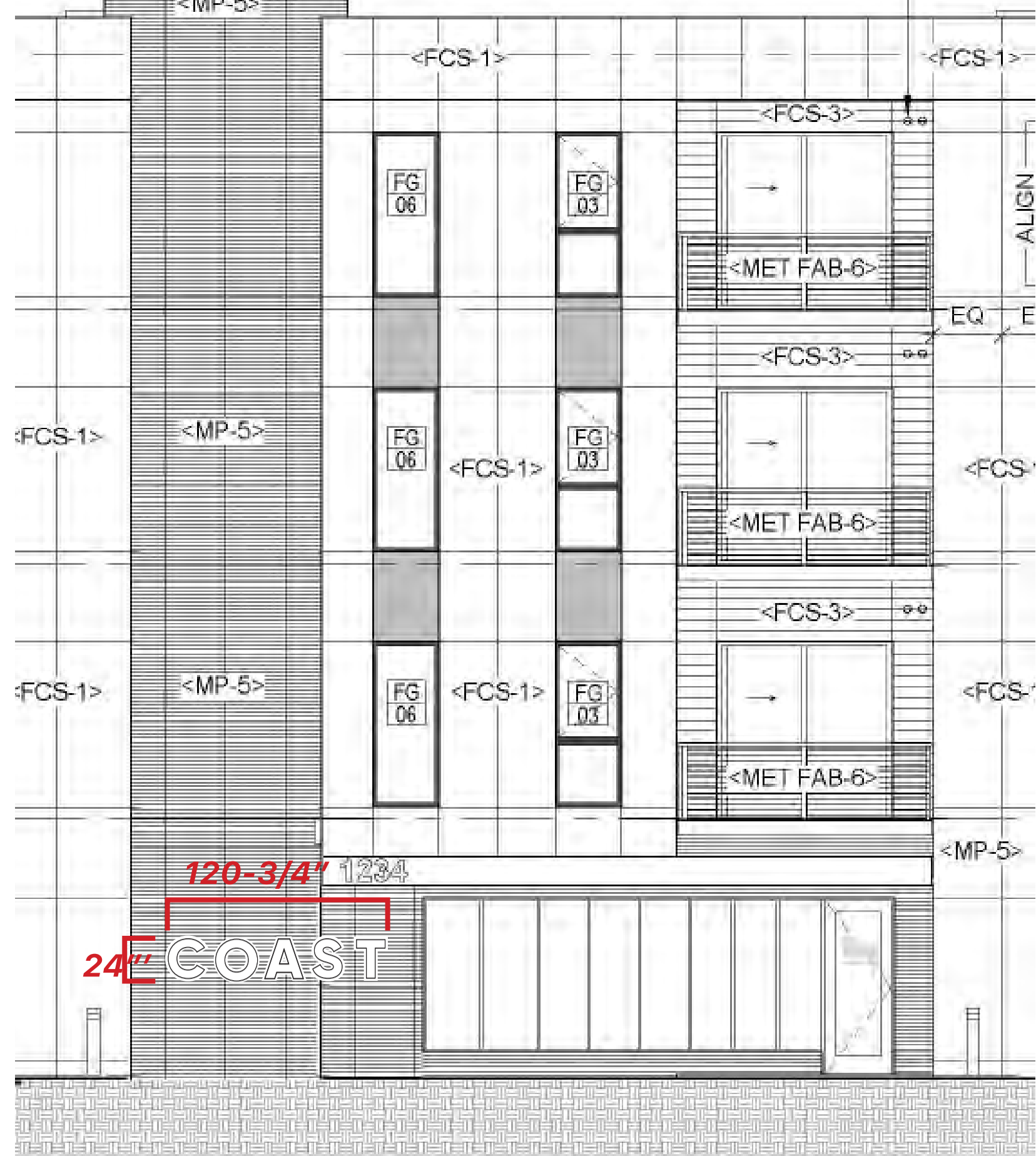
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- LETTERS WILL BE FLUSH MOUNTED TO THE BUILDING WITH REMOTE POWER SUPPLY



SIDE VIEW

FRONT VIEW



Kari Papelbon

From: Steve Morales <smorales@rinka.com>
Sent: Friday, August 4, 2023 3:15 PM
To: Kari Papelbon; Katie Monachos
Subject: Re: [EXTERNAL] Lakeshore Commons - Master Sign Plan - Plan Commission Submission
Attachments: coast_leasing.jpg

Kari,

The distance between the bottom of sign and ramp = 5'-7", the distance between bottom of sign and grade = 6'-7". The sign would be mounted over a landscaping area that is currently 2'-8/12" wide. We would ensure the overall bracket width and sign itself are in this zone over the landscaping and does not go over the ramp (see attached) to maintain head height clearances.

Please let me know if you have any questions.

Respectfully,

Steve Morales
partner

RINKA+

MILWAUKEE
756 north milwaukee street suite 250 milwaukee wisconsin 53202

FORT LAUDERDALE
613 nw 3rd avenue suite 104A fort lauderdale florida 33311

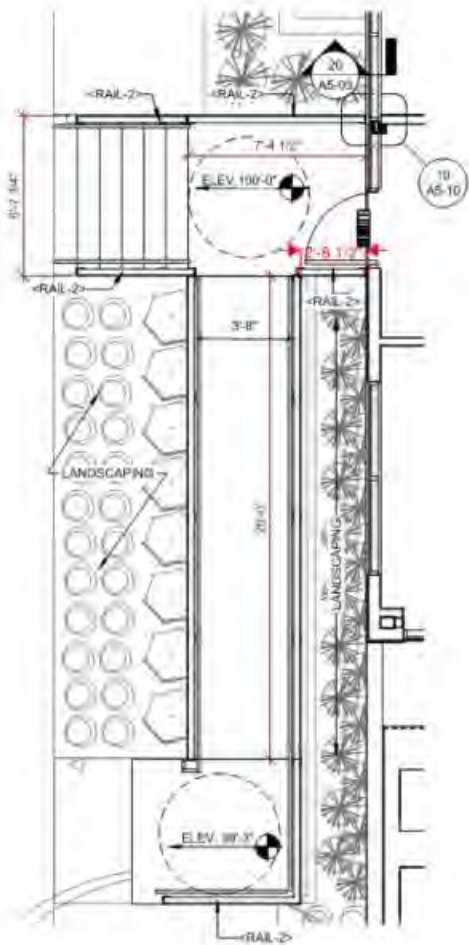
414 431 8101 p
smorales@rinka.com
RINKA.com

From: Kari Papelbon <kpapelbon@oakcreekwi.gov>
Sent: Tuesday, August 1, 2023 4:12 PM
To: Steve Morales <smorales@rinka.com>; Katie Monachos <kmonachos@rinka.com>
Subject: RE: [EXTERNAL] Lakeshore Commons - Master Sign Plan - Plan Commission Submission

Thanks, Steve. Can you verify the height of the proposed blade sign from both grade and the ramp?

Kari Papelbon, CFM, AICP • Senior Planner
[City of Oak Creek • Community Development](#)

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Direct: 414-766-7027
Email: kpapelbon@oakcreekwi.gov
Pronouns: she/her/hers



3 OFFICE ENTRANCE

1/4" = 1'-0"