



**Common Council Chambers**  
8040 S. 6<sup>TH</sup> Street  
Oak Creek, WI 53154  
(414) 766-7000

## COMMON COUNCIL MEETING AGENDA

**MAY 2, 2023**  
**7:00 P.M.**

Daniel Bukiewicz - Mayor  
Steven Kurkowski – 1<sup>st</sup> District  
Greg Loreck – 2<sup>nd</sup> District  
James Ruetz – 3<sup>rd</sup> District  
Lisa Marshall – 4<sup>th</sup> District  
Kenneth Gehl – 5<sup>th</sup> District  
Chris Guzikowski – 6<sup>th</sup> District

### The City's Vision

*Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.*

1. Call Meeting to Order / Roll Call
2. Pledge of Allegiance.
3. Approval of Minutes: 4/18/23.

### Recognition

4. **Mayoral Proclamation:** Huntington Disease Awareness Month.

### Public Hearings (beginning at 7:00 p.m.)

*Citizen input, comments and suggestions are requested on the specific item(s) identified below. Action by the Council may occur at the same meeting if so included in the agenda.*

5. **Conditional Use Permit:** Consider a request submitted by Kathleen Smigielski, Next Best Place Child Care & Preschool, for a Conditional Use Permit for a private playground/outdoor recreation facility on the property at 150 W. Ryan Rd. (3<sup>rd</sup> District).
6. **Ordinance:** Consider Ordinance No. 3070, approving a Conditional Use Permit for an outdoor recreation facility/private playground on the property at 150 W. Ryan Rd. (3<sup>rd</sup> District).
7. **Planned Unit Development:** Consider a request submitted by Chandra Sekhar Vasireddy, Oak Creek Residences, LLC, to establish a Planned Unit Development on the properties at 9102, 9120, and 9140 S. 27<sup>th</sup> St. (6<sup>th</sup> District).
8. **Ordinance:** Consider Ordinance No. 3071, establishing a Planned Unit Development (PUD) on the properties at 9102, 9120, and 9140 S. 27<sup>th</sup> St. (6<sup>th</sup> District).
9. **Planned Unit Development Amendment:** Consider a request submitted by Ryan Swingruber, CR Devco, LLC, for an amendment to Section 8, Time of Compliance, of the existing Planned Unit Development affecting portions of the properties at 2231 W. Puetz Rd., 8843 S. 13<sup>th</sup> St., and 8950 S. 20<sup>th</sup> St. (6<sup>th</sup> District).

Visit our website at [www.oakcreekwi.org](http://www.oakcreekwi.org) for the agenda and accompanying common council reports.  
This meeting will be live streamed on the City of Oak Creek YouTube page via <http://ocwi.org/livestream>.

10. **Ordinance:** Consider Ordinance No. 3072, approving an Amendment to Section 8, Time of Compliance, of the Planned Unit Development on the properties at 2231 W. Puetz Rd., 8843 S. 13<sup>th</sup> St., and 8950 S. 20<sup>th</sup> St. (6<sup>th</sup> District).

## Old Business

11. Mayor's Aldermanic Appointments
  - a. Small Claims Committee – 1  
Ald. Marshall
  - b. Library Board – 1  
Ald. Loreck
12. **Motion:** Consider a motion to concur with the following Mayoral Aldermanic appointments:
  - a. Tourism Commission - 1  
Ald. Ruetz
  - b. Community Development Authority (CDA) -2  
Ald. Gehl  
Ald. Kurkowski
13. Common Council President Aldermanic Appointments (\* denotes Chair):
  - a. Personnel & Finance Committee – 3  
Ald. Gehl\*  
Ald. Kurkowski  
Ald. Ruetz
  - b. License Committee – 3  
Ald. Gehl  
Ald. Kurkowski  
Ald. Ruetz
  - c. Plan Commission Representatives – 2  
Ald. Guzikowski  
Ald. Loreck
  - d. Board of Health Representative – 1  
Ald. Marshall
  - e. Emergency Management Advisory Committee Representative – 1  
Ald. Loreck
  - f. Parks & Recreation Commission – 1  
Ald. Guzikowski
  - g. Board of Public Works and Capital Assets - 3  
Ald. Gehl  
Ald. Guzikowski\*  
Ald. Marshall

## New Business

14. **Motion:** Presentation and *motion* to adopt the 2023-2027 Strategic Action Plan (by Committee of the Whole).
15. **Motion:** Consider a *motion* to concur with the Mayor's (re)appointments as follows (new appointment noted):
  - a. Board of Public Works & Capital Assets – 3 year term to expire 4/2026  
Fredrick Siepert
  - b. Board of Review – 5 year term to expire 4/2028  
Donald Garcia-Dwyer – 7705 S. Manitowoc Ave. (new)
  - c. Celebrations Commission – 3 year term to expire 4/2026  
Courtney Kolhouse  
Kyle Kolhouse  
Richard Maggard, Jr.  
Tony Rufer
  - d. Parks & Recreation Commission – 3 year term to expire 4/2026  
Anne Beyer  
Leah Schrieber Johnson
  - e. Tourism Commission – 1 year term to expire 4/2024  
Mike Grab  
Melissa Rasmussen  
Clint Wills
  - f. Zoning Board of Appeals / Housing Board of Appeals – 3 year term to expire 4/2026  
Lawrence Bodette  
Randy Gregorek

## TREASURER

16. **Motion:** Consider a *motion* to authorize the publication and write-off of the 2021 delinquent personal property tax as reported by the City Treasurer (by Committee of the Whole).

## CLERK

17. **Resolution:** Consider *Resolution* No. 12409-050223, establishing the date and time of the 2023 Board of Review (by Committee of the Whole).

## COMMUNITY DEVELOPMENT

18. **Resolution:** Consider *Resolution* No. 12408-050223, approving a Certified Survey Map submitted by Christopher Fink for the properties at 7101 and 7115 S. Pennsylvania Ave. (1<sup>st</sup> District).
19. **Resolution:** Consider *Resolution* No. 12410-050223, approving a Certified Survey Map submitted by Greg & Gail Holtz and James & Sarah Nickols for the properties at 8801 S. Charmaine Cir. and 3381 E. Carol Ct. (4<sup>th</sup> District).

20. **Resolution:** Consider Resolution No. 12411-050223, approving a Certified Survey Map submitted by John Thomsen, Highgate LLC for the property at 1402 W. Hampstead Ln. (1<sup>st</sup> District).
21. **Motion:** Consider a motion to approve amendments to the Architectural and Engineering Design Services Contract for Abendschein Park to Plunkett Raysich Architects for their stated services of \$60,000 (1<sup>st</sup> District).

## **ENGINEERING**

22. **Motion:** Consider a motion to authorize the Engineering Department to enter into a Three Party Design Contract, not to exceed \$108,322, between the Wisconsin Department of Transportation, City of Oak Creek, and Alfred Benesch and Company for the design services of the S. 6<sup>th</sup> Street bridge over Oak Creek (1<sup>st</sup> District).

## **LICENSE COMMITTEE**

23. **Motion:** Consider a motion to approve the various license requests as listed on the 5/2/23 License Committee Report (by Committee of the Whole).

## **VENDOR SUMMARY**

24. **Motion:** Consider a motion to approve the April 26, 2023 Vendor Summary Report in the amount of \$489,574.41 (by Committee of the Whole).

## ***Adjournment.***

### **Public Notice**

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 414-766-7000, by fax at 414-766-7976, or by mail at 8040 S. 6<sup>th</sup> Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may attend the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

## Mayoral Proclamation Huntington Disease Awareness Month

WHEREAS; Huntington's disease (HD) is a brain disease that is passed down in families from generation to generation. It is caused by a mistake in the DNA instructions that build our bodies and keep them running. DNA is made up of thousands of genes, and people with HD have a small error in one gene, called huntingtin. Over time this error causes damage to the brain and leads to HD symptoms; and

WHEREAS; HD causes deterioration in a person's physical, mental, and emotional abilities, usually during their prime working years, and currently has no cure. Most people start developing symptoms during adulthood, between the ages of 30 to 50, but HD can also occur in children and young adults (known as juvenile HD or JHD). HD is known as a family disease because every child of a parent with HD has a 50/50 chance of inheriting the faulty gene. Today, there are approximately 41,000 symptomatic Americans and more than 200,000 at-risk of inheriting the disease; and

WHEREAS; every child of a parent with Huntington disease faces a 50 percent risk of inheriting this genetic disorder, and there is no effective treatment and no known cure — yet; and

WHEREAS; the Huntington Society of America has initiated and supported research into the cause and nature of this fatal disease, and the work of the Society has brought new hope to the people with Huntington disease and families who bear the burden of this affliction; and

WHEREAS; research continues to offer the promise of early diagnosis, treatment techniques and ultimately a cure for Huntington disease; and

WHEREAS; the month of May will be observed as Huntington Disease Awareness Month; and on May 21<sup>st</sup>, 2023 the City of Oak Creek will host to the 3<sup>rd</sup> Annual Guzi's Hunt for the Cure Run/Walk to benefit the Huntington's Disease Society of American – Wisconsin Chapter;

WHEREAS; I, Daniel Bukiewicz, Mayor of the City of Oak Creek, urge all our citizens to lend their support to the Huntington Society of America in its efforts to unravel, not only the mystery of Huntington disease, but also a wide range of other genetic, neurological and psychiatric disorders affecting the lives of so many.

NOW, THEREFORE, be it resolved that I, Dan Bukiewicz, Mayor of Oak Creek, proclaim May 2023 as Huntington Disease Awareness Month.

Dated this 2nd day of May, 2023.

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Daniel J. Bukiewicz, Mayor

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Catherine A. Roeske, City Clerk

TO BE PUBLISHED APRIL 12 & 19, 2023

OFFICIAL NOTICE

**NOTICE OF PUBLIC HEARING  
BEFORE THE OAK CREEK COMMON COUNCIL**

**PURPOSE:**

The purpose of this public hearing is to consider a request submitted by Kathleen Smigielski, Next Best Place Child Care & Preschool, for a Conditional Use Permit for a private playground/outdoor recreation facility on the property at 150 W. Ryan Rd.

**Hearing Date:**

May 2, 2023

**Time:**

7:00 PM

**Place:**

Oak Creek Civic Center (City Hall)  
8040 South 6<sup>th</sup> Street  
Oak Creek, WI 53154  
Common Council Chambers

**Applicant(s):**

Kathleen Smigielski, Next Best Place Child Care & Preschool

**Property Owner(s):**

United Auto Leasing

**Property Location(s):**

150 W. Ryan Rd.

**Tax Key(s):**

875-9004-002

**Legal Description:**

CSM NO. 4456 PARCEL 1 & THE E 65 FT OF PARCEL 2 SE 1/4 SEC 20-5-22 EXC SOUTH 5 FT CONV TO STATE OF WI DOT FOR ST IN DOC NO 10287757.

The Common Council has scheduled other public hearings for May 2, 2023 at 7:00 PM. This hearing may begin at 7:00 PM or as soon as possible following the conclusion of other public hearings.

Any person(s) with questions regarding the proposed change may call the Department of Community Development at (414) 766-7000, during regular business hours.

Date of Notice: April 5, 2023

CITY OF OAK CREEK COMMON COUNCIL

By: Daniel J. Bukiewicz, Mayor

**PUBLIC NOTICE**

PLEASE NOTE: Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 414-766-7000 or write to 8040 South 6<sup>th</sup> Street, Oak Creek, Wisconsin 53154.

## COMMON COUNCIL REPORT

- Item:** Conditional Use Permit - 150 W. Ryan Rd. - Kathleen Smigielski, Next Best Place Child Care & Preschool
- Recommendation:** That the Council adopts Ordinance 3070, an ordinance to approve a Conditional Use Permit for an outdoor recreation facility/private playground on the property at 150 W. Ryan Rd. (3<sup>rd</sup> Aldermanic District)
- Fiscal Impact:** No direct fiscal impact is anticipated as this property is currently developed. However, approval will allow for the occupancy of an existing vacant commercial building with a daycare facility that will provide additional outdoor programming. Positive fiscal impacts will occur from review and permit fees. This property is not currently part of a TID.
- Critical Success Factor(s):**
- Vibrant and Diverse Cultural Opportunities
  - Thoughtful Development and Prosperous Economy
  - Safe, Welcoming, and Engaged Community
  - Inspired, Aligned, and Proactive City Leadership
  - Financial Stability
  - Quality Infrastructure, Amenities, and Services
  - Not Applicable

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**Background:** The Applicant, with support of the current landowner, is requesting approval of a Conditional Use Permit for an outdoor recreation facility/private playground on the property at 150 W. Ryan Rd. Both outdoor recreation facilities and private playgrounds are Conditional Uses in the B-3, Office & Professional Business district. The Land Use Plan within the Comprehensive Plan identifies this parcel as appropriate for future commercial development outside of floodway areas.

Per the submitted narrative, the requested use will be part of a child development (daycare) center operated by Next Best Place Child Care & Preschool. Interior build-out of the proposed 2-room facility within the existing building on the property is in process. While the daycare portion of the proposal is considered a Permitted Use in the B-3, Office & Professional Business district, the operations are not separate from the outdoor recreation facility/playground component.

The facility will accommodate up to 32 children at maximum capacity, and will be required to obtain State licensing prior to occupancy. Hours of operation are proposed to be 6:00 AM – 6:00 PM. No weekend hours were specified, and up to seven (7) employees may be at the facility. The outdoor recreation facility/playground will be sited on the north side of the existing building, separated into two (2) play areas surrounded by a 6-foot-tall chain-link fence. Access to the play area is through the building (north door) and via two (2) access gates (between the play areas and on the southeast).

Minimum parking requirements for outdoor recreation facilities are calculated at one (1) stall for every 3 people at maximum capacity. However, this does not assume that the outdoor recreation facility is specifically for children, and is therefore not applicable to this proposal. Minimum parking requirements

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for private playgrounds, however, are determined based on a parking study. Absent a full study, the maximum capacity of the facility with all staff, including “as needed” employees, would require 39 total parking stalls. While staff have not received a full site plan for the facility, assuming there are few changes to the site, the existing number of parking stalls is sufficient.

While this is not a review of site, building, or landscape plans, staff note that during last year’s review of a proposed auto sales business at this location, the following were mentioned and remain valid:

- This is a property that does not currently meet minimum requirements for pavement setbacks and sign setbacks. The existing sign would need to be removed and a new monument sign located in conformance with setback requirements. It is strongly encouraged that the landowner removes the excess asphalt in the location of the former second driveway access (removed during the Ryan Road reconstruction project completed in 2015). This area should transition to landscaping per Code.
- Trash and recycling receptacles would be required to be stored within an enclosure and sited/screened per Code requirements.

Additional details are included in the narrative and conceptual plans provided with this report. Staff have no objections to the proposed use as presented, but have incorporated Code requirements related to the signage and trash receptacle noted above as part of the recommended Conditions and Restrictions.

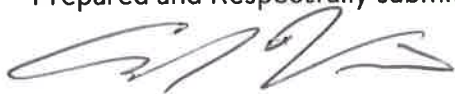
NOTE: The Council’s initial review and approval of the proposed Conditional Use Permit is not an endorsement of any site, architectural, landscaping, or lighting plan that may be required as part of the final Conditional Use Permit. A more detailed review of any plans required by the Conditional Use Permit will be conducted by staff and the Plan Commission subsequent to the issuance of the Conditional Use Permit and accompanying conditions and restrictions.

After careful consideration at the March 14 & 28, 2023 meetings, the Plan Commission recommended approval subject to the attached Conditions and Restrictions.

**Options/Alternatives:** Council has the discretion to modify the proposed Conditions and Restrictions as part of the approval of the Conditional Use Permit, or deny the permit request.

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Prepared and Respectfully submitted:



Andrew J. Vickers, MPA  
City Administrator

Approved:



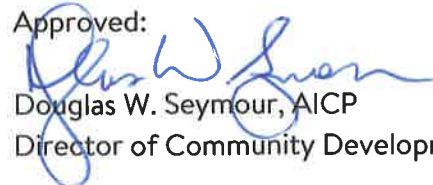
Kari Papelbon, CFM, AICP  
Senior Planner

Fiscal Review:



Maxwell Gaggin, MPA  
Assistant City Administrator / Comptroller

Approved:



Douglas W. Seymour, AICP  
Director of Community Development

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Attachments:

Ord. 3070

Location Map

Narrative (2 pages)



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Concept Plan (1 page)

Draft Conditions and Restrictions (4 pages)

Excerpted Plan Commission Minutes (5 pages)

ORDINANCE NO. 3070

By: \_\_\_\_\_

AN ORDINANCE TO APPROVE A CONDITIONAL USE PERMIT FOR  
AN OUTDOOR RECREATION FACILITY/PRIVATE PLAYGROUND ON THE PROPERTY  
AT 150 W. RYAN RD.

(3<sup>rd</sup> Aldermanic District)

WHEREAS, KATHLEEN SMIGIELSKI, NEXT BEST PLACE CHILD CARE & PRESCHOOL, has applied for a Conditional Use Permit that would allow for an outdoor recreation facility/private playground on a portion of the property at 150 W. Ryan Rd.; and

WHEREAS, the property is more precisely described as follows:

CSM NO. 4456 PARCEL 1 & THE E 65 FT OF PARCEL 2 SE 1/4 SEC 20-5-22 EXC SOUTH 5 FT CONV TO STATE OF WI DOT FOR ST IN DOC NO 10287757.

WHEREAS, the Plan Commission has reviewed this proposal and has recommended that the Conditional Use be approved; and

WHEREAS, the Common Council held a public hearing on this matter on May 2, 2023, at which time all interested parties appeared and were heard; and

WHEREAS, the Plan Commission had recommended that the application for a Conditional Use be approved and authorized subject, however, to the imposition of certain conditions and restrictions upon the design, construction, location and operation of this Conditional Use, and which conditions and restrictions are incorporated by reference into the Conditional Use Permit; and

WHEREAS, following said public hearing and upon recommendation of approval of the Plan Commission, the Common Council is of the opinion that the best interests of the City would be served if the Conditional Use were approved and authorized for the lands hereinabove described, subject, however, to the imposition of certain conditions and restrictions on the design, construction, location and operation of the Conditional Use.

NOW, THEREFORE, the Common Council of the City of Oak Creek does hereby ordain as follows:

SECTION 1: To promote the general welfare, public safety and general planning within the City of Oak Creek, the Building Commissioner is hereby authorized to grant a Conditional Use Permit for an outdoor recreation facility/private playground on the property at 150 W. Ryan Rd., which shall include the aforementioned conditions and restrictions.

SECTION 2: The Conditional Use is subject to the aforementioned conditions and restrictions on the design, location, construction and operation of the Conditional Use for the outdoor recreation facility/private playground on a portion of the property at 150 W. Ryan Rd.

SECTION 3: All ordinances or parts of ordinances and Zoning District Maps made a part of Chapter 17 of the Municipal Code of the City of Oak Creek in conflict herewith are hereby repealed.

**SECTION 4:** The several sections of this ordinance are declared to be severable. If any section shall be declared, by a decision of a court of competent jurisdiction, to be invalid, such decision shall not affect the validity of other provisions of this ordinance.

**SECTION 5:** This ordinance shall take effect and be in force from and after its passage and publication.

Passed and adopted this 2<sup>nd</sup> day of May, 2023.

\_\_\_\_\_  
President, Common Council

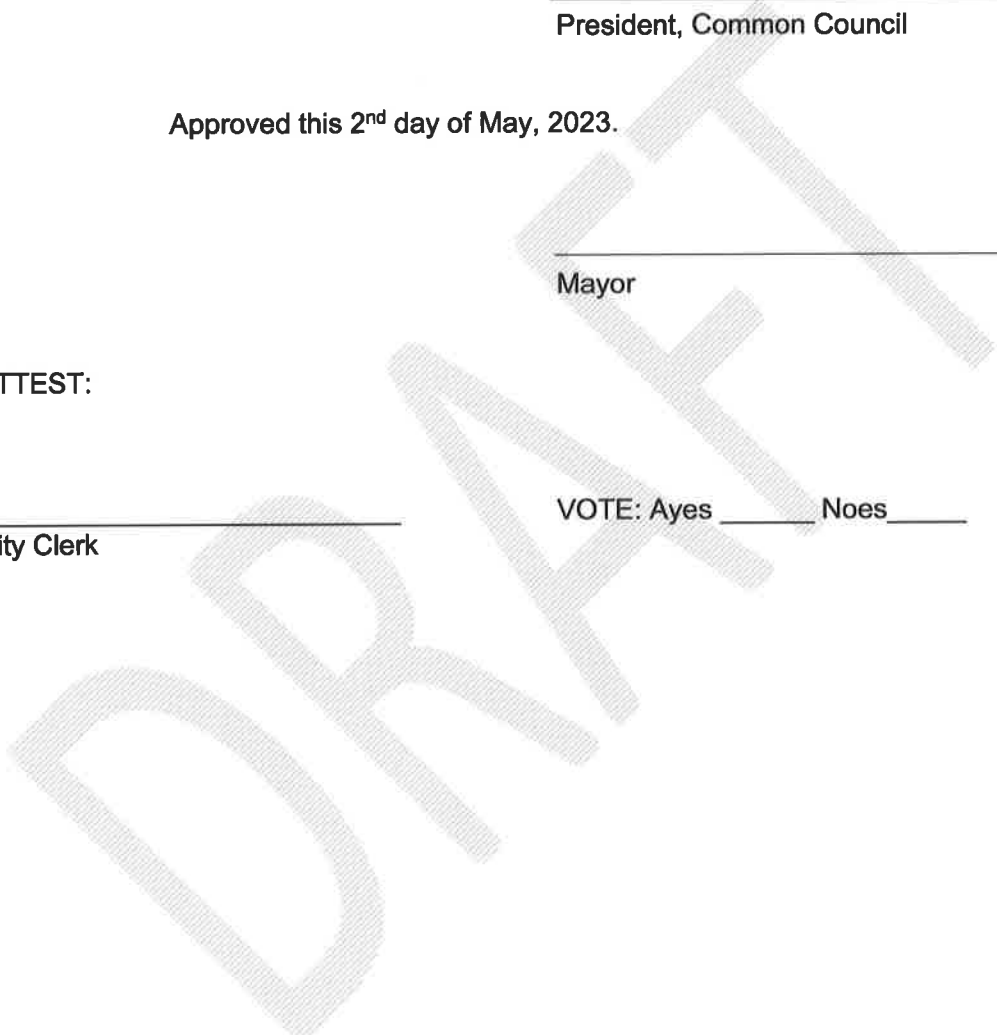
Approved this 2<sup>nd</sup> day of May, 2023.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

VOTE: Ayes \_\_\_\_\_ Noes \_\_\_\_\_



## EXHIBIT A: CONDITIONS AND RESTRICTIONS

<b>City of Oak Creek – Conditional Use Permit (CUP) Conditions and Restrictions</b>		
<b>Applicant:</b>	Kathleen Smigielski (The Next Best Place Child Care)	Approved by Plan Commission: 3-28-23 Approved by Common Council: 5-2-23 (Ord. 3070)
<b>Property Address(es):</b>	150 W. Ryan Rd.	
<b>Tax Key Number(s):</b>	875-9004-002	
<b>Conditional Use:</b>	Outdoor Recreation Facility / Private Playground (one)	

### 1. LEGAL DESCRIPTION

CSM NO. 4456 PARCEL 1 & THE E 65 FT OF PARCEL 2 SE 1/4 SEC 20-5-22 EXC SOUTH 5 FT CONV TO STATE OF WI DOT FOR ST IN DOC NO 10287757.

### 2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.

B. A precise detailed site plan for the area affected by the Conditional Use Permit shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building permits for each phase. This plan shall show and describe the following:

- |   |   |
|---|---|
| <p>1) <b>General Development Plan</b></p> <ul style="list-style-type: none"><li>a) Detailed building/structure location(s) with setbacks</li><li>b) Square footage of all buildings/structures</li><li>c) Area(s) for future expansion/phases</li><li>d) Area(s) to be paved</li><li>e) Access drive(s) (width and location)</li><li>f) Sidewalk location(s)</li><li>g) Parking layout and traffic circulation<ul style="list-style-type: none"><li>i) Location(s) and future expansion</li><li>ii) Number &amp; type(s) of dwellings</li><li>iii) Number of all parking spaces</li><li>iv) Dimensions</li><li>v) Setbacks</li></ul></li><li>h) Location(s) of loading berth(s)</li><li>i) Location of sanitary sewer (existing &amp; proposed)</li><li>j) Location of water (existing &amp; proposed)</li><li>k) Location of storm sewer (existing &amp; proposed)</li><li>l) Location(s) of wetlands (field verified)</li><li>m) Location(s) and details of sign(s)</li><li>n) Location(s) and details of proposed fences/gates</li></ul> | <p>2) <b>Landscape Plan</b></p> <ul style="list-style-type: none"><li>1. Screening plan, including parking lot screening/berming</li><li>2. Number, initial &amp; mature sizes, and types of plantings</li><li>c) Percentage open/green space</li></ul> <p>3) <b>Building Plan</b></p> <ul style="list-style-type: none"><li>a) Architectural elevations (w/dimensions)</li><li>b) Building floor plans (w/dimensions)</li><li>c) Materials of construction (including colors)</li></ul> <p>4) <b>Lighting Plan</b></p> <ul style="list-style-type: none"><li>a) Types &amp; color of fixtures</li><li>b) Mounting heights</li><li>c) Types &amp; color of poles</li><li>d) Photometrics of proposed fixtures</li></ul> <p>5) <b>Grading, Drainage and Stormwater Management Plan</b></p> <ul style="list-style-type: none"><li>1. Contours (existing &amp; proposed)</li><li>2. Location(s) of storm sewer (existing and proposed)</li><li>3. Location(s) of stormwater management structures and basins (if required)</li></ul> <p>6) <b>Fire Protection</b></p> <ul style="list-style-type: none"><li>a) Locations of existing &amp; proposed fire hydrants</li><li>b) Interior floor plan(s)</li><li>c) Materials of construction</li><li>d) Materials to be stored (interior &amp; exterior)</li></ul> |
|---|---|

C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building or occupancy permit.

D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the City Engineer for

## EXHIBIT A: CONDITIONS AND RESTRICTIONS

approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

- E. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements required in Item 2(B) above, and/or as specified by these Conditions and Restrictions.
- F. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- G. All future land divisions shall follow subdivision plat, and/or condominium plat, and/or certified survey map procedures. If required by the Common Council, a development agreement shall be completed between the owner and the City prior to approval of said land division document to ensure the construction/installation of public improvements required in these Conditions and Restrictions, Chapter 14 (as amended), and all other applicable Sections of the Municipal Code (as amended).
- H. Prior to the issuance of any permits for any portion of the development, the Applicant/landowner shall submit all City-approved Certified Survey Maps for recording.

### 3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. Uses allowed on this property shall be limited to those allowed by the B-3, Office and Professional Business zoning district, these Conditions and Restrictions, and all applicable sections of the Municipal Code (as amended).
- B. Hours of operation for the outdoor recreation facility/private playground shall be between 6:00 AM and 6:00 PM Monday through Friday.
- C. There shall be no outdoor storage of vehicles, equipment, supplies, or any other materials on the property.
- D. All parking areas shall be striped and landscaped in accordance with approved site plans and applicable Codes (as amended).
- E. Landscaping, screening, and/or fencing shall be required for all sides of the outdoor recreation facility/private playground per Sec. 17.0507 of the Municipal Code (as amended).
- F. No pole signs, pennant flags, light pole flags, permanent banners, or flashing/blinking signs shall be permitted as part of this Conditional Use Permit. No box/cabinet signs other than logos with accompanying channel letters in conformance with all applicable Code Sections shall be allowed on a principal building. The existing non-conforming sign shall be removed, and any replacement sign shall be sited and designed in conformance with all applicable Code Sections (as amended).
- G. The dimensions, location and screening of appropriate solid waste and recycling collection units shall be in conformance with Sec. 17.0506 of the Municipal Code (as amended).
- H. Solid waste collection and recycling shall be the responsibility of the owner.
- I. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the landowner(s).

### 4. PARKING AND ACCESS

- A. Parking for this development shall be provided in accordance with Section 17.0504 of the Municipal

## EXHIBIT A: CONDITIONS AND RESTRICTIONS

Code (as amended) and these Conditions and Restrictions.

- B. Access to Ryan Road (STH 100) in accordance with executed agreements and access management plans is subject to the review and approval of the Wisconsin Department of Transportation. Nonconforming asphalt/paved surfaces along Ryan Rd. in the location of the former second driveway access shall be transitioned to landscaping in accordance with all applicable Code requirements.

### 5. LIGHTING

- A. All plans for new outdoor lighting shall be reviewed and approved by the Plan Commission and Electrical Inspector in accordance with Sec. 17.0509 of the Municipal Code (as amended).
- B. All light sources shall be fully shielded full cutoff fixtures directed downward.
- C. The color temperature of the parking lot fixtures shall be limited to a maximum of 5,000 Kelvins.
- D. Garden/pathway lighting shall have a maximum height of two (2) feet.
- E. Bollard/pedestrian scale lighting shall have a maximum height of four (4) feet.

### 6. BULK AND DIMENSIONAL REQUIREMENTS, SETBACKS

<i>Lot Standards (Minimum)</i>	
Lot Area	10,000 sq ft
Lot Width	75 ft
<i>Yard Setbacks (Minimum) (1)</i>	
Front	25 ft
Street Facing Side	25 ft
Interior Side	20 ft
Rear	25 ft
<i>Building Standards (Maximum)</i>	
Height	55 ft
Building Coverage	40%
Lot Coverage	70%
<i>Parking</i>	
Transition areas	See Sec. 17.0505
<i>Notes:</i>	
(1) Setbacks from wetlands shall be a minimum of fifteen (15) feet with a five (5) foot undisturbed buffer.	

### 7. TIME OF COMPLIANCE

The operator of the Conditional Use Permit shall commence work in accordance with these Conditions and Restrictions within twelve (12) months from the date of adoption of the ordinance authorizing this Conditional Use Permit. This Conditional Use Permit approval shall expire twelve (12) months after the date of adoption of the ordinance if building permits have not been issued for this use. The applicant

EXHIBIT A: CONDITIONS AND RESTRICTIONS

shall re-apply for Conditional Use Permit approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

9. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Conditional Use Permit is convicted of two or more violations of these Conditions and Restrictions or any other municipal ordinances within any 12-month period the City shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 11 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other City ordinances.

10. REVOCAION

Should an applicant, their heirs, successors or assigns, fail to comply with the Conditions and Restrictions of the approval issued by the Common Council, the Conditional Use Permit approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use Permit as set forth in Section 17.0804 of the Municipal Code (as amended).

11. ACKNOWLEDGEMENT

The approval and execution of these Conditions and Restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these Conditions and Restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

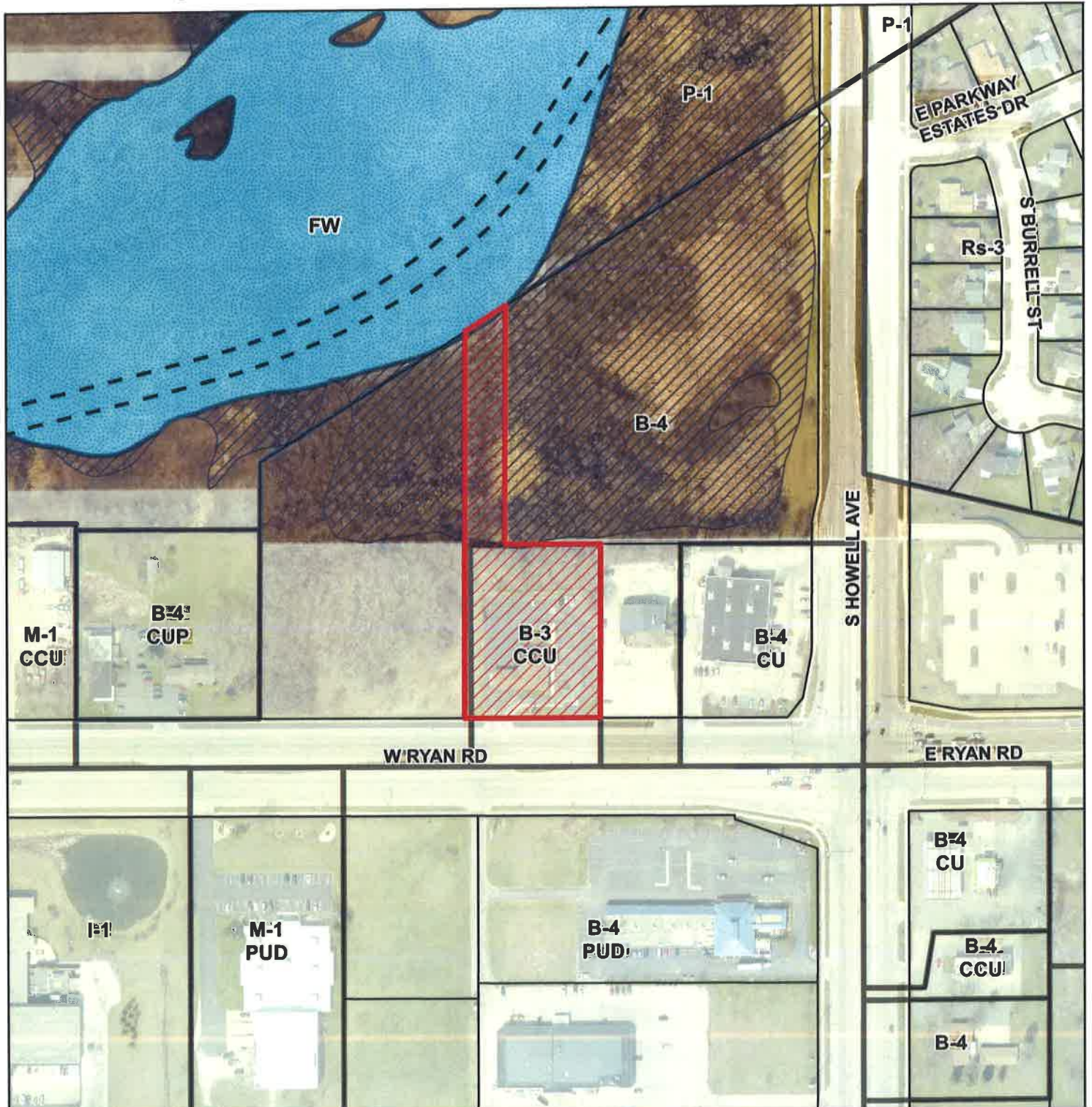
\_\_\_\_\_  
Owner / Authorized Representative Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
(please print name)

# LOCATION MAP

## 150 W. Ryan Rd.



*This map is not a survey of the actual boundary of any property this map depicts.*



Community Development



### Legend

- Zoning
- Official Map
- Floodway
- Flood Fringe
- 150 W. Ryan Rd.



To whom this may concern:

February 6, 2023

My name is Kathy Smigielski. I have leased 150 W Ryan Road, Oak Creek, WI 53154 effective January 15, 2023.

I have leased this property to open a 2 room Childcare & Preschool for the ages of 2 year through 5 year. Maximum capacity of 32 children. The hours of service will be from 6:00 AM to 6:00 PM.

I am 57 years old and I can honestly say that I have been around children my entire adult life. This has been a 30 year dream. In 1992, I was told having children may be a slim chance for me. I knew I wanted to at least be with children, so I started going to school at MATC in 1993 to open a Group Childcare center. A year and a half in of schooling, I get pregnant! I was a stay at home mom for 16 years for my 3 children. Thereafter, I worked at a ½ day preschool for 4 years. Then I worked at a daycare center for a year. I then created one in my home.

I currently have a successful State Licensed Family Childcare in my home in Greenfield, since 2016. I am happy to say that the current 10 children on my roster are coming with me.

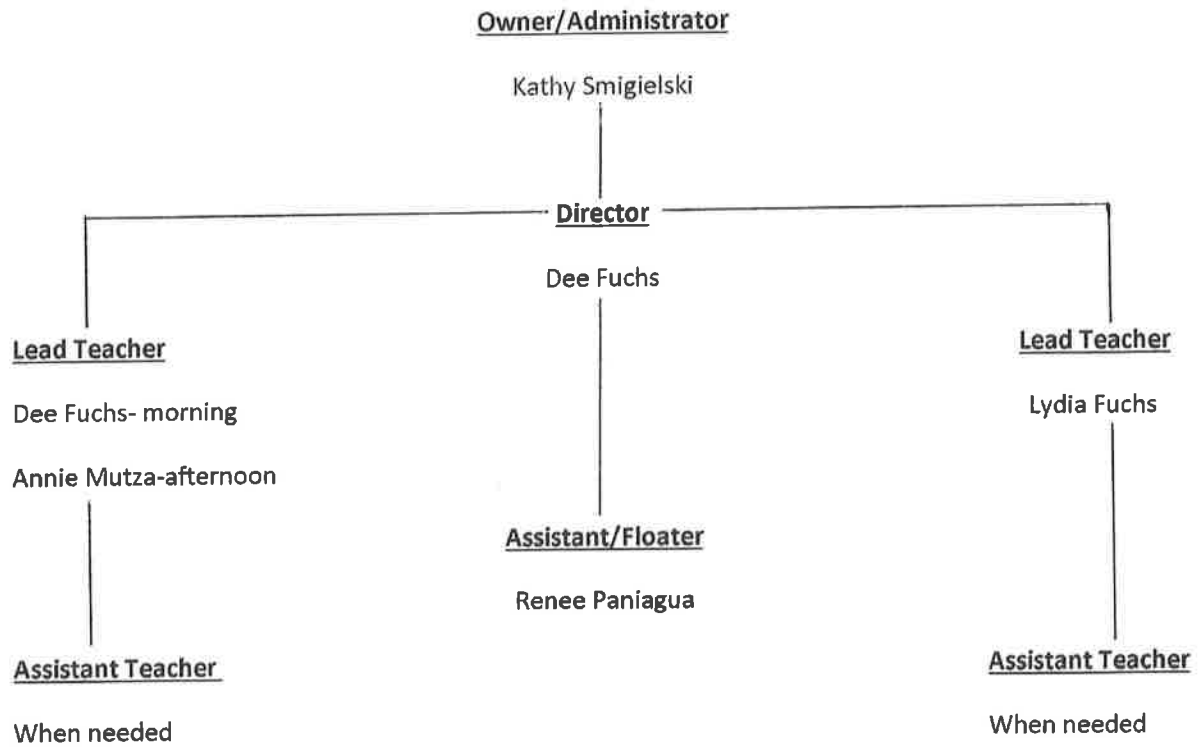
I am currently in contact with the Department of Children and Families of Wisconsin to become a licensed group daycare/preschool, pending completion of this site.

I have a full staff lined up as the child enrollment increases (See attached) . I was extremely selective in my team. Each one I chose are people that I have worked with and have known for many years in the Early Childhood field. I said from the beginning of planning for a group childcare that I would not do it without them, because we all have a strong love for kids and carry the same vision to make this group center a “feel of a home” with top quality childcare, love and a full curriculum.

I am proposing for 2 separate playgrounds (separated by a gate). I would like to offer the children an area of 9 inch deep of mulch for climbing structures ( approximately 30ft by 42ft) and a blacktop(parking lot by drive through) for riding toys, balls, jump ropes, etc (approximately 42ft by 36ft). The playgrounds will be enclosed in with a 6 foot height 9 gauge chain linked fence. Per state approval, I need at least 75 square feet per child for the playground...Minimum of 750 square feet to accommodate 1/3 of the number of children the center is licensed.

Please consider my proposal and I will be happy to answer any additional questions you may have.

Thank you.



Kathy Smigielski – Owner of Licensed Family Daycare since 2016

Completed Licensing classes in 2016

Dee Fuchs – Associate Degree in Early Childhood – 1992

Administrator Credential

32 Years in Childcare/8 Years as Director

Annie Mutza – Associate Degree in Early Childhood – 2014

Preschool Credential

14 Years in Childcare

Lydia Fuchs – Currently enrolled for her Associate Degree in Early Childhood

Associate Degree in Criminal Justice – 2020

Renee Paniagua – 5 Years in Childcare

Completed Introduction to Childcare Profession in 2020



**City of Oak Creek GIS**  
150 W Ryan Rd Fencing

DISCLAIMER: The City of Oak Creek does not guarantee the accuracy of the information contained herein and is not responsible for any use or representation of this information or its derivatives.



SCALE: 1" = 15'



Print Date: 2/7/2023

**City of Oak Creek – Conditional Use Permit (CUP)  
Conditions and Restrictions**

<b>Applicant:</b>	Kathleen Smigielski (The Next Best Place Child Care)	<b>Approved by Plan Commission:</b> 3-28-23 <b>Approved by Common Council:</b> TBD (Ord. 3070)
<b>Property Address(es):</b>	150 W. Ryan Rd.	
<b>Tax Key Number(s):</b>	875-9004-002	
<b>Conditional Use:</b>	<b>Outdoor Recreation Facility / Private Playground (one)</b>	

1. LEGAL DESCRIPTION

CSM NO. 4456 PARCEL 1 & THE E 65 FT OF PARCEL 2 SE 1/4 SEC 20-5-22 EXC SOUTH 5 FT CONV TO STATE OF WI DOT FOR ST IN DOC NO 10287757.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.
- B. A precise detailed site plan for the area affected by the Conditional Use Permit shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building permits for each phase. This plan shall show and describe the following:

1) **General Development Plan**

- a) Detailed building/structure location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion/phases
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
  - i) Location(s) and future expansion
  - ii) Number & type(s) of dwellings
  - iii) Number of all parking spaces
  - iv) Dimensions
  - v) Setbacks
- h) Location(s) of loading berth(s)
- i) Location of sanitary sewer (existing & proposed)
- j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- l) Location(s) of wetlands (field verified)
- m) Location(s) and details of sign(s)
- n) Location(s) and details of proposed fences/gates

2) **Landscape Plan**

- 1. Screening plan, including parking lot screening/berming
- 2. Number, initial & mature sizes, and types of plantings
- c) Percentage open/green space

3) **Building Plan**

- a) Architectural elevations (w/dimensions)
- b) Building floor plans (w/dimensions)
- c) Materials of construction (including colors)

4) **Lighting Plan**

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) **Grading, Drainage and Stormwater Management Plan**

- 1. Contours (existing & proposed)
- 2. Location(s) of storm sewer (existing and proposed)
- 3. Location(s) of stormwater management structures and basins (if required)

6) **Fire Protection**

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction
- d) Materials to be stored (interior & exterior)

- C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building or occupancy permit.

- D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the City Engineer for

approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

- E. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements required in Item 2(B) above, and/or as specified by these Conditions and Restrictions.
- F. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- G. All future land divisions shall follow subdivision plat, and/or condominium plat, and/or certified survey map procedures. If required by the Common Council, a development agreement shall be completed between the owner and the City prior to approval of said land division document to ensure the construction/installation of public improvements required in these Conditions and Restrictions, Chapter 14 (as amended), and all other applicable Sections of the Municipal Code (as amended).
- H. Prior to the issuance of any permits for any portion of the development, the Applicant/landowner shall submit all City-approved Certified Survey Maps for recording.

### 3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. Uses allowed on this property shall be limited to those allowed by the B-3, Office and Professional Business zoning district, these Conditions and Restrictions, and all applicable sections of the Municipal Code (as amended).
- B. Hours of operation for the outdoor recreation facility/private playground shall be between 6:00 AM and 6:00 PM Monday through Friday.
- C. There shall be no outdoor storage of vehicles, equipment, supplies, or any other materials on the property.
- D. All parking areas shall be striped and landscaped in accordance with approved site plans and applicable Codes (as amended).
- E. **Landscaping, screening, and/or fencing shall be required for all sides of the outdoor recreation facility/private playground per Sec. 17.0507 of the Municipal Code (as amended).**
- F. No pole signs, pennant flags, light pole flags, permanent banners, or flashing/blinking signs shall be permitted as part of this Conditional Use Permit. No box/cabinet signs other than logos with accompanying channel letters in conformance with all applicable Code Sections shall be allowed on a principal building. **The existing non-conforming sign shall be removed, and any replacement sign shall be sited and designed in conformance with all applicable Code Sections (as amended).**
- G. **The dimensions, location and screening of appropriate solid waste and recycling collection units shall be in conformance with Sec. 17.0506 of the Municipal Code (as amended).**
- H. Solid waste collection and recycling shall be the responsibility of the owner.
- I. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the landowner(s).

### 4. PARKING AND ACCESS

- A. Parking for this development shall be provided in accordance with Section 17.0504 of the Municipal Code (as amended) and these Conditions and Restrictions.
- B. Access to Ryan Road (STH 100) in accordance with executed agreements and access management plans is subject to the review and approval of the Wisconsin Department of Transportation. **Nonconforming asphalt/paved surfaces along Ryan Rd. in the location of the former second driveway access shall be transitioned to landscaping in accordance with all applicable Code requirements.**

5. LIGHTING

- A. All plans for new outdoor lighting shall be reviewed and approved by the Plan Commission and Electrical Inspector in accordance with Sec. 17.0509 of the Municipal Code (as amended).
- B. All light sources shall be fully shielded full cutoff fixtures directed downward.
- C. The color temperature of the parking lot fixtures shall be limited to a maximum of 5,000 Kelvins.
- D. Garden/pathway lighting shall have a maximum height of two (2) feet.
- E. Bollard/pedestrian scale lighting shall have a maximum height of four (4) feet.

6. BULK AND DIMENSIONAL REQUIREMENTS, SETBACKS

<b>Lot Standards (Minimum)</b>	
Lot Area	10,000 sq ft
Lot Width	75 ft
<b>Yard Setbacks (Minimum) (1)</b>	
Front	25 ft
Street Facing Side	25 ft
Interior Side	20 ft
Rear	25 ft
<b>Building Standards (Maximum)</b>	
Height	55 ft
Building Coverage	40%
Lot Coverage	70%
<b>Parking</b>	
Transition areas	See Sec. 17.0505
<b>Notes:</b>	
(1) Setbacks from wetlands shall be a minimum of fifteen (15) feet with a five (5) foot undisturbed buffer.	

7. TIME OF COMPLIANCE

The operator of the Conditional Use Permit shall commence work in accordance with these Conditions and Restrictions within twelve (12) months from the date of adoption of the ordinance authorizing this Conditional Use Permit. This Conditional Use Permit approval shall expire twelve (12) months after the

date of adoption of the ordinance if building permits have not been issued for this use. The applicant shall re-apply for Conditional Use Permit approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

9. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Conditional Use Permit is convicted of two or more violations of these Conditions and Restrictions or any other municipal ordinances within any 12-month period the City shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 11 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other City ordinances.

10. REVOCACTION

Should an applicant, their heirs, successors or assigns, fail to comply with the Conditions and Restrictions of the approval issued by the Common Council, the Conditional Use Permit approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use Permit as set forth in Section 17.0804 of the Municipal Code (as amended).

11. ACKNOWLEDGEMENT

The approval and execution of these Conditions and Restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these Conditions and Restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

\_\_\_\_\_  
Owner / Authorized Representative Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
(please print name)

**EXCERPTED MINUTES OF THE  
OAK CREEK PLAN COMMISSION MEETING  
TUESDAY, MARCH 14, 2023**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Carrillo, Commissioner Kiepczynski, Alderman Loreck, Mayor Bukiewicz, Alderman Guzikowski, Commissioner Oldani, Commissioner Siefert, and Commissioner Chandler. Commissioner Hanna arrived at the end of item 7a. Also present: Senior Planner Kari Papelbon and Assistant Fire Chief Mike Havey.

**Note: Audio recording was unavailable until around 6:03**

**CONDITIONAL USE PERMIT  
NEXT BEST PLACE CHILD CARE & PRESCHOOL  
150 W. RYAN RD.  
TAX KEY NO. 875-9004-002**

Senior Planner Papelbon provided an overview of the request for a Conditional Use Permit for an outdoor recreation facility/private playground on the property at 150 W. Ryan Rd. (see staff report for details).

Kathy Smigielski, 3701 W. Holmes Ave., Greenfield, WI, explained that one (1) area would have nine (9) inches of mulch, and it would be connected with a gate to the asphalt area where kids could ride scooters, play ball, and run around more.

Commissioner Siefert asked if the asphalt area and the mulch area would be fenced in. Ms. Smigielski stated that it would be.

Commissioner Siefert asked to confirm it would be a six (6)-foot-tall fence. Ms. Smigielski stated that it would.

Alderman Loreck asked Senior Planner Papelbon what the Code states regarding chain-link fences. Senior Planner Papelbon stated that because this is a commercial district, it is not subject to the residential standards. So chain-link would be considered a security fence unless the Plan Commission otherwise determines.

Commissioner Carrillo asked if there would be only one (1) access to both areas. Ms. Smigielski stated that, from the building, there is one (1) door, and then there will be an exit to the parking lot. Ms. Smigielski stated that at the end of the day if parents are coming to pick up their kids and they are outside, there would be a gate for the parents to enter the play area. There would be a lock on the gate to the parking lot, but there would be a teacher standing there at the time of pickup.

Commissioner Hanna asked if there was any concern of the kids climbing the fence. Ms. Smigielski stated that she has been in childcare for many years, and, no - there are rules, and the children need to follow the rules. There would always be a supervisor with the children.

Mayor Bukiewicz asked whether metal slats should be included in the fence so people cannot see the children. Senior Planner Papelbon stated that the play area is on the back of the



building, and she is not sure the play area would be seen from the road. It is more of a matter if the Plan Commission wants to require that. Senior Planner Papelbon stated that her only recommendation would be to require vinyl coated chain-link.

Mayor Bukiewicz asked where the trash enclosure is, and if there will be any traffic on the road on the west of the play area. Ms. Smigielski said yes, it would be one-way to go around it. Ms. Smigielski stated that the play area will be in the area where the grass is already, and the fencing would be on the whole perimeter of the parking lot. She stated that she will measure to make sure the fence is in the drive-through area, and can add cones to make sure drivers can make the turn.

Mayor Bukiewicz asked if the garbage truck will be driving by there. Ms. Smigielski nodded her head yes.

Mike Smigielski, 3701 W. Holmes Ave., Greenfield, WI, stated that they made contact with GFL, and they were not aware of anything regarding fenced-in disposal for garbage pickup. Mr. Smigielski stated that, if needed, the garbage could be moved to the far northwest corner of the parking lot.

Senior Planner Papelbon stated that the property owner was made aware that the trash containers need to be in an enclosure per Code, so the applicant should work with the landowner to get that provided.

Mayor Bukiewicz stated that he is concerned about the garbage truck backing up and hitting the fence. Mr. Smigielski explained that the parking lot is one-way, and if the trash was put in the far northwest corner, the truck would be pulling in forward and backing to the north.

Mayor Bukiewicz stated that he does not think they need to go as far as a guardrail, but maybe adding some decorative planters around the fence.

Commissioner Hanna stated that Mayor Bukiewicz brought up a good point, and maybe some additional protective barriers could be added to protect the asphalt.

Ms. Smigielski asked if she could use the big cement barriers. Commissioner Hanna stated it could be more decorative, and any landscaper could help her get some.

Alderman Loreck moved that the Plan Commission recommends that the Common Council approves a Conditional Use Permit allowing an outdoor recreation facility/playground on a portion of the property at 150 W. Ryan Rd. after a public hearing and subject to Conditions and Restrictions that will be prepared for the Plan Commission's review at the next meeting (March 28, 2023).

Commissioner Siefert seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn the meeting. Alderman Loreck seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 7:36 pm.

ATTEST:

  
\_\_\_\_\_  
Kari Papellon, Plan Commission Secretary

3-28-23  
\_\_\_\_\_  
Date

TO BE PUBLISHED APRIL 12 & 19, 2023

OFFICIAL NOTICE  
NOTICE OF PUBLIC HEARING  
BEFORE THE OAK CREEK COMMON COUNCIL

**PURPOSE:**

The purpose of this public hearing is to consider a request submitted by Chandra Sekhar Vasireddy, Oak Creek Residences, LLC, to establish a Planned Unit Development on the properties at 9102, 9120, 9140 S. 27<sup>th</sup> St.

**Hearing Date:** May 2, 2023

**Time:** 7:00 PM

**Place:** Oak Creek Civic Center (City Hall)  
8040 South 6<sup>th</sup> Street  
Oak Creek, WI 53154  
Common Council Chambers

**Applicant(s):** Chandra Sekhar Vasireddy, Oak Creek Residences, LLC

**Property Owner(s):** Rajani Yepuri

**Property Location(s):** 9102, 9120, 9140 S. 27<sup>th</sup> St.

**Tax Key(s):** 878-9999-000, 878-9998-000, and 878-9997-000

**Legal Description:**

Part of the Northwest 1/4 and part of the Northeast 1/4 of the Southwest 1/4 of Section 19, Township 5 North, Range 22 East of the Fourth Principal Meridian; more particularly bounded and described as follows: Commencing at the Northwest corner of the Southwest 1/4 of said Section 19; thence N89°18'11"E, 80.00 feet along the North line of the Southwest 1/4 of said Section 19 to a point on the East right-of-way line of South 27th Street - State Trunk Highway "241" (S.T.H. "241"), thence S00°16'55"E, 9.07 feet parallel with the West line of the Southwest 1/4 of said Section 19 and along the East right-of-way line of said South 27th Street - S.T.H. "241" to the point of beginning of this description; thence N89°20'27"E, 1684.84 feet; thence S00°16'55"E, 370.59 feet parallel with the West line of the Southwest 1/4 of said Section 19; thence S89°21'09"W, 1684.84 feet to a point on the East right-of-way line of said South 27th Street - S.T.H. "241"; thence N00°16'55"W, 370.25 feet parallel with the West line of the Southwest 1/4 of said Section 19 and along the East right-of-way line of said South 27th Street - S.T.H. "241" to the point of beginning of this description. Said land being in the City of Oak Creek, County of Milwaukee, State of Wisconsin. Subject to a 30.00 foot wide road reservation over the Easterly 30.00 feet thereof.

Containing 624,082 square feet or 14.327 acres. Lot 1 of a Certified Survey Map to be recorded..

The Common Council has scheduled other public hearings for May 2, 2023 at 7:00 PM. This hearing may begin at 7:00 PM or as soon as possible following the conclusion of other public hearings.

Any person(s) with questions regarding the proposed change may call the Department of Community Development at (414) 766-7000, during regular business hours.

Date of Notice: April 5, 2023  
CITY OF OAK CREEK COMMON COUNCIL  
By: Daniel J. Bukiewicz, Mayor

**PUBLIC NOTICE**

PLEASE NOTE: Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, or by writing to the ADA Coordinator at the Health Department, City Hall, 8040 South 6<sup>th</sup> Street, Oak Creek, Wisconsin 53154.

## COMMON COUNCIL REPORT

- Item:** Planned Unit Development – 9102, 9120, 9140 S. 27th St. - Chandra Sekhar Vasireddy, Oak Creek Residences, LLC
- Recommendation:** That the Council adopts Ordinance 3071, an ordinance to establish a Planned Unit Development (PUD) on the properties at 9102, 9120, 9140 S. 27th St. (6<sup>th</sup> Aldermanic District).
- Fiscal Impact:** Approval would allow for the development of portions of vacant parcels with a single-family attached Planned Unit Development. Development of the properties with residential buildings will yield positive fiscal impact in terms of assessed value, permit and review fees, and impact fees. Extension of public water will add to the maintenance requirements of public infrastructure constrained by budget limitations; however, the public infrastructure is critical for implementing the Strategic Plan goals for development of residential homes. These properties are located within TID 7.
- Critical Success Factor(s):**
- Vibrant and Diverse Cultural Opportunities
  - Thoughtful Development and Prosperous Economy
  - Safe, Welcoming, and Engaged Community
  - Inspired, Aligned, and Proactive City Leadership
  - Financial Stability
  - Quality Infrastructure, Amenities, and Services
  - Not Applicable

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**Background:** The Applicant is requesting approval for the establishment of a Residential Planned Unit Development (PUD) on the properties at 9102, 9120, 9140 S. 27th St. Council will recall that these properties were combined by CSM and rezoned to Rd-1, Two-Family Residential in September of 2022. Tonight's review is the next of several reviews that may be required for the development, including, but not limited to Plan Review and Condominium Plat Review.

Per the submitted narrative and overall site plan, the PUD, to be called Royal Estates, will include 36 single-family residences in two (2) 2-unit and eight (8) 4-unit townhome-style condominium buildings. Each unit is proposed with four (4) bedrooms in 1,624 square feet of living area, and an attached 2-car garage. Designs for the buildings, which will be part of a future Site and Building Plan Review, are included with this report for reference. However, a modification request has been submitted regarding the maximum façade width related to garages. In order to be considered as part of Site and Building Plan Review, the Plan Commission specifically included the request within the recommendation for approval of the PUD. Additionally, there are two (2) requested accessory structures for the development that must be incorporated into the PUD Conditions and Restrictions.

It appears from the plans that dimensional requirements are met, including density (max. 7,500 net sf/dwelling unit = 72 units) and building coverage (max. 50% net acreage = 6.193 ac). Setbacks are provided in the table below.

	Min. Required	Min. Provided
Front/Street	30 ft	60 ft
Interior Side	10 ft	50 ft
Rear	30 ft	1000+ ft
Wetlands	15 ft / 5 ft undisturbed	50 ft

Although the plans show a 50-foot setback from the east buildings to the nearest wetland, staff recommend that the plans incorporate a low decorative fence on the west side of the wetland at the buffer line. This fence is recommended to prohibit encroachment into the required buffer, and would be the responsibility of the Condominium Association for installation and maintenance.

In a previous iteration of the proposal, a potential connection to the Oak Shores Apartments property to the south was considered. Ultimately, since the plans have been amended for residential-only development accessed by a private road, that connection was determined to be unnecessary. Prior to permit issuance, proposed private road names for the development must be submitted for review and approval. WisDOT approval of the access to S. 27<sup>th</sup> St. must be copied to the City prior to permitting.

Wetlands are identified on the property in the center, with a stormwater pond in between. Both the wetland and stormwater areas have been identified in the plans as development amenities, with unpaved walking trails and an overlook/pavilion on the north side of the pond. While landscaping plans are not part of this review, staff note that the proposed landscape berm along S. 27<sup>th</sup> St. appears to cross the property line into WisDOT right-of-way. All landscape elements and the berm must remain on the property and away from utility infrastructure. Tree inventory and preservation/replacement plans are included for reference, and staff will continue to work with the applicant's consultants on any required revisions. Council should note, however, that a 20-foot-wide woodland preservation easement is proposed along the north property line.

Additional details, plans, and narrative are included in your packets for review. Section 17.0703 of the Zoning Code provides standards for the review of proposed Planned Unit Developments. Council must make specific findings on each of the six (6) standards in addition to the ruling on modification requests recommended by the Plan Commission. Covenants and easement restrictions will be required to be submitted prior to Site and Building Plan Review, and will be incorporated into a future Condominium Plat.

After careful consideration at the March 14 & 28, 2023 meetings, the Plan Commission recommended approval subject to the attached Conditions and Restrictions.

**Options/Alternatives:** Council has the discretion to approve or not approve the proposed request, and/or to modify the proposed Conditions and Restrictions as part of the Planned Unit Development. The approval of the PUD would allow for the development of existing, vacant properties. Denial would result in the properties remaining in their present vacant and underutilized conditions.

Respectfully submitted:



Andrew J. Vickers, MPA  
City Administrator

Prepared:



Kari Papelbon, CFM, AICP  
Senior Planner

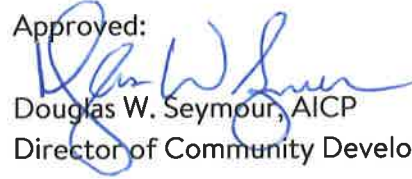
Fiscal Review:



Maxwell Gagin, MPA

Assistant City Administrator / Comptroller

Approved:



Douglas W. Seymour, AICP

Director of Community Development

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Attachments:

Ord. 3071

Location Map

Sec. 17.0703, Standards for Review (3 pages)

Narrative & Neighborhood Meeting Comments (8 pages)

Economic Analysis (1 page)

Civil Plans (27 pages)

Architectural Plans (10 pages)

Tree Survey/Inventory (5 pages)

Plan Commission Meeting Minutes (8 pages)

Draft Conditions and Restrictions (12 pages)

ORDINANCE NO. 3071

By: \_\_\_\_\_

AN ORDINANCE TO ESTABLISH A PLANNED UNIT DEVELOPMENT (PUD) ON THE PROPERTIES  
AT 9102, 9120, AND 9140 S. 27<sup>th</sup> ST.

(6<sup>th</sup> Aldermanic District)

WHEREAS, CHANDRA SEKHAR VASIREDDY, OAK CREEK RESIDENCES, LLC, has applied for establishing a Planned Unit Development (PUD) on the properties at 9101, 9120, and 9140 S. 27<sup>th</sup> St.;

WHEREAS, the properties are more precisely described as follows:

Part of the Northwest 1/4 and part of the Northeast 1/4 of the Southwest 1/4 of Section 19, Township 5 North, Range 22 East of the Fourth Principal Meridian; more particularly bounded and described as follows: Commencing at the Northwest corner of the Southwest 1/4 of said Section 19; thence N89°18'11"E, 80.00 feet along the North line of the Southwest 1/4 of said Section 19 to a point on the East right-of-way line of South 27th Street - State Trunk Highway "241" (S.T.H. "241"), thence S00°16'55"E, 9.07 feet parallel with the West line of the Southwest 1/4 of said Section 19 and along the East right-of-way line of said South 27th Street - S.T.H. "241" to the point of beginning of this description; thence N89°20'27"E, 1684.84 feet; thence S00°16'55"E, 370.59 feet parallel with the West line of the Southwest 1/4 of said Section 19; thence S89°21'09"W, 1684.84 feet to a point on the East right-of-way line of said South 27th Street - S.T.H. "241"; thence N00°16'55"W, 370.25 feet parallel with the West line of the Southwest 1/4 of said Section 19 and along the East right-of-way line of said South 27th Street - S.T.H. "241" to the point of beginning of this description. Said land being in the City of Oak Creek, County of Milwaukee, State of Wisconsin. Subject to a 30.00 foot wide road reservation over the Easterly 30.00 feet thereof.

Containing 624,082 square feet or 14.327 acres. Lot 1 of a Certified Survey Map to be recorded.

WHEREAS, the Plan Commission reviewed the application and recommended that PUD be approved; and

WHEREAS, the Common Council held a public hearing on said application on May 2, 2023, at which time all interested parties appeared and were heard; and

WHEREAS, the Plan Commission had recommended that the application be approved subject, however, to the imposition of certain conditions and restrictions upon the construction, location and operation of this PUD, and which conditions and restrictions are incorporated by reference into this ordinance; and

WHEREAS, the planned development has been determined to be consistent with the goals, objectives, and policies set forth in the Comprehensive Plan.; and

WHEREAS, the planned development has been designed, located, and proposed to be operated and maintained that it will not impair an adequate supply of light and air to adjacent property and will not substantially increase the danger of fire or otherwise endanger the public health, safety, and welfare.; and

WHEREAS, the planned development has been so designed that adequate utilities, road access, drainage, and other necessary facilities will be provided to serve it.; and

WHEREAS, the planned development does not substantially adversely impact an archaeological, historical, or cultural resource, included on the state or federal register, located on or off the parcel(s) proposed for development.; and

WHEREAS, the planned development makes adequate provision to provide necessary parking and ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets and provides adequate access for emergency vehicles.; and

WHEREAS, the planned development will have adequate landscaping, public open space, and other buffering features to protect uses within the development and surrounding properties.

WHEREAS, following said public hearing and upon favorable recommendation of the Plan Commission, the Common Council is of the opinion that the best interests of the City would be served if the PUD was approved for the lands hereinabove described, subject, however, to the imposition of certain conditions and restrictions on the design, construction, location and operation of the PUD.

NOW, THEREFORE, the Common Council of the City of Oak Creek does hereby ordain as follows:

SECTION 1: To promote the general welfare, public safety and general planning within the City of Oak Creek, the lands hereinabove described are hereby approved for a Planned Unit Development (PUD), and the Zoning Map of Chapter 17 of the Municipal Code is amended to reflect the PUD.

SECTION 2: The lands are subject to the aforementioned conditions and restrictions on the design, construction and operation of the Planned Unit Development (PUD). The General Development Plan attached thereto as Exhibit A is hereby approved. Any substantial changes to the General Development Plan shall be subject to approval by the Common Council and may require additional public hearings.

SECTION 3: All ordinances or parts of ordinances and Zoning District Maps made a part of Chapter 17 of the Municipal Code of the City of Oak Creek in conflict herewith are hereby repealed.

SECTION 4: The several sections of this ordinance are declared to be severable. If any section shall be declared, by a decision of a court of competent jurisdiction, to be invalid, such decision shall not affect the validity of other provisions of this ordinance.

SECTION 5: This ordinance shall take effect and be in force from and after its passage and publication.

Passed and adopted this 2nd day of May, 2023.

\_\_\_\_\_  
President, Common Council

Approved this 2nd day of May, 2023.

\_\_\_\_\_  
Mayor

ATTEST:

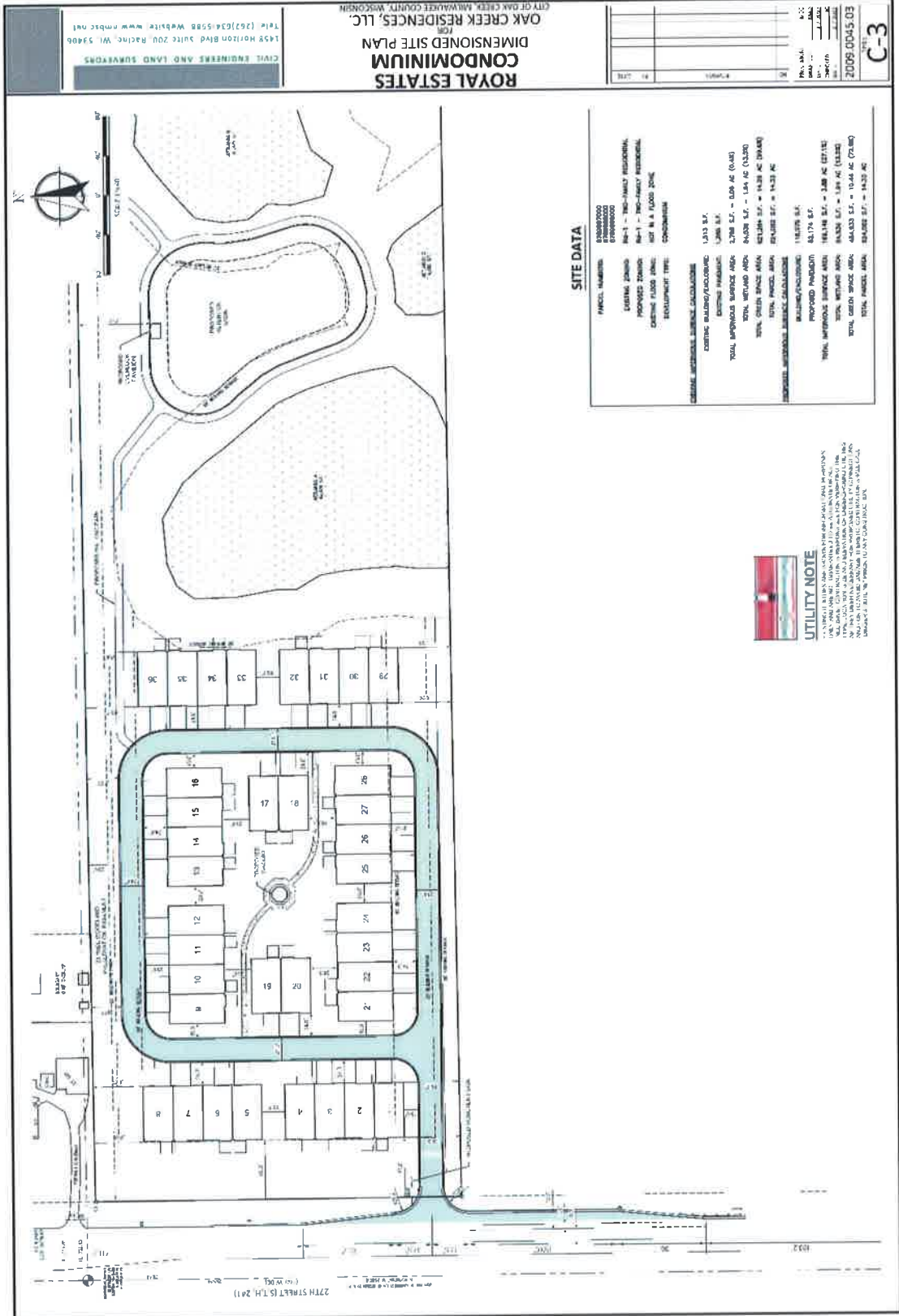
\_\_\_\_\_  
City Clerk

VOTE: Ayes \_\_\_\_\_ Noes \_\_\_\_\_



# EXHIBIT A: GENERAL DEVELOPMENT PLAN

ISSUE FOR REVIEW - 3-7-2023



CIVIL ENGINEERS AND LAND SURVEYORS  
1458 Horizon Blvd Suite 200 Racine WI 53406  
Tel: (262) 634-5588 Website: www.rmbc.net

**ROYAL ESTATES CONDOMINIUM DIMENSIONED SITE PLAN**  
FOR  
**OAK CREEK RESIDENCES, LLC**  
CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

NO. SHEETS	8 SHEETS
SHEET NO.	3
DATE	2023.03.03
SCALE	AS SHOWN
PROJECT NO.	2023.0045.03
DATE	3-7-2023

### SITE DATA

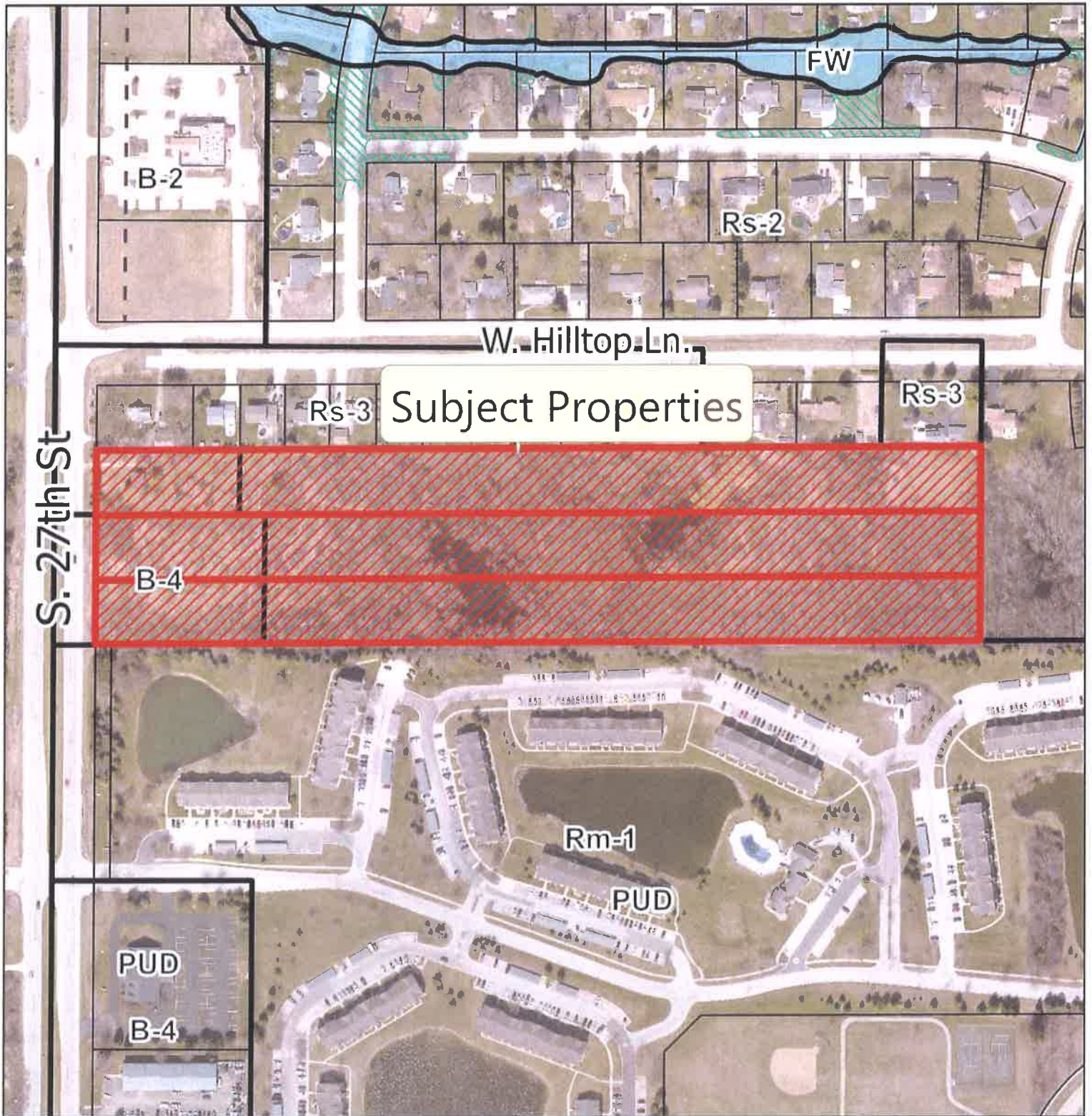
PARCEL NUMBER	EXISTING ZONING	PROPOSED ZONING	EXISTING FLOOR SPACE	PROPOSED FLOOR SPACE	DEVELOPMENT TYPE
1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36	R-1 - TWO-FAMILY RESIDENTIAL	R-1 - TWO-FAMILY RESIDENTIAL	0 SF	0 SF	CONDOMINIUM
<b>EXISTING IMPROVEMENTS CALCULATIONS</b>					
EXISTING BUILDING/IMPROVEMENTS	1,313 S.F.				
EXISTING FLOORSPACE	1,313 S.F.				
<b>TOTAL IMPROVEMENTS SURFACE AREA</b>					
TOTAL IMPROVEMENTS SURFACE AREA	1,313 S.F.				
TOTAL LOTLAND AREA	84,028 S.F. = 1.91 AC (13,230)				
TOTAL OPEN SPACE AREA	82,715 S.F. = 18.83 AC (29,484)				
TOTAL FLOOR SPACE AREA	1,313 S.F. = 0.03 AC				
<b>PROPOSED IMPROVEMENTS CALCULATIONS</b>					
BUILDING/IMPROVEMENTS	18,179 S.F.				
PROPOSED FLOORSPACE	18,179 S.F.				
<b>TOTAL IMPROVEMENTS SURFACE AREA</b>					
TOTAL IMPROVEMENTS SURFACE AREA	19,492 S.F. = 0.44 AC (2,762)				
TOTAL LOTLAND AREA	84,028 S.F. = 1.91 AC (13,230)				
TOTAL OPEN SPACE AREA	64,836 S.F. = 14.83 AC (9,718)				
TOTAL FLOOR SPACE AREA	19,492 S.F. = 0.44 AC (2,762)				

### UTILITY NOTE

THE UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THE CLIENT SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT SHALL BE RESPONSIBLE FOR THE COST OF ALL UTILITIES WORK AND FOR THE PROTECTION OF ALL UTILITIES. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

# Location Map

## 9102, 9120, & 9140 S. 27th St.



This map is not a survey of the actual boundary of the property this map depicts

### Legend

- Zoning
- Flood Fringe
- Official Street Map
- Parcels
- Floodway
- Subject Properties

0 0.04 0.08 Miles



Community Development

**§ 17.0703. Standards for review.**

Approval of development through the use of a planned unit development, including modifications to conventional zoning and subdivision regulations, is a privilege and will be considered by the City only in direct response to the accrual of tangible benefits from the planned development to the City or the neighborhood in which it would be located. These benefits shall be in the form of exceptional amenities, outstanding environmental, landscape, architectural or site design, or the conservation of special man-made or natural features of the site. In reviewing an application for a planned development, the Plan Commission and/or the Common Council, as the case may be, shall be required to make certain findings based on the following standards:

- (a) Required findings. No application for a planned development shall be approved unless all the following findings are made about the proposal:
  - (1) Comprehensive plan. The planned development shall be consistent with the goals, objectives, and policies set forth in the Comprehensive Plan.
  - (2) Public welfare. The planned development shall be so designed, located, and proposed to be operated and maintained that it will not impair an adequate supply of light and air to adjacent property and will not substantially increase the danger of fire or otherwise endanger the public health, safety, and welfare.
  - (3) Impact on public facilities and resources. The planned development shall be so designed that adequate utilities, road access, drainage, and other necessary facilities will be provided to serve it. The planned development shall include such impact fees as may be reasonably determined by the Common Council. These required impact donations shall be calculated in reasonable proportion to impact of the planned development on public facilities and infrastructure.
  - (4) Archaeological, historical or cultural impact. The planned development shall not substantially adversely impact an archaeological, historical, or cultural resource, included on the state or federal register, located on or off the parcel(s) proposed for development.
  - (5) Parking and traffic. The planned development shall have or make adequate provision to provide necessary parking and ingress and egress to the proposed use in a manner that minimizes traffic congestion in the public streets and provides adequate access for emergency vehicles.
  - (6) Adequate buffering. The planned development shall have adequate landscaping, public open space, and other buffering features to protect uses within the development and surrounding properties.
- (b) Modification standards. In addition to the findings required above, the following standards shall be utilized in considering applications for modifications of the conventional zoning and subdivision regulations for a planned development. These standards shall not be regarded as inflexible but shall be used as a framework by the City to test the quality of the amenities, benefits to the community, and design and desirability of the proposal.

- (1) Integrated design. A planned development shall be laid out and developed as a unit in accordance with an integrated overall design. This design shall provide for safe, efficient, convenient, and harmonious grouping of structures, uses and facilities, and for appropriate relation of space inside and outside buildings to intended uses and structural features.
- (2) Beneficial common open space. Any common open space in the planned development beyond the minimum 30% required shall be integrated into the overall design. Such spaces shall have a direct functional or visual relationship to the main building(s) and not be of isolated or leftover character. The following would not be considered usable common open space:
  - a. Areas reserved for the exclusive use or benefit of an individual tenant or owner.
  - b. Dedicated streets, alleys, and other public rights-of-way.
  - c. Vehicular drives, parking, loading and storage area.
  - d. Irregular or unusable narrow strips of land less than 15 feet wide.
- (3) Location of taller buildings. Taller buildings shall be located within the planned development in such a way as to dissipate any material adverse impact on adjoining lower buildings within the development or on surrounding properties and shall not unreasonably invade the privacy of occupants of such lower buildings.
- (4) Functional and mechanical features. Exposed storage areas, trash and garbage retainers, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be accounted for in the design of the planned development and made as unobtrusive as possible. They shall be subject to such setbacks, special planting or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.
- (5) Visual and acoustical privacy. The planned development shall provide reasonable visual, and acoustical privacy for each dwelling unit, tenant space, and adjacent property. Fences, insulations, walks, barriers, and landscaping shall be used as appropriate for the protection and aesthetic enhancement of property and the privacy of its occupants, screening of objectionable view or uses, and reduction of noises.
- (6) Energy efficient design. A planned development shall be designed with consideration given to various methods of site design and building location, architectural design of individual structures, and landscaping design capable of reducing energy consumption within the planned development.
- (7) Landscape conservation and visual enhancement. The existing landscape and trees in a planned development shall be conserved and enhanced, as feasible,

by minimizing tree and soil removal, and the conservation of special landscape features such as streams, ponds, groves, and landforms. The addition or use of larger trees, shrubs, flowers, fountains, ponds, special paving amenities will be encouraged to the extent of their appropriateness and usefulness to the planned development and the likelihood of their continued maintenance.

- (8) Drives, parking and circulation. Principal vehicular access shall be from dedicated public streets, and access points shall be designed to encourage smooth traffic flow with controlled turning movements and minimum hazards to vehicular or pedestrian traffic. With respect to vehicular and pedestrian circulation, including walkways, interior drives and parking, special attention shall be given to location and limiting the number of access points to the public streets through the use of cross access connections, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, adequate provision for service by emergency vehicles, and arrangement of parking areas that are safe and convenient, and insofar as feasible, do not detract from the design of proposed buildings and structures and the neighboring properties.
- (9) Surface water drainage. Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely impact neighboring properties or the public storm drainage system. Surface water in all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic.



Nielsen Madsen + Barber  
CIVIL ENGINEERS AND LAND SURVEYORS

February 14, 2023

RE: Royal Estates Condominium  
Planned Unit Development Narrative  
1902, 1920 & 1940 S 27<sup>th</sup> Street  
Tax Key Numbers: 8789997000, 8789998000 & 8789999000

On September 6, 2022 the Common Council approved a rezoning petition and Certified Survey Map (CSM) for the properties located at 9102, 9120 & 9140 S 27<sup>th</sup> Street to allow for a proposed condominium development. Chandra Sekhar Vasireddy on behalf of Oak Creek Residences, LLC is proposing a Planned Unit Development (PUD) for the proposed Royal Estates Condominium development located at this site. Royal Estates will be a 36-unit condominium located on 14.3 acres comprised of two 2-unit and eight 4-unit buildings. Each unit will be 1,642 SF with four bedrooms and a two-car garage. All buildings will be equipped with a fire protection system.

A 20'-wide tree preservation area is proposed along the North property line providing a buffer to the existing single-family homes. All trees in good condition within this area will be preserved. A tree survey was completed for the entire area of disturbance which identified the tree species, size and condition. Each tree with a base diameter of 12"-30" that requires removal will be replaced with three new trees and all trees with a base diameter larger than 30" will be replaced with four new trees. Trees that were dead or are invasive were not counted. Tree removals to accommodate this project will require 73 replacement trees to be planted on the site. The proposed landscaping plan includes 88 new trees, some of which will be planted along the North property line to supplement the proposed tree preservation area.

The current zoning requirements in Oak Creek identify the following residential standards for attached garages on units similar to those being proposed for the Royal Estates project:

Zoning Code Section 17-0403 (d) (4) g-1: Garage in front of unit should be under 45% of the dimensional width of the entire unit front facade.

Zoning Code Section 17-0403 (d) (4) g-3: Garage behind unit should be under 55% of the dimensional width of the entire unit front facade.

Due to site restrictions, the overall width of the buildings is limited, therefore, in order to meet the zoning code, the garages would have to be designed behind the main body of the structure and limited to 55% of the total width of the unit. To meet the requirements of the code, the garage would have to be reduced to a single car garage with a door width of 12'-0". This is identified in PR-7 Option #3.

We are proposing to use the units shown on sheet PR-1 Option #1 (Garage in front) and PR-4 Option #2 (Garage behind) as examples of the style of unit to be constructed. The garage configurations are at 65% of the total width of the unit which do not meet the Zoning Code requirements.

Our intention is to utilize multiple design styles as is evident in all three rendering samples submitted, but to make the necessary alterations to achieve the two-car garage configuration.

Royal Estates is being designed as luxury four-bedroom condominium units. Configuring the units with a single car garage would deter potential buyers in need of two-car garages. Selling the units with a single car garage would be detrimental to the economic feasibility of this project and would limit the number of potential buyers.

Thus, in lieu of meeting the Zoning Code standards for the attached garages the following site amenities are being proposed as equal value to meeting the intent of the Zoning Code. The private roadway will be illuminated with decorative light poles and fixtures. A walkway through the center of the development will lead to a large gazebo for the residents to gather outside. A woodchip walking path will start from the private roadway and wind its way through the remainder of the site and circle the proposed retention basin. Several benches and a pet waste collection station will be provided along the path. A viewing platform will be installed on the North side of the proposed retention basin overlooking the basin and adjacent wetland areas.

The development will cause a minimal increase in demand on the City's sewer and water infrastructure. The proposed water main will be public and owned by the City while the sanitary will be private and owned by the Condominium. The increased demand for firefighting services will be minimized with all buildings be equipped with a fire protection system and the installation of four fire hydrants throughout the development. Snow plowing of the private roadway will be the responsibility of the Condominium and not the City's Department of Public Works.

The project is scheduled to start construction in the Summer of 2023 with the site work and utilities being substantially completed by the end of the year. Building foundations are anticipated to start towards the end of 2023. All buildings are planned to be complete by the end of 2025.

Oak Creek Residences, LLC is requesting approval of the PUD and relief from Zoning Code Section 17-0403(d)(4) to allow for the garages to take up more area of the façade than the Zoning Code allows.

Royal Estates Condominium  
Oak Creek Residences, LLC  
Planned Unit Development Narrative  
Page 3

A public informational meeting for residents within 300 feet of the property was held at Oak Creek City Hall on February 8, 2023. The comments received from residents at that meeting are included with this submittal.

Upon approval of the PUD, the proposed condominium plat and final engineering will be submitted to the City for review and approval.

Oak Creek Residences, LLC  
10870 N Spartan Cir  
Mequon, WI 53097

Members  
Sivarama Krishna Gogineni  
Aravinda Kumar Yepuri  
Chandra Sekhar Vasireddy



# NEIGHBORHOOD MEETING NOTICE

---

You are hereby receiving this notice as a landowner or tenant that is located within 300' of a proposed development. An informal neighborhood meeting will be held to discuss the project and members of the public are welcome and encouraged to attend.

## Project Proposal Summary

**WHAT** is being proposed? 36-unit, Single-family Attached Condominium (2-unit and 4-unit Buildings)

**WHERE** is the project located? 27<sup>th</sup> Street and Hilltop Oak Creek, WI 53154

**WHO** is developing the project? Anil Yepuri

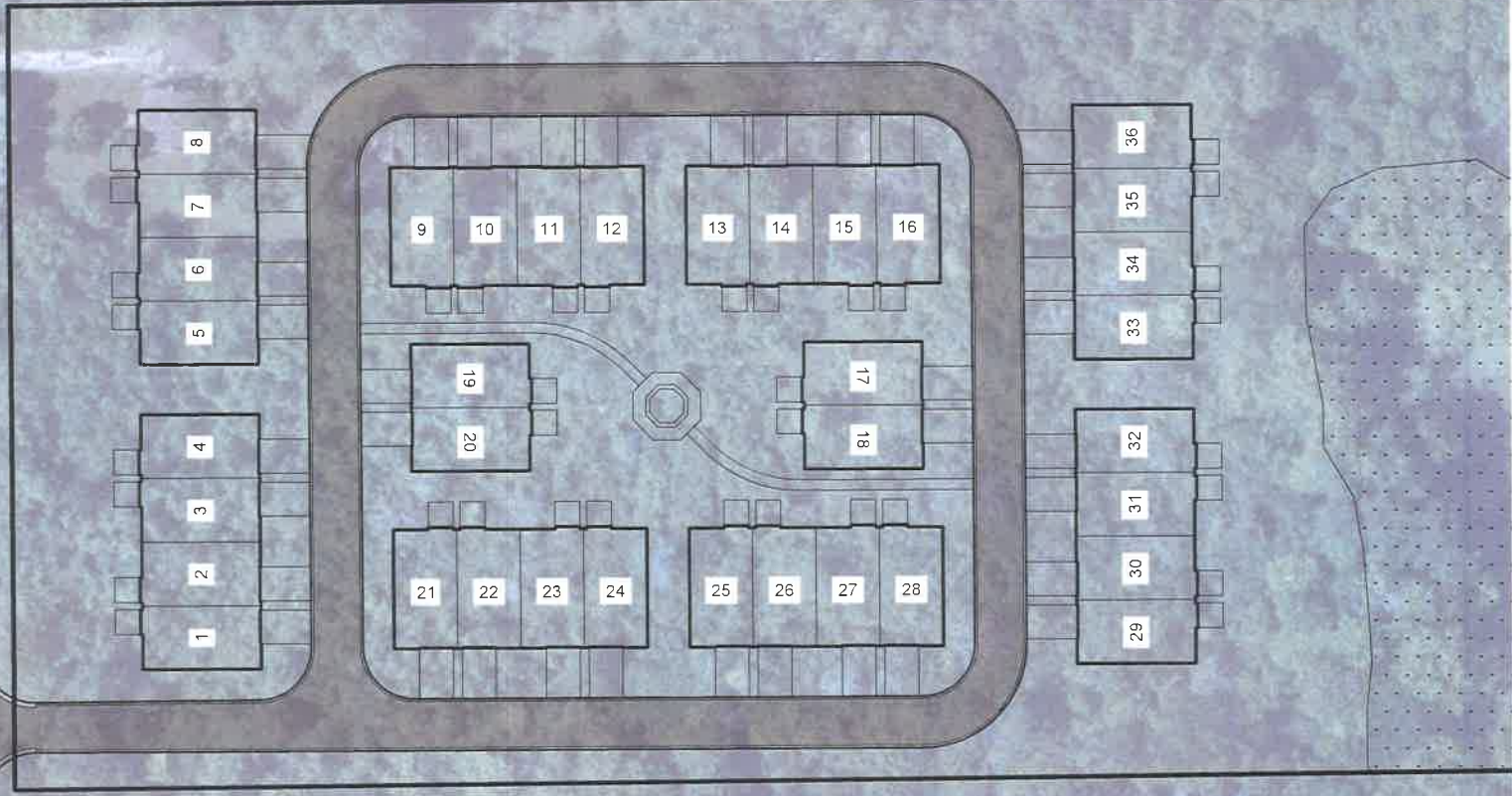
**WHERE** can I find additional information? On the reverse side of this notice, you can find a graphic of the proposed project.

Meeting Details	
Date:	February 8, 2023
Time:	6:30 PM - 7:30 PM
Location:	Oak Creek City Hall Multipurpose Room 8040 S. 6 <sup>th</sup> Street Oak Creek, WI
Contact Information: Mark D, Eberle, <a href="mailto:meberle@nmbisc.net">meberle@nmbisc.net</a> (262) 497-7935	



Location Map

S 27TH STREET (S.T.H. 241)





Nielsen Madsen + Barber  
CIVIL ENGINEERS AND LAND SURVEYORS

CITY OF OAK CREEK  
**ROYAL ESTATES CONDOMINIUM**  
PUBLIC INFORMATIONAL MEETING  
February 8, 2023, 6:30pm

**SIGN IN SHEET**

NAME	ADDRESS	PHONE NUMBER/EMAIL
Irene Taylor	2245 W. Hilltop	414-761-3682
Marilyn & Mary Huest	2537 W. Hilltop Ln	414-761-3284
Michele & Jerry Joerres	2501 W Hilltop	414-803-6298





Nielsen Madsen + Barber

PLANNERS AND ARCHITECTS

CITY OF OAK CREEK  
ROYAL ESTATES CONDOMINIUM  
NEIGHBORHOOD MEETING  
February 8, 2023, 6:30pm

Name:	Address:	Phone or Email:
Michele + John Joeris	2501 W Hilltop Lane	414 803 6298
Comments:		
1	Street lights to look like 20 <sup>TH</sup> St side by side round cados	
2	Cedar trees to buffer for privacy evergreen	
3	Dog walking trails? with poop bags waste	





Nielsen Madsen + Barber

CONSTRUCTION SERVICES

CITY OF OAK CREEK  
ROYAL ESTATES CONDOMINIUM  
NEIGHBORHOOD MEETING  
February 8, 2023, 6:30pm

Name:	Address:	Phone or Email:
Marvin Mary Hunt	2537 W. Hilltop Ln	414-761-3284
<p>Comments:</p> <p>Plant near our South lot line No same trees</p> <p>Weeping Willow needs to be taken Down. <u>2245 West Hilltop Ln.</u> Huge.</p>		



Royal Estates Condominium Development- 36 Units			
Performa Budget[Leveraged]- Estimate			
Revenues	SF	\$/SF	TOTAL
<b>Absorption</b>			
Duration(Month)			30
Number of Lots-Phased take down in 3 stages			36
<b>Sales Price</b>	2,000	\$215	\$430,000
<b>Gross Receipt</b>		36	\$15,480,000
<b>Project Cost</b>			
<b>Hard Cost</b>			
Lot Acquisition	1	500,000	\$500,000
Construction cost	72,000	115	\$8,280,000
Contingency	5%		\$414,000
Marketing-Brochure and signage	1	10,000	\$10,000
Permitting, zoning, civil & legal	36	5,000	\$180,000
Site common area development	36	42,458	\$1,528,488
County Mitigation Mandates	36	8,000	\$288,000
<b>Utilities</b>			
Blank			\$0
Service install	1	100,000	\$100,000
Service upgrades-water, gas and electric	1	1,250,000	\$1,250,000
Project Management	30	6,000	180,000
<b>Total Hard Costs</b>			\$12,730,488
<b>Soft/other Costs</b>			
Fee	4	75,000	300,000
Misc (LC Fees, Title etc)	1	8,000	288,000
Insurance (Liability & Builders)	4	7,500	30,000
Loan interest carry -estimate for revolving credit	5%	30	356,454
Draw Inspections	288	650	187,200
<b>Total Soft Costs</b>			\$1,161,654
<b>Total Project Cost [Hard+ Soft Cost]</b>			\$13,892,142
<b>Minus Selling Cost</b>			
Broker Fee		5.0%	774,000
Misc. (Taxes and Settlement)	1.4%	15,480,000	208,980
<b>Total Selling</b>			\$982,980
<b>Net Profit</b>			\$604,878
<b>Leveraged</b>			
Owner's total revolving equity	27%		\$3,707,751
Investor funds- Hard Cost + PM fee	73%		\$10,184,390
<b>Total Required</b>			\$13,892,142
LTV			66%

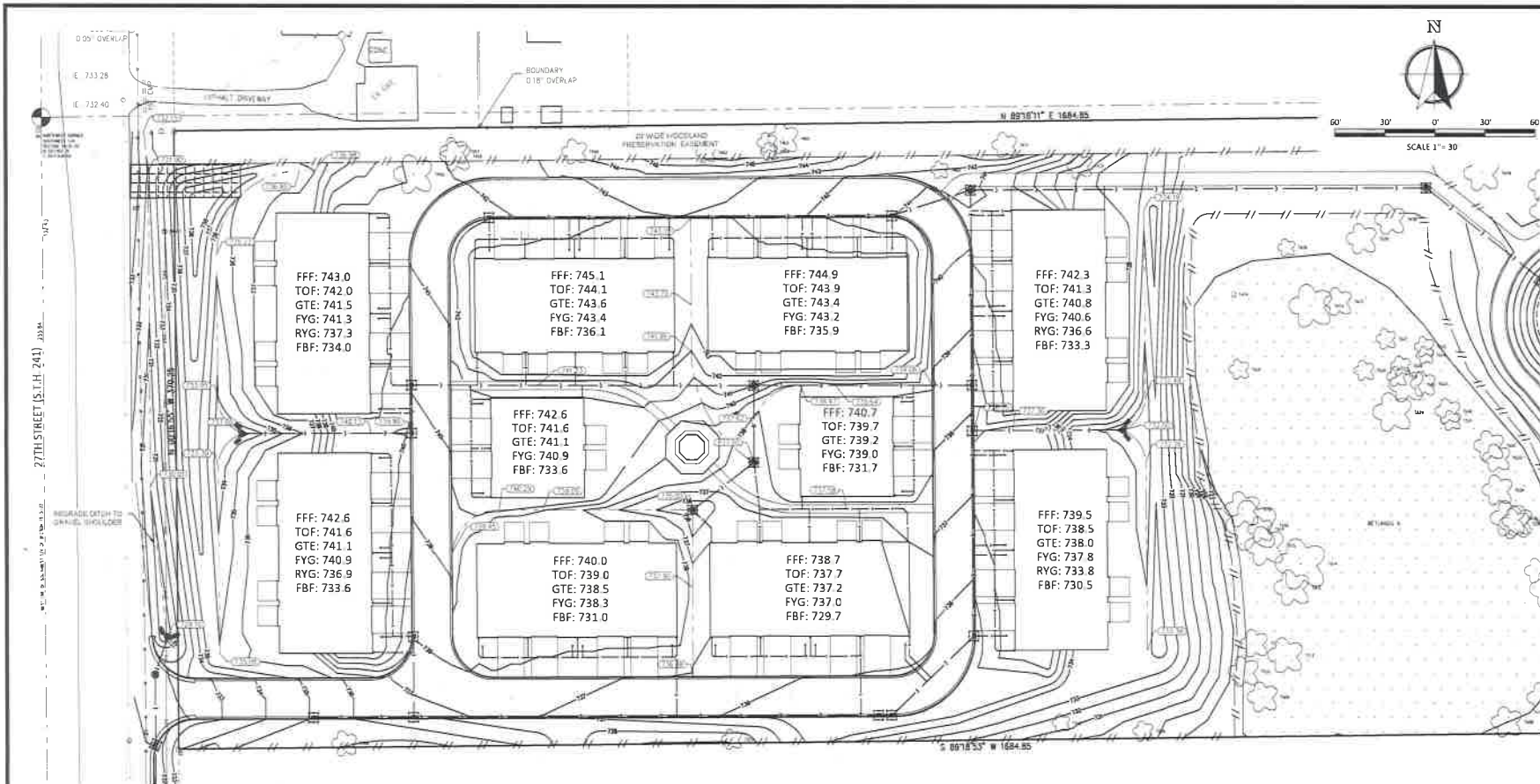












CIVIL ENGINEERS AND LAND SURVEYORS  
 1438 Horizon Blvd, Suite 200, Keshik, WI 53486  
 Tel: (262)644-5368 Website: www.ombay.net

**ROYAL ESTATES  
 CONDOMINIUM**  
 FOR  
**SITE GRADING & EROSION CONTROL PLAN**  
 OAK CREEK RESIDENCES, LLC.  
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

**SITE GRADING & EROSION CONTROL LEGEND**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- FINISHED YARD GRADE
- EXISTING SPOT GRADE
- SILT FENCE
- STONE TRACKING PAD
- STORM INLET PROTECTION
- TEMPORARY EROSION BALES
- MEDIUM RIP RAP WITH GEOTEXTILE FABRIC, TYPE HR
- DRAINAGE SWALE CENTERLINE



**UTILITY NOTE**  
 EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUDING LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY BECOME NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND /OR TO AVOID DAMAGE THERETO CONTRACTOR SHALL CALL DIGGER'S HOTLINE PRIOR TO ANY CONSTRUCTION

NO.	REVISION	DATE

PROJ. MGR.	ADD
DRAWN	SACD
CHECKED	LC
DATE	3.3.2023
2009.0045.03	
C-5	

**ISSUE FOR REVIEW - 3-7-2023**

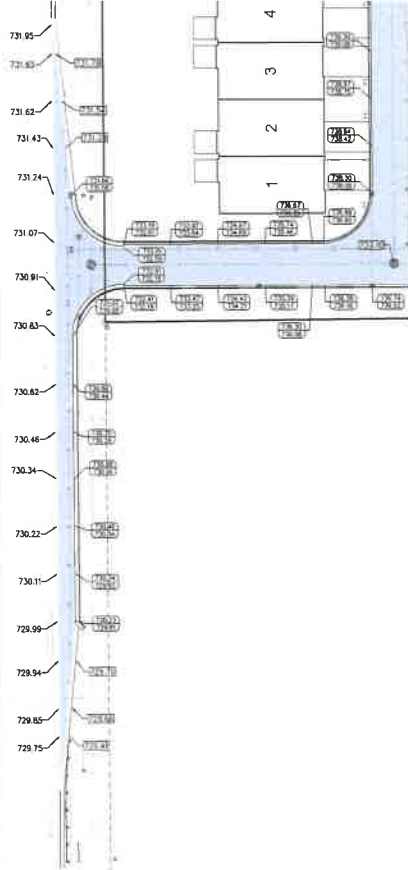




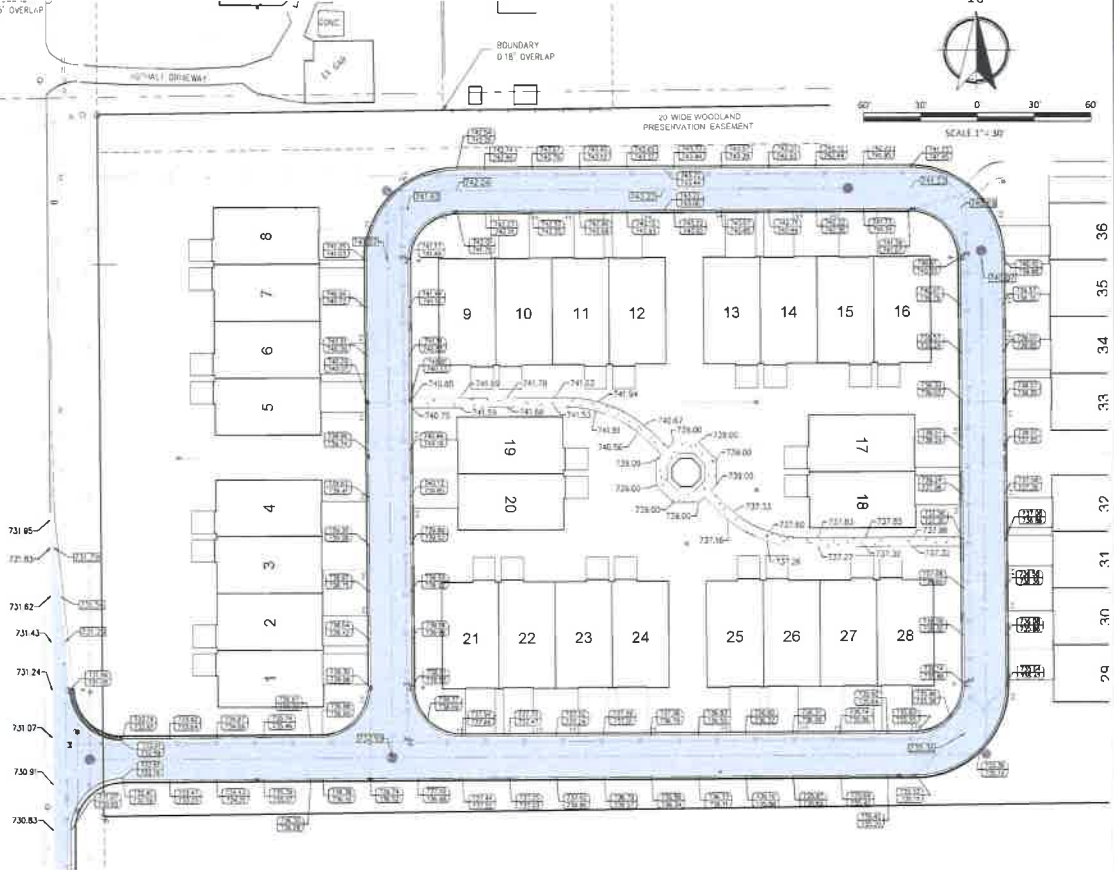




27TH STREET (S.T.H. 241)



27TH STREET (S.T.H. 241)



**PAVEMENT GRADING LEGEND**

- EXISTING SPOT GRADES
- FINISHED PAVEMENT GRADES
- FINISHED SIDEWALK GRADES
- FINISHED YARD GRADES
- TOP OF CURB/FINISHED SIDEWALK GRADE
- FINISHED PAVEMENT GRADE
- LIGHT-DUTY CONCRETE PAVEMENT
- HEAVY-DUTY ASPHALT PAVEMENT
- 18" MOUNTABLE CONCRETE CURB & GUTTER
- 18" MOUNTABLE, REVERSE PAN CONCRETE CURB & GUTTER
- 30" VERTICAL FACE CONCRETE CURB & GUTTER
- 30" VERTICAL FACE, REVERSE PAN CONCRETE CURB & GUTTER



**UTILITY NOTE**

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL DIGGER'S HOTLINE PRIOR TO ANY CONSTRUCTION.

CIVIL ENGINEERS AND SURVEYORS  
 1258 Horizon Blvd., Suite 200, Kaukaun, WI 53406  
 Tele: (262)644-5558 Website: www.nmbstc.com

**ROYAL ESTATES  
 CONDOMINIUM  
 PAVEMENT GRADING PLAN**  
 FOR  
**OAK CREEK RESIDENCES, LLC.**  
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

NO.	DATE	REVISION

PROJ MGR: JMS  
 DRAWN: JMS  
 DATE: 3.7.2023  
 CHECKED: JMS  
 DATE: 3.7.2023

2009.0045.03

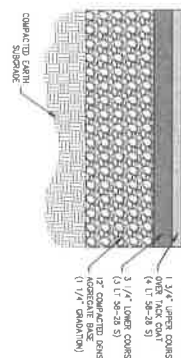
SHEET  
**C-10**

**ISSUE FOR REVIEW - 3-7-2023**



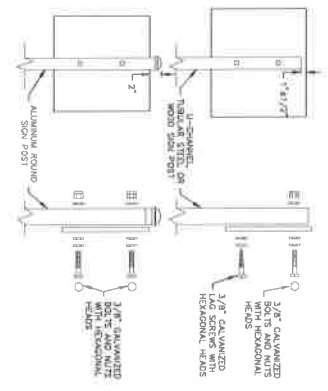






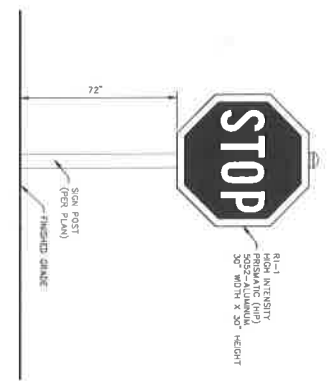
1 HEAVY-DUTY ASPHALT PAVEMENT (5")  
TYPICAL SECTION

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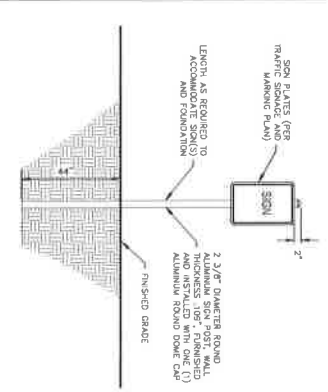
2 SIGN MOUNTING HARDWARE  
DETAIL

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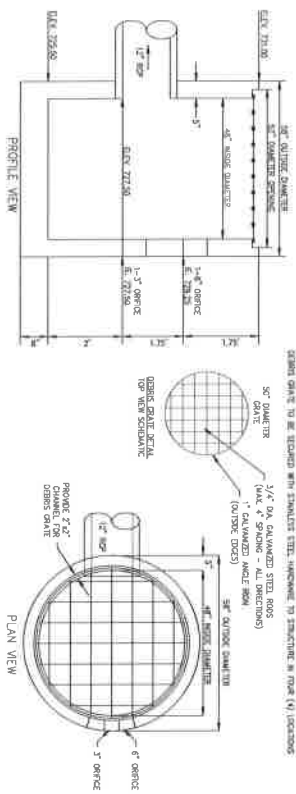
3 "STOP" SIGN  
DETAIL

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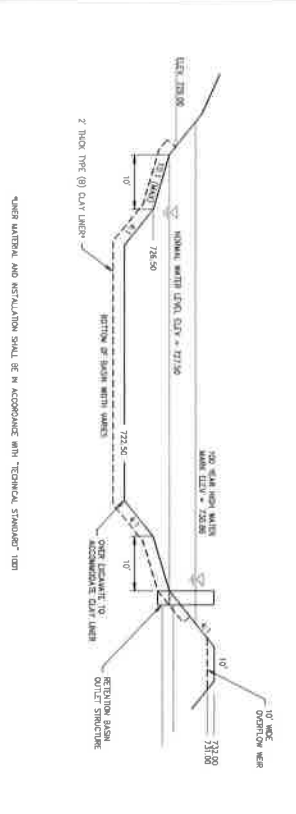
4 ALUMINUM ROUND SIGN POST  
DETAIL

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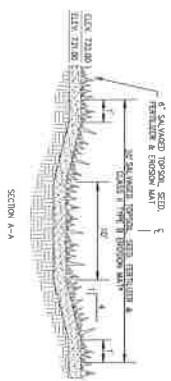
5 OUTLET CONTROL STRUCTURE  
DETAIL

N.T.S.



6 RETENTION BASIN CROSS  
SECTION (A-A) DETAIL

N.T.S.



7 RETENTION BASIN OVERFLOW WEIR  
DETAIL

N.T.S.

NO.	DATE	BY	REVISION

PROJECT: ROYAL ESTATES CONDOMINIUM  
 DRAWN BY: MMS  
 CHECKED BY: MMS  
 DATE: 3-7-2023  
 SHEET: 2009.0045.03  
**C-13**

**ROYAL ESTATES CONDOMINIUM**  
 TYPICAL SECTIONS & CONSTRUCTION DETAILS  
 FOR  
**OAK CREEK RESIDENCES, LLC.**  
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

CIVIL ENGINEERS AND LAND SURVEYORS  
 145E Horizon Blvd, Suite 200, Racine, WI 53406  
 Tel: (262)634-5588 Website: www.nmbc.net





**REFERENCES**

ANY OR ALL OF THE FOLLOWING REFERENCE DOCUMENTS THAT ARE APPLICABLE TO THE PROPOSED ITEMS OF WORK ARE INCLUDED IN THIS CONTRACT.

STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREIN REFERRED TO AS "STATE SPECIFICATIONS". THE CURRENT VERSION OF THE STATE SPECIFICATIONS IS AVAILABLE ON THE WISDOT WEBSITE AT <http://dnr.wisconsin.gov/dnr/wisconsinstandard-specs.htm>

"MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), 2009 EDITION WITH REVISIONS 1 AND 2 (HCDORP0102)

THE STANDARD SPECIFICATIONS FOR SEWER WATER CONSTRUCTION IN WISCONSIN, 8TH EDITION, DECEMBER 01, 2001 WITH ADDENDA NO. 1, NO. 2 AND NO. 3, HEREIN REFERRED TO AS THE STANDARD SPECIFICATIONS.

CITY OF OAK CREEK DESIGN MANUAL, HEREIN REFERRED TO AS THE DESIGN MANUAL.

**DEMOLITION NOTES**

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL (AT A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, PLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED STRUCTURAL FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELLOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR, THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.

EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY CONFLICTS THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTIICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND GAS LINES BEFORE PROCEEDING WITH THE WORK.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-4511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DESTROYED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND/OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE OWNER.

IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.

AT THE COMPLETION OF THE PROJECT THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 306.2.3 OF THE STATE SPECIFICATIONS. THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

**UTILITY CONSTRUCTION GENERAL NOTES**

CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY AND STORM SEWERS, WATER MAINS, GAS & ELECTRIC LINES OR OTHER UTILITIES PRIOR TO STARTING CONSTRUCTION. AS BUILT FIELD DATA SHALL BE USED TO CHECK ALL PROPOSED UTILITY CROSSINGS FOR CONFLICTS.

CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ADJACENT UNDERGROUND UTILITIES. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE OWNER PRIOR TO CONSTRUCTION.

THE EXACT LOCATION OF ALL BUILDING LATERALS, ROOF DRAIN RISERS AND DOWNSPOUTS (IF APPLICABLE) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

**OAK CREEK WATER & SEWER UTILITY NOTES**

ALL SANITARY AND WATER TO BE INSTALLED IN ACCORDANCE WITH OAK CREEK WATER & SEWER (OWS) UTILITY STANDARDS AND CHAPTERS 6 & 7 OF THE OAK CREEK DESIGN MANUAL.

ALL APPLICATIONS AND FEES MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO THE PUBLIC SYSTEM.

ALL CONNECTIONS TO EXISTING WATER MAINS AND SANITARY SEWERS SHALL BE COMPLETED UNDER THE SUPERVISION OF OWS. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO OWS WHEN CONSTRUCTION IS TO BE MADE.

THE WATER SERVICE CONNECTIONS WILL EACH REQUIRE A TAPPING SEWER AND VALVE IN ACCORDANCE WITH CHAPTER 7 OF THE OAK CREEK DESIGN MANUAL.

ANY UTILITY WORK IN THE RIGHT-OF-WAY TO BE INSPECTED BY OWS. NOTIFY OWS 48 HOURS IN ADVANCE OF ANY WORK IN THE RIGHT-OF-WAY.

WATER MAINS AND SERVICES SHALL BE FLOWED AND BACTERIA TESTED IN ACCORDANCE WITH CHAPTER 4.13.0 AND SECTION 5.11.0 OF THE STANDARD SPECIFICATIONS. THE PRESSURE TEST ON THE WATER MAIN SHALL ONLY BE CONDUCTED AFTER THE BACTERIOLOGICAL SAMPLING IS COMPLETED AND CURED BY OWS.

WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF SIX FEET (6') OF COVER TO FINISHED GRADE.

SANITARY MAINS AND LATERALS SHALL HAVE A MINIMUM OF SIX FEET (6') OF COVER TO FINISHED GRADE.

WATER MAINS AND SERVICES SHALL HAVE A BLUE (6 GAUGE) LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE BEHIND EACH HYDRANT AND AT THE BUILDING WALL. IT A TRACER WIRE BOX AS WELL AS AT EACH VALVE BOX.

SANITARY MAINS AND LATERALS SHALL HAVE A GREEN 10 GAUGE LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT EACH MANHOLE, CLEANOUT AND AT THE BUILDING WALL IN A TRACER WIRE BOX.

**STORM SEWER SPECIFICATIONS**

MATERIALS FOR STORM SEWERS SHALL BE IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DPS) AND CITY OF OAK CREEK SPECIFICATIONS.

STORM SEWERS WERE SIZED IN ACCORDANCE WITH SPS TABLE 382.36.4 "MAXIMUM CAPACITY OF STORM WATER HORIZONTAL CONVEYANCE PIPING FOR CONCRETE, ASTM C76 AND ASTM C141" ANY MATERIAL APPROVED BY THE CITY OF OAK CREEK AND THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES MAY BE USED AT THE SIZES AND SIZES DESIGNED.

ROOF DRAIN SYSTEM WAS SIZED IN ACCORDANCE WITH SPS TABLE 382.36.7 "MAXIMUM CAPACITY OF STORM WATER HORIZONTAL CONVEYANCE PIPING FOR PVC, ASTM D3681"

THE RETENTION BASIN OUTFLET CONTROL PIPE WAS SIZED TO RESTRICT THE PEAK FLOW OUT OF THE RETENTION BASIN DURING SPECIFIC RAINFALL EVENTS AS DETAILED IN THE PROJECT'S STORM WATER MANAGEMENT PLAN.

STORM SEWER, ROOF DRAIN AND STORM BUILDING SEWER PIPE AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30.6 CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL IS SELECTED SHALL MEET THE REQUIREMENTS OF AASHTO M252 FOR 4'-10" DIAMETER SIZES AND AASHTO M294 FOR 12'-48" DIAMETER SIZES.

SECONDARY AND COVER MATERIAL SHALL BE SAND CRUSHED STONE OR EPS OR CRUSHED STONE SCREENING CONFORMANCE TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS"

ALL STORM SEWERS INSTALLED IN EXISTING OR PROPOSED PAVED AREAS SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH TABLE 37 CHAPTER 8.43 OF THE STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL EXTEND A MINIMUM OF FIVE FEET (5') OUTSIDE OF THE PAVEMENT LIMITS. TRENCHES RUNNING PARALLEL TO AND LESS THAN FIVE FEET (5') FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE COMPACTED GRANULAR BACKFILL.

A 10-GAUGE TRACER WIRE SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL PRIVATE STORM SEWERS PER SPS 387.07(10) TO THE TRACER WIRE SHALL BE EXTENDED TO THE SURFACE AT THE SYSTEM LIMITS (FOR EACH SYSTEM INSTALLED).

STORM SEWER MANHOLES (MH) SHALL BE 48" DIAMETER REINFORCED CONCRETE STRUCTURES UNLESS OTHERWISE STATED ON THE PLANS AND SHALL BE FURNISHED WITH A NEDAH R265-D FRAME & GRATE.

ALL STORM SEWERS AND MANHOLES SHALL BE CONSTRUCTED WITH WATER AND GAS TIGHT JOINTS IN CONFORMANCE WITH SPS 384.43.

**SEDIMENT & EROSION CONTROL NOTES**

THE SEDIMENT AND EROSION CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE EROSION CONTROL PLAN. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND LOCAL AUTHORITY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED. MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF OAK CREEK.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF OAK CREEK ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE CITY OF OAK CREEK AND WISCONSIN EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 300.21) AND MAINTAINED PER SPS 306.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL MEASURES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED:

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OCCURRING DURING THE INSPECTION.

THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE MONITORING RECORDING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:

- A. THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED ABOVE.
- B. A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WORK THE CITY OF OAK CREEK OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

EROSION AND SEDIMENT CONTROL, INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) AND THE CITY OF OAK CREEK OR THEIR AUTHORIZED AGENTS) DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE OR SWALE/CULVERT PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

INSTALL SILT FENCE PER SECTIONS 808 OF THE "STATE SPECIFICATIONS" AND WISCONSIN TECHNICAL STANDARD 1055 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR POLLUTION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

ALL PROPOSED STORM SEWER STRUCTURES AND ADJACENT EXISTING STORM INLETS SHALL HAVE A LAYER OF GEOTEXTILE FABRIC (TYPE "F") INSTALLED BETWEEN THE FRAME & GRADE TO PREVENT SEDIMENT OR SILT FROM ENTERING THE SYSTEM. THE INLET PROTECTION SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED EVERY 14 DAYS AND AFTER EACH RAINFALL EVENT. FABRIC TO BE REPLACED AS NEEDED TO MEET FIELD CONDITIONS.

A MINIMUM 20 WIDE X 40 LONG TRACKING PAD (3/4-INCH STONE) SHALL BE INSTALLED AT THE ENTRANCE TO THE SITE (AS SHOWN) TO PREVENT SOIL FROM BEING TRACKED ONTO ADJACENT PAVEMENTS. INSTALLATION AND MAINTENANCE OF THE TRACKING PAD SHALL BE PERFORMED ACCORD TO WISCONSIN TECHNICAL STANDARD 1057. ALL TRACKED SOIL FROM THE CONSTRUCTION SITE SHALL BE COLLECTED FROM PAVED STREETS AT THE END OF EACH WORKING DAY. PAVED STREET SWEEPING SHALL BE CONDUCTED BY THE CONTRACTOR TO KEEP PAVEMENTS FREE OF DUST AND DIRT.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE, WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS.

EROSION CONTROL FOR UTILITY CONSTRUCTION

A. EROSION EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.

B. BACKFILL, CONTACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.

C. ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WISCONSIN TECHNICAL STANDARD 1051 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RESERVE STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES SUBJECT TO PREVENT SOIL TRANSFORMATION.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WISCONSIN TECHNICAL STANDARD 1055 AND CITY OF OAK CREEK ORDINANCE.

IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS AFTER NOVEMBER 15TH AND BEFORE MAY 15TH, TYPE A SOIL STABILIZER SHALL BE USED.

ALL DISTURBED SLOPE AREAS (EXCEPT WHERE NOTED ON THE PLANS) SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WISCONSIN TECHNICAL STANDARDS 1051.

SOIL EROSION MATTING AND/OR NETTING USED ON-SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WISCONSIN TECHNICAL STANDARDS 1053.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

**RESTORATION NOTES**

ALL DISTURBED AREAS INCLUDING SOIL SLOPES OF SPOIL MATERIAL STOCKPILE SHALL RECEIVE FOUR INCHES (4") OF SALVAGED TOPSOIL, TYPE "A" FERTILIZER WSDOT MIX NO. 40 SEED AND BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING IN ACCORDANCE WITH SECTIONS 804, 808, 809 AND 830 OF THE STATE SPECIFICATIONS. THE TOP OF THE SPOIL PILE SHALL BE STABILIZED WITH MULCH IN ACCORDANCE WITH SECTION 627.

ALL 3:1 SLOPES OF RETENTION BASIN SHALL BE SEED WITH DRY BOTTOM DETENTION BASIN SEED MIX FROM P120 NATIVE PLANT NURSERY.

**GEOTECHNICAL TESTING**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING GEOTECHNICAL TESTING ON THE PROPOSED CLAY LINER IN ACCORDANCE WITH WISCONSIN CONSTRUCTION SPECIFICATION 300. CLAY LINER.

THE CLAY LINER SHALL MEET THE REQUIREMENTS FOR A TYPE A LINER IN ACCORDANCE WITH APPENDIX D OF WISCONSIN TECHNICAL STANDARD 1001.

**CONSTRUCTION SURVEY**

THE OWNERS SURVEYOR WILL PROVIDE FIVE (5) GPS CONTROL POINTS AND A COORDINATED AUTOCAD FILE TO THE CONTRACTOR FOR EACH WORK PURPOSES. SURVEYOR WILL ALSO PROVIDE CONSTRUCTION LAYOUT FOR ALL EROSION CONTROL, STORM SEWER AND INCIDENTAL CONSTRUCTION.

**AS BUILT SURVEY & CERTIFICATIONS**

AN AS-BUILT SURVEY SHALL BE PROVIDED BY THE CONTRACTOR FOR ALL STORM WATER MANAGEMENT STRUCTURES. IT IS LIMITED TO WELL IDENTIFIED BASIN BOTTOM, SOIL SLOPES, TOP OF BANK, EMBANKMENT, CENTERLINE, MANHOLE, OUTLETS, ETC. SAID SURVEY SHALL INCLUDE THE DESIGN AND AS-BUILT STORAGE VOLUMES AND SHALL INCLUDE ALL COMPONENTS AND CERTIFICATIONS REQUIRED BY THE CITY OF OAK CREEK.

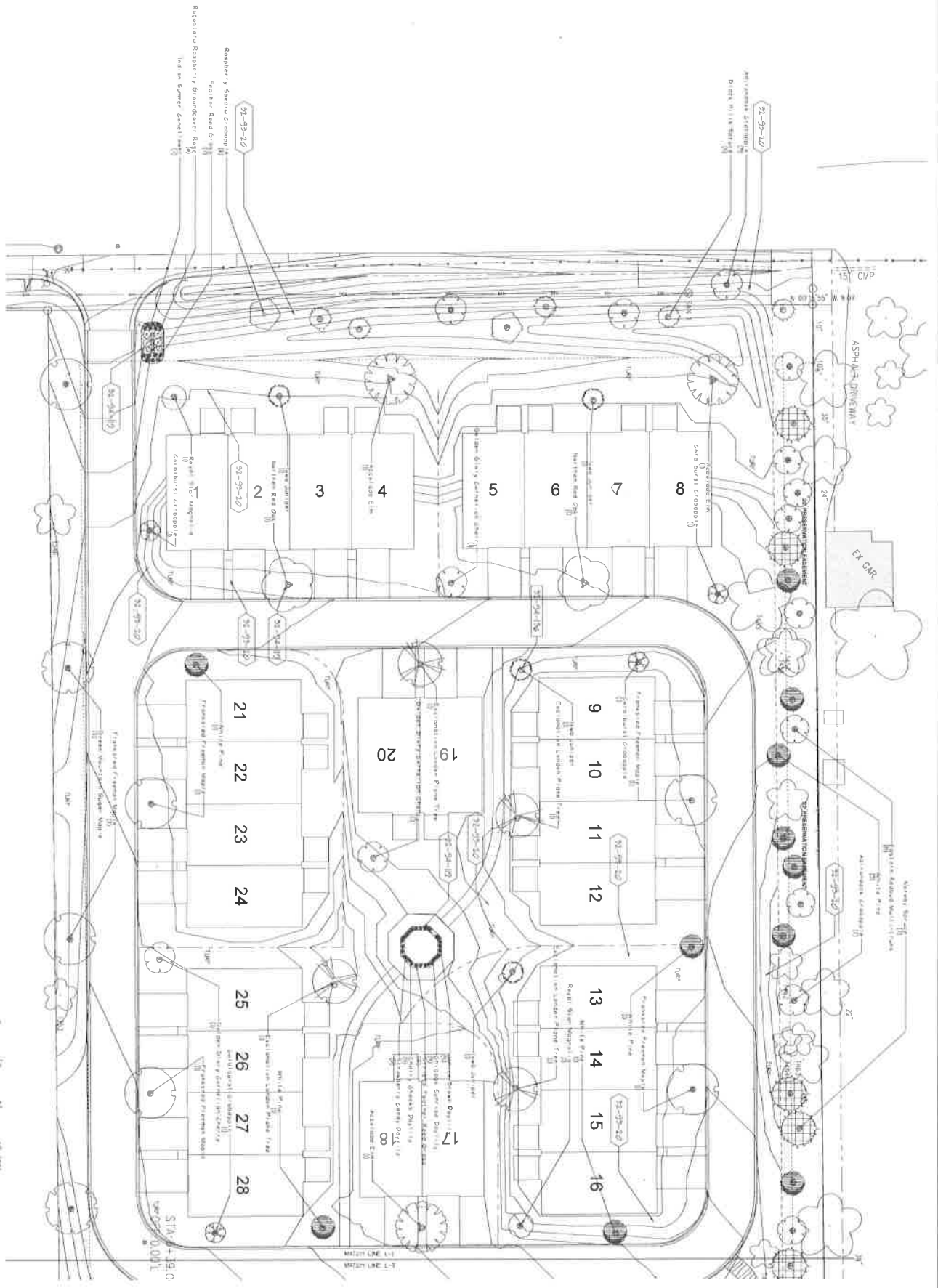
CIVIL ENGINEERS AND LAND SURVEYORS  
 1435 Horizon Blvd., Suite 200, Kaukaun, WI 54901  
 Tel: (920) 765-3333, Fax: (920) 765-3334  
 Web: www.ombac.com

ROYAL ESTATES  
 CONDOMINIUM  
 PROJECT SPECIFICATIONS  
 FOR  
 OAK CREEK RESIDENCES, LLC.  
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

BY:	DATE:
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PROJ. MGR: MGL  
 DRAFTER: JMD  
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 DATE: 03-20-2023  
 2009.0045.03  
 SHEET  
**C-16**

**ISSUE FOR REVIEW - 3-7-2023**



LANDSCAPE PLAN-WEST AREA



L-1.0

Prepared by: Thomas Nordloh Associates  
 Date: 2023/02/08  
 Project: 3-7-23

**ROYAL ESTATES CONDOMINIUMS**  
**LANDSCAPE PLANS**  
**OAKCREEK WISCONSIN**

No.	Description	Date
1	Issue for Review	02/08/23
2	Issue for Review	02/08/23
3	Issue for Review	02/08/23

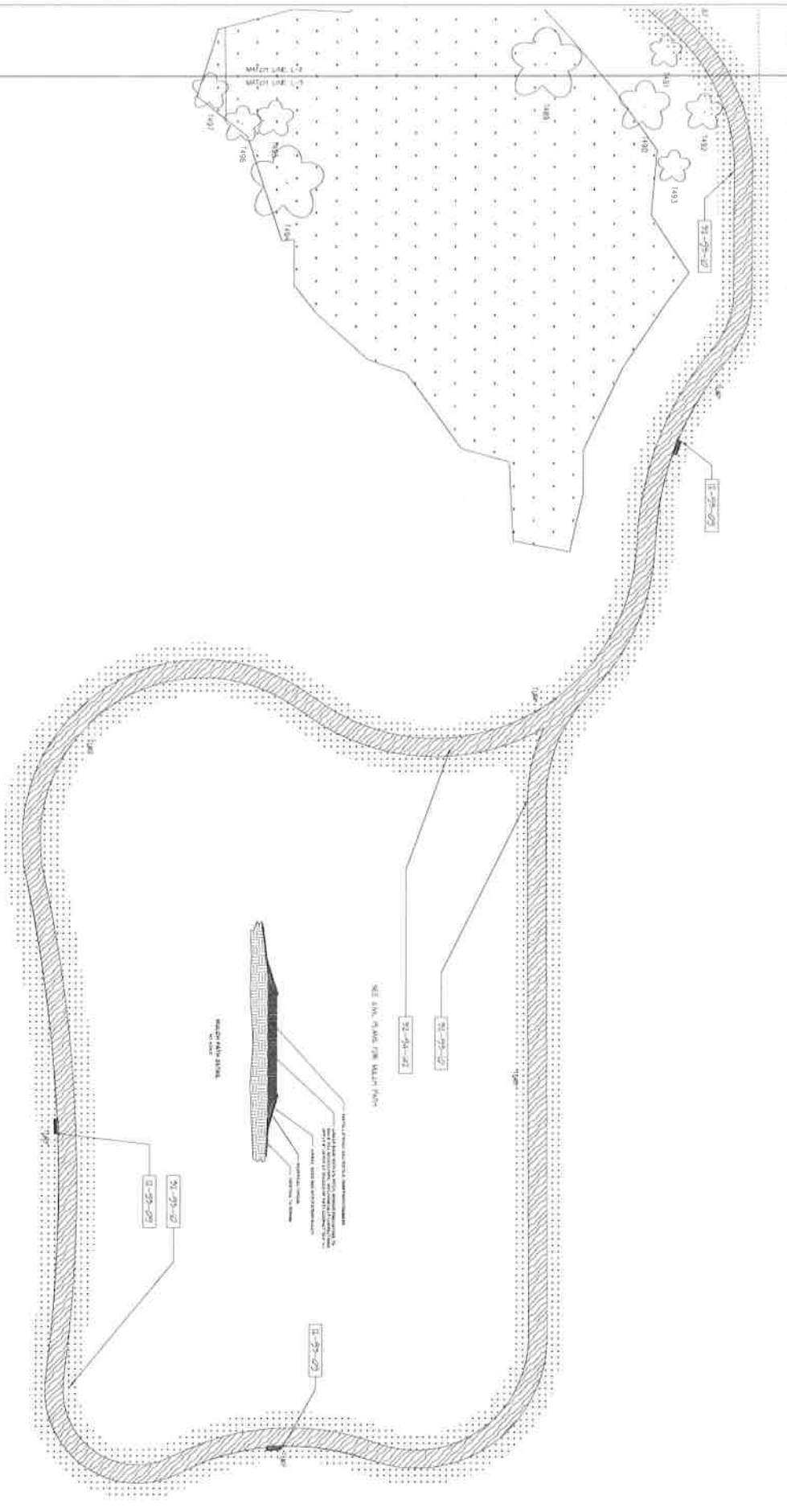


THOMAS NORDLOH ASSOCIATES  
 Landscape Architecture  
 &  
 Project Management  
 4111 Taft Rd, Kenosha WI 53142









MULCH WALKING PATH PLAN

L-3.0

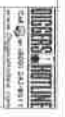
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 3.7.23

**ROYAL ESTATES CONDOMINIUMS  
 LANDSCAPE PLANS  
 OAKCREEK WISCONSIN**

No.	Description	Date
1		
2		
3		
4		



THOMAS NORDLOH ASSOCIATES  
 Landscape Architecture  
 &  
 Project Management  
 4111 Taft Rd, Kenosha WI 53142



NO	DATE	BY	REVISION
1	01	NT	1
2	01	NT	2
3	01	NT	3

**ROYAL ESTATES CONDOMINIUMS  
 LANDSCAPE PLANS  
 OAKCREEK WISCONSIN**

20230208  
 3-7-23  
 L-4.1  
 Sheet

REFERENCE NOTES SCHEDULE PLANT SCHEDULE 4 UNIT X 6

- 320002 PLANTING SCHEDULE
- 320003 PLANTING SCHEDULE
- 320004 PLANTING SCHEDULE

PLANT SCHEDULE PLANT SCHEDULE 4 UNIT X 6

SYMBOL	DESCRIPTION	QTY
32-94-15	Small Tree	4
32-94-16	Small Tree	4
32-94-17	Small Tree	4
32-94-18	Small Tree	4
32-94-19	Small Tree	4
32-94-20	Small Tree	4
32-94-21	Small Tree	4
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32-94-68	Small Tree	4
32-94-69	Small Tree	4
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32-94-71	Small Tree	4
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32-94-73	Small Tree	4
32-94-74	Small Tree	4
32-94-75	Small Tree	4
32-94-76	Small Tree	4
32-94-77	Small Tree	4
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32-94-79	Small Tree	4
32-94-80	Small Tree	4
32-94-81	Small Tree	4
32-94-82	Small Tree	4
32-94-83	Small Tree	4
32-94-84	Small Tree	4
32-94-85	Small Tree	4
32-94-86	Small Tree	4
32-94-87	Small Tree	4
32-94-88	Small Tree	4
32-94-89	Small Tree	4
32-94-90	Small Tree	4
32-94-91	Small Tree	4
32-94-92	Small Tree	4
32-94-93	Small Tree	4
32-94-94	Small Tree	4
32-94-95	Small Tree	4
32-94-96	Small Tree	4
32-94-97	Small Tree	4
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32-94-99	Small Tree	4
32-94-100	Small Tree	4

REFERENCE NOTES SCHEDULE PLANT SCHEDULE 4 UNIT X 2

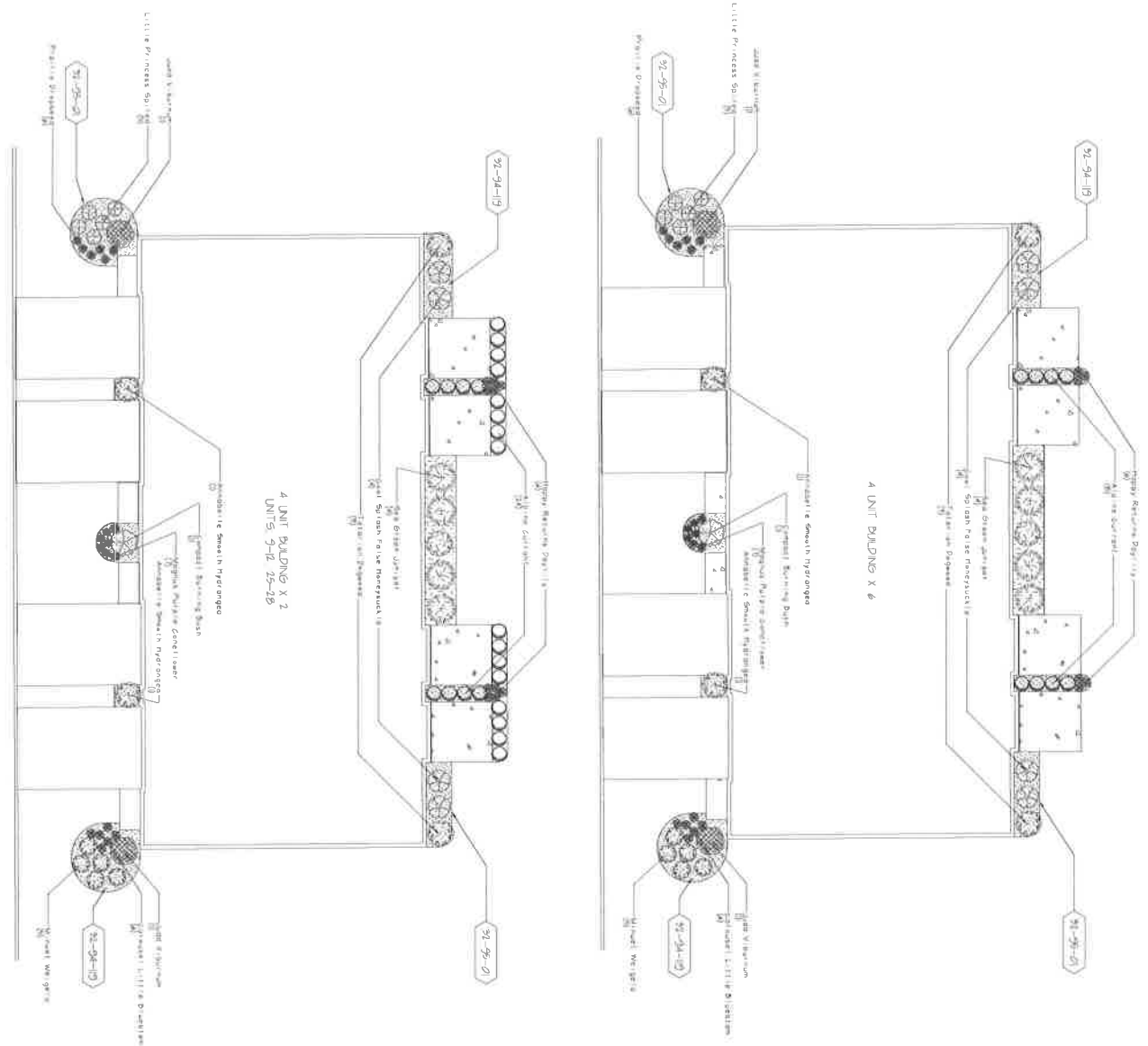
- 320002 PLANTING SCHEDULE
- 320003 PLANTING SCHEDULE
- 320004 PLANTING SCHEDULE

PLANT SCHEDULE PLANT SCHEDULE 4 UNIT X 2

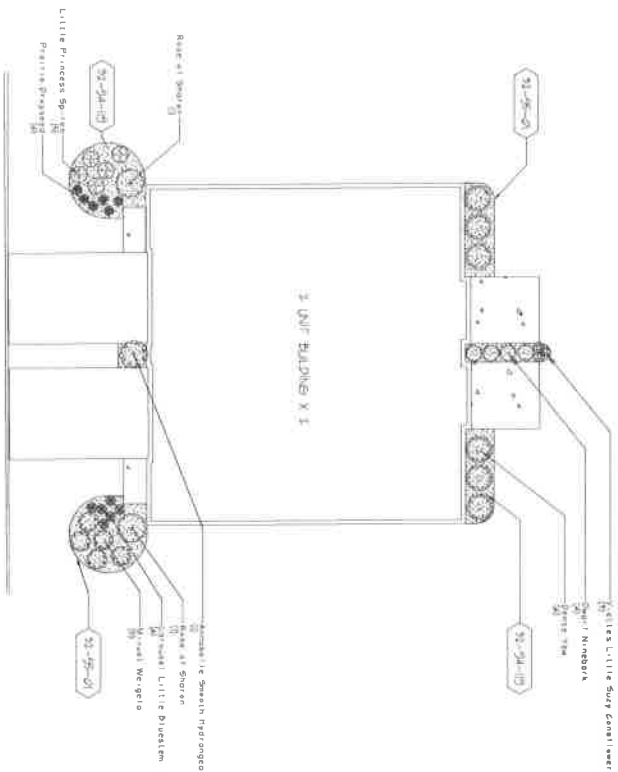
SYMBOL	DESCRIPTION	QTY
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32-94-16	Small Tree	4
32-94-17	Small Tree	4
32-94-18	Small Tree	4
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32-94-20	Small Tree	4
32-94-21	Small Tree	4
32-94-22	Small Tree	4
32-94-23	Small Tree	4
32-94-24	Small Tree	4
32-94-25	Small Tree	4
32-94-26	Small Tree	4
32-94-27	Small Tree	4
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32-94-29	Small Tree	4
32-94-30	Small Tree	4
32-94-31	Small Tree	4
32-94-32	Small Tree	4
32-94-33	Small Tree	4
32-94-34	Small Tree	4
32-94-35	Small Tree	4
32-94-36	Small Tree	4
32-94-37	Small Tree	4
32-94-38	Small Tree	4
32-94-39	Small Tree	4
32-94-40	Small Tree	4
32-94-41	Small Tree	4
32-94-42	Small Tree	4
32-94-43	Small Tree	4
32-94-44	Small Tree	4
32-94-45	Small Tree	4
32-94-46	Small Tree	4
32-94-47	Small Tree	4
32-94-48	Small Tree	4
32-94-49	Small Tree	4
32-94-50	Small Tree	4
32-94-51	Small Tree	4
32-94-52	Small Tree	4
32-94-53	Small Tree	4
32-94-54	Small Tree	4
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32-94-56	Small Tree	4
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32-94-58	Small Tree	4
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32-94-60	Small Tree	4
32-94-61	Small Tree	4
32-94-62	Small Tree	4
32-94-63	Small Tree	4
32-94-64	Small Tree	4
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32-94-66	Small Tree	4
32-94-67	Small Tree	4
32-94-68	Small Tree	4
32-94-69	Small Tree	4
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32-94-71	Small Tree	4
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32-94-76	Small Tree	4
32-94-77	Small Tree	4
32-94-78	Small Tree	4
32-94-79	Small Tree	4
32-94-80	Small Tree	4
32-94-81	Small Tree	4
32-94-82	Small Tree	4
32-94-83	Small Tree	4
32-94-84	Small Tree	4
32-94-85	Small Tree	4
32-94-86	Small Tree	4
32-94-87	Small Tree	4
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32-94-91	Small Tree	4
32-94-92	Small Tree	4
32-94-93	Small Tree	4
32-94-94	Small Tree	4
32-94-95	Small Tree	4
32-94-96	Small Tree	4
32-94-97	Small Tree	4
32-94-98	Small Tree	4
32-94-99	Small Tree	4
32-94-100	Small Tree	4



BUILDING LANDSCAPE PLANS



BUILDING LANDSCAPE PLANS



REFERENCE NOTES SCHEDULE A UNIT X 1

- 21-50-01 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-02 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-03 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-04 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-05 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-06 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-07 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-08 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-09 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-10 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-11 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-12 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-13 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-14 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-15 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-16 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-17 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-18 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-19 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-20 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-21 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-22 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-23 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-24 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-25 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-26 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-27 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-28 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-29 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-30 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-31 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-32 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-33 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-34 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-35 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-36 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-37 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-38 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-39 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-40 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-41 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-42 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-43 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-44 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-45 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-46 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-47 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-48 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-49 SPECIFIED DARK WALNUT 3"-4" BROWN
- 21-50-50 SPECIFIED DARK WALNUT 3"-4" BROWN

PLANT SCHEDULE A UNIT X 1

SYMBOL	PLANT SPECIES	SIZE	QUANTITY
21-50-01	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-02	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-03	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-04	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-05	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-06	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-07	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-08	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-09	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-10	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-11	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-12	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-13	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-14	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-15	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-16	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-17	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-18	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-19	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-20	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-21	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-22	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-23	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-24	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-25	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-26	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-27	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-28	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-29	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-30	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-31	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-32	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-33	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-34	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-35	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-36	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-37	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-38	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-39	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-40	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-41	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-42	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-43	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-44	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-45	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-46	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-47	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-48	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-49	Specified Dark Walnut 3"-4" Brown	3' x 3'	1
21-50-50	Specified Dark Walnut 3"-4" Brown	3' x 3'	1



BUILDING LANDSCAPE PLANS

L-4.2

THOMAS NORDLOH ASSOCIATES  
Landscape Architecture  
&  
Project Management  
4111 Taft Rd, Kenosha WI 53142

NO.	REVISION/DATE	DATE
1		
2		
3		
4		

ROYAL ESTATES CONDOMINIUMS  
LANDSCAPE PLANS  
OAKCREEK WISCONSIN

Project: 20230208  
Date: 3-7-23

Thomas H. Nordloh  
Landscape Architect  
4111 Taft Rd, Kenosha, WI 53142  
Phone: 920.393.1111  
Fax: 920.393.1112  
Email: thnordloh@tna.com

PLANT SCHEDULE TOTAL AREA

TREES	COMMON NAME	SIZE	CONTAINER	QTY
Acer Freemanii, Frankies	Frankies Freeman Maple	1' Gal	DAD	4
Acer saccharum	Green Mountain Sugar Maple	1' Gal	DAD	4
Amelanchier	Eastern Redbud Multi-trunk	#	DAD	0
Cornus mas Golden Glory	Golden Glory Cornelian Cherry	#	DAD	4
Magnolia kobus sieboldii Royal Star	Royal Star Magnolia	#	DAD	4
Molus x carolinense TM	Carolinian Crabapple	1' Gal	DAD	4
Molus x Adirondack	Adirondack Crabapple	#	DAD	5
Molus x JFS ANTIWE	Raspberry Spirea Crabapple	#	DAD	1
Platanus x acerifolia Exclamation TM	Exclamation London Plane Tree	1' Gal	DAD	4
Quercus borealis	Northern Red Oak	1' Gal	DAD	1
Ulmus x Accolade	Accolade Elm	1' Gal	DAD	5
EVERGREEN TREES	COMMON NAME	SIZE	CONTAINER	QTY
Juniperus chinensis low	low Juniper	#	DAD	1
Picea abies	Norway Spruce	#	DAD	1
Picea glauca Densoh	Black Hills Spruce	#	DAD	4
Pinus strobus	White Pine	#	DAD	15
GRASSES	COMMON NAME	SIZE	CONTAINER	QTY
Rosa rugosa Varizalure	Rugosa Raspberry Groundcover Rose	5 gal	#	
ANNUALS/PERENNIALS	COMMON NAME	SIZE	CONTAINER	QTY
Hemerocallis x Cherry Cheeks	Cherry Cheeks Daylily	1 gal	#	5
Hemerocallis x Chicago Sunrise	Chicago Sunrise Daylily	1 gal	#	5
Hemerocallis x Janice Dream TM	Janice Dream Daylily	1 gal	#	5
Hemerocallis x Strawberry Candy TM	Strawberry Candy Daylily	1 gal	#	5
Rubusio vulgaris Indian Summer	Indian Summer Caneless Rose	1 gal	#	1
GRASSES	COMMON NAME	SIZE	CONTAINER	QTY
Calamagrostis x bicolor (Red) Feat	Feather Reed Grass	1 gal	#	1
Calamagrostis x bicolor (Red) Feat	Feather Reed Grass	1 gal	#	1

PLANT SCHEDULE HOUSE LINE PLANTINGS

TREES	COMMON NAME	SIZE	CONTAINER	QTY
Acer Freemanii, Frankies	Frankies Freeman Maple	1' Gal	DAD	4
Acer saccharum	Green Mountain Sugar Maple	1' Gal	DAD	1
Cornus mas Golden Glory	Golden Glory Cornelian Cherry	#	DAD	4
Magnolia kobus sieboldii Royal Star	Royal Star Magnolia	#	DAD	4
Molus x carolinense TM	Carolinian Crabapple	1' Gal	DAD	4
Molus x Adirondack	Adirondack Crabapple	1' Gal	DAD	4
Molus x JFS ANTIWE	Raspberry Spirea Crabapple	1' Gal	DAD	4
Platanus x acerifolia Exclamation TM	Exclamation London Plane Tree	1' Gal	DAD	4
Quercus borealis	Northern Red Oak	1' Gal	DAD	4
Ulmus x Accolade	Accolade Elm	1' Gal	DAD	5
EVERGREEN TREES	COMMON NAME	SIZE	CONTAINER	QTY
Juniperus chinensis low	low Juniper	#	DAD	4
Pinus strobus	White Pine	#	DAD	4
ANNUALS/PERENNIALS	COMMON NAME	SIZE	CONTAINER	QTY
Hemerocallis x Cherry Cheeks	Cherry Cheeks Daylily	1 gal	#	5
Hemerocallis x Chicago Sunrise	Chicago Sunrise Daylily	1 gal	#	5
Hemerocallis x Janice Dream TM	Janice Dream Daylily	1 gal	#	5
Hemerocallis x Strawberry Candy TM	Strawberry Candy Daylily	1 gal	#	5
GRASSES	COMMON NAME	SIZE	CONTAINER	QTY
Calamagrostis x bicolor (Red) Feat	Feather Reed Grass	1 gal	#	1

PLANT SCHEDULE 27TH SCREENING

TREES	COMMON NAME	SIZE	CONTAINER	QTY
Molus x Adirondack	Adirondack Crabapple	#	DAD	5
Molus x JFS ANTIWE	Raspberry Spirea Crabapple	#	DAD	5
EVERGREEN TREES	COMMON NAME	SIZE	CONTAINER	QTY
Picea glauca Densoh	Black Hills Spruce	#	DAD	5

REFERENCE NOTES SCHEDULE TOTAL AREA

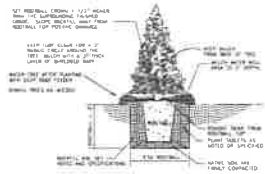
SYMBOL	DESCRIPTION	QTY
(11-99-01)	WASHER THE 3/8" METAL BECH INBOARD BY EQUAL ITEM # METAL INSTALL PER MANUFACTURERS DIRECTIONS	4
(11-99-02)	CONDO PET WASTE STATION OR BY EQUAL BY PET WASTE ELIMINATOR ITEM# E46	1
PLANTING	DESCRIPTION	QTY
(21-99-10)	SEED AND STRAW MULCH USE REMARKS PREVIOUS AND NEED NOT INSTALL AT RECOMMENDED RATES FERTILIZE AT 1/2 RATE WITH 10-10-10 AFTER SEED HAS GERMINATED	30,710 sq ft
(21-99-11)	REMARKS PREVIOUS AND TURF-SEED AND IN SHORT TERM EROSION BLANKET INSTALL PER MANUFACTURERS GUIDELINES STAPLES MUST BE FULLY INSTALLED IN THE GRASSY BENT OVER STAPLES WILL NOT BE ACCEPTED	8,820 sq ft
PLANTING ACCESSORIES	DESCRIPTION	QTY
(31-99-10)	SHREDDED BARK MULCH 3"-4" DEPTH	716 sq ft
(31-99-11)	3" DIAMETER MULCH TREE RING	87
(31-99-12)	WOODLAND MULCH PATH GRADE BASE WITH 1/2" PITCH REMOVE EXCESS SOIL TO BACKFILL WOODCHIPS NEARLY COMPACT BASE APPLY 2" LAYER OF WOODCHIPS COMPACT TO 6" DEPTH +/-	450 sq ft
(31-99-13)	EDGE SHOVEL CUT BED EDGE 4" DEPTH-SEE DETAIL	156 ft

PLANT SCHEDULE POND PLANTINGS

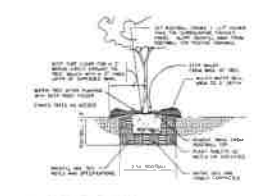
TREES	COMMON NAME	SIZE	CONTAINER	QTY
Acer saccharum	Green Mountain Sugar Maple	1' Gal	DAD	5
Quercus borealis	Northern Red Oak	1' Gal	DAD	5
EVERGREEN TREES	COMMON NAME	SIZE	CONTAINER	QTY
Juniperus chinensis low	low Juniper	#	DAD	5
Pinus strobus	White Pine	#	DAD	5

PLANT SCHEDULE NORTH SCREENING

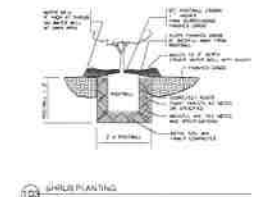
TREES	COMMON NAME	SIZE	CONTAINER	QTY
Cercis canadensis	Eastern Redbud Multi-trunk	#	DAD	0
Molus x Adirondack	Adirondack Crabapple	#	DAD	1
EVERGREEN TREES	COMMON NAME	SIZE	CONTAINER	QTY
Picea abies	Norway Spruce	#	DAD	1
Pinus strobus	White Pine	#	DAD	2



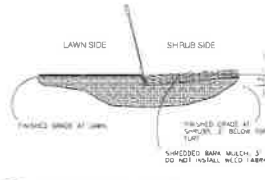
109 EVERGREEN PLANTING DETAIL



101 TREE PLANTING DETAIL



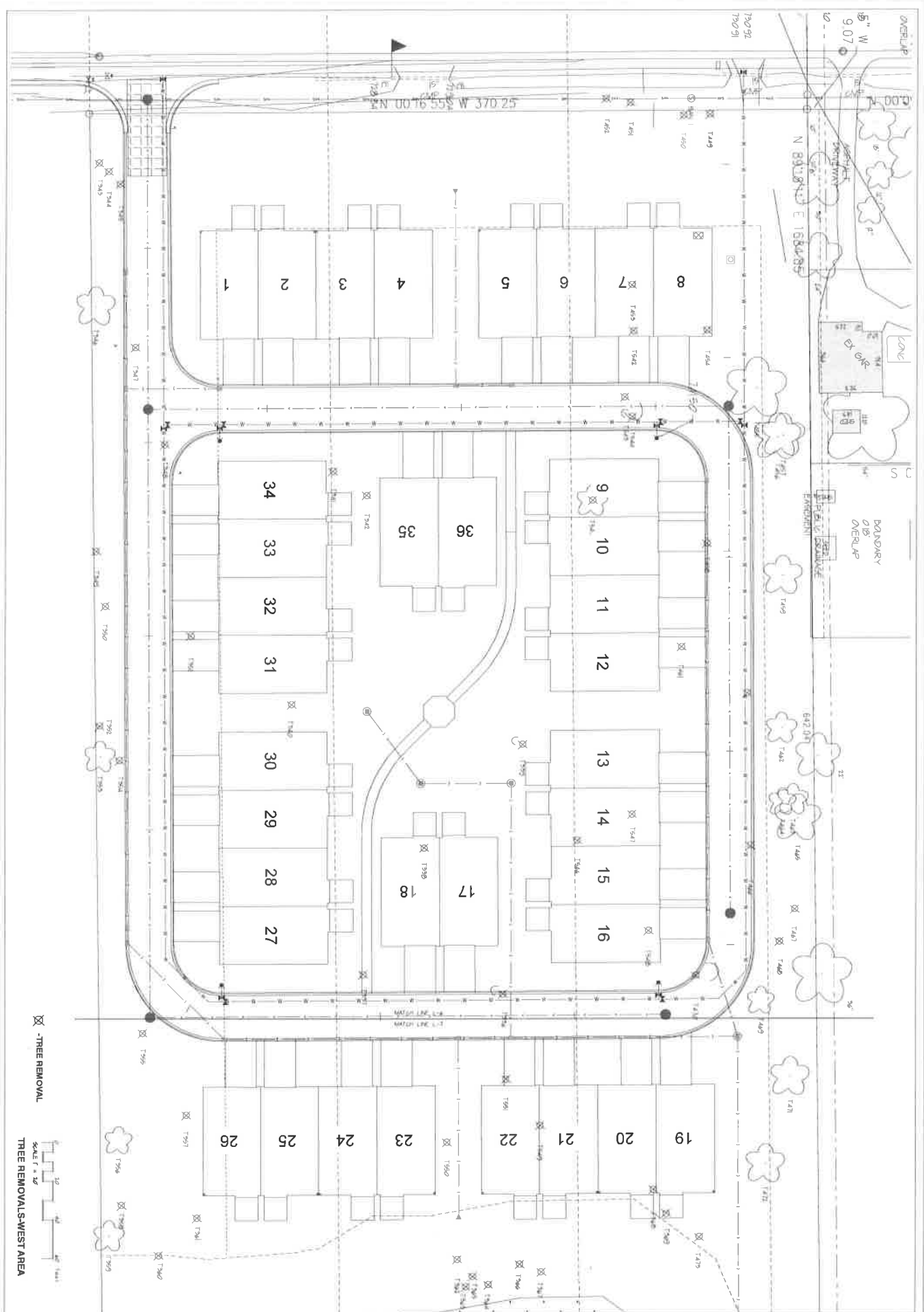
103 SHRUB PLANTING DETAIL



20 SHOVEL CUT BED EDGE

GENERAL LANDSCAPE NOTES:

- Topsoil return to depth of 4" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
- Always contact Diggers Hotline (800-242-8511) or JULIE 811 (or 1-800-892-0123) before proceeding with any work.
- Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
- Plant material to be of the highest quality available and should not include #2 grade trees, evergreens or shrubs. Landscape contractor is to verify plant quantities Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by city forester.
- Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3" diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2" layer of shredded bark mulch.
- Spade cut plant beds and tree rings with a 4" deep shovel cut.
- Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
- Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
- Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.
- Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
- Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
- If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment.
- Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.



**ROYAL ESTATES CONDOMINIUMS  
LANDSCAPE PLANS  
OAKCREEK WISCONSIN**

THOMAS NORDLOH ASSOCIATES  
Landscape Architecture  
& Project Management  
4111 Taft Rd, Kenosha WI 53142

Sheet  
**L-6.0**

THOMAS NORDLOH ASSOCIATES  
Landscape Architecture  
20230208B  
3-7-23

No.	Description	Date
1		
2		
3		
4		







**1 SITE PHOTOMETRICS**

1" = 40'

0 40'

**SHEET NOTES**

1. SHOW UNIT FOOTPRINTS WITH UNIT AND UNIT NUMBER IDENTIFICATION.
2. SHOW UNIT CROWN ROOF AND UNIT NUMBER ON UNIT FOOTPRINT.
3. CONSTRUCTION CODE (ICC) UNIT AND NUMBER ON UNIT FOOTPRINT.
4. UNIT NUMBER IDENTIFICATION ON UNIT FOOTPRINT.
5. UNIT NUMBER IDENTIFICATION ON UNIT FOOTPRINT.
6. UNIT NUMBER IDENTIFICATION ON UNIT FOOTPRINT.
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28. UNIT NUMBER IDENTIFICATION ON UNIT FOOTPRINT.
29. UNIT NUMBER IDENTIFICATION ON UNIT FOOTPRINT.
30. UNIT NUMBER IDENTIFICATION ON UNIT FOOTPRINT.



PROJECT NO. 21/13/23  
 SHEET NO. 1  
 DATE: 2/13/23

<b>PROJECT</b> ROYAL ESTATES CONDOMINIUM SITE LIGHTING PLAN FOR ANIL YEPURI CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN	<b>DATE</b> 2/13/23	<b>BY</b> DLH	<b>PROJECT NO.</b> 21/13/23	<b>SHEET NO.</b> 1	<b>REVISIONS</b>				
					<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION	
NO.	DATE	DESCRIPTION							

**DAVID L. HANSON AND ASSOCIATES, INC.**  
 6402 32ND AVE.  
 KENOSHA, WI 53142  
 (262) 654-2010





**Streetworks**  
ACM/ALU/CLD Generation Series





Product Certifications: 

Energy and Performance Data:  
 • Energy Star Qualified  
 • ETL Listed  
 • IES Efficacy 2010-2012 3750-8000 lm/W and 4000-10000 lm/W  
 • 4000-10000 lm/W  
 • 10000-15000 lm/W  
 • 15000-20000 lm/W  
 • 20000-25000 lm/W  
 • 25000-30000 lm/W  
 • 30000-35000 lm/W  
 • 35000-40000 lm/W  
 • 40000-45000 lm/W  
 • 45000-50000 lm/W  
 • 50000-55000 lm/W  
 • 55000-60000 lm/W  
 • 60000-65000 lm/W  
 • 65000-70000 lm/W  
 • 70000-75000 lm/W  
 • 75000-80000 lm/W  
 • 80000-85000 lm/W  
 • 85000-90000 lm/W  
 • 90000-95000 lm/W  
 • 95000-100000 lm/W

TYPE OA AND OB LIGHTS

**Streetworks**  
ACM/ALU/CLD Generation Series





Product Certifications: 

Energy and Performance Data:  
 • Energy Star Qualified  
 • ETL Listed  
 • IES Efficacy 2010-2012 3750-8000 lm/W and 4000-10000 lm/W  
 • 4000-10000 lm/W  
 • 10000-15000 lm/W  
 • 15000-20000 lm/W  
 • 20000-25000 lm/W  
 • 25000-30000 lm/W  
 • 30000-35000 lm/W  
 • 35000-40000 lm/W  
 • 40000-45000 lm/W  
 • 45000-50000 lm/W  
 • 50000-55000 lm/W  
 • 55000-60000 lm/W  
 • 60000-65000 lm/W  
 • 65000-70000 lm/W  
 • 70000-75000 lm/W  
 • 75000-80000 lm/W  
 • 80000-85000 lm/W  
 • 85000-90000 lm/W  
 • 90000-95000 lm/W  
 • 95000-100000 lm/W

TYPE OA AND OB LIGHTS

**Streetworks**  
ACM/ALU/CLD Generation Series





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 • 40000-45000 lm/W  
 • 45000-50000 lm/W  
 • 50000-55000 lm/W  
 • 55000-60000 lm/W  
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 • 65000-70000 lm/W  
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 • 75000-80000 lm/W  
 • 80000-85000 lm/W  
 • 85000-90000 lm/W  
 • 90000-95000 lm/W  
 • 95000-100000 lm/W

TYPE OA AND OB LIGHTS

**Outdoor**  
ALUMINUM POLES



Product Certifications: 

Energy and Performance Data:  
 • Energy Star Qualified  
 • ETL Listed  
 • IES Efficacy 2010-2012 3750-8000 lm/W and 4000-10000 lm/W  
 • 4000-10000 lm/W  
 • 10000-15000 lm/W  
 • 15000-20000 lm/W  
 • 20000-25000 lm/W  
 • 25000-30000 lm/W  
 • 30000-35000 lm/W  
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 • 40000-45000 lm/W  
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 • 75000-80000 lm/W  
 • 80000-85000 lm/W  
 • 85000-90000 lm/W  
 • 90000-95000 lm/W  
 • 95000-100000 lm/W

TYPE OA AND OB LIGHT POLES

**COOPER**

Model	Height	Arm Length	Light Output (lm)	Efficacy (lm/W)	Beam Spread	Mounting
ACM-1000	10'0"	10'0"	10000	100	120°	Top Mount
ALU-1000	10'0"	10'0"	10000	100	120°	Top Mount
CLD-1000	10'0"	10'0"	10000	100	120°	Top Mount
ACM-1500	15'0"	15'0"	15000	150	120°	Top Mount
ALU-1500	15'0"	15'0"	15000	150	120°	Top Mount
CLD-1500	15'0"	15'0"	15000	150	120°	Top Mount
ACM-2000	20'0"	20'0"	20000	200	120°	Top Mount
ALU-2000	20'0"	20'0"	20000	200	120°	Top Mount
CLD-2000	20'0"	20'0"	20000	200	120°	Top Mount

**COOPER**

Model	Height	Arm Length	Light Output (lm)	Efficacy (lm/W)	Beam Spread	Mounting
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**COOPER**

Model	Height	Arm Length	Light Output (lm)	Efficacy (lm/W)	Beam Spread	Mounting
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**COOPER**

Model	Height	Arm Length	Light Output (lm)	Efficacy (lm/W)	Beam Spread	Mounting
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CLD-1500	15'0"	15'0"	15000	150	120°	Top Mount
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ALU-2000	20'0"	20'0"	20000	200	120°	Top Mount
CLD-2000	20'0"	20'0"	20000	200	120°	Top Mount

TYPE OA AND OB LIGHT POLES

TYPE OA AND OB LIGHT POLES

COOPER LIGHTING  
 10000 WATT  
 10000 WATT  
 10000 WATT  
 10000 WATT

SHEET NO. 3  
 OF 3

ROYAL ESTATES CONDOMINIUM  
 SITE LIGHTING PLAN  
 FOR  
 ANIL YEPURI  
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

DATE: 2/13/23  
 BY: DLH

DAVID L. HANSON AND ASSOCIATES, INC.  
 6402 32ND AVE  
 KENOSHA, WI 53142  
 (262) 654-2010

NO.	DESCRIPTION	DATE



1 SIDE ELEVATION WITH SIDE GARAGE  
NOT TO SCALE



2 FRONT ELEVATION WITH FRONT GARAGE  
NOT TO SCALE

**OPTION #1: GARAGE IN FRONT OF RESIDENCE. WIDTH OF GARAGE > 45%**



TGAR GROUP, Inc.

COMMERCIAL AND RESIDENTIAL  
3333 S. 10TH ST. SUITE 200  
MILWAUKEE, WI 53228-1000  
TEL: 414.382.1000 FAX: 414.382.1001

PROJECT NO.	
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	
PROJECT NAME	
PROJECT ADDRESS	
PROJECT CITY	
PROJECT STATE	
PROJECT ZIP	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	

PROJECT NO.	
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	
PROJECT NAME	
PROJECT ADDRESS	
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PROJECT ZIP	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	

ROYAL  
ESTATES  
  
S 27TH STREET  
OAK CREEK, WI

PROJECT NO.	
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	
PROJECT NAME	
PROJECT ADDRESS	
PROJECT CITY	
PROJECT STATE	
PROJECT ZIP	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	

PROPOSED  
RENDERINGS  
OPTION #1

PROJECT NO.	
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	
PROJECT NAME	
PROJECT ADDRESS	
PROJECT CITY	
PROJECT STATE	
PROJECT ZIP	
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	

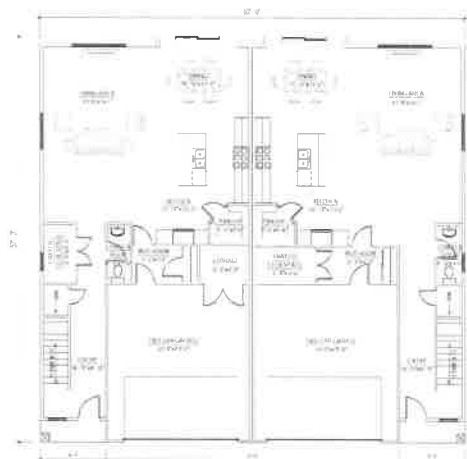


TGAR GROUP, Inc.

ARCHITECTS & ENGINEERS

12000 West  
North, Suite 100

1001 16th St  
Oak Creek, WI



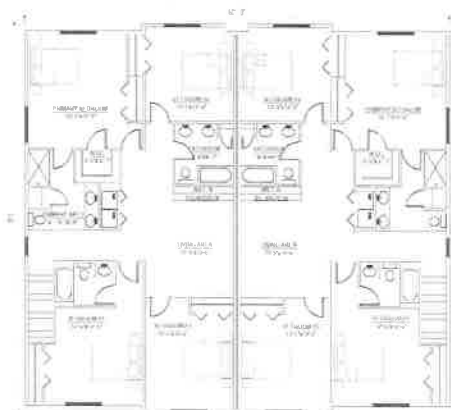
FIRST FLOOR - 1,196 SF  
SECOND FLOOR - 1,177 SF  
TOTAL - 2,373 SF  
TOTAL SF PER UNIT - 2,373 SF

2-LAY FIRST FLOOR PLAN  
OPTION #1

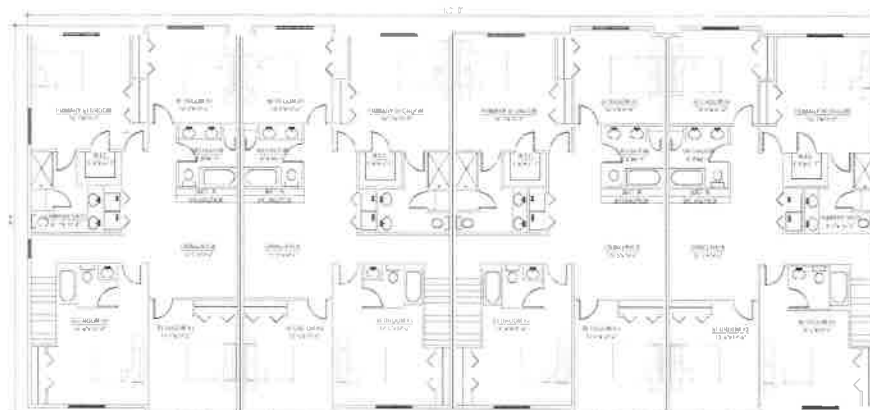


FIRST FLOOR - 1,195 SF  
SECOND FLOOR - 1,177 SF  
TOTAL - 2,372 SF  
TOTAL SF PER UNIT - 2,372 SF

2-LAY FIRST FLOOR PLAN  
OPTION #2



2-LAY SECOND FLOOR PLAN  
OPTION #1



2-LAY SECOND FLOOR PLAN  
OPTION #2

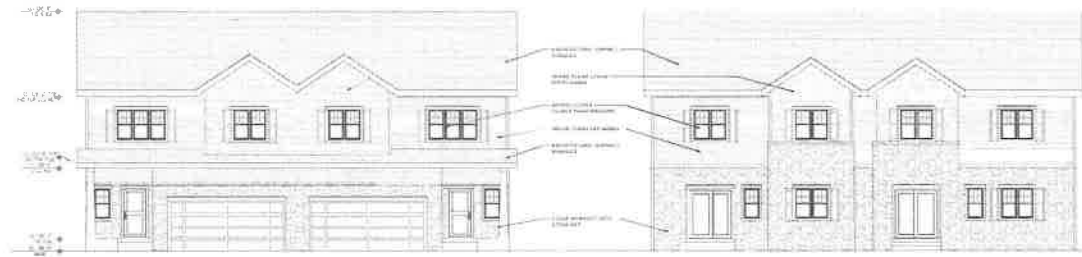
ROYAL  
ESTATES  
  
S 27TH STREET  
OAK CREEK, WI

PROJECT NO. 2022  
SHEET NO.  
DATE BY  
APPROVED BY DATE 08/11/2022  
SCALE 1/8"=1'-0"

PROPOSED  
FLOOR PLANS  
OPTION #1

TITLE 14 1-0

4011 54' PR-2



1 FRONT FRONT ELEVATION  
1/4" = 1'-0"

2 FRONT REAR ELEVATION  
1/4" = 1'-0"

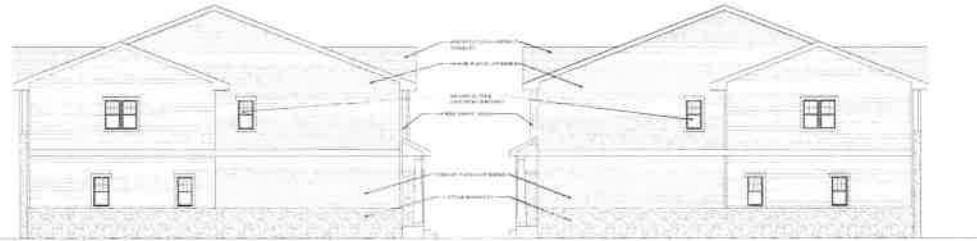


3 FRONT FRONT ELEVATION  
1/4" = 1'-0"



4 FRONT REAR ELEVATION  
1/4" = 1'-0"

**EXTERIOR FINISH PERCENTAGES:**  
**FRONT ELEVATION:**  
 65% FIBER CEMENT PRODUCT  
 12% MASONRY (BRICK OR STONE)  
**REAR ELEVATION:**  
 71% FIBER CEMENT PRODUCT  
 23% MASONRY (BRICK OR STONE)  
**SIDE ELEVATIONS:**  
 54% FIBER CEMENT PRODUCT  
 16% MASONRY (BRICK OR STONE)



5 SIDE ELEVATION  
1/4" = 1'-0"

6 SIDE ELEVATION  
1/4" = 1'-0"



TGAR GROUP, Inc.

ARCHITECTURAL SERVICES  
 2525 N. 10TH ST.  
 MILWAUKEE, WI 53212  
 TEL: 414.224.8800  
 FAX: 414.224.8801

ROYAL  
 ESTATES  
 S 27TH STREET  
 OAK CREEK, WI

PROJECT NO: 2018-001  
 DATE: 01/16/2018  
 DRAWN BY: J. DODD  
 CHECKED BY: J. DODD  
 SCALE: AS SHOWN

PROPOSED  
 ELEVATIONS  
 OPTION #1

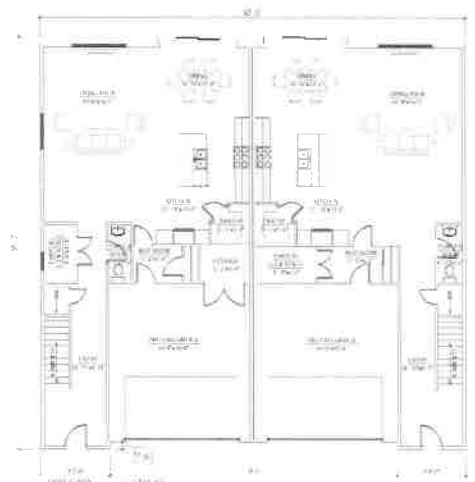
DATE: 01/16/2018  
 TIME: 10:00 AM  
 DRAWN BY: J. DODD  
 CHECKED BY: J. DODD  
 SCALE: AS SHOWN  
 SHEET NO: PR-3





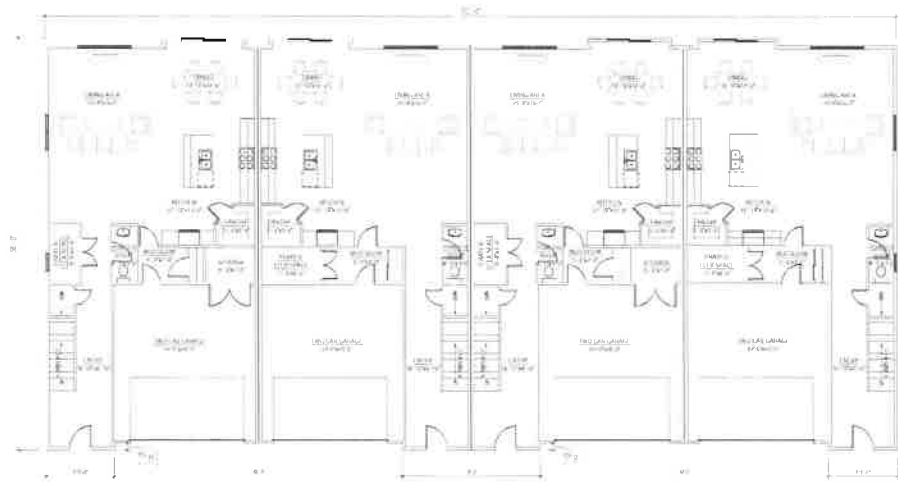
TGAR GROUP, Inc.

4875 WISCONSIN ROAD, SUITE 100, OAK CREEK, WI 53151  
TEL: 414.885.1100 FAX: 414.885.1101



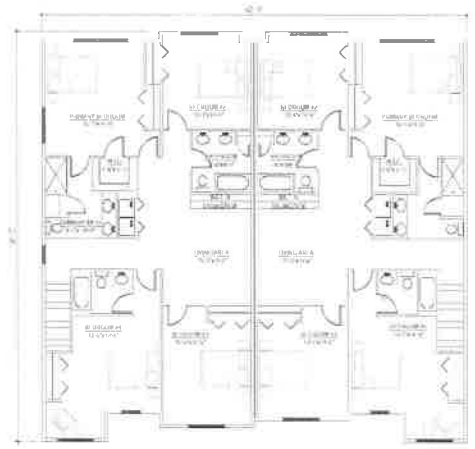
FIRST FLOOR  
SQUARE FOOTAGE = 1,311 SF  
GARAGE = 288 SF  
TOTAL UNIT = 1,600 SF

2-UNIT FIRST FLOOR PLAN

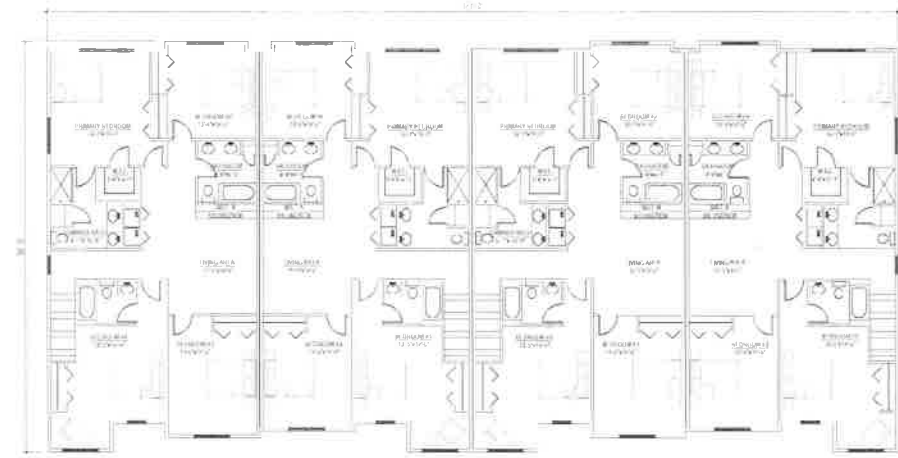


FIRST FLOOR = 235 SF  
SECOND FLOOR = 187 SF  
GARAGE = 568 SF  
TOTAL UNIT = 3,972 SF

4-UNIT FIRST FLOOR PLAN



2-UNIT SECOND FLOOR PLAN

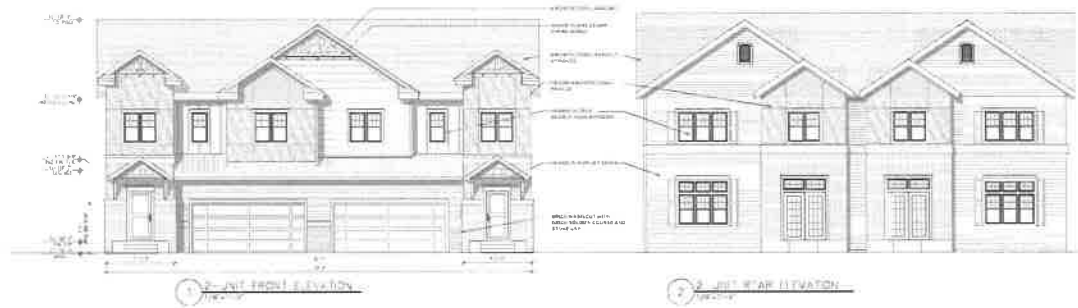


4-UNIT SECOND FLOOR PLAN

Table with multiple rows and columns, likely a schedule of materials or specifications. The content is mostly illegible due to small text.

ROYAL  
ESTATES  
S 27TH STREET  
OAK CREEK, WI

PROPOSED  
FLOOR PLANS  
OPTION #2



2 - 2ND FLOOR FRONT ELEVATION

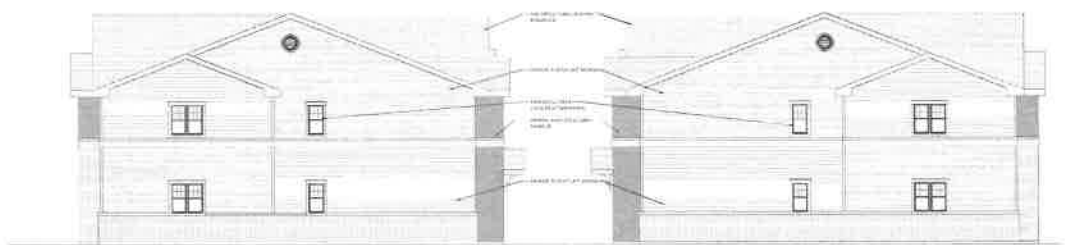
3 - 2ND FLOOR REAR ELEVATION



1 - 1ST FLOOR FRONT ELEVATION



2 - 1ST FLOOR REAR ELEVATION



3 - SIDE ELEVATION

4 - SIDE ELEVATION

EXTERIOR FINISH PERCENTAGES:  
 FRONT ELEVATION:  
 88% FIBER CEMENT PRODUCT  
 12% MASONRY (BRICK OR STONE)  
 REAR ELEVATION:  
 71% FIBER CEMENT PRODUCT  
 29% MASONRY (BRICK OR STONE)  
 SIDE ELEVATIONS:  
 84% FIBER CEMENT PRODUCT  
 16% MASONRY (BRICK OR STONE)



TGAR GROUP, Inc.

PROFESSIONAL ARCHITECTS  
 222A S. J. ...  
 WISCONSIN ...  
 REG. NO. ...

ROYAL  
 ESTATES  
 S 27TH STREET  
 OAK CREEK, WI

PROPOSED  
 ELEVATIONS  
 OPTION #2



1 - FRONT RENDERING  
DATE: 10/20/2020



2 - STREET VIEW RENDERING  
DATE: 10/20/2020

**OPTION #3: GARAGE BEHIND FRONT OF RESIDENCE. WIDTH OF GARAGE = 55% (MEETS CODE)  
NOT ECONOMICALLY FEASIBLE WITH SINGLE CAR GARAGE.**



TGAR GROUP, Inc.

11111 Highway 10  
Plymouth, WI 53082  
TEL: 262.391.1111 FAX: 262.391.1112

ROYAL  
ESTATES  
  
S 27TH STREET  
OAK CREEK, WI

PROPOSED  
RENDERINGS  
OPTION #3

TGAR GROUP, Inc.  
DATE: 10/20/2020  
PAGE: 10  
PB-7





TGAR GROUP, Inc.

40527A WISCONSIN DR, SUITE 200

2525 WISCONSIN DR. SUITE 200

WISCONSIN DR. SUITE 200

WISCONSIN DR. SUITE 200

WISCONSIN DR. SUITE 200

WISCONSIN DR. SUITE 200

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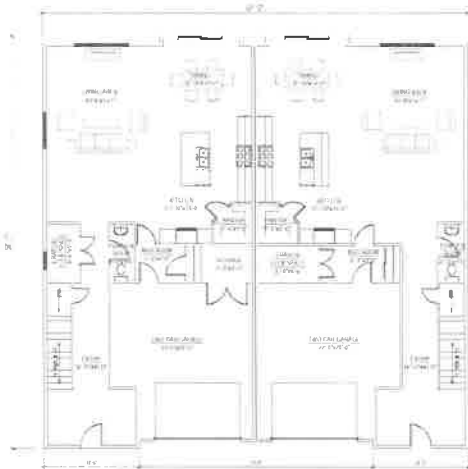
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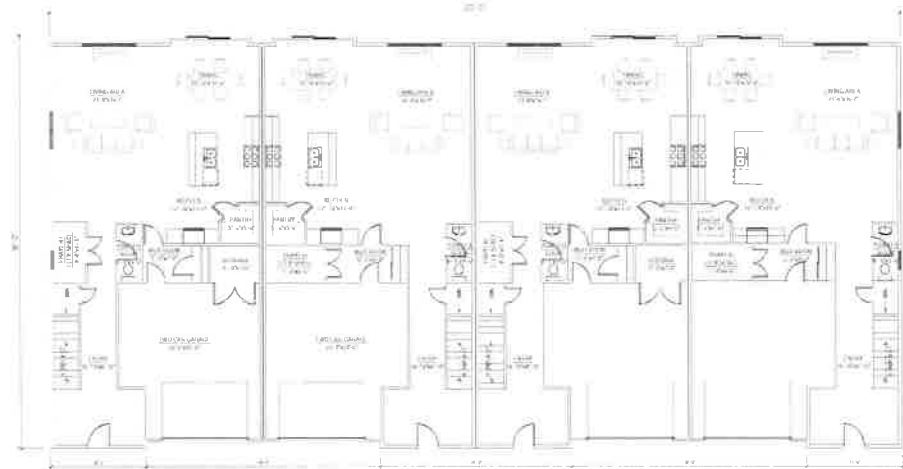
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WISCONSIN DR. SUITE 200



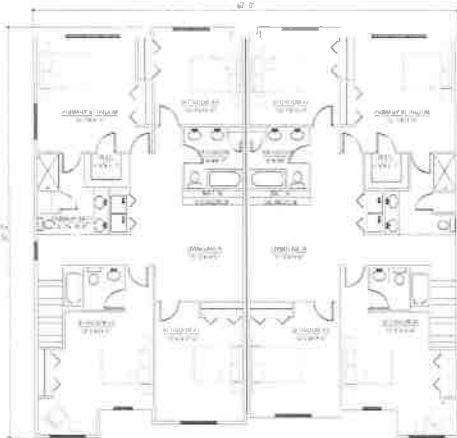
FIRST FLOOR = 755 SF  
 SECOND FLOOR = 1,671 SF  
 GARAGE = 440 SF  
 TOTAL SF PER UNIT = 3,326 SF

7-UNIT FIRST FLOOR PLAN

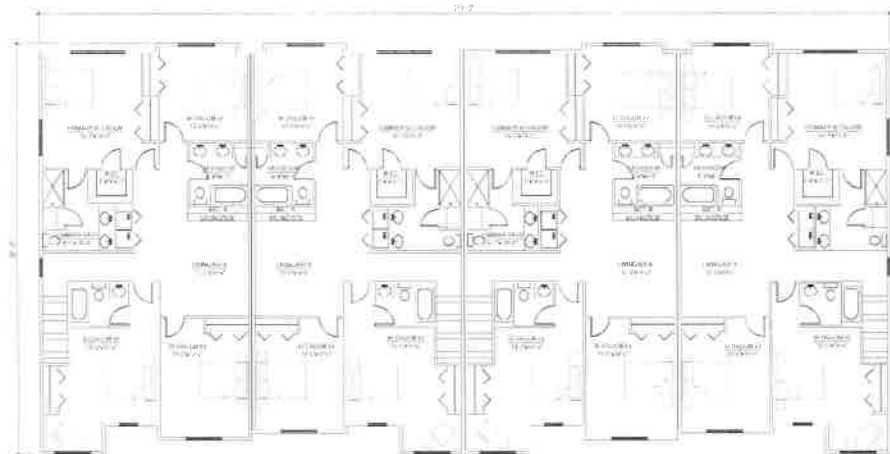


FIRST FLOOR = 1,291 SF  
 SECOND FLOOR = 1,327 SF  
 GARAGE = 440 SF  
 TOTAL SF PER UNIT = 3,326 SF

8-UNIT FIRST FLOOR PLAN



7-UNIT SECOND FLOOR PLAN



8-UNIT SECOND FLOOR PLAN

ROYAL ESTATES  
 S 27TH STREET  
 OAK CREEK, WI

ARCHITECT  
 DATE  
 PROJECT NO.  
 SHEET NO.

PROPOSED FLOOR PLANS  
 OPTION #3

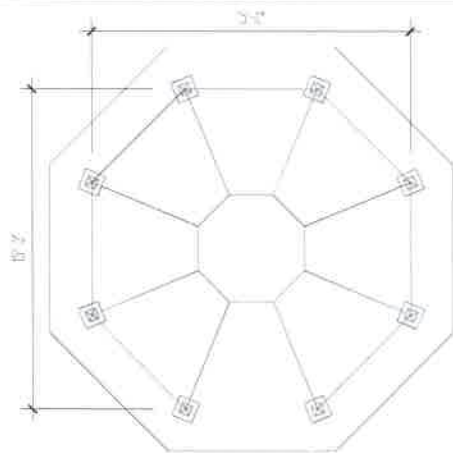
DATE: 12/14/11  
 PROJECT NO.: 11-001



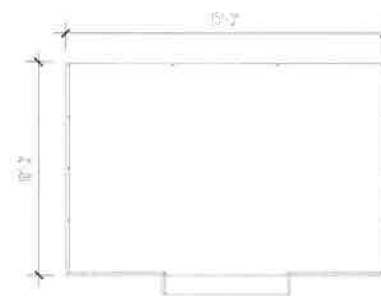


TGAR GROUP, Inc.

ARCHITECTURAL ENGINEERING & CONSTRUCTION  
10000 W. 24th Ave. Suite 100  
Bloomington, MN 55425  
Phone: 612-885-1111  
Fax: 612-885-1112

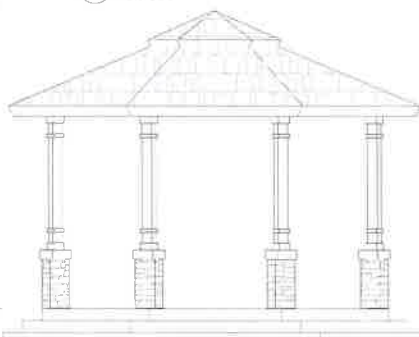


GAZEBO PLAN  
3/8" = 1'-0"



PAVILION PLAN  
3/8" = 1'-0"

EL: 114'-0"  
T.O. GAZEBO



GAZEBO ELEVATION  
3/8" = 1'-0"

EL: 100'-0"  
T.O. FIN. FLOOR  
ALL 1/8" = 1'-0"  
GRADE



PAVILION ELEVATION  
3/8" = 1'-0"



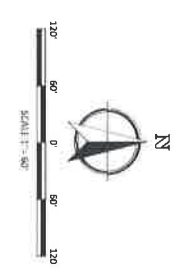
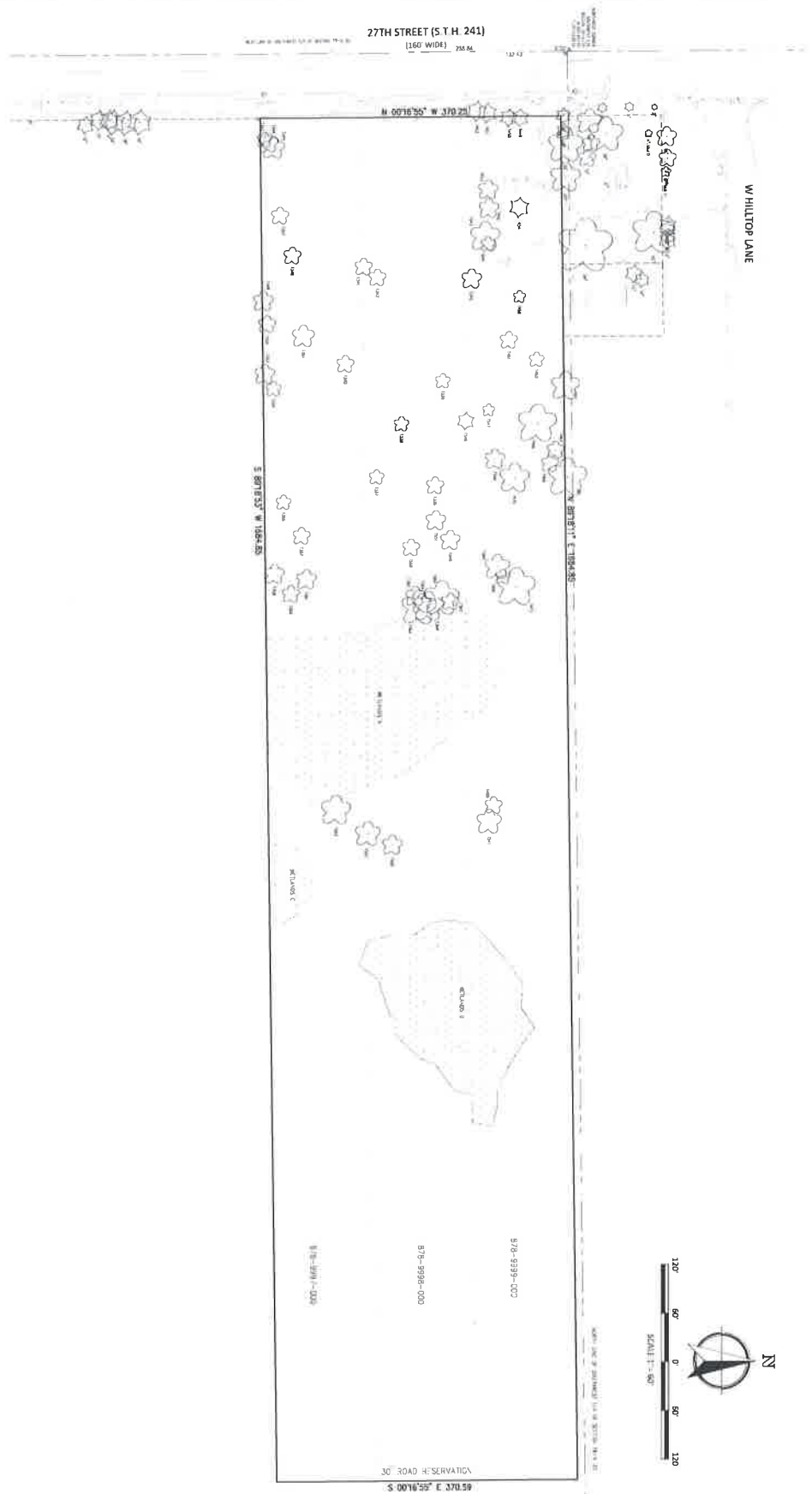
ROYAL  
ESTATES  
  
S 27TH STREET  
OAK CREEK, WI

PROJECT: R. SHAW  
31.10.12 N.  
DRAWN BY:  
DATE: 10/12/12  
APPROVED: SEE SHEET 1001  
SHEET: 1001/01

ACCESSORY  
STRUCTURES

SCALE: 3/8" = 1'-0"

TITLE: PR-10



**UTILITY NOTE**  
 A SEARCH OF THE RECORDS OF THE MILWAUKEE COUNTY ENGINEERING DEPARTMENT HAS REVEALED THE FOLLOWING UTILITIES ARE LOCATED WITHIN THE PROJECT AREA. THE LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AND FOR PROVIDING PROTECTIVE MEASURES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL CALL DIGGERS BOUTLINE PRIOR TO ANY CONSTRUCTION.

**PROGRESS REPORTING**  
 Call (262) 634-5588 or (262) 634-5511  
[www.nmbarsc.com](http://www.nmbarsc.com)

NO.	REVISION	DATE

**DATE:** 3/3/2023  
**BY:** J.M.B.  
**SCALE:** 1" = 60'  
**PROJECT NO.:** 2009-0045-03  
**SHEET:** 1 OF 1

**ROYAL ESTATES  
 CONDOMINIUM  
 TREE SURVEY  
 FOR  
 OAK CREEK RESIDENCES, LLC.  
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN**

**Nielsen Madsen + Barber**  
 CIVIL ENGINEERS AND LAND SURVEYORS  
 1458 Horizon Blvd Suite 200, Racine, WI 53406  
 Tele: (262)634 5588 Website: www.nmbarsc.net



# Royal Estates Condominium

## Tree Survey

<u>TB REMOVED</u>	<u>Tree #</u>	<u>Type of Tree</u>	<u>DBH</u>	<u>Total Replace</u>	<u>Condition</u>	<u>Comments</u>
YES	336	DEAD	12"	0	DEAD	Not Viable *
YES	337	ASH	10"		DEAD	
YES	338	BLACK CHERRY	10"		POOR	
YES	339	CRAB	10"		POOR	
YES	340	DEAD	12"	0	DEAD	Not Viable *
YES	341	DEAD	12"	0	DEAD	Not Viable *
YES	342	DEAD	12"	0	DEAD	Not Viable *
YES	343	BLACK CHERRY	10"		POOR	
YES	344	COTTONWOOD	14"	3	OK	
YES	345	COTTONWOOD	16"	3	OK	
YES	347	BLACK CHERRY	12"	3	POOR	
YES	348	BUCKTHORN	MS 12"	0	POOR	Not Viable *
YES	349	HAWTHORN	14"	3	POOR	
YES	350	BLACK CHERRY	12"	3	POOR	
YES	351	BLACK CHERRY	16"	3	16"	
YES	352	BUCKTHORN	14"	0	POOR	Not Viable *
YES	354	BLACK CHERRY	10"		OK-POOR	
YES	357	not found				
YES	358	DEAD	14"	0	DEAD	Not Viable *
YES	360	HAWTHORN	MS 12"	3	POOR	
YES	361	DEAD	14"	0	DEAD	Not Viable *
YES	362	SILVER MAPLE	15"	0	GOOD	Not Viable *
YES	366	BLACK CHERRY	MS 12-30"	3	POOR	
YES	368	DEAD	18"	0	DEAD	Not Viable *
YES	369	BLACK CHERRY	10"		POOR	
YES	449	SPRUCE	12"	3	GOOD	
YES	450	SPRUCE	12"	3	GOOD	
YES	451	PINE	14"	3	POOR	
YES	452	SPRUCE	15"	3	POOR	
YES	453	CATALPA	15"	3	GOOD	
YES	454	PINE	15"	3	GOOD	
YES	458	CRAB	MS 8"		POOR	
YES	460	BUCKTHORN	11"		POOR	
YES	461	IRONWOOD	12"	3	OK	
YES	466	IRONWOOD	MS 36"	4	DYING	
YES	467	TREE OF HEAVEN	13"	0	POOR	Not Viable *
YES	468	BOXELDER	12"	0	POOR	Not Viable *
YES	470	IRONWOOD	24"	3	DEAD	
YES	473	SILVER MAPLE	MS 36"	0	OK	Not Viable *

# Royal Estates Condominium

## Tree Survey

YES	480	SILVER MAPLE	13"	0	OK	Not Viable *
YES	481	SILVER MAPLE	24"	0	OK	Not Viable *
YES	500	IRONWOOD	15"	0	POOR	Not Viable *
YES	502	ELM	18"	3	OK	
YES	503	DEAD	24"	0	DEAD	Not Viable *
YES	541	IRONWOOD	18"	3	OK	
YES	542	MULBERRY	MS 15"	0	POOR	Not Viable *
YES	543	COTTONWOOD	24"	0	OK TO POOR	Not Viable *
YES	544	BOXELDER	10"		DEAD/DYING	
YES	545	CATALPA	15"	3	OK	
YES	546	CEDAR	12"	3	OK	
YES	547	BOXELDER	MS 9"		POOR	
YES	548	DEAD	14"	0	DEAD	Not Viable *
YES	549	DEAD	15"	0	DEAD	Not Viable *
YES	550	DEAD	12"	0	DEAD	Not Viable *
YES	551	DEAD	14"	0	DEAD	Not Viable *
YES	355	SILVER MAPLE	11"	3	OK	
YES	363	SILVER MAPLE	30"	3	GOOD	
YES	364	SILVER MAPLE	24"	0	POOR	Not Viable *
YES	365	IRONWOOD	14"	0	POOR	Not Viable *
YES	367	IRONWOOD	12"	3	DECENT	
						* Not Counted as Replacement Tree
<b>Removals</b>	<b>60</b>		<b>Replace</b>	<b>73</b>	<b>88 TOTAL REPLACEMENTS/PLAN</b>	
	346	BLACK CHERRY	18"		POOR	
	353	NORWAY MAPLE	15"		POOR	
	356	IRONWOOD	12"		OK	
	359	IRONWOOD	14"		OK	
	455	BOXELDER	36"		DECENT	
	456	SILVER MAPLE	24"		GOOD	
	457	SILVER MAPLE	20"		OK	
	459	CRAB	18"		POOR	
	462	IRONWOOD	14"		OK	
	463	IRONWOOD	15"		OK TO POOR	
	464	IRONWOOD	12"		OK	
	465	IRONWOOD	24"		POOR	
	469	IRONWOOD	12"		OK	
	471	COTTONWOOD	18"		OK	
	472	IRONWOOD	18"		OK	
	474	DEAD	12"		DEAD	

## Royal Estates Condominium Tree Survey

	475	SILVER MAPLE	MS 36-42"		POOR	
	476	IRONWOOD	12"		OK	
	477	SILVER MAPLE	20"		POOR	
	478	DEAD	24"		DEAD	
	479	DEAD	30"		DEAD	
	482	IRONWOOD	24"		POOR	
	483	ELM	18"		OK	
	484	CATALPA	18"		OK	
	485	CATALPA	12"		OK	
	486	BLACK CHERRY	10"		POOR	
	487	IRONWOOD	18"		OK	
	488	IRONWOOD	15"		OK TO POOR	
	489	COTTONWOOD	36"		OK	
	490	DEAD	20"		DEAD	
	491	DEAD	12"		DEAD	
	492	DEAD	15"		DEAD	
	493	IRONWOOD	12"		POOR	
	494	COTTONWOOD	40"		OK	
	495	DEAD	MS 12-14"		DEAD	
	496	IRONWOOD	14"		OK	
	497	SILVER MAPLE	15"		OK	
	498	DEAD	15"		DEAD	
	499	DEAD	15"		DEAD	
	504	SILVER MAPLE	15"		OK	
	505	SILVER MAPLE	MS 36"		POOR	
	506	SILVER MAPLE	36"		POOR	
	507	SILVER MAPLE	24"		POOR	
	508	BLACK LOCUST	24"		POOR	
	509	IRONWOOD	24"		OK	
	510	IRONWOOD	24"		OK	
	511	SILVER MAPLE	MS 20"		OK	
	512	SILVER MAPLE	MS 30"		OK	
	513	SILVER MAPLE	MS 30"		POOR	
	514	BLACK LOCUST	MS 48"		POOR	
	515	SILVER MAPLE	MS 36"		POOR	
	516	BLACK LOCUST	MS 48"		POOR	
	517	SILVER MAPLE	MS 18"		POOR	
	518	SILVER MAPLE	MS 30"		POOR	
	519	ELM	MS 10-14"		POOR	
	520	SILVER MAPLE	14"		POOR	

# Royal Estates Condominium

## Tree Survey

	521	SILVER MAPLE	14"		POOR	
	522	SILVER MAPLE	MS 30"		OK	
	523	SILVER MAPLE	18"		OK	
	524	SILVER MAPLE	12"		POOR	
	525	DEAD	15"		DEAD	
	526	SILVER MAPLE	15"		OK	
	527	SILVER MAPLE	MS 9-15"		OK	
	528	DEAD	24"		DEAD	
	529	SILVER MAPLE	MS 36"		POOR	
	530	SILVER MAPLE	MS 14-18"		OK	
	531	SILVER MAPLE	15"		POOR	
	532	BLACK LOCUST	24"		POOR	
	533	BLACK LOCUST	20"		POOR	
	534	BLACK LOCUST	24"		POOR	
	535	SILVER MAPLE	MS 30"		POOR	
	536	SILVER MAPLE	MS 24"		POOR	
	537	SILVER MAPLE	MS 24"		POOR	
	538	BLACK LOCUST	18"		POOR	
	539	SILVER MAPLE	MS 36"		POOR	
	540	SILVER MAPLE	10"		OK	



**EXCERPTED MINUTES OF THE  
OAK CREEK PLAN COMMISSION MEETING  
TUESDAY, MARCH 14, 2023**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Carrillo, Commissioner Kiepczynski, Alderman Loreck, Mayor Bukiewicz, Alderman Guzikowski, Commissioner Oldani, Commissioner Siefert, and Commissioner Chandler. Commissioner Hanna arrived at the end of item 7a. Also present: Senior Planner Kari Papelbon and Assistant Fire Chief Mike Havey.

**PLANNED UNIT DEVELOPMENT  
OAK CREEK RESIDENCES, LLC  
9102, 9120, AND 9140 S 27<sup>TH</sup> ST.  
TAX KEY NOS. 878-9999-000, 878-9998-000, AND 878-997-000**

Senior Planner Papelbon provided an overview review a request by Chandra Sekhar Vasireddy, Oak Creek Residences, LLC, to establish a Planned Unit Development on the properties at 9102, 9120, 9140 S. 27<sup>th</sup> St. (see staff report for details).

Commissioner Hanna stated that she likes the idea that the applicant is leaving the wetland untouched and not modified, and that she supports the idea of separating the wetlands and the condominiums with potentially a decorative fencing.

Alderman Loreck stated that he would support some type of simple fencing to separate that area [wetlands].

Alderman Guzikowski stated his agreement, and that he would support some type of simple fencing.

Commissioner Siefert stated that he has concerns about parking, especially around the holidays, and asked where the visitors will park.

Jason Christensen, Nielsen Madsen & Barber, 1458 Horizon Boulevard, Racine, WI, stated that there will be a two (2) car garage with room for two (2) additional spaces in front of each unit. There may be times when a resident needs more parking, and hopefully the neighbors will be friendly enough to accommodate the resident.

Commissioner Siefert stated that a lot of people use garages as storage because there are no basements. Mayor Bukiewicz stated that is a personal choice - garages are meant to house a vehicle.

*Mayor Bukiewicz made a comment regarding condos that was partially inaudible.*

Mr. Christensen clarified that these units would have unfinished basements.

Commissioner Chandler asked the applicant for feedback on the potential fence in the buffer area. Mr. Christensen stated that there are no concerns with providing that, and that he thinks a wood split-rail fence would look pretty nice in that area. It would give a visual barrier away from the wetlands, but does not take away from the feel of the wetlands.

Commissioner Chandler referenced the material that was provided to Commissioners, stated there was a request for a maximum façade relating to the garages, and asked for more information. Senior Planner Papelbon stated that the modification request that was submitted was for the overall width of the front façade that the garages are proposed to comprise. Within the Code are specific limitations with regard to garages set in front, inline, or behind. In these configurations, they would exceed what would be allowed by Code, and therefore the modification request is asking the Plan Commission for leniency. Other items are being incorporating into the overall plans to supplement the Code requirements elsewhere.

Commissioner Chandler asked if the request is for the applicant to meet garage requirements. Senior Planner Papelbon clarified that the request is for the Plan Commission to consider allowing them to exceed what is allowed by Code.

Commissioner Chandler asked the applicant for feedback on exceeding the Code. Mr. Christensen explained that the developer believes two (2) car garages are necessary for these condo units, but due to the site limitations, the garages take up a fair amount of the front façade. Mr. Christensen explained that if they were to widen the units to meet the Code requirements, they would lose four (4) units.

Commissioner Hanna asked how the road would be maintained. Mr. Christensen stated that it would be maintained by the association.

Assistant Fire Chief Havey stated the development has come a long way, and the Fire Department is satisfied with the development and the site layout.

Mayor Bukiewicz asked if the buildings will be sprinkled. Assistant Fire Chief Havey stated that is correct, the units will have an automatic suppression system.

Mayor Bukiewicz asked to confirm that there will be fire hydrants in the development. Assistant Fire Chief Havey said that is correct, the utilities will be provided by the Water Utility Department.

Mayor Bukiewicz asked if there was a concern about only having one (1) entrance in. Assistant Fire Chief Havey stated that the reliability of that area of road is not a large concern for the Fire Department at this point. There were concerns with previous proposals, but with how the section of road was moved and shortened, it should not be an issue.

Marvin Hunt, 2537 W. Hilltop Lane:

*"I just had a question on where that buffer zone is there. I think at one time it started that it was 25 or 30 feet away our existing south property line or am I mistaken on that?"*

Mayor Bukiewicz stated that, with the current proposal, he is seeing a 20-foot-wide preservation easement and goes to 30 feet.

Mr. Hunt:

*"Okay, so that's taking in the ten (10) foot easement from our property line to the existing property and so forth, right? And I know she said it went through and there's trees that they're keeping?"*

Mayor Bukiewicz explained that the applicant is doing a tree preservation plan as part of the new Code. The applicant will go through the trees, and if there is a tree that is dead, dying, or some type of ash tree, it will go, the rest will stay, but be enhanced to City standards.

Mr. Hunt:

*"Well, I'd like to talk to that gentleman when he comes around there, and just show him a few things that I've learned through working"*

Mayor Bukiewicz state that it would be up to the applicant to hire a certified arborist to go through the trees.

Mr. Christensen explained that in the 20-foot tree preservation area there are some dead trees and invasive trees, but they will be supplemented with new plantings in that area. Towards the end of the project, if there are some bare spots, they will plant additional trees to fill in those areas.

Mark Verhalen, 9330 S. Nicholson Road:

*"As most of you know, I've sat on commissions and alderman for a while and whatever here, but on a lot of the other developments similar to this have come before various bodies in the past we always required, if there wasn't any room for a second egress and access we always, for safety purposes, put a divided entrance in and there's multiple places where this was done in Oak Creek, where they couldn't conform to having the two (2) and basically it gives anybody that's got to come in for emergency it's just got median strips so there's a lane in and lane out so if one happens to be blocked they can still have access and get into the development. That's the only thing I was hoping that maybe could be done for this too. Make it a lot safer for everybody involved, I think."*

Mayor Bukiewicz stated that the City could take a look at that.

Commissioner Kiepczynski stated that they would have to work with the State on that as well because they have restrictions on entrance widths.

Mr. Christensen explained that because this is a private roadway, it will be a permit for a driveway connection to the State highway, so the options might be limited.

Mayor Bukiewicz stated that he thinks the proposal is a creative use of the land. He asked if the street lighting will meet City Code, and whether it will have to match what the City does. Senior Planner Papelbon stated that the developer does not need to match City lightpoles, but will need to meet requirements for fixtures.

Mayor Bukiewicz asked if there would be sidewalks. Senior Planner Papelbon stated that there are no proposed sidewalks in the development, but there are walking paths.

Senior Planner Papelbon requested that when the applicant comes back for the site and building plan review, they identify mailbox locations.

Mayor Bukiewicz asked if there would be a monument sign. Senior Planner Papelbon stated that there is one (1) monument sign location that has been identified, and as long as it meets all the setback requirements and design requirements per Code, that is something that would be handled at a permit level.

Mary Hunt, 2537 W. Hilltop Lane:

*"When we met with them, we'd asked about paving that path instead of woodchips and then we suggested the doggy place, for the people that walk their animals there's some place to put their trash instead of out on the street. The little wastepaper baskets for dogs and that the lighting just be [inaudible] and we'd like cedars behind our house, so we don't have to look at buildings."*

Mayor Bukiewicz asked Ms. Hunt if she was aware that the walking path would not be for public use and would only be open to the residents of the development.

Ms. Hunt:

*"He told us it was open to all of us."*

Mr. Christensen stated that this is a private development, and the walking path is intended for the residents of the Condo Association. That does not mean the Association will not be generous to the neighbors.

Ms. Hunt:

*"When we met with them, he said it was open to the public. The walking paths to the wetlands."*

Mayor Bukiewicz reiterated that it is a private development.

Ms. Hunt:

*"Well, I understand that, but now they're changing their mind again. Ya know, just like 30 feet is down to 20 feet from our property."*

Rajani Yepuri, 420 Woodland Chase Lane, Vernon Hills, IL, explained that if the property is owned by him and rented out, then it will be his call. But if it is homeowner-occupied property, the developer cannot control. Mr. Yepuri stated that if it is controlled by the applicants, they will let everyone come in. But if the Homeowner's Association is controlling, that is private property and they must take care of the path.

Alderman Loreck moved that the Plan Commission recommends to the Common Council that a Planned Unit Development is approved on the properties at 9102, 9120, 9140 S. 27th St. after a public hearing and subject to conditions and restrictions that will be prepared for the Commission's review at their next meeting (March 28, 2023).

Commissioner Siepert seconded. On roll call: all voted aye. Motion carried.

ATTEST:

  
\_\_\_\_\_  
Kari Papellon, Plan Commission Secretary

3-28-23  
\_\_\_\_\_  
Date

**EXCERPTED MINUTES OF THE  
OAK CREEK PLAN COMMISSION MEETING  
TUESDAY, MARCH 28, 2023**

Mayor Bukiewicz called the meeting to order at 6:02 p.m. The following Commissioners were present at roll call: Mayor Bukiewicz, Alderman Guzikowski, Commissioner Oldani, Commissioner Siepert, and Commissioner Chandler. Commissioner Hanna, Commissioner Carrillo, Commissioner Kiepczynski, and Alderman Loreck were excused. Also present: Senior Planner Kari Papelbon and Assistant Fire Chief Mike Havey.

**CONDITIONS AND RESTRICTIONS  
OAK CREEK RESIDENCES, LLC  
9102, 9120, AND 9140 S. 27<sup>TH</sup> ST.  
TAX KEY NOS. 878-9999-000, 878-9998-000, AND 878-9997-000**

Senior Planner Papelbon provided an overview of the Conditions and Restrictions for the residential Planned Unit Development on the properties at 9102, 9120, and 9140 S. 27<sup>th</sup> St. (see staff report for details).

Senior Planner Papelbon discussed the following proposed Conditions and Restrictions:

Section 2

- Home Designs
- Master Landscape Plan required

Section 3

- Maximum 10 buildings, 36 units
- Attached garages per Exhibit B
- Building material allowances
- Deed restrictions & bylaws required
- Accessory structures, pet relief
- Roads, path, trash, snow private

Section 4

- Access to 27<sup>th</sup> St. per WisDOT
- Minimum two (2) car garage /unit
- Minimum 20-foot clear area required

Section 5

- Lighting per Code

Section 6

- Impact Fees

Section 7

- Dimensional Standards

Anthony Garza, TGAR Group, Inc., 1213 55<sup>th</sup> St., Kenosha, WI, 53140, stated that he and the owners were available for questions.

Mayor Bukiewicz asked if the Fire Department had any other concerns with the presented roads or access. Senior Planner Papelbon explained that the 20-foot clearance for

emergency services must be maintained, and fire suppression systems for each building will be required.

Commissioner Siepert moved that the Plan Commission recommends that the Common Council adopts the Conditions and Restrictions as part of the Planned Unit Development submitted by Chandra Sekhar Vasireddy, Oak Creek Residences, LLC for the properties at 9102, 9120, 9140 S. 27th St.

Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

ATTEST:



\_\_\_\_\_  
Kari Papelbon, Plan Commission Secretary

4-11-23

\_\_\_\_\_  
Date

**City of Oak Creek – Planned Unit Development (PUD)  
DRAFT Conditions and Restrictions**

**Applicant:** Chandra Sekhar Vasireddy,  
Oak Creek Residences, LLC  
**Property Address(es):** 9102, 9120, 9140 S. 27<sup>th</sup> St.  
**Tax Key Number(s):** 878-9999-000, 878-9998-000, &  
878-9997-000

**Approved by Plan Commission:** 3-28-23  
**Approved by Common Council:** TBD  
(Ord. 3071)

1. LEGAL DESCRIPTION

Part of the Northwest 1/4 and part of the Northeast 1/4 of the Southwest 1/4 of Section 19, Township 5 North, Range 22 East of the Fourth Principal Meridian; more particularly bounded and described as follows: Commencing at the Northwest corner of the Southwest 1/4 of said Section 19; thence N89°18'11"E, 80.00 feet along the North line of the Southwest 1/4 of said Section 19 to a point on the East right-of-way line of South 27th Street - State Trunk Highway "241" (S.T.H. "241"), thence S00°16'55"E, 9.07 feet parallel with the West line of the Southwest 1/4 of said Section 19 and along the East right-of-way line of said South 27th Street - S.T.H. "241" to the point of beginning of this description; thence N89°20'27"E, 1684.84 feet; thence S00°16'55"E, 370.59 feet parallel with the West line of the Southwest 1/4 of said Section 19; thence S89°21'09"W, 1684.84 feet to a point on the East right-of-way line of said South 27th Street - S.T.H. "241"; thence N00°16'55"W, 370.25 feet parallel with the West line of the Southwest 1/4 of said Section 19 and along the East right-of-way line of said South 27th Street - S.T.H. "241" to the point of beginning of this description. Said land being in the City of Oak Creek, County of Milwaukee, State of Wisconsin. Subject to a 30.00 foot wide road reservation over the Easterly 30.00 feet thereof.

Containing 624,082 square feet or 14.327 acres. Lot 1 of a Certified Survey Map to be recorded.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.
- B. A precise detailed site plan for the area affected by the Planned Unit Development shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building permits for each phase. This plan shall be in substantial conformance with the adopted General Development Plan (see Exhibit A) and show and describe the following:

1) **General Development Plan**

- a) Detailed building/structure location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion/phases
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
  - i) Location(s) and future expansion
  - ii) Number & type(s) of dwellings
  - iii) Number of all parking spaces
  - iv) Dimensions
  - v) Setbacks
- h) Location(s) of loading berth(s)
  - i) Location of sanitary sewer (existing & proposed)
  - j) Location of water (existing & proposed)

2) **Landscape Plan**

- 1. Screening plan, including parking lot screening/berming
- 2. Number, initial & mature sizes, and types of plantings
- c) Percentage open/green space

3) **Building Plan**

- a) Architectural elevations (w/dimensions)
- b) Building floor plans (w/dimensions)
- c) Materials of construction (including colors)

4) **Lighting Plan**

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) **Grading, Drainage and Stormwater Management Plan**

- 1. Contours (existing & proposed)
- 2. Location(s) of storm sewer (existing and proposed)



- k) Location of storm sewer (existing & proposed)
  - l) Location(s) of wetlands (field verified)
  - m) Location(s) and details of sign(s)
  - n) Location(s) and details of proposed fences/gates
- 3. Location(s) of stormwater management structures and basins (if required)
- 6) Fire Protection**
    - a) Locations of existing & proposed fire hydrants
    - b) Interior floor plan(s)
    - c) Materials of construction
    - d) Materials to be stored (interior & exterior)
- C. Homes constructed within this planned unit development shall be of the three (3) approved designs (see Exhibit B).
- D. All plans for additions, site modifications, and landscaping shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.
- E. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.
- F. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements (e.g., Apple Creek Dr., etc.) required in Item 2(B) above, and/or as specified by these Conditions and Restrictions.
- G. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- H. All future land divisions shall follow subdivision plat, and/or condominium plat, and/or certified survey map procedures. If required by the Common Council, a development agreement shall be completed between the owner and the City prior to approval of said land division document to ensure the construction/installation of public improvements required in these Conditions and Restrictions, Chapter 14 (as amended), and all other applicable Sections of the Municipal Code (as amended).
- I. Prior to the issuance of any permits for any portion of the development, the Applicant/landowner shall submit all City-approved Certified Survey Maps for recording.
- J. A Master Landscaping Plan for the overall development shall be submitted to the Plan Commission for approval prior to the review of any project within the Planned Unit Development. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit. Landscaping, in accordance with the approved plan, shall be installed for each phase prior to the issuance of occupancy permits for that phase.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. There shall be a maximum of 10 single-family attached buildings, and a maximum of 36 single-family attached units. Each unit shall have an attached 2-car garage.
- B. Attached garages shall be constructed per the three (3) approved designs in Exhibit B. Any garage configuration that does not conform to those in Exhibit B shall be constructed in conformance with Sec. 17.0403(d) of the Municipal Code (as amended).

- C. Exterior building materials shall be traditional, time- and weather-tested materials and techniques.
1. Exterior building materials utilized on the ground floor shall be limited to wood, masonry, stucco, fiber cement, or stone veneer systems. Stone veneer systems utilized on the ground floor shall have a minimum thickness of three (3) inches.
  2. Exterior building materials utilized on upper floors may include all materials permitted on the ground floor as well as EIFS, stone veneer systems, or precast panels with inlaid or stamped brick texture. All materials utilized on upper floors shall have a minimum thickness of one (1) inch and shall be structurally integrated into the façade of the building.
- D. Deed restrictions (private) and condominium by-laws, while not enforceable through the City, (to the extent they do not violate Municipal Code or these conditions and restrictions) shall be reviewed and approved by the Plan Commission prior to the development of each phase.
- E. One (1) accessory structure (gazebo) not to exceed 15' (l) x 15' (w) x 20' (h) and one (1) stormwater pond overlook deck/pavilion not to exceed 15' x 10' are allowed for the development. Any other accessory building or structure shall conform to all applicable Code requirements.
- F. There shall be a minimum of one (1) pet relief waste station provided for the development.
- G. Maintenance, including reconstruction, of roadways and sidewalks/walkways/paths within this development shall be the responsibility of the property owner(s).
- H. All solid waste and recycling collection units shall be screened and sited in conformance with Municipal Code requirements. Solid waste collection and recycling shall be the responsibility of the property owner(s).
- I. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the property owner(s).

#### 4. PARKING AND ACCESS

- A. Access to S. 27<sup>th</sup> St. (STH 100) in accordance with executed agreements and access management plans is subject to the review and approval of the Wisconsin Department of Transportation. Such approval shall be provided to the City prior to the issuance of any building permits.
- B. Each residential unit shall have, at a minimum, an attached two-car garage in accordance with Section 3 above. Parking for additional vehicles on the driveway shall not obstruct the private roadways.
- C. A minimum 20-foot wide clear area on all private roadways shall be maintained at all times.

#### 5. LIGHTING

- A. All plans for new outdoor lighting shall be reviewed and approved by the Plan Commission and Electrical Inspector.
- B. All outdoor lighting shall be designed and constructed in accordance with Section 17.0509 of the Municipal Code (as amended).

6. IMPACT FEES

Single-family attached residential buildings constructed as part of this Planned Unit Development shall be subject to the collection of impact fees as required by Section 3.40 of the Municipal Code.

7. BULK AND DIMENSIONAL REQUIREMENTS, SETBACKS

<b>Lot Standards (Minimum)</b>	
Lot Area (excluding wetlands)	15,000 sq ft
Lot Area/DU (square feet)	7,500
Lot Width	100 ft
<b>Yard Setbacks (Minimum) (1)</b>	
Front	30 ft
Street Facing Side	30 ft
Interior Side	
North (inclusive of 20-foot Woodland Buffer)	50 ft
South	10 ft
Rear	30 ft
<b>Building Standards (Maximum)</b>	
Height	35 ft
Building Coverage	50%
Lot Coverage	--
<b>Parking</b>	
Transition areas	See Sec. 17.0505
<b>Notes:</b>	
(1) Setbacks from wetlands shall be a minimum of fifty (50) feet with a five (5) foot undisturbed buffer.	

8. TIME OF COMPLIANCE

The operator of the Planned Unit Development shall commence work in accordance with these Conditions and Restrictions within twelve (12) months from the date of adoption of the ordinance authorizing this Planned Unit Development. This Planned Unit Development approval shall expire twelve (12) months after the date of adoption of the ordinance if a building permits have not been issued for this use. The applicant shall re-apply for Planned Unit Development approval prior to recommencing work or construction.

9. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

10. VIOLATIONS & PENALTIES

Any violations of the terms of this Planned Unit Development shall be subject to enforcement and the

issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Planned Unit Development is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the City shall have the right to revoke this Planned Unit Development, subject to the provisions of paragraph 10 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Planned Unit Development or to seek an injunction regarding any violation of this Planned Unit Development or any other City ordinances.

11. REVOCATION

Should an applicant, their heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Planned Unit Development approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Planned Unit Development as set forth in Section 17.1007 of the Municipal Code (as amended).

12. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

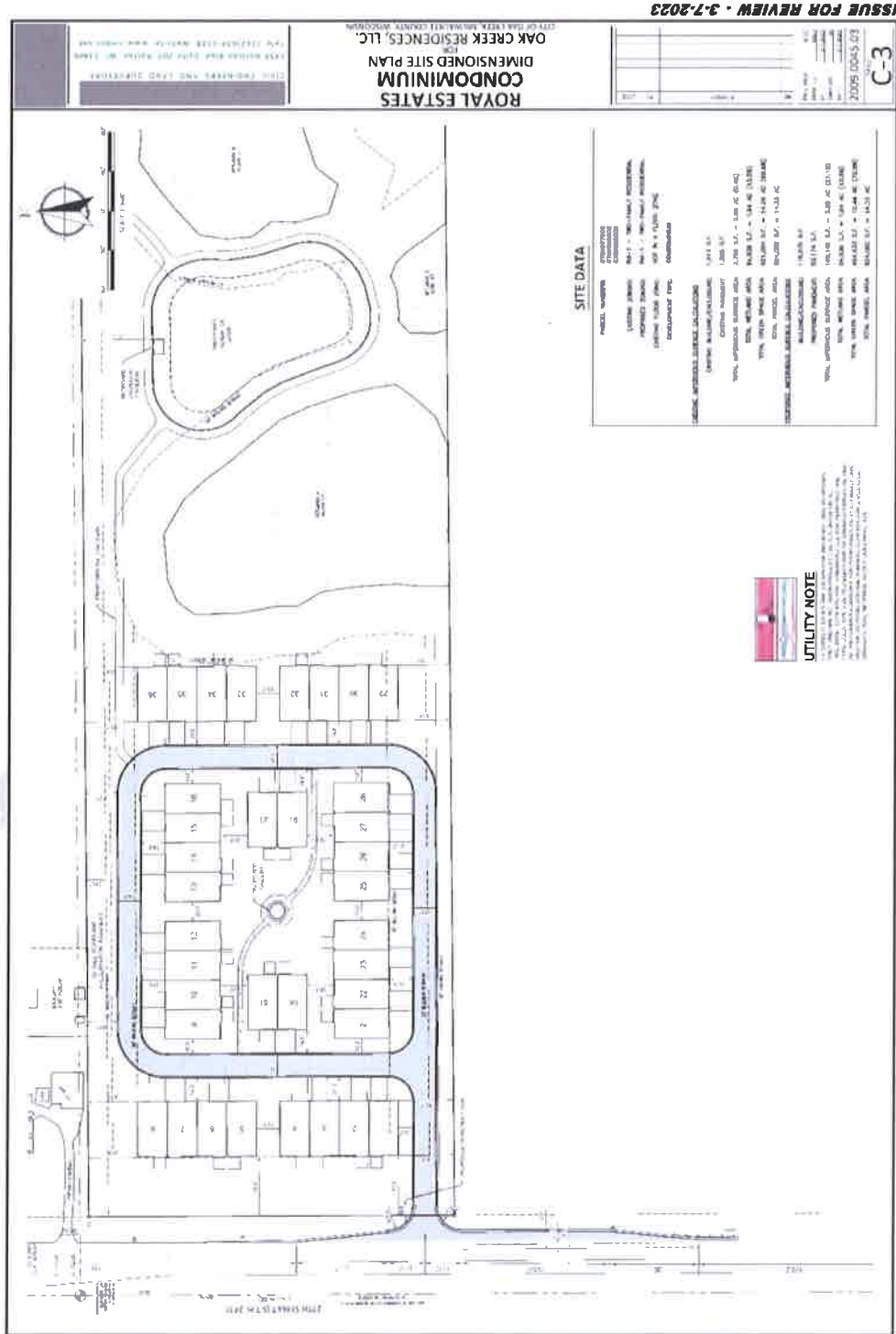
\_\_\_\_\_  
Owner / Authorized Representative Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
(please print name)

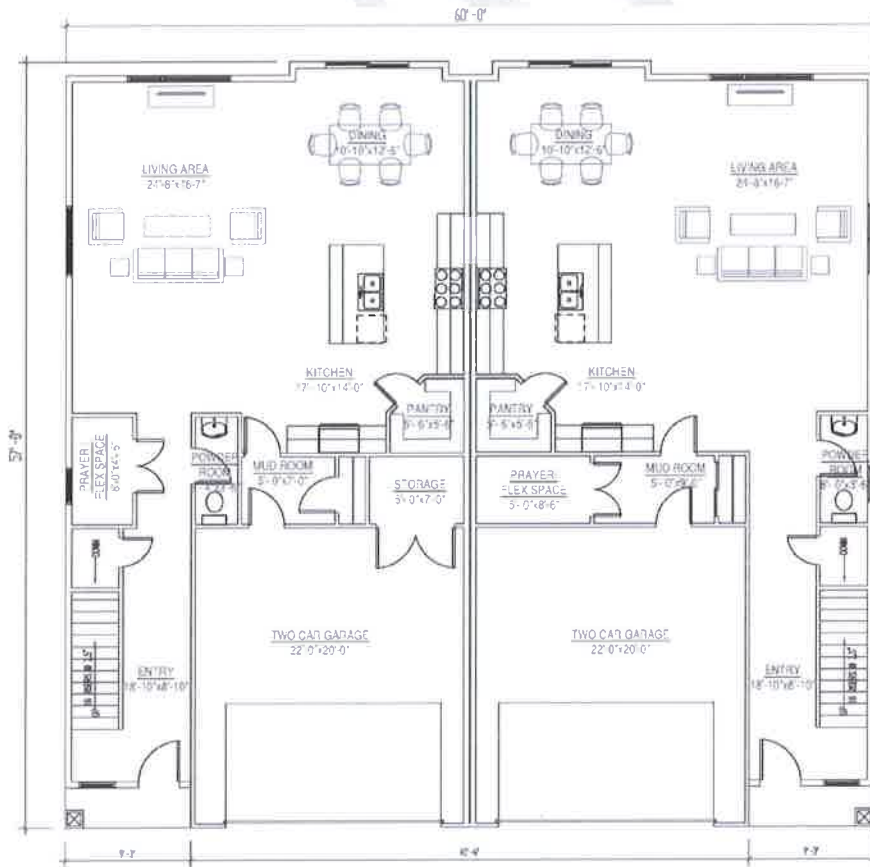
# EXHIBIT A: GENERAL DEVELOPMENT PLAN

(For illustrative purposes only. Detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be approved by the Plan Commission.)



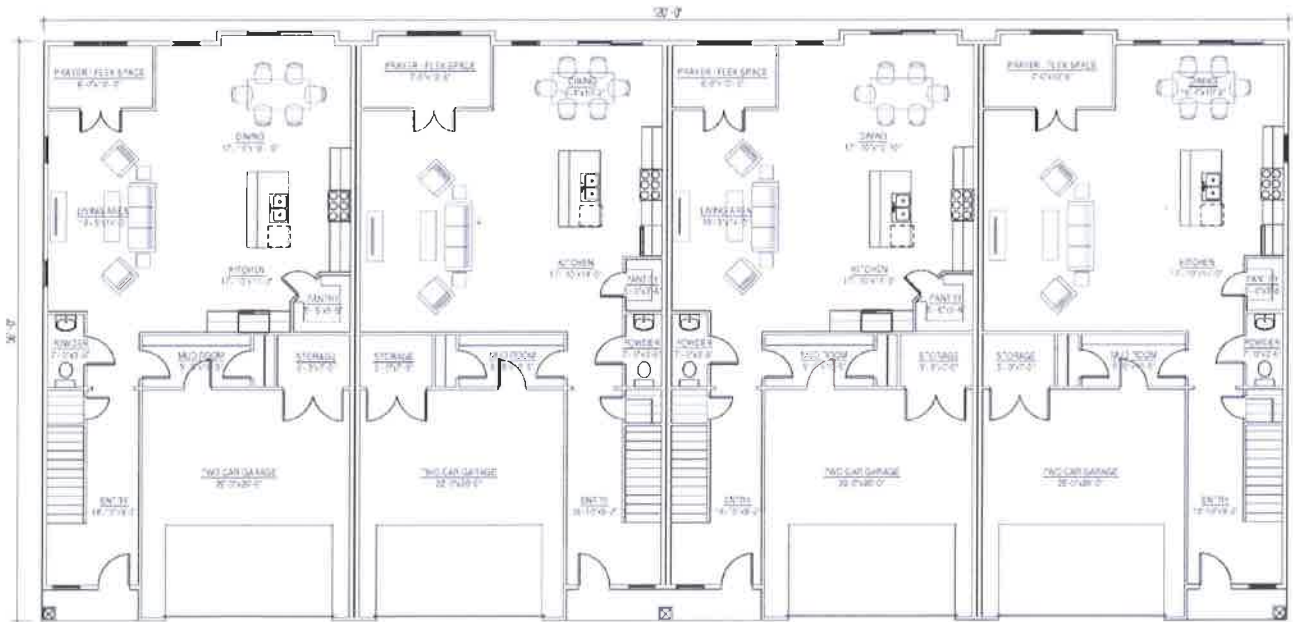
## EXHIBIT B: APPROVED HOME AND GARAGE DESIGNS

(For illustrative purposes only. Detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be submitted for and receive building permits.)



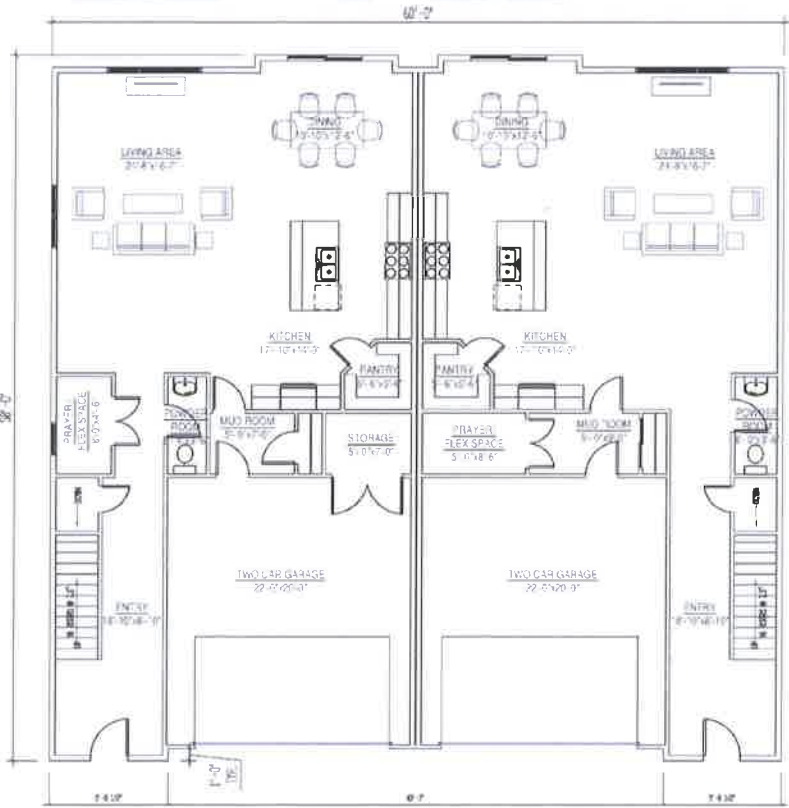
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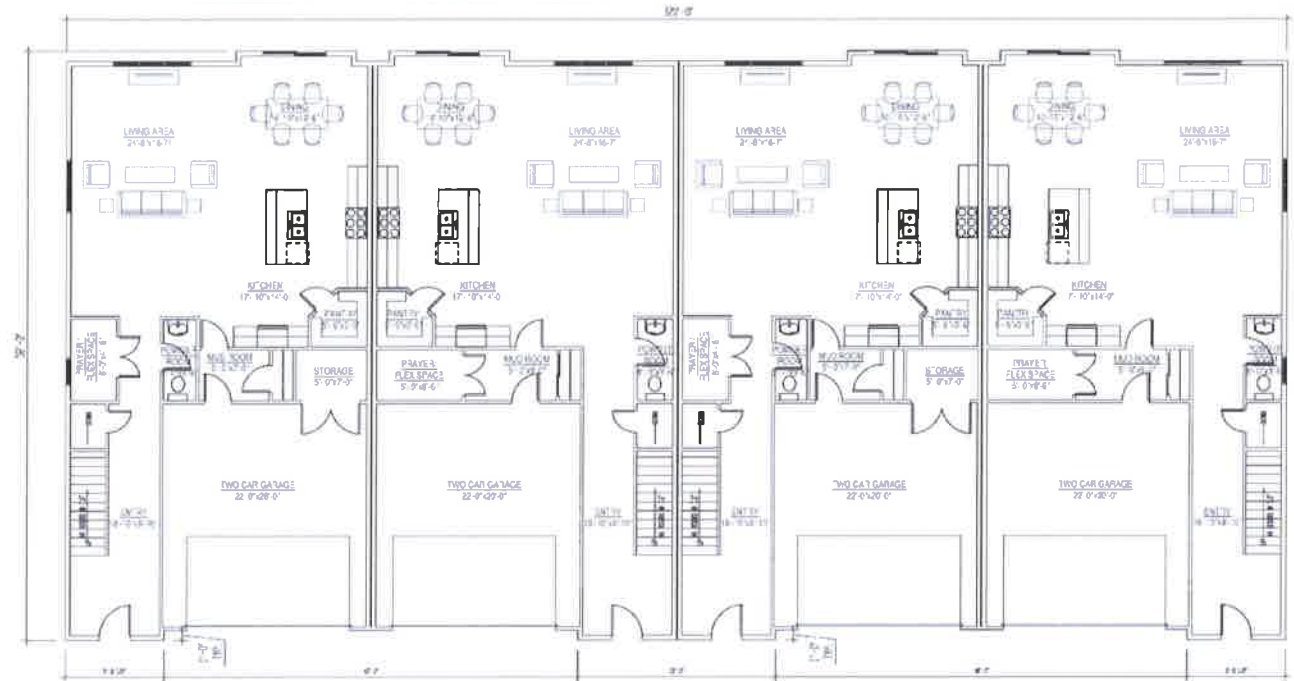
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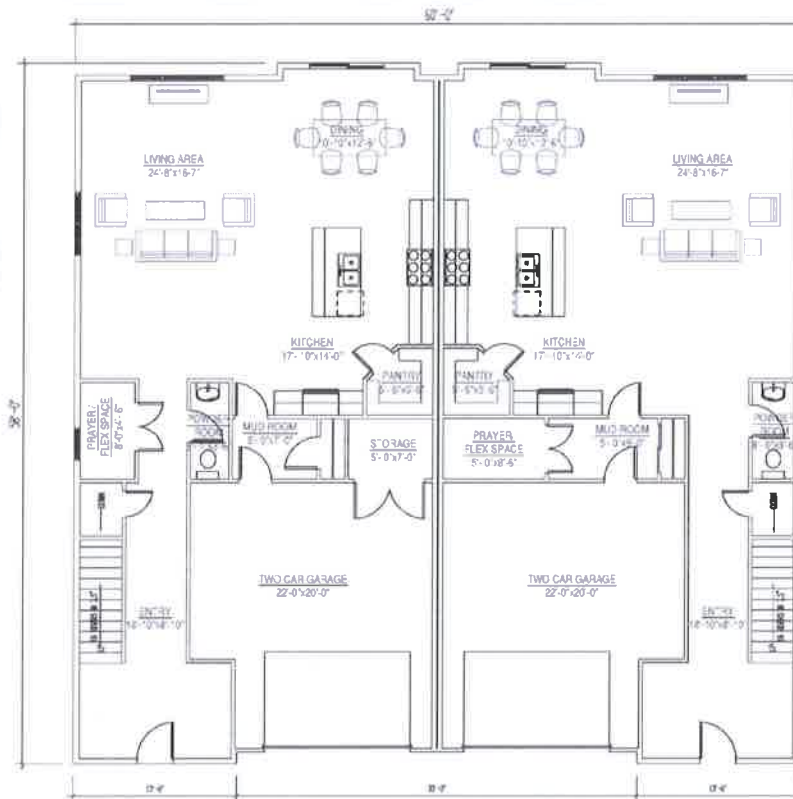
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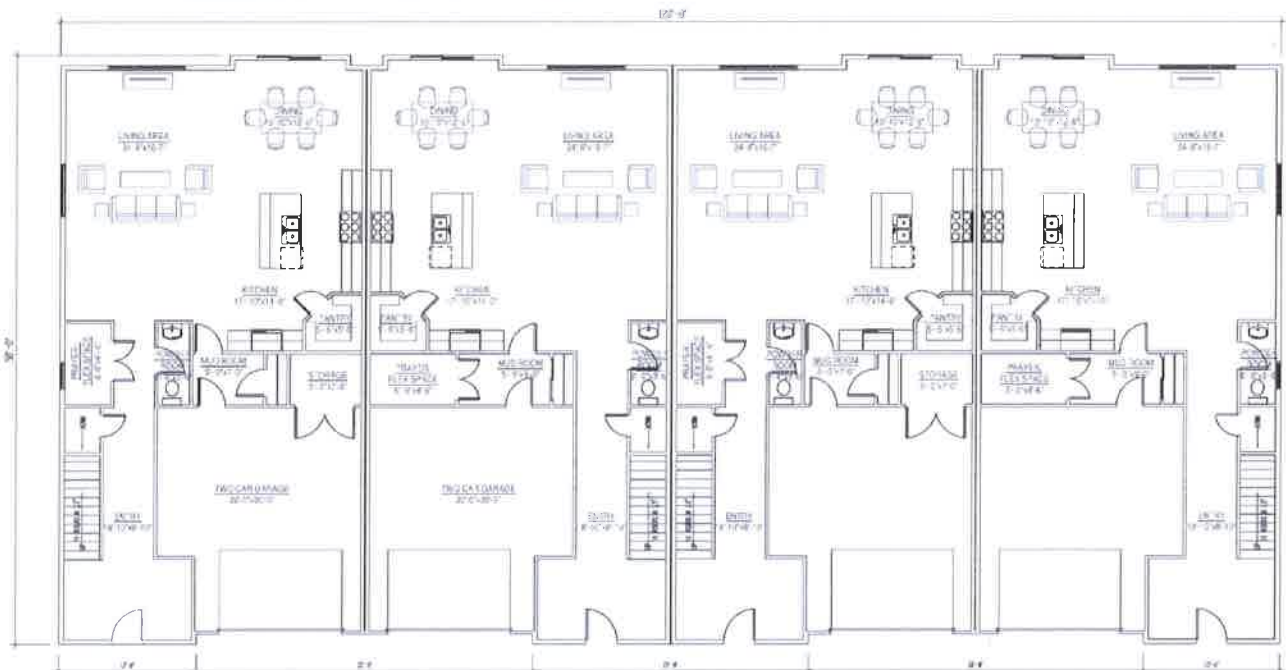
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(For illustrative purposes only. Detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be submitted for and receive building permits.)



## EXHIBIT B: APPROVED HOME AND GARAGE DESIGNS

(For illustrative purposes only. Detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be submitted for and receive building permits.)



TO BE PUBLISHED APRIL 12 & 19, 2023

OFFICIAL NOTICE

**NOTICE OF PUBLIC HEARING  
BEFORE THE OAK CREEK COMMON COUNCIL**

**PURPOSE:**

The purpose of this public hearing is to consider a request submitted by Ryan Swingruber, CR Devco, LLC, for an amendment to Section 8, Time of Compliance, of the existing Planned Unit Development affecting portions of the properties at 2231 W. Puetz Rd., 8843 S. 13th St., and 8950 S. 20th St.

**Hearing Date:** May 2, 2023

**Time:** 7:00 PM

**Place:** Oak Creek Civic Center (City Hall)  
8040 South 6<sup>th</sup> Street  
Oak Creek, WI 53154  
Common Council Chambers

**Applicant(s):** Ryan Swingruber, CR Devco, LLC

**Property Owner(s):** CCR HERZEBROCK II LTD PARTNERSHIP & WRE HERZEBROCK III LTD PRTRNSHP

**Property Location(s):** 2231 W. Puetz Rd., 8843 S. 13th St., and 8950 S. 20th St.

**Tax Key(s):** 856-9999-001, 857-9992-000, 857-9991-000 (portions)

**Legal Description of the PUD:**

Lot 1 of a Certified Survey Map to be recorded.

Part of the Northeast 1/4 and the Northwest 1/4 of Section 19, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin, bounded and described as follows:

Beginning at the North 1/4 corner of said Section 19; thence South 0°17'46" West, 667.33 feet along the east line of the NW 1/4 of said Section 19; thence North 89°30'42" East, 1190.85 feet to the west line of I-94; thence South 0°04'01" West, 1331.67 feet along said west line; thence South 89°22'45" West, 1196.23 feet to said east line of the Northwest 1/4; thence North 0°17'46" East, 898.27 feet along said east line; thence South 89°14'48" West, 514.48 feet; thence North 0°07'58" West, 1103.12 feet to the north line of the Northwest 1/4 of said Section 19; thence North 89°12'41" East, 522.75 feet along said north line to the point of beginning.

Said parcel contains 2,163,094 square feet or 49.658 acres of land, more or less.

The Common Council has scheduled other public hearings for May 2, 2023 at 7:00 PM. This hearing may begin at 7:00 PM or as soon as possible following the conclusion of other public hearings.

Any person(s) with questions regarding the proposed change may call the Department of Community Development at (414) 766-7000, during regular business hours.

Date of Notice: April 5, 2023  
CITY OF OAK CREEK COMMON COUNCIL  
By: Daniel J. Bukiewicz, Mayor

**PUBLIC NOTICE**

PLEASE NOTE: Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, or by writing to the ADA Coordinator at the Health Department, City Hall, 8040 South 6<sup>th</sup> Street, Oak Creek, Wisconsin 53154.



## COMMON COUNCIL REPORT

- Item:** Planned Unit Development Amendment - 2231 W. Puetz Rd., 8843 S. 13th St., and 8950 S. 20th St. - CR Devco, LLC (Heyday)
- Recommendation:** That the Council adopts Ordinance 3072, an ordinance to approve an Amendment to Section 8, Time of Compliance, of the Planned Unit Development on the properties at 2231 W. Puetz Rd., 8843 S. 13th St., and 8950 S. 20th St. (6<sup>th</sup> District).
- Fiscal Impact:** No direct fiscal impacts are anticipated with this amendment. These properties are located within TID 7.
- Critical Success Factor(s):**
- Vibrant and Diverse Cultural Opportunities
  - Thoughtful Development and Prosperous Economy
  - Safe, Welcoming, and Engaged Community
  - Inspired, Aligned, and Proactive City Leadership
  - Financial Stability
  - Quality Infrastructure, Amenities, and Services
  - Not Applicable

**Background:** In May of 2022, the Applicant, with support of the current property owners, requested approval for portions of the properties at 2231 W. Puetz Rd., 8843 S. 13th St., and 8950 S. 20th St. to be rezoned to Rd-1, Two-Family Residential Planned Unit Development (PUD). While the request was ultimately approved with Conditions and Restrictions in Ord. 3049 (attached), due to unforeseen circumstances, the requirement for commencement of work onsite within 12 months of the approval date in Section 8 will not be met. The Applicants are therefore requesting an extension to allow sufficient time to obtain the remaining local approvals, close on the land, and commence work on the development. While a timeframe was not specified, staff recommend a new expiration date of 18 months following Council approval.

Included with this report for Council consideration are amended Conditions and Restrictions incorporating the recommended expiration date. After careful consideration at the March 28, 2023 meeting, the Plan Commission recommended approval subject to the attached Conditions and Restrictions.

**Options/Alternatives:** Council has the discretion to modify the proposed Conditions and Restrictions as part of the approval of the Planned Unit Development Amendment, or deny the request.

Prepared and Respectfully submitted:

Andrew J. Vickers, MPA  
City Administrator

Approved:

Kari Papelbon, CFM, AICP  
Senior Planner

Fiscal Review:

*Maxwell Gagin*

Maxwell Gagin, MPA

Assistant City Administrator / Comptroller

Approved:



Douglas W. Seymour, AICP

Director of Community Development

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Attachments:

Location Map

Ord. 3072

Narrative (1 page)

Plan Commission Excerpted Minutes (3 pages)

Draft Amended C&Rs (10 pages)

ORDINANCE NO. 3072

By: \_\_\_\_\_

AN ORDINANCE TO APPROVE AN AMENDMENT TO SECTION 8, TIME OF COMPLIANCE, OF THE PLANNED UNIT DEVELOPMENT (PUD) ON THE PROPERTIES AT 2231 W. PUETZ RD., 8843 S. 13<sup>TH</sup> ST., AND 8950 S. 20<sup>TH</sup> ST.

(6<sup>th</sup> Aldermanic District)

WHEREAS, on August 16, 2022, the Oak Creek Common Council adopted Ordinance No. 3049, approving the rezone of properties located at 2231 W. Puetz Rd., 8843 S. 13<sup>th</sup> St., and 8950 S. 20<sup>th</sup> St. to Rd-1, Two-Family Residential (NO CHANGE to FW, Floodway; FF, Flood Fringe; or C-1, Shoreland Wetland Conservancy Districts) Planned Unit Development (PUD); and

WHEREAS, that ordinance affected the following legally described properties;

Lot 1 of Certified Survey Map to be recorded.

Part of the Northeast 1/4 and the Northwest 1/4 of Section 19, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin, bounded and described as follows:

Beginning at the North 1/4 corner of said Section 19; thence South 0°17'46" West, 667.33 feet along the east line of the NW 1/4 of said Section 19; thence North 89°30'42" East, 1190.85 feet to the west line of I-94; thence South 0°04'01" West, 1331.67 feet along said west line; thence South 89°22'45" West, 1196.23 feet to said east line of the Northwest 1/4; thence North 0°17'46" East, 898.27 feet along said east line; thence South 89°14'48" West, 514.48 feet; thence North 0°07'58" West, 1103.12 feet to the north line of the Northwest 1/4 of said Section 19; thence North 89°12'41" East, 522.75 feet along said north line to the point of beginning.

Said parcel contains 2,163,094 square feet or 49.658 acres of land, more or less.

WHEREAS, the developer, CR Devco, LLC, with support of the landowners, is now requesting that Section 8, Time of Compliance, in the Conditions and Restrictions adopted pursuant to Ordinance No. 3049 be amended to allow for an additional 18 months to commence work on the PUD; and

WHEREAS, the Plan Commission reviewed the application and recommended that the requested amendment be approved; and

WHEREAS, the Common Council held a public hearing on said application on May 2, 2023, at which time all interested parties appeared and were heard; and

NOW, THEREFORE, BE IT RESOLVED, the Common Council of the City of Oak Creek does hereby ordain as follows:

SECTION 1: To promote the general welfare, public safety and general planning within the City of Oak Creek, the Conditions and Restrictions adopted pursuant to

Ordinance No. 3049 affecting the lands hereinabove described, are amended as follows: Section 8, Time of Compliance, is revised to read

8. TIME OF COMPLIANCE. The operator of the Planned Unit Development shall commence work in accordance with these Conditions and Restrictions within eighteen (18) months from the date of adoption of the ordinance authorizing this Planned Unit Development. This Planned Unit Development approval shall expire eighteen (18) months after the date of adoption of the ordinance if a building permits have not been issued for this use. The applicant shall re-apply for Planned Unit Development approval prior to recommencing work or construction.

SECTION 2: The several sections of this ordinance are declared to be severable. If any section shall be declared by a decision of a court of competent jurisdiction to be invalid, such decision shall not affect the validity of other provisions of this ordinance.

SECTION 3: All ordinances or parts of ordinances contravening the provisions of this ordinance are hereby repealed.

SECTION 4: This ordinance shall take place contemporaneously with the enactment of this ordinance and shall take effect immediately upon its passage and publication.

Passed and adopted this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
President, Common Council

Approved this \_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Mayor

ATTEST:

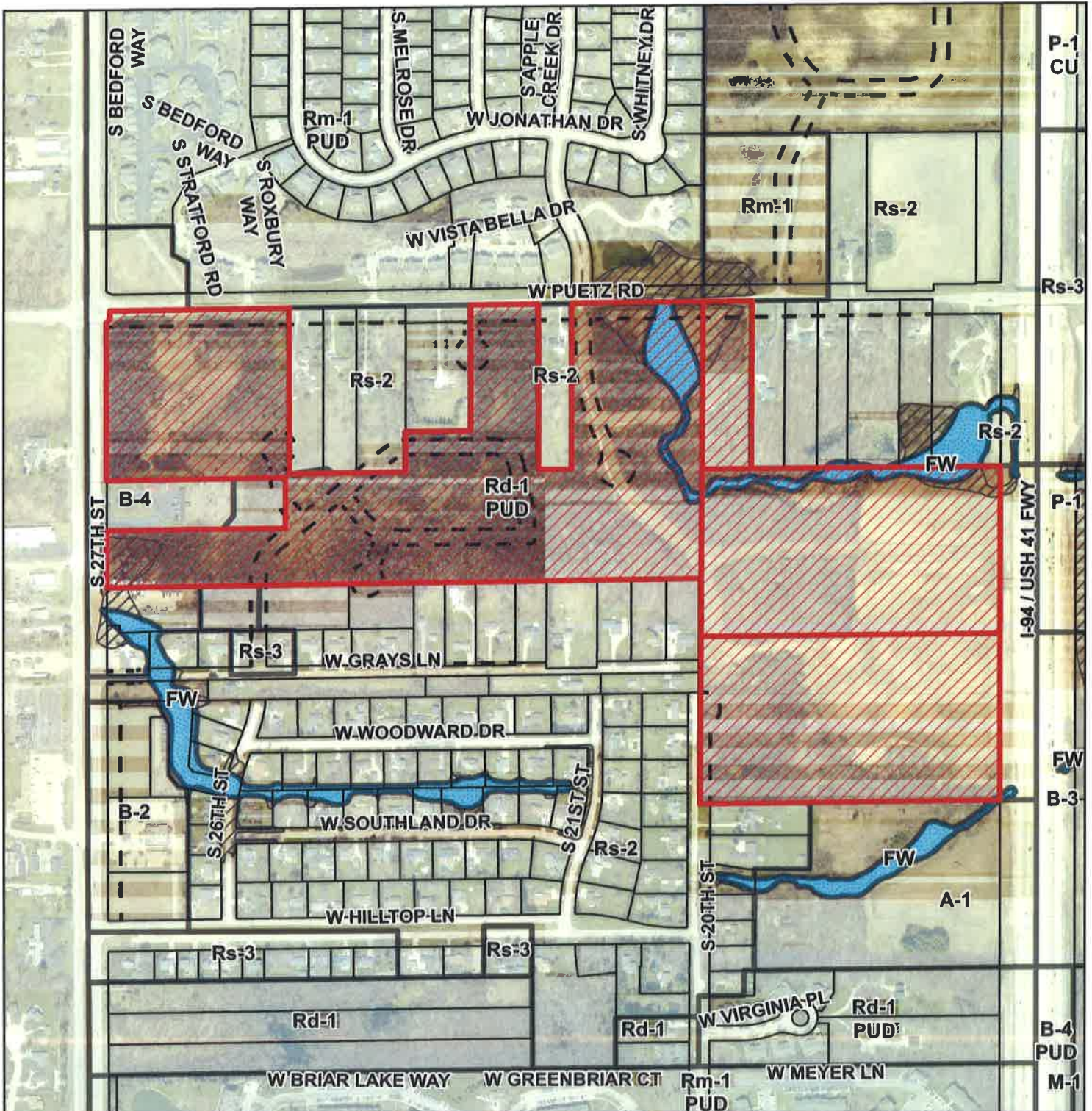
\_\_\_\_\_  
City Clerk

VOTE: Ayes \_\_\_\_\_ Noes \_\_\_\_\_



# LOCATION MAP

2231 W. Puetz Rd., 8843 S. 13th St., 8950 S. 20th St.



This map is not a survey of the actual boundary of any property this map depicts.

## Legend

- Zoning
- Official Map
- Floodway
- Flood Fringe
- Subject Properties



Community Development

0 0.04 0.07 0.14 Miles





3400 W. Stonegate Blvd / STE 25-00

Arlington Heights IL, 60005

To: Kari Papelbon  
From: Heyday Oak Creek  
CC: Doug Seymour  
Date: 3/6/23  
Re: Heyday Oak Creek – PUD Amendment

---

Kari,

Attached please find a PC application requesting the following.

- Certified Survey Map.
- Amendment to PUD

CSM – The attached CSM is 99% identical to the previously approved CSM. The only revision is account for additional easement as requested by staff in the review of engineering plans submitted since the original CSM approval. The new CSM will also afford us additional time to finalize approvals and close on the land purchase prior to the recordation of the CSM.

PUD Amendment – The PUD amendment is a request for additional time, to allow us to receive our final approvals from the city, close on the land, and begin construction. Our current PUD approval will expire prior to us starting construction.

Sincerely,

Ryan Swingruber

Principal, CR Devco dba Heyday

**City of Oak Creek – Planned Unit Development (PUD)  
DRAFT AMENDED Conditions and Restrictions**

<b>Applicant:</b>	CR Devco, LLC ("Heyday")	<b>Approved by Plan Commission:</b> TBD
<b>Property Address(es):</b>	2231 W. Puetz Rd., 8843 S. 13 <sup>th</sup> St., 8950 S. 20 <sup>th</sup> St. (portions)	<b>Approved by Common Council:</b> TBD (Ord. TBD)
<b>Tax Key Number(s):</b>	856-9999-001, 857-9992-000, 857-9991-000 (portions)	

**1. LEGAL DESCRIPTION**

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- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

**5) Grading, Drainage and Stormwater Management Plan**

- 1. Contours (existing & proposed)
- 2. Location(s) of storm sewer (existing and proposed)
- 3. Location(s) of stormwater management structures and basins (if required)

**6) Fire Protection**

- m) Location(s) and details of sign(s)
- n) Location(s) and details of proposed fences/gates
- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction
- d) Materials to be stored (interior & exterior)

C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.

D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

E. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements (e.g., Orchard Way, etc.) required in Item 2(B) above, and/or as specified by these Conditions and Restrictions.

F. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.

G. Prior to the issuance of any permits for any portion of the development, the Applicant/landowner shall submit all City-approved Certified Survey Maps for recording.

H. All future land divisions shall follow subdivision plat, and/or condominium plat, and/or certified survey map procedures. If required by the Common Council, a development agreement shall be completed between the owner and the City prior to approval of said land division document to ensure the construction/installation of public improvements required in these Conditions and Restrictions, Chapter 14 (as amended), and all other applicable Sections of the Municipal Code (as amended).

I. A tree preservation and removal plan with pre-development inventory shall be submitted to the Plan Commission for approval in conformance with the requirements of Sec. 17.0505(d) (as amended).

J. A Master Landscaping Plan for the overall development shall be submitted to the Plan Commission for approval prior to the review of and permit issuance for any project within the Planned Unit Development. For each stage of development, detailed landscaping plans in conformance with the requirements of Sec. 17.0505 and Sec. 17.0606 (as amended) shall be submitted to the Plan Commission for approval prior to the issuance of a building permit. Landscaping, in accordance with the approved plan, shall be installed for each phase prior to the issuance of occupancy permits for that phase.

### 3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

A. There shall be a maximum of 22 single-family attached buildings, and a maximum of 134 single-family attached units. Each unit shall have an attached garage (see Section 4 below).

B. Accessory buildings may be permitted in conformance with all applicable provisions of the Municipal Code (as amended) and these Conditions and Restrictions.

C. Attached garages shall

1. Be subordinate to the principal building.
  2. Not exceed fifty (50) percent of the livable area of the single family attached unit.
  3. Share a common wall and roof with the single family attached unit.
  4. Provide internal access to the single family attached unit.
  5. Not exceed the height of the principal building.
  6. Not include doors that exceed eight (8) feet in height.
- D. Exterior building materials shall be traditional, time- and weather-tested materials and techniques.
1. Exterior building materials utilized on the ground floor shall be limited to wood, masonry, stucco, fiber cement, or stone veneer systems. Stone veneer systems utilized on the ground floor shall have a minimum thickness of three (3) inches.
  2. Exterior building materials utilized on upper floors may include all materials permitted on the ground floor as well as EIFS, stone veneer systems, or precast panels with inlaid or stamped brick texture. All materials utilized on upper floors shall have a minimum thickness of one (1) inch and shall be structurally integrated into the façade of the building.
  3. Vinyl may be utilized as an exterior building material as part of building plans reviewed and approved by the Plan Commission.
- E. There shall be a maximum of two (2) monument signs for the development in accordance with the following:
1. There shall be one (1) sign per lot frontage.
  2. Each sign shall
    - i. Be located at the entryway or gateway to the development, and entirely on private property within easements where maintenance shall be the responsibility of the landowner and/or association.
    - ii. Not block any points of ingress or egress.
    - iii. Not be placed in any sidewalk, pedestrian walkway, vision clearance triangle, floodplain, or wetland.
    - iv. Conform to the setbacks per Section 7 below.
    - v. Not exceed five (5) feet in height and 25 square feet in area.
    - vi. Display the address for the development per Sec. 17.0604(b)(4) (as amended).
  3. The sign base shall conform to the structural and design requirements of Sec. 17.0604(b)(6) (as amended).
  4. Landscaping at the base of the sign shall be equal in area to the square footage of the sign area

and incorporated into the landscape plans for the development.

- F. Maintenance, including reconstruction, of private roadways and sidewalks (both public and private) within this development shall be the responsibility of the property owner(s).
- G. All solid waste and recycling collection units shall be screened and sited in conformance with Municipal Code requirements (as amended).
- H. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the landowner(s).

#### 4. PARKING AND ACCESS

- A. Each one-bedroom residential unit shall have, at a minimum, an attached one-car garage in accordance with Section 3 above. Each two-bedroom and three-bedroom unit shall have, at minimum, an attached two-car garage in accordance with Section 3 above. Parking for additional vehicles on the driveway/parking pad shall not obstruct any sidewalk, pathway, alley/garage access, or roadway.
- B. Driveways shall incorporate a parking apron that is a minimum of 22 feet in length, and of sufficient width to park two (2) vehicles without obstructing any sidewalk, pathway, alley/garage access, or roadway.
- C. Public roads (from Puetz Rd. and S. 20<sup>th</sup> St.) shall be constructed in conformance with all local requirements and Codes. There shall be a minimum 20-foot-wide landscaped buffer and transition area between the public street and the residential property located at 2125 W. Puetz Rd.
- D. Private roads shall be constructed to provide a minimum 20-foot-wide clear area at all times for emergency access.
- E. On-street parking shall be restricted to one side of the road, and shall not interfere with any fire hydrants or apparatus turning movements. A minimum 20-foot wide clear area shall be maintained at all times.
- F. There shall be no direct access or connection to Grays Lane. Access to S. 20<sup>th</sup> St. shall be restricted to emergency vehicles and gated in conformance with all Fire Codes (as amended).

#### 5. LIGHTING

- A. All plans for new outdoor lighting shall be reviewed and approved by the Plan Commission and Electrical Inspector in accordance with Sec. 17.0509 of the Municipal Code (as amended).
- B. Pole type, color, height, and placement in public rights-of-way shall be in accordance with all applicable requirements of the Municipal Code (as amended).
- C. Fixture type and color on light poles in public rights-of-way shall be in accordance with all applicable requirements of the Municipal Code (as amended).

#### 6. IMPACT FEES

Single-family attached residential buildings constructed as part of this Planned Unit Development shall be subject to the collection of impact fees as required by Section 3.40 of the Municipal Code based on the number of bedrooms in each unit.

7. BULK AND DIMENSIONAL REQUIREMENTS, SETBACKS

<b>Lot Standards (Minimum)</b>	
Lot Area	15,000 sq ft
Lot Area / DU	7,500 sq ft
Lot Width (3)	100 ft
<b>Yard Setbacks (Minimum) (4)</b>	
Front	30 ft
Street Facing Side	30 ft
Interior Side	10 ft
Rear	30 ft
<b>Building Standards (Maximum)</b>	
Height	35 ft
Building Coverage	50%
Lot Coverage	30%
<b>Parking</b>	
Transition areas	See Sec. 17.0505
<b>Signs</b>	
Property Lines (all)	10 ft
Rights-of-way (all)	10 ft
Utility Easements	10 ft
<b>Notes:</b>	
(1) As detailed in Article 4. Use Specific Standards.	
(2) No multifamily structure shall be located closer than 50 ft to a single-family district line.	
(3) An additional ten (10) feet of lot width shall be required for corner lots.	
(4) Setbacks from wetlands shall be a minimum of fifteen (15) feet with a five (5) foot undisturbed buffer.	

8. TIME OF COMPLIANCE

The operator of the Planned Unit Development shall commence work in accordance with these Conditions and Restrictions within **eighteen (18) months** from the date of adoption of the ordinance authorizing this Planned Unit Development. This Planned Unit Development approval shall expire **eighteen (18) months** after the date of adoption of the ordinance if a building permits have not been issued for this use. The applicant shall re-apply for Planned Unit Development approval prior to recommencing work or construction.

9. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

10. VIOLATIONS & PENALTIES

Any violations of the terms of this Planned Unit Development shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Planned Unit Development is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the City shall have the right to revoke this Planned Unit Development, subject to the provisions of paragraph 10 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Planned Unit Development or to seek an injunction regarding any violation of this Planned Unit Development or any other City ordinances.

11. REVOCAION

Should an applicant, their heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Planned Unit Development approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Planned Unit Development as set forth in Section 17.1007 of the Municipal Code (as amended).

12. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

\_\_\_\_\_  
Owner / Authorized Representative Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
(please print name)

**EXHIBIT A:**



# GENERAL DEVELOPMENT PLAN

(For illustrative purposes only. Detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be approved by the Plan Commission.)



## EXHIBIT A:

# GENERAL DEVELOPMENT PLAN ENLARGED

(For illustrative purposes only. Detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be approved by the Plan Commission.)

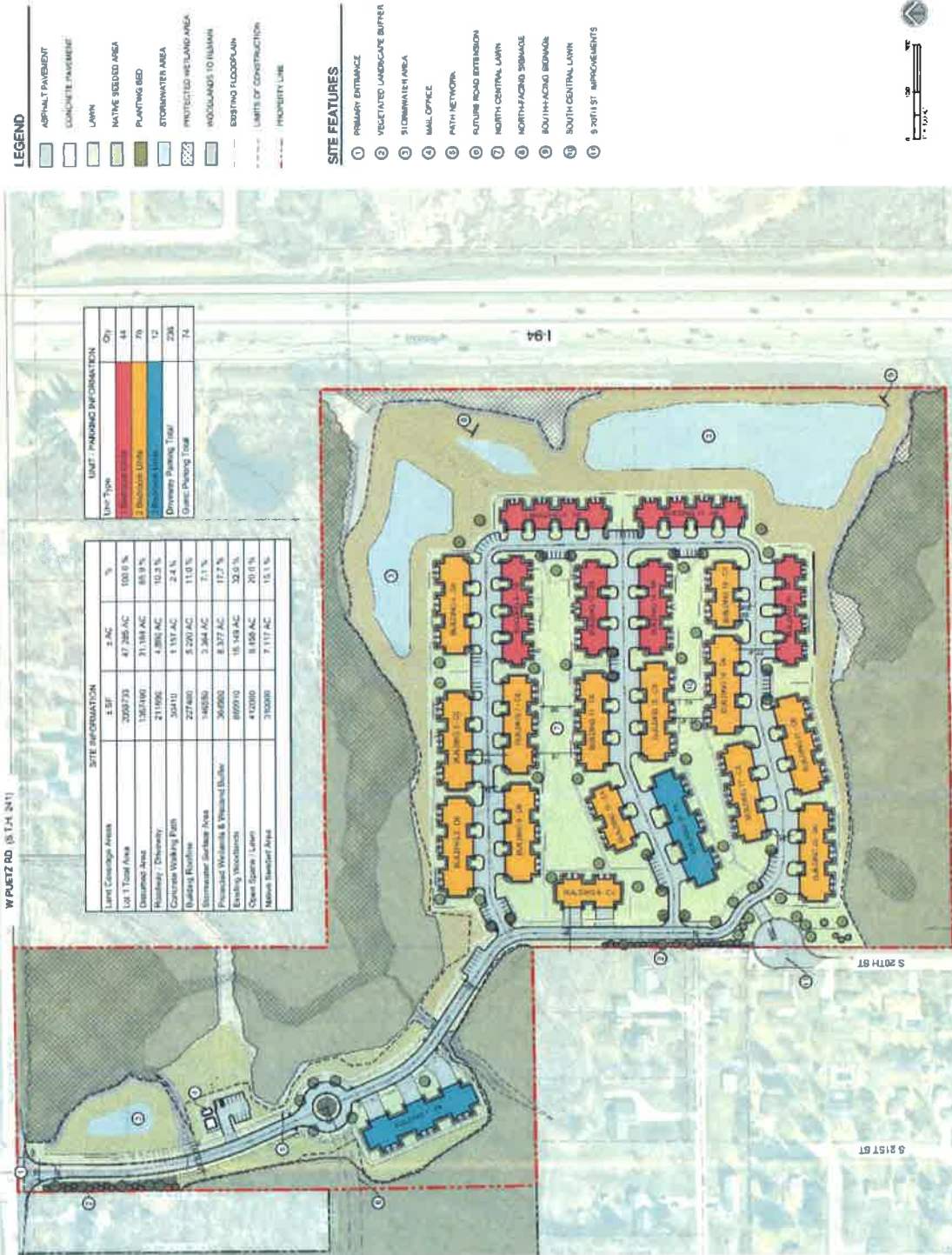


## EXHIBIT B:



# PLANNED UNIT DEVELOPMENT DETAILS ENLARGED

(For illustrative purposes only. Detailed plans in accordance with these conditions and restrictions and the City of Oak Creek Municipal Code must be approved by the Plan Commission.)



**MINUTES OF THE  
OAK CREEK PLAN COMMISSION MEETING  
TUESDAY, MARCH 28, 2023**

Mayor Bukiewicz called the meeting to order at 6:02 p.m. The following Commissioners were present at roll call: Mayor Bukiewicz, Alderman Guzikowski, Commissioner Oldani, Commissioner Siefert, and Commissioner Chandler. Commissioner Hanna, Commissioner Carrillo, Commissioner Kiepczynski, and Alderman Loreck were excused. Also present: Senior Planner Kari Papelbon and Assistant Fire Chief Mike Havey.

**PLANNED UNIT DEVELOPMENT AMENDMENT**

**CR DEVCO, LLC**

**2231 & 1933 W. PUETZ RD., 8843 S. 13<sup>TH</sup> ST., AND 8950 S. 20<sup>TH</sup> ST.**

**TAX KEY NOS. 856-9999-001, 857-9993-000, 857-9992-000, 857-9991-000**

Senior Planner Papelbon provided an overview of a request for an amendment to the Time of Compliance Section of the existing Planned Unit Development affecting properties at 2231 & 1933 W. Puetz Rd., 8843 S. 13<sup>th</sup> St., and 8950 S. 20<sup>th</sup> St. (see staff report for details).

Christina Meyer, 2200 W. Grays Ln.:

*"Thank you. Owls, possum, turkeys, deer, woodpeckers, hawks, rabbits; I have seen all of these in my backyard in the last week. This invaluable ecosystem, the peace it brings that is irreplaceable. This increasingly rare, incredibly diverse, display of the best that nature can be is everything I've ever dreamed of having and being able to give my children. The ever-shrinking wild areas and mature trees just beyond my property inline to be stripped, for yet another subdivision. Those are vital ecological connection which holds even deeper significance for those who are native. In addition to being a new homeowner, I'm also a graduate of UW-Milwaukee with a degree in public health. This involved being taught by leading local experts in environmental health, including how built environment effects population health. Healthy forests and wild areas are essential for soaking up precipitation in the aftermath of crazy snowstorms; I think we're on four (4) this year, already. In the coming years, Wisconsin is projected to get more rain and more intense weather episodes. With most of our natural protection gone, overflowing storm drainage easements, soil erosion, and overwhelmed sewer systems are some of the pricey consequences that await. Between all of these proposals and 27<sup>th</sup> street's construction status, Oak Creek's motto 'where city meets country', won't be applicable for much longer. I am asking the city council to remember there is no sustainable future without balance. Please, if you decide to go forward with this, insist on nature preserve amendments to PUD's before re-approving any proposal that will irrevocably damage our city."*

Mayor Bukiewicz explained the properties to be developed will only be the two (2) lots at the east, along I-94. The remaining lots to the west will remain due to the wetlands present.

Ms. Meyer:

*"Do you have something concrete?"*

Senior Planner Papelbon explained that the site development plan details will still need to be presented to Plan Commission, allowing for the attachment of additional conditions like buffers, landscaping etc. to the site plan approval at that time. At this time, the proposed future development would see most of the area to the west remain open and undeveloped, with a possible exception to a portion of the northwest-most corner lot. Any development in that portion would take into consideration, and not have an impact on, the existing wetlands.

Mayor Bukiewicz added that new City Ordinances require developers to take a tree inventory of the property. Senior Planner Papelbon further explained what a tree inventory entails, and that the City has incorporated maintenance of tree canopy and habitat into the new Code.

Ms. Meyer:

*"Thank you."*

Ms. Linder:

*"Like she said. They, before, did not have any interest in (inaudible) do have interest in the corner, and that interests me. Because I'd like to know what this is zoned for and what they plan to, you know, as far as, is this going to be a bunch of his apartments like-"*

Mayor Bukiewicz stated discussion must stay on topic.

Ms. Linder:

*"Well, it's for zoning. So, I wanna know what that whole corner is."*

Mayor Bukiewicz stated the zoning question can be answered, but speculation on what the development might be cannot be discussed.

Ms. Linder:

*"Well, for zoning, is it zoned for-"*

Mayor Bukiewicz and Senior Planner Papelbon stated that the northwest corner lot is currently zoned B-4, General Business.

Ms. Linder:

*"And that goes all the way to (inaudible)."*

Senior Planner Papelbon confirmed the B-4 zone goes all the way to the east property line, and explained a request to rezone the area is not being discussed at this time.

Ms. Linder:

*"So, what was the request?"*

Senior Planner Papelbon explained that the agenda item is only to discuss providing additional time for the development to begin, and that the hard corner is not a part of the request.

Ms. Linder:

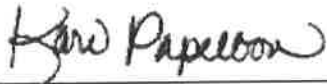
*"Alright."*

Commissioner Chandler asked if the additional time would be sufficient for compliance. Senior Planner Papelbon stated that she felt confident the applicant would have mentioned to staff whether proposed the time frame was an issue.

Alderman Guzikowski moved that the Plan Commission recommends that the Common Council approves an amendment to Section 8, Time of Compliance, of the existing Planned Unit Development on portions of the properties at 2231 & 1933 W. Puetz Rd., 8843 S. 13th St., and 8950 S. 20th St.

Commissioner Siepert seconded. On roll call: all voted aye. Motion carried.

ATTEST:



\_\_\_\_\_  
Kari Papelbon, Plan Commission Secretary

4-11-23

\_\_\_\_\_  
Date

## COMMON COUNCIL REPORT

**Item:** 2023-2027 Strategic Action Plan

**Recommendation:** That the Common Council adopts the 2023-2027 Strategic Action Plan.

**Fiscal Impact:** The SAP document will inform the City's annual budget process by providing guidance into funding allocations and funding strategies required to fulfill the Common Council's strategic goals and projects.

**Critical Success Factor(s):**

- Vibrant and Diverse Cultural Opportunities
- Thoughtful Development and Prosperous Economy
- Safe, Welcoming, and Engaged Community
- Inspired, Aligned, and Proactive City Leadership
- Financial Stability
- Quality Infrastructure, Amenities, and Services
- Not Applicable

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**Background:** Since spring 2022, City teams have implemented a comprehensive process to develop its next community Strategic Action Plan. The attached 2023-2027 SAP document gives a more detailed overview of the planning process and the data sources used to inform this SAP. However, it is important to acknowledge the City benefitted greatly from many stakeholder groups and conversations, surveys, and numerous facilitated priority and goal-setting conversations. These stakeholders included the residents of Oak Creek (via survey and focus group), our City employees (via survey), volunteer board, committee, and commission members, community business leaders, and our intergovernmental partners. Ultimately, these ideas and suggestions initiated multiple conversations among the City management team and Common Council when crafting the 2023-2027 SAP for adoption.

The Mayor, Common Council, and management team members were deliberate about shaping a SAP that spoke to community aspirations, continued investment in our community and our employees, continuously improving our organization, and tackling big ideas and challenges. We hope that comes through to the public when reviewing our new SAP.

A huge thank you to all contributors to the SAP, which were many. And, thanks to our large leadership team and Elected Officials for participating in meaningful ways to articulate a vision and a plan for our community's future.

**Options/Alternatives:** The Common Council may decide to further discuss the 2023-2027 SAP and request any changes it deems necessary.

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Prepared and Respectfully submitted:



Andrew J. Vickers, MPA  
City Administrator



Fiscal Review:



Maxwell Gagin, MPA

Assistant City Administrator / Comptroller

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Attachments: 2023-2027 City of Oak Creek Strategic Action Plan (SAP)



## COMMON COUNCIL REPORT

- Item:** Publication and Write-off of the 2021 Delinquent Personal Property Tax.
- Recommendation:** That the Common Council authorize the publication and write-off of the 2021 delinquent personal property tax as reported by the City Treasurer.
- Fiscal Impact:** Enhance collection efforts and reflect an accurate position of the current receivables in the City's Financial Statements according to Generally Accepted Accounting Principles and Auditing Standards.
- Critical Success Factor(s):**
- Vibrant and Diverse Cultural Opportunities
  - Thoughtful Development and Prosperous Economy
  - Safe, Welcoming, and Engaged Community
  - Inspired, Aligned, and Proactive City Leadership
  - Financial Stability
  - Quality Infrastructure, Amenities, and Services
  - Not Applicable

**Background:** The City's Policy on the Handling of Delinquent Personal Property Tax directs the Treasurer to notice the delinquent personal property tax accounts in the City's official newspaper, showing the taxpayer's name and/or business name, address, the delinquent principal amount plus interest owed. It further directs that the Treasurer shall prepare a list of names and amounts of delinquent personal property for which the likelihood of collection appears remote, which shall be written off the City's ledger.

The publication process is meant to notify those businesses who have outstanding tax obligations to the City and as an additional effort to collect. The accounts are also written-off the City's ledger to reflect an accurate position in the Financial Statements. All other collection efforts will continue as allowed by law.

The 2021 delinquent personal property tax publication and write-off is detailed on the attached reports as summarized below:

\$344.03 to be approved for publication in the City's official newspaper. Accounts with prior year delinquencies are indicated as "Multiple Years". Any not allowable by law to be published are noted and subtracted from the total. This list will also be posted on the City's website until August 1<sup>st</sup>.

\$137.51 to be approved to be written-off from the City's general account.

**Options/Alternatives:** The Common Council could deny the publication and/or write-off of the 2021 delinquent personal property tax and the City portion would remain on the ledger as a current receivable.

Respectfully submitted:

Andrew J. Vickers, MPA  
City Administrator

Prepared:

Sara Kawczynski  
City Treasurer

Fiscal Review:



Maxwell Gagin, MPA

Assistant City Administrator / Comptroller

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Attachments: 2021 Delinquent List for publication and write-off; Tax Program (GCS) Report of 2021 Personal Property Tax.

CITY OF OAK CREEK WRITE-OFF AND PUBLICATION						
2021 DELINQUENT PERSONAL PROPERTY			Total Due for May			
PERSONAL PROPERTY ADDRESS	NAME AND ADDRESS	City Portion of Principal Only	Principal Amount Only	Including Interest & Penalty		MULTIPLE YEARS
		WRITE-OFF AMOUNT	CHARGED BACK	AMOUNT	PUBLISH	
Landrights Botanical 8652 S Market Pl Oak Creek, WI 53154		\$ 52.95		\$ 65.66	X	X
RDM Municipal Supply & Service Inc 2650 E Ryan Rd Oak Creek, WI 53154 <i>Out of Business</i>		\$ 35.91	\$ 59.40	\$ 118.18	X	X
Shish Kabob 6508 S 27th St Oak Creek, WI 53154 <i>Out of Business</i>		\$ 10.38	\$ 17.15	\$ 34.13	X	
Universal Wireless, Inc. 8171 S Howell Ave, Ste 200 Oak Creek, WI 53154 <i>Out of Business</i>		\$ 30.32	\$ 50.17	\$ 99.81	X	
ZVC Tatto Inc 8201 S Howell Ave, Ste 200 Oak Creek, WI 53154 <i>Out of Business</i>		\$ 7.95	\$ 13.22	\$ 26.25	X	
<b>DELINQUENT TOTAL</b>		<b>\$ 137.51</b>	<b>\$ 139.94</b>	<b>\$ 344.03</b>		
Bankruptcies/Receiverships/Corrections Under \$10				\$ -		
<b>DELINQUENT PUBLICATION TOTAL</b>				<b>\$ 344.03</b>		
<b>DELINQUENT TOTAL FOR WRITE OFF</b>		<b>\$ 137.51</b>				
Outstanding Total City Portion of Principal for Write Offs (no Interest & Penalty)				\$ 137.51		
Outstanding Total other Taxing Jurisdictions (Charged Back)				\$ 139.94		
Outstanding Total Principal Portion (no Interest & Penalty)				\$ 277.45		

MILWAUKEE  
PERSONAL PROPERTY TAX YEAR SUMMARY

REPORT #: TAXYRSUMLST  
RUN DATE: 04/24/2023  
RUN TIME: 03:27:52 PM  
PAGE: 1

THE OPTIONS BELOW WERE USED FOR THIS REPORT:

2021 for Write Off and Publication

Property Type	Personal Property
Tax Years	2021
Municipalities	265 - CITY OF OAK CREEK
Start a new page for each municipality	Yes
Exclude current year amounts if municipality is not settled	No
Limit to District	No
Balance Type	Properties with Delinquent
Print Property Details	Yes
Owner/Address information to use	Name and Address on record for each year
Print Subtotal for Owner/Address	No
Print Interest and Penalty Due	Yes, using Interest/Penalty Date of 05/31/2023
Print Other Charges	Yes
Limited to Payments Dated on or before	No
Sort by	Municipality, Parcel #, Tax Year
Exclude property for year with flag(s)	(None)

Report Showing Delinquent 2021 Personal Property Tax

Outstanding total with May 2023 Int. & Penalty  
for Publication \$344.03

CP = City Portion

CB = Charged Back  
OOB = Out of Business

MY = Multiple Years

MILWAUKEE  
 PERSONAL PROPERTY TAX YEAR SUMMARY  
 265 - CITY OF OAK CREEK

REPORT #: TAXYRSUMLST  
 RUN DATE: 04/24/2023  
 RUN TIME: 03:27:53 PM  
 PAGE: 2

PROPERTY NUMBER ALT. PROPERTY NUMBER	OWNER NAME & ADDRESS	TAX YEAR	-----GENERAL-----		-----SPECIALS-----			MAY 2023 INT & PEN	OTHER CHARGES	TOTAL
			BALANCE	BC	BALANCE	BC	OTH			
9999226400 <i>my</i>	LANDRIGHTS BOTANICAL 8652 S MARKET PL OAK CREEK WI 53154	2021 TOTAL	52.95 52.95	D	0.00	N	N	12.71 12.71	0.00 0.00	65.66 65.66
9999345300 <i>OOB my</i>	RDM MUNICIPAL SUPPLY & SERVICE INC 2650 E RYAN RD OAK CREEK WI 53154	2021 TOTAL	95.31 95.31	D	0.00	N	N	22.87 22.87	0.00 0.00	118.18 118.18
9999374575 <i>OOB</i>	SHISH KABOB 6508 S 27TH ST OAK CREEK WI 53154	2021 TOTAL	27.53 27.53	D	0.00	N	N	6.60 6.60	0.00 0.00	34.13 34.13
9999430250 <i>OOB</i>	UNIVERSAL WIRELESS, INC 3939 N GREENBROOKE DR, SE GRAND RAPIDS MI 49512	2021 TOTAL	80.49 80.49	D	0.00	N	N	19.32 19.32	0.00 0.00	99.81 99.81
9999462200 <i>OOB</i>	ZVC TATTO INC 8201 S HOWELL AVE STE 200 OAK CREEK WI 53154	2021 TOTAL	21.17 21.17	D	0.00	N	N	5.08 5.08	0.00 0.00	26.25 26.25

*CP = 35.91    CB = 59.40*  
*CP = 10.38    CB = 17.15*  
*CP = 30.32    CB = 50.17*  
*CP = 7.95    CB = 13.22*

MILWAUKEE  
 PERSONAL PROPERTY TAX YEAR SUMMARY  
 265 - CITY OF OAK CREEK

REPORT #: TAXYRSUMLST  
 RUN DATE: 04/24/2023  
 RUN TIME: 03:27:53 PM  
 PAGE: 3

TAX YEAR	GENERAL	SPECIAL	MAY 2023 INT & PEN	OTHER CHARGES	MAY 2023 TOTAL	NUMBER OF PROPERTIES
CITY OF OAK CREEK TOTALS						
2021	277.45	0.00	66.58	0.00	344.03	5
TOTAL	277.45	0.00	66.58	0.00	344.03	
				ACTUAL # OF PROPERTIES:		5

Total of City Write offs & chargebacks

Total for publication

## COMMON COUNCIL REPORT

**Item:** Board of Review date and time for 2023

**Recommendation:** That the Common Council adopts Resolution No. 12409-050223, a resolution setting the date and time for the 2023 Board of Review.

**Fiscal Impact:** None.

**Critical Success Factor(s):**

- Vibrant and Diverse Cultural Opportunities
- Thoughtful Development and Prosperous Economy
- Safe, Welcoming, and Engaged Community
- Inspired, Aligned, and Proactive City Leadership
- Financial Stability
- Quality Infrastructure, Amenities, and Services
- Not Applicable

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**Background:** Pursuant to Section 2.61(c)(1) of the Municipal Code, the first statutory meeting of the Board of Review for 2023 will be held on Monday, May 15, 2023 beginning at 5:00 p.m. At this meeting, the Board will determine 2023 meeting dates to review the 2023 Assessment Roll and hear properly filed objection cases. As the Assessment Roll is not expected to be completed on this date, the first regular meeting of the 2023 Board of Review will be held during the month of June 2023.

**Options/Alternatives:** None

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Respectfully submitted:



Andrew J. Vickers, MPA  
City Administrator

Prepared:



Catherine A. Roeske, CMC/WCMC  
City Clerk

Fiscal Review:



Maxwell Gagin, MPA  
Assistant City Administrator / Comptroller

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Attachments: Resolution 12409-050223



RESOLUTION NO. 12409 -050223

RESOLUTION ESTABLISHING THE DATE AND TIME OF THE  
2023 BOARD OF REVIEW

BE IT RESOLVED pursuant to Section 2.61(c)(1) of the Municipal Code, that the first statutory meeting of the Board of Review for 2023 shall be held on May 15, 2023 beginning at 5:00 p.m. This meeting will be convened to comply with Wisconsin State Statutes Section 70.47(1).

BE IF FURTHER RESOLVED pursuant to Section 70.47(3) that since the 2023 Assessment Roll is not expected to be completed by May 15, 2023, the first regular meeting of the 2023 Board of Review will be held during the month of June, 2023.

Introduced at a regular meeting of the Common Council of the City of Oak Creek held this 2<sup>nd</sup> day of May, 2023.

Passed and adopted this 2nd day of May, 2023.

\_\_\_\_\_  
President, Common Council

Approved this 2nd day of May, 2023.

\_\_\_\_\_  
Mayor, Dan Bukiewicz

ATTEST:

\_\_\_\_\_  
Catherine A. Roeske, City Clerk

VOTE: Ayes \_\_\_\_\_ Noes \_\_\_\_\_

## COMMON COUNCIL REPORT

**Item:** Certified Survey Map - 7101 & 7115 S. Pennsylvania Ave. - Christopher Fink

**Recommendation:** That the Council adopts Resolution No. 12408-050223, a resolution approving a Certified Survey Map submitted by Christopher Fink for the properties at 7101 & 7115 S. Pennsylvania Ave. (1st Aldermanic District).

**Fiscal Impact:** No direct fiscal impact is anticipated. The proposal is to combine the properties into one (1) single lot, which is currently developed. These properties are not part of a TID.

**Critical Success Factor(s):**

- Vibrant and Diverse Cultural Opportunities
- Thoughtful Development and Prosperous Economy
- Safe, Welcoming, and Engaged Community
- Inspired, Aligned, and Proactive City Leadership
- Financial Stability
- Quality Infrastructure, Amenities, and Services
- Not Applicable

---

**Background:** The Applicant is requesting approval of a Minor Land Division/Lot Line Adjustment to combine the properties at 7101 and 7115 S. Pennsylvania Ave. Both lots are currently located in the B-2, Community Business zoning district, and will continue to meet the dimensional requirements following consolidation. Included on the map are the Official Map for future roads and the dedication of five (5) feet along Pennsylvania Avenue for public road purposes. Although not part of this request, an amendment to the Official Map for the area to reflect updated public right-of-way needs is likely forthcoming. One (1) revision is required to the signature page to include the acceptance of public right-of-way dedication in the Common Council approval.

Staff have no objections to the proposal with the recommended conditions of approval.

The Plan Commission reviewed this request during their April 11, 2023 meeting, and recommended approval subject to the following conditions:

1. That the Common Council approval includes acceptance of the public right-of-way dedication.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

**Options/Alternatives:** Council has the discretion to approve, and/or modify the condition(s) of Certified Survey Map approval, or deny the request.

---

Prepared and Respectfully submitted:



Andrew J. Vickers, MPA  
City Administrator

Approved:



Kari Papelbon, CFM, AICP  
Senior Planner

Fiscal Review:



Maxwell Gagin, MPA  
Assistant City Administrator / Comptroller

Approved:



Douglas W. Seymour, AICP  
Director of Community Development

---

Attachments:

Res. 12408-050223

Location Map

Proposed CSM (4 pages)

Excerpted Plan Commission Minutes (1 page)

RESOLUTION NO. 12408-050223

BY: \_\_\_\_\_

A RESOLUTION APPROVING A CERTIFIED SURVEY MAP FOR  
CHRISTOPHER FINK

7101 & 7115 S. Pennsylvania Ave.  
(1<sup>st</sup> Aldermanic District)

WHEREAS, CHRISTOPHER FINK, hereinafter referred to as the subdivider, has submitted a certified survey map in compliance with all statutory requirements; and

WHEREAS, the subdivider has complied with all of the applicable ordinances and resolutions of the City of Oak Creek, and

WHEREAS, the Plan Commission has recommended that this certified survey map be approved, subject to the following conditions:

1. That the Common Council approval includes acceptance of the public right-of-way dedication.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

NOW, THEREFORE, BE IT RESOLVED that this certified survey map, in the City of Oak Creek, Wisconsin, is hereby approved by the Common Council subject to the following conditions:

1. That the Common Council approval includes acceptance of the public right-of-way dedication.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Introduced at a regular meeting of the Common Council of the City of Oak Creek held this 2<sup>nd</sup> day of May, 2023.

Passed and adopted this 2<sup>nd</sup> day of May, 2023.

\_\_\_\_\_  
President, Common Council

Approved this 2<sup>nd</sup> day of May, 2023.

\_\_\_\_\_  
Mayor

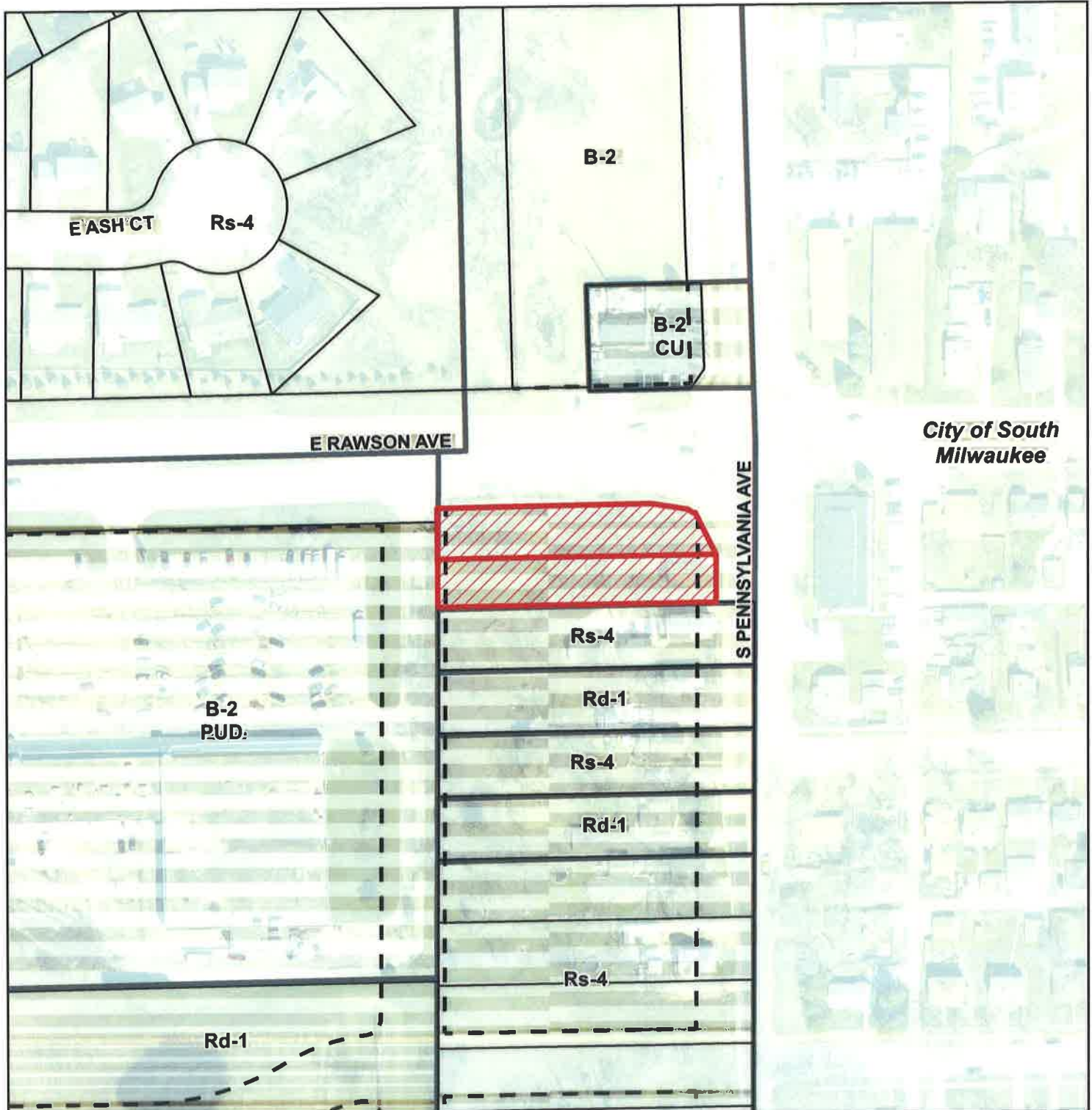
ATTEST:

\_\_\_\_\_  
City Clerk

VOTE: Ayes \_\_\_\_\_ Noes \_\_\_\_\_

# LOCATION MAP

## 7101 & 7115 S. Pennsylvania Ave.

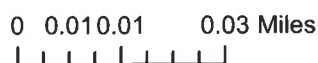


City of South Milwaukee

*This map is not a survey of the actual boundary of any property this map depicts.*



Community Development

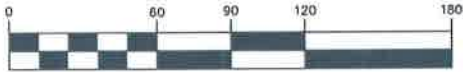


### Legend

- Zoning
- Official Map
- Floodway
- Flood Fringe
- 7101 & 7115 S. Pennsylvania Ave.

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL THAT PART OF LOT 1 OF THE MAP OF "SOUTH VIEW", BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWN 5 NORTH, RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



SCALE 1" = 60'

**NSE** NORTH SHORE ENGINEERING, INC.  
 Consulting Engineers & Land Surveyors  
 11433 N. Port Washington Rd., Mequon, Wisconsin, 53092  
 (262) 241-8400 • FAX: (262) 241-8337  
 www.northshoreengineering.net

**S. PENNSYLVANIA AVE.**

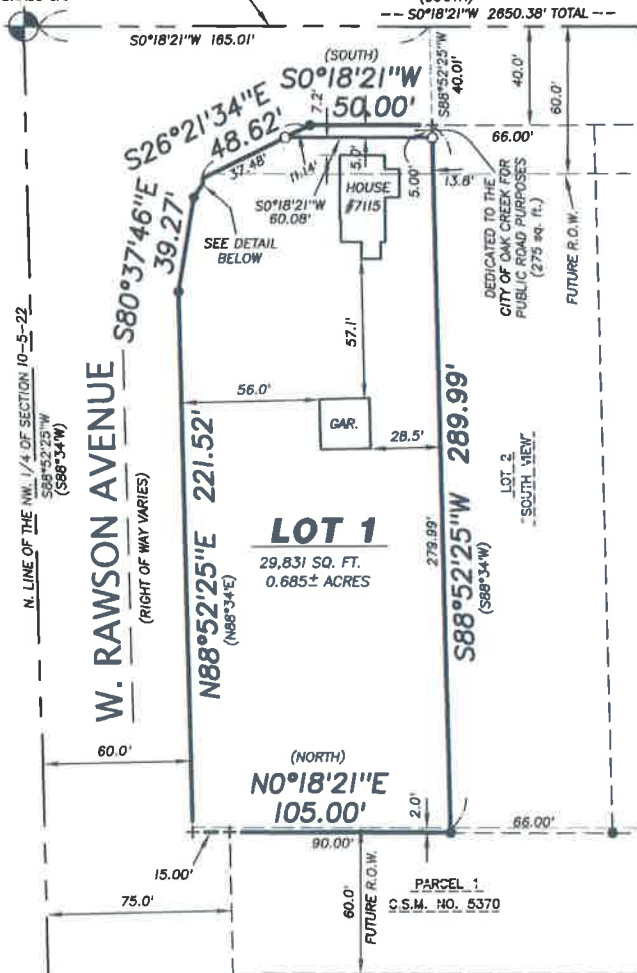


NE. CORNER OF THE NW 1/4 OF SECTION 10-5-22 CONC. MON. WITH BRASS CAP

(RIGHT OF WAY VARIES)

EAST LINE OF THE NW 1/4 OF SECTION 10-5-22

(SOUTH) 50°18'21"W 2650.38' TOTAL



OWNER:  
 CHRISTOPHER FINK  
 7115 S. PENNSYLVANIA AVE.  
 OAK CREEK, WI 53154

SE. CORNER OF THE NW 1/4 OF SECTION 10-5-22 CONC. MON. WITH BRASS CAP

**LEGEND**

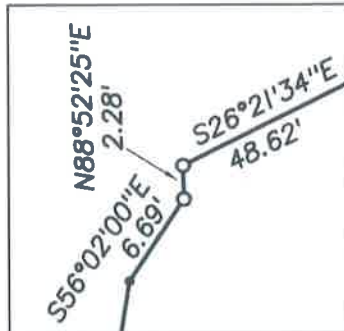
- - DENOTES 1.315"X18" STEEL PIPE WEIGHING 1.13 LBS. PER LINEAL FOOT (SET)
- + - DENOTES CHISELED CROSS (FOUND)
- - DENOTES STEEL PIPE (FOUND)
- - DENOTES REBAR (FOUND)
- ) - DENOTES ALSO RECORDED AS DIRECTION OR DISTANCE

ALL BEARINGS REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (EAST LINE OF THE NW 1/4 OF SECTION 10-5-22, WHICH BEARS S0°18'21"W) (JAN. 2015 DATUM/NAD-27)



**LOCATION MAP**

NORTHWEST 1/4 SEC. 10-5-22 (SCALE 1"=2000')



CORNER DETAIL - 1"=10'



**NOTES :**

1. CURRENT ZONING: B-2 (COMMUNITY BUSINESS)
2. THIS PROPERTY IS ALSO SUBJECT TO EASEMENTS OF RECORD.

10-11-2021  
 REV. 11-1-2021  
 REV. 3-13-2023

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL THAT PART OF LOT 1 OF THE MAP OF "SOUTH VIEW", BEING A PART OF THE  
NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWN 5 NORTH,  
RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY,  
WISCONSIN

SURVEYOR'S CERTIFICATE

I, James G. Schneider, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped the following parcel of land:

Part of Lot 1 of Map of "SOUTH VIEW", being a part the Northeast 1/4 of the Northwest 1/4 of Section 10, Town 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin, bounded and described as follows:

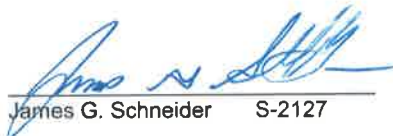
Commencing at the Northeast corner of said Northwest 1/4 Section; thence S0°18'21"W along the East line of said 1/4 Section, 165.01 feet; thence S88°52'25"W, 40.01 feet to a point in the West right of way of S. Pennsylvania Avenue, said point also being the Southeast corner of Lot 1 of the Map of South View and the point of beginning of lands to be described; thence continuing S88°52'25"W along the South line of said Lot 1, 289.99 feet to the Southwesterly corner of said Lot 1 and a point in the East line of Certified Survey Map No. 5370; thence N0°18'21"E along the West line of said Lot 1 and the East line of Certified Survey Map No. 5370, 105.00 feet to a point in the South right of way of W. Rawson Avenue; thence N88°52'25"E along said South right of way line, 221.52 feet; thence N80°37'46"E along said South right of way line, 39.27 feet; thence S56°02'00"E along said South right of way line, 6.69 feet; thence N88°52'25"E along said South right of way line, 2.28 feet; thence S26°21'34"E along said South right of way line, 48.62 feet to a point in the West right of way of S. Pennsylvania Avenue; thence S0°18'21"W along said West right of way line, 50.00 feet to the point of beginning.

Said lands containing 29,505 sq. ft. or 0.677 acres of land, more or less.

That I have made such survey, land division, and plat at the direction of Christopher Fink, OWNER of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have complied with Chapter 236.34 of the Wisconsin Statutes and Chapter 14 of the City of Oak Creek Municipal Code in surveying, dividing and mapping the same.

  
James G. Schneider S-2127

10-11-2021



This instrument drafted by James G. Schneider

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL THAT PART OF LOT 1 OF THE MAP OF "SOUTH VIEW", BEING A PART OF THE  
NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWN 5 NORTH,  
RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY,  
WISCONSIN

**OWNER'S CERTIFICATE**

I, Christopher Fink, OWNER of said lands, do hereby certify: THAT I have caused the  
lands described in the foregoing certificate of James G. Schneider, Surveyor, to be  
surveyed, divided and mapped.

\_\_\_\_\_  
Witness Christopher Fink

WITNESS the hand and seal of said OWNER on this \_\_\_\_ day of \_\_\_\_\_  
20\_\_.

STATE OF WISCONSIN)  
MILWAUKEE COUNTY )<sup>ss</sup>

PERSONALLY came before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_  
Christopher Fink, to me known to be the person who executed the foregoing certificate  
and acknowledged the same.

\_\_\_\_\_  
Notary Public My Commission expires \_\_\_\_\_

**CONSENT OF MORTGAGEE**

FAIRWAY INDEPENDENT MORTGAGE CORPORATION, existing under and by virtue  
of the laws of the State of Wisconsin, mortgagee of the above described land does  
hereby consent to the surveying, dividing and mapping of the land described on this  
Certified Survey Map and does hereby consent to the above certificate of Christopher  
Fink, OWNER.

In witness whereof, the said FAIRWAY INDEPENDENT MORTGAGE CORPORATION  
has caused these presents to be signed by \_\_\_\_\_, it's \_\_\_\_\_  
at \_\_\_\_\_, Wisconsin, this \_\_\_\_\_ day of  
\_\_\_\_\_, 20\_\_.

IN THE PRESENCE OF: FAIRWAY INDEPENDENT  
MORTGAGE CORPORATION  
By: \_\_\_\_\_

STATE OF WISCONSIN)  
MILWAUKEE COUNTY )<sup>ss</sup>

PERSONALLY came before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_  
the above named by \_\_\_\_\_, to me known to be the person who  
executed the foregoing certificate and acknowledged the same.

\_\_\_\_\_  
Notary Public My Commission expires \_\_\_\_\_

10-11-2021

This instrument drafted by James G. Schneider





CERTIFIED SURVEY MAP NO. \_\_\_\_\_

ALL THAT PART OF LOT 1 OF THE MAP OF "SOUTH VIEW", BEING A PART OF THE  
NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 10, TOWN 5 NORTH,  
RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY,  
WISCONSIN

CITY OF OAK CREEK PLANNING COMMISSION APPROVAL

Certified Survey Map accepted by the City of Oak Creek Planning Commission on this  
\_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

\_\_\_\_\_  
Daniel Bukiewicz, Chairman

\_\_\_\_\_  
Kari Papelbon, Secretary

CITY OF OAK CREEK COMMON COUNCIL APPROVAL

Certified Survey Map approved by the City of Oak Creek Common Council on this  
\_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, by Resolution No. \_\_\_\_\_

\_\_\_\_\_  
Daniel Bukiewicz, Mayor

\_\_\_\_\_  
Catherine Roeske, City Clerk

10-11-2021  
REV. 3-13-2023

This instrument drafted by James G. Schneider



**EXCERPTED MINUTES OF THE  
OAK CREEK PLAN COMMISSION MEETING  
TUESDAY, APRIL 11, 2023**

Alderman Loreck called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Kiepczynski, Alderman Guzikowski, Commissioner Siefert, and Commissioner Chandler. Also present: Senior Planner Kari Papelbon, Zoning Administrator Sylvia Brueckert, and Assistant Fire Chief Mike Havey. Mayor Bukiewicz, Commissioner Carrillo, and Commissioner Oldani were excused.

**MINOR LAND DIVISION/LOT LINE ADJUSTMENT  
CHRISTOPHER FINK  
7101 & 7115 S. PENNSYLVANIA AVE.  
TAX KEY NOS. 768-0002-000 & 768-0001-001**

Senior Planner Papelbon provided an overview of the request for a Minor Land Division/Lot Line Adjustment to combine the properties at 7101 and 7115 S. Pennsylvania Ave. (see staff report for details).

Commissioner Chandler questioned why the properties were being combined.

Senior Planner Papelbon stated that the properties were being combined by a single entity for a single use.

Alderman Guzikowski moved that the Plan Commission recommend that the Plan Commission recommend to the Common Council that the Certified Survey Map submitted by Christopher Fink for the properties at 7101 & 7115 S. Pennsylvania Ave. be approved with the following conditions:

1. That the Common Council approval includes acceptance of the public right-of-way dedication.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Commissioner Siefert seconded. On roll call: all voted aye. Motion carried.

ATTEST:

  
\_\_\_\_\_  
Kari Papelbon, Plan Commission Secretary

4-25-23  
\_\_\_\_\_  
Date

## COMMON COUNCIL REPORT

- Item:** Minor Land Division (Certified Survey Map) - 8801 S. Charmaine Circle and 3381 E. Carol Court
- Recommendation:** That the Council adopts Resolution No. 12410-050223, a resolution approving a Certified Survey Map submitted by Greg & Gail Holtz and James & Sarah Nickols for the properties at 8801 S. Charmaine Circle and 3381 E. Carol Court. (4<sup>th</sup> Aldermanic District)
- Fiscal Impact:** The proposal is to adjust lot lines between two built out residential properties which will yield no fiscal impact. This property is not part of a TID.
- Critical Success Factor(s):**
- Vibrant and Diverse Cultural Opportunities
  - Thoughtful Development and Prosperous Economy
  - Safe, Welcoming, and Engaged Community
  - Inspired, Aligned, and Proactive City Leadership
  - Financial Stability
  - Quality Infrastructure, Amenities, and Services
  - Not Applicable

---

**Background:** The Applicants are requesting approval of a Minor Land Division/Lot Line Adjustment to adjust the lot line between the properties at 8801 S. Charmaine Circle and 3381 E. Carol Court. Both lots are currently located in the Rs-3, Single Family Residential zoning district. The purpose of the Minor Land Division/Lot Line Adjustment is to correct a situation in which the lot line runs through an existing garage located on 8801 S. Charmaine Circle. To correct the situation, the property owners at 3381 E. Carol Court have agreed to sell a 6-foot strip of land running along the southern lot line of their property to the property owners at 8801 S. Charmaine Circle.

With this change, both parcels continue to meet the minimum lot size for the Rs-3 zoning district. This change does not bring the existing garage at 8801 S. Charmaine Circle into compliance with the rear setback requirement, but it reduces the degree of nonconformity.

The Plan Commission reviewed this request during their April 25, 2023 meeting, and recommended approval subject to the following condition:

That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

**Options/Alternatives:** Council has the discretion to approve the Certified Survey Map with conditions, modify the conditions, or deny the request.

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Prepared and Respectfully submitted:



Andrew J. Vickers, MPA  
City Administrator

Approved:



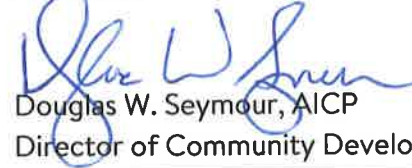
Sylvia Brueckert  
Zoning Administrator/Planner

Fiscal Review:



Maxwell Gagin, MPA  
Assistant City Administrator / Comptroller

Approved:



Douglas W. Seymour, AICP  
Director of Community Development

---

Attachments:

Res. 12410-050223

Location Map

Narrative Describing Lot line Adjustment (1 page)

Proposed CSM (4 pages)

RESOLUTION NO. 12410-050223  
BY: \_\_\_\_\_

A RESOLUTION APPROVING A CERTIFIED SURVEY MAP FOR  
GREG & GAIL HOLTZ AND JAMES & SARAH NICKOLS  
8801 S. Charmaine Circle and 3381 E. Carol Court  
(4<sup>th</sup> Aldermanic District)

WHEREAS, GREG & GAIL HOLTZ AND JAMES & SARAH NICKOLS, hereinafter referred to as the subdividers, have submitted a certified survey map in compliance with all statutory requirements; and

WHEREAS, the subdividers have complied with all of the applicable ordinances and resolutions of the City of Oak Creek, and

WHEREAS, the Plan Commission has recommended that this certified survey map be approved, subject to the following condition:

That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

NOW, THEREFORE, BE IT RESOLVED that this certified survey map, in the City of Oak Creek, Wisconsin, is hereby approved by the Common Council subject to the following condition:

That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Introduced at a regular meeting of the Common Council of the City of Oak Creek held this 2<sup>nd</sup> day of May, 2023.

Passed and adopted this 2<sup>nd</sup> day of May, 2023.

\_\_\_\_\_  
President, Common Council

Approved this 2<sup>nd</sup> day of May, 2023.

\_\_\_\_\_  
Mayor

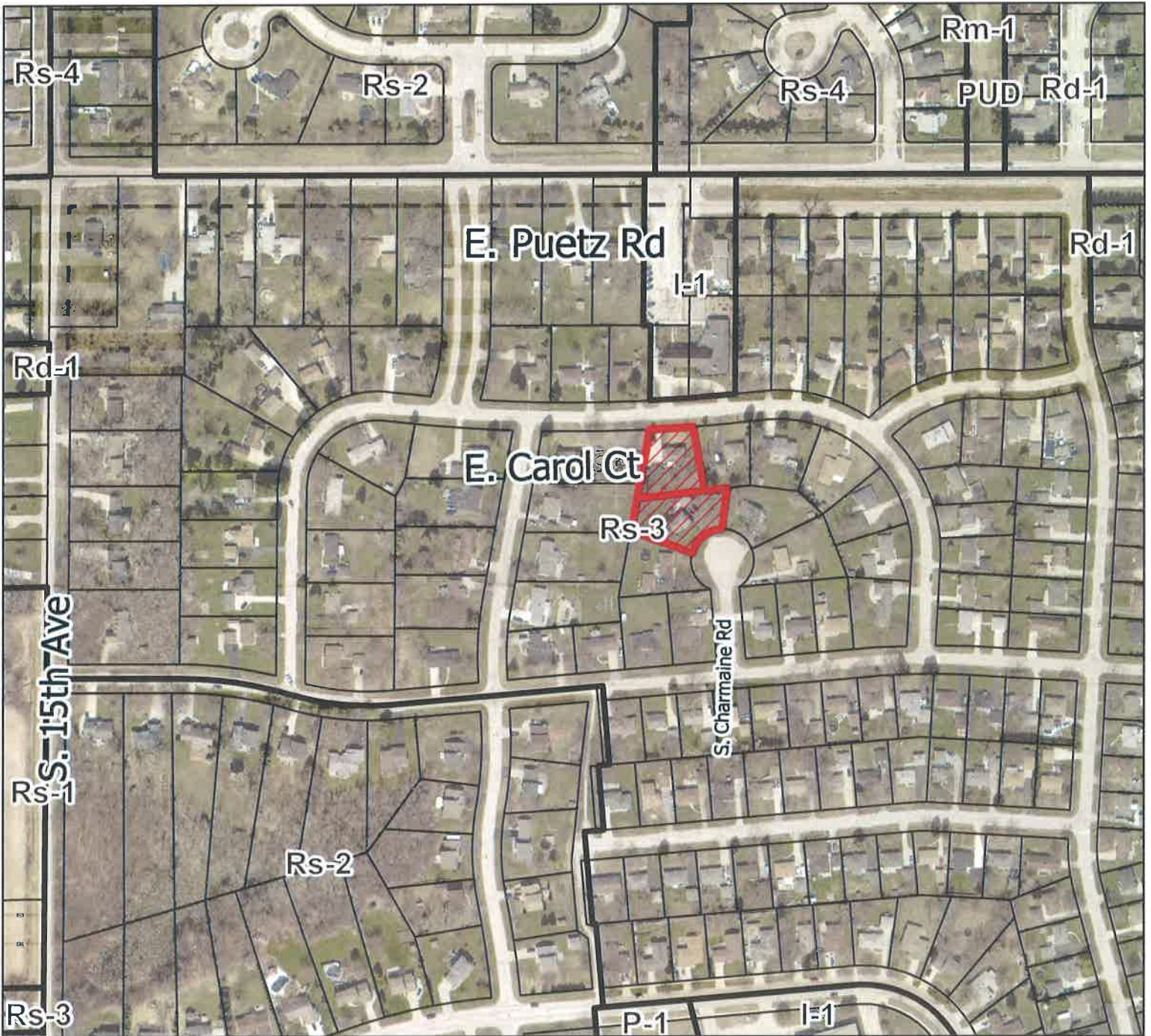
ATTEST:

\_\_\_\_\_  
City Clerk

VOTE: Ayes \_\_\_\_ Noes \_\_\_\_







# Notification Map

## 8801 S. Charmaine Circle and 3381 E. Carol Court



*This map is not a survey of the actual boundary of the property this map depicts*

### Legend

-  Zoning
-  Parcels
-  Official Street Map
-  8801 S Charmaine Circle and 3381 E Carol Court
-  Floodway
-  Flood Fringe



Community Development



**PLAN COMMISSION APPLICATION  
NARRATIVE DESCRIBING LOT LINE ADJUSTMENT**

The owners of 8801 S. Charmaine Circle (Holtz) and 3381 E. Carol Court (Nickols) have been in negotiations since last fall regarding their shared lot line due to the fact that the Nickols recently purchased the house and what was previously understood as the Holtzs property is being asserted by the Nickols to be their property.

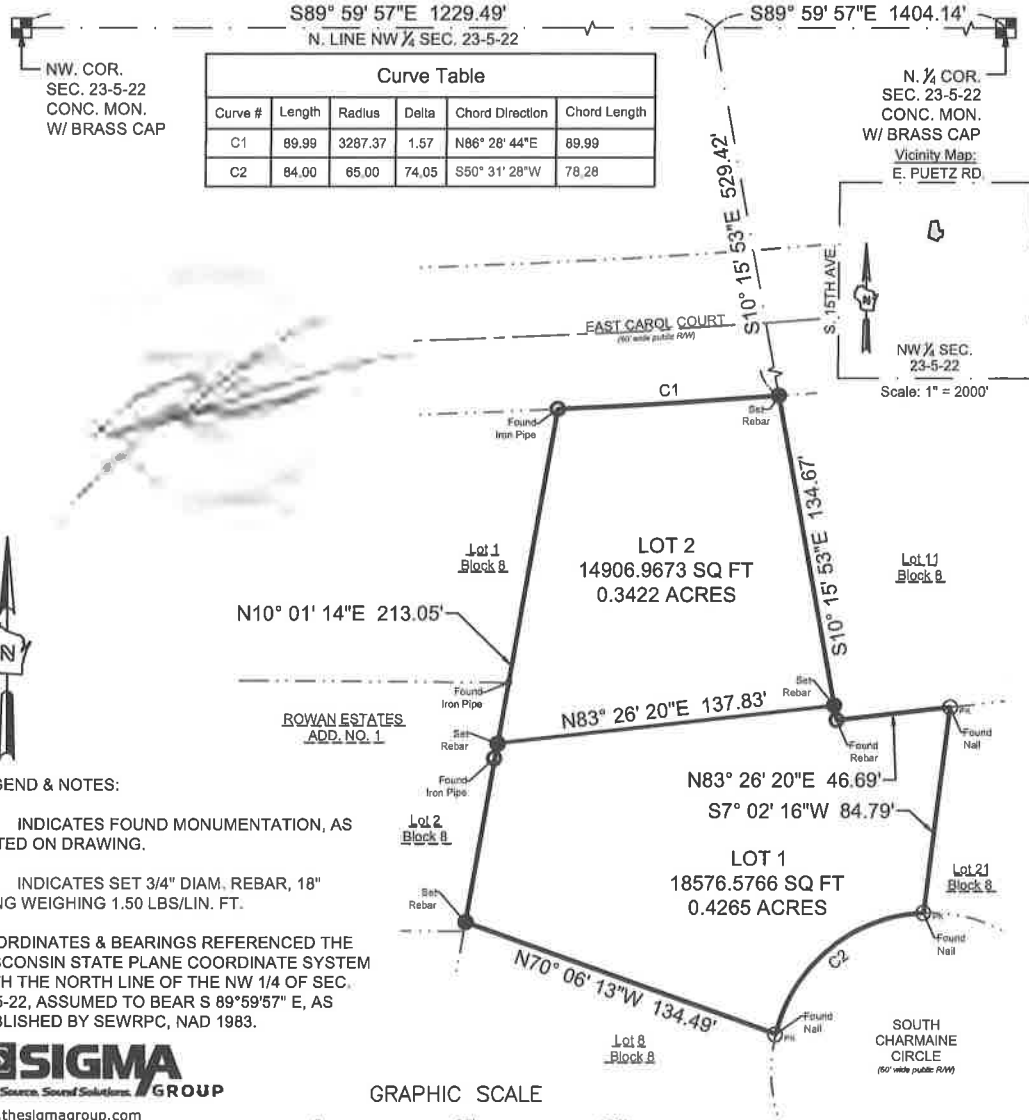
Following surveys by both owners, it was revealed that the current lot line reflected in the legal descriptions runs through the Holtzs' garage that was built back in the 1960s. In an effort to settle all adverse possession claims and clearly delineate a lot line that does not result in encroachments, the owners executed the attached Purchase and Sale Agreement.

The Holtzs now seek the City's approval of this lot line adjustment.

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOTS 9 AND 10 IN BLOCK 8 OF ROWAN ESTATES ADDITION NO. 1, IN THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

ADDRESSES: 8801 S. CHARMAIN CIR. OAK CREEK, WI & 3381 E CAROL CT. OAK CREEK, WI  
TAXKEYS: 864-0081-000 & 864-0082-000



**LEGEND & NOTES:**

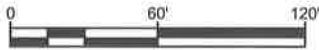
- INDICATES FOUND MONUMENTATION, AS NOTED ON DRAWING.
- INDICATES SET 3/4" DIAM. REBAR, 18" LONG WEIGHING 1.50 LBS/LIN. FT.

COORDINATES & BEARINGS REFERENCED THE WISCONSIN STATE PLANE COORDINATE SYSTEM WITH THE NORTH LINE OF THE NW 1/4 OF SEC. 23-5-22, ASSUMED TO BEAR S 89°59'57" E, AS PUBLISHED BY SEWRPC, NAD 1983.



www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

**GRAPHIC SCALE**



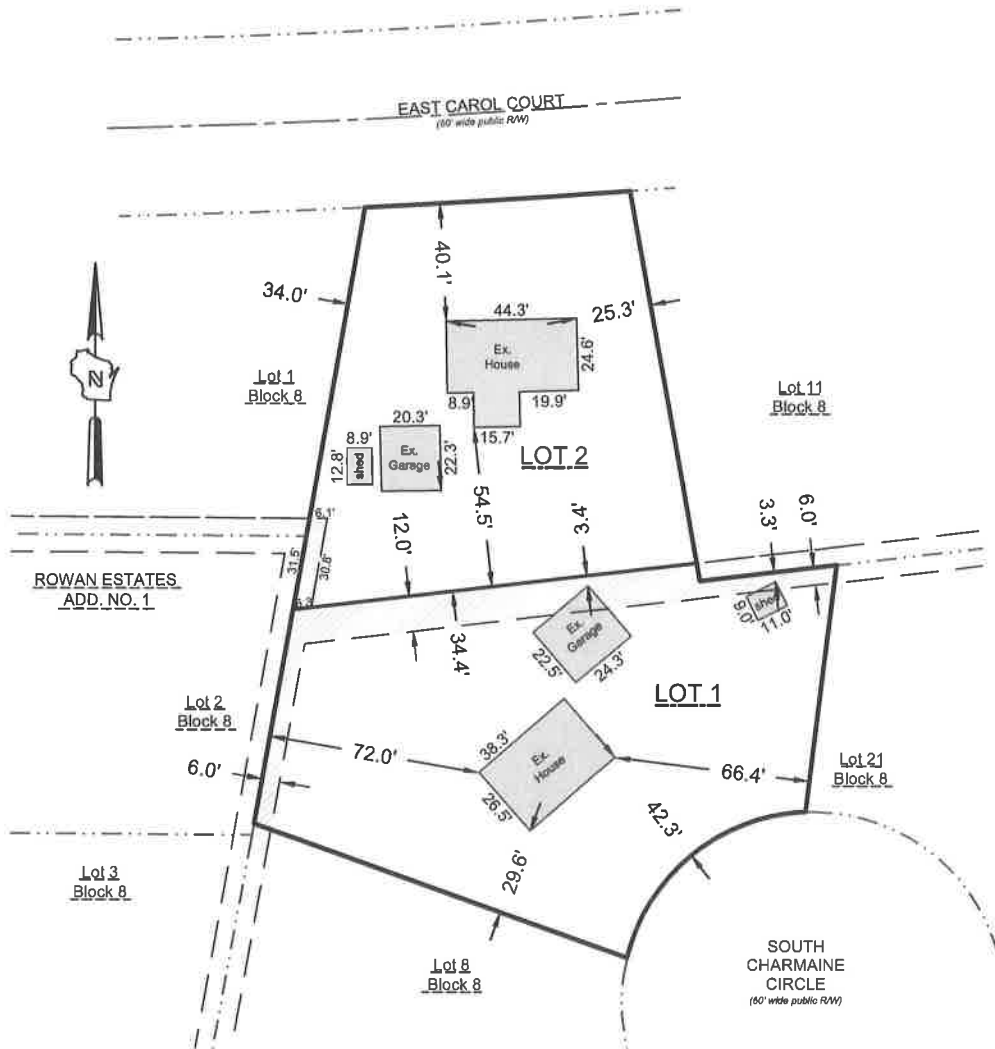
PROJECT NUMBER 21534 DRAFTED BY NGC

Sheet 1 of 4







# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOTS 9 AND 10 IN BLOCK 8 OF ROWAN ESTATES ADDITION NO. 1, IN THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



## EXISTING EASEMENTS AND STRUCTURES

LEGEND & NOTES:

-  INDICATES 6' OR 12' PUBLIC UTILITY EASEMENT
-  PROPERTY LINE
-  EASEMENT
-  ADJOINER PROPERTY

**THE SIGMA GROUP**  
Single Source. Smart Solutions.

www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

GRAPHIC SCALE



PROJECT NUMBER 21534 DRAFTED BY NGC

Sheet 2 of 4

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOTS 9 AND 10 IN BLOCK 8 OF ROWAN ESTATES ADDITION NO. 1, IN THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
SS  
MILWAUKEE COUNTY)

I, Kevin A. Slottke, Professional Land Surveyor, hereby certify that I have surveyed, divided and mapped a division of Lots 9 and 10 in Block 8 of Rowan Estates Addition No. 1, in the Northwest and Northeast 1/4 of the Northwest 1/4 of Section 23, Township 5 North, Range 22 East, City of Oak Creek, Milwaukee County, Wisconsin.

Commencing at the Northwest corner of said Section 23; thence South 89°59'57" East, 1229.49 feet along the North line of the Northwest 1/4 of said Section; thence South 10°15'53" East, 529.42 feet to the point of beginning of this description; thence continuing South 10°15'53" East, 134.67 feet; thence North 83°26'20" East, 46.69 feet; thence South 07°02'16" West, 84.79 feet; thence Southwesterly 84.00 feet along the curve of an arc whose radius lies 65.00 feet to the Southeast and whose chord bears South 50°31'28" West, 78.28 feet; thence North 70°06'13" West, 134.49 feet; thence North 10°01'14" East, 213.05 feet; thence Easterly 89.99 feet along the curve of an arc whose radius lies 3287.37 feet to the North and whose chord bears North 86°28'44" East, 89.99 feet to the point of beginning of this description.

Said parcel contains 33,483.5219 square feet or 0.7687 acre of land, more or less.

That I have made the survey, land division, and map by the direction of the Greg and Gail Holtz, owners of said land.

That the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with Chapter 236 of the Wisconsin Statutes and Chapter 119 of the Milwaukee Code of Ordinances in surveying, dividing and mapping the same. Per Wis. Stat. 236.21 (1), this certificate has the same force and effect as an affidavit.



KEVIN A. SLOTTKE S-2503

DATE: MARCH 23, 2023



www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

PROJECT NUMBER 21534 DRAFTED BY NGC

Sheet 3 of 4

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

LOTS 9 AND 10 IN BLOCK 8 OF ROWAN ESTATES ADDITION NO. 1, IN THE NORTHWEST AND NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

## OWNER'S CERTIFICATE

As owner, I, Greg and Gail Holtz, Certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped and is represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin Statutes and the City of Oak Creek Code of Ordinances.

This agreement is binding on the undersigned and successors and assigns.

Date: \_\_\_\_\_

Greg and Gail Holtz

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

## OWNER'S CERTIFICATE

As owner, I, James and Sarah Nickols, Certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped and is represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin Statutes and the City of Oak Creek Code of Ordinances.

This agreement is binding on the undersigned and successors and assigns.

Date: \_\_\_\_\_

James and Sarah Nickols

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

## PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the City of Oak Creek on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
Name, Chairman

\_\_\_\_\_  
Karl Papelbon, Secretary

## COMMON COUNCIL APPROVAL

Approved by the Common Council of the City of Oak Creek in accordance with the Resolution approved on this

\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
Daniel Bukiewicz, Mayor

\_\_\_\_\_  
Catherine A. Roeske, City Clerk



www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

**COMMON COUNCIL REPORT**

**Item:** Certified Survey Map - 1402 W. Hampstead Ln. - John Thomsen, Highgate LLC

**Recommendation:** That the Council adopts Resolution No. 12411-050223, a resolution approving a Certified Survey Map submitted by John Thomsen, Highgate LLC for the property at 1402 W. Hampstead Ln. (1st Aldermanic District).

**Fiscal Impact:** The proposal is to divide the property into one (1) compliant lot (Lot 7) prior to an anticipated development with a commercial business. If approved, development of Lot 7 would yield positive fiscal impact in terms of assessed value, permit fees, and impact fees. This property is part of TID 12.

**Critical Success Factor(s):**

- Vibrant and Diverse Cultural Opportunities
- Thoughtful Development and Prosperous Economy
- Safe, Welcoming, and Engaged Community
- Inspired, Aligned, and Proactive City Leadership
- Financial Stability
- Quality Infrastructure, Amenities, and Services
- Not Applicable

---

**Background:** The Applicant is requesting approval of a Certified Survey Map (CSM) dividing the property at 1402 W. Hampstead Ln. into one (1) development parcel and one (1) Outlot. This property is part of the Highgate PUD. Council will note that the CSM labels the lots as Lot 7 and Outlot 8, which are continuations of lot numbers from the previous CSMs.

While Lot 7 is intended for future commercial development, Outlot 8 will retain the wetlands, stormwater infrastructure, and cross-access easements for the development. Each of the proposed lots meets the minimum lot size and width requirements for the B-4, General Business zoning district and PUD requirements. Minor corrections, including the correct Plan Commission Secretary on Sheet 6, will be required prior to recording should the proposed CSM be recommended for approval.

The Plan Commission reviewed this request during their April 25, 2023 meeting, and recommended approval subject to the following condition:

That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

**Options/Alternatives:** Council has the discretion to approve, and/or modify the condition(s) of Certified Survey Map approval, or deny the request.

---

Prepared and Respectfully submitted:



Andrew J. Vickers, MPA

Approved:



Kari Papelbon, CFM, AICP

City Administrator

Senior Planner

Fiscal Review:



Maxwell Gagin, MPA

Assistant City Administrator / Comptroller

Approved:



Douglas W. Seymour, AICP

Director of Community Development

---

Attachments:

Res. 12411-050223

Location Map

Proposed CSM (6 pages)

RESOLUTION NO. 12411-050223

BY: \_\_\_\_\_

A RESOLUTION APPROVING A CERTIFIED SURVEY MAP FOR  
JOHN THOMSEN, HIGHGATE LLC

1402 W. Hampstead Ln.  
(1<sup>st</sup> Aldermanic District)

WHEREAS, JOHN THOMSEN, HIGHGATE LLC, hereinafter referred to as the subdivider, has submitted a certified survey map in compliance with all statutory requirements; and

WHEREAS, the subdivider has complied with all of the applicable ordinances and resolutions of the City of Oak Creek, and

WHEREAS, the Plan Commission has recommended that this certified survey map be approved, subject to the following condition:

That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

NOW, THEREFORE, BE IT RESOLVED that this certified survey map, in the City of Oak Creek, Wisconsin, is hereby approved by the Common Council subject to the following conditions:

That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Introduced at a regular meeting of the Common Council of the City of Oak Creek held this 2<sup>nd</sup> day of May, 2023.

Passed and adopted this 2<sup>nd</sup> day of May, 2023.

\_\_\_\_\_  
President, Common Council

Approved this 2<sup>nd</sup> day of May, 2023.

\_\_\_\_\_  
Mayor

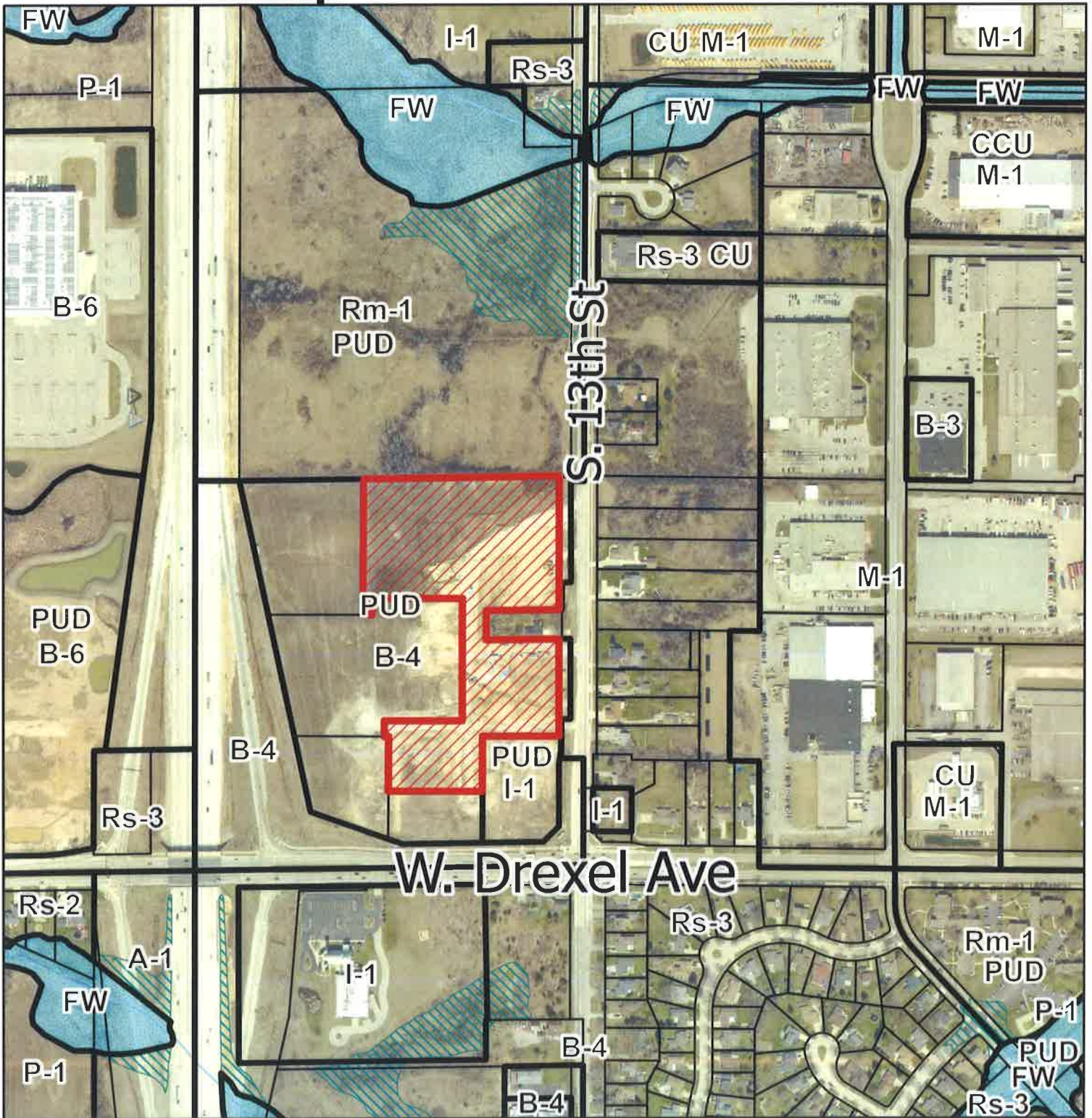
ATTEST:

\_\_\_\_\_  
City Clerk

VOTE: Ayes \_\_\_\_\_ Noes \_\_\_\_\_

# Notification Map

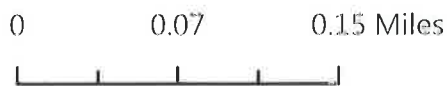
## 1402 W Hampstead Lane



This map is not a survey of the actual boundary of the property this map depicts

### Legend

- Zoning
- Official Street Map
- Floodway
- Flood Fringe
- Parcels
- 1402 W Hampstead Lane



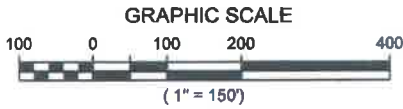
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Outlot 3 of Certified Survey Map No. 9236, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

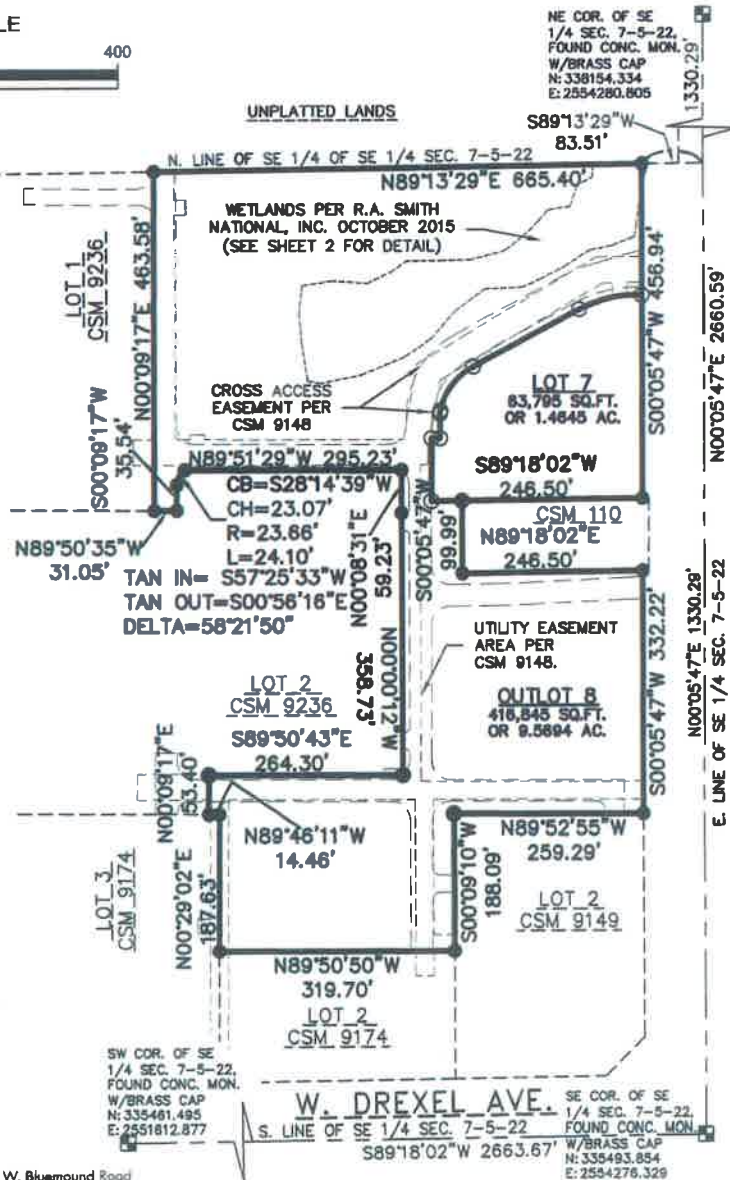
- INDICATES 1" IRON PIPE (FOUND), UNLESS NOTED
- INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT.

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SE 1/4 OF SECTION 7, T 5 N, R 22 E, WHICH BEARS N00°05'47"E.



OWNER:  
HIGHGATE, LLC  
19035 W. CAPITOL DR. STE. 108  
BROOKFIELD, WI 53186



NE COR. OF SE 1/4 SEC. 7-5-22, FOUND CONC. MON. W/BRASS CAP N: 336154.334 E: 2554280.805

N00°05'47"E 1330.28'  
E LINE OF SE 1/4 SEC. 7-5-22

S. 13th ST.  
VARIABLE WIDTH PUBLIC R.O.W.

SW COR. OF SE 1/4 SEC. 7-5-22, FOUND CONC. MON. W/BRASS CAP N: 335461.485 E: 2551812.877

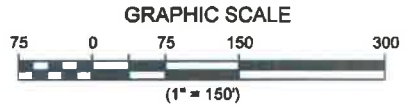
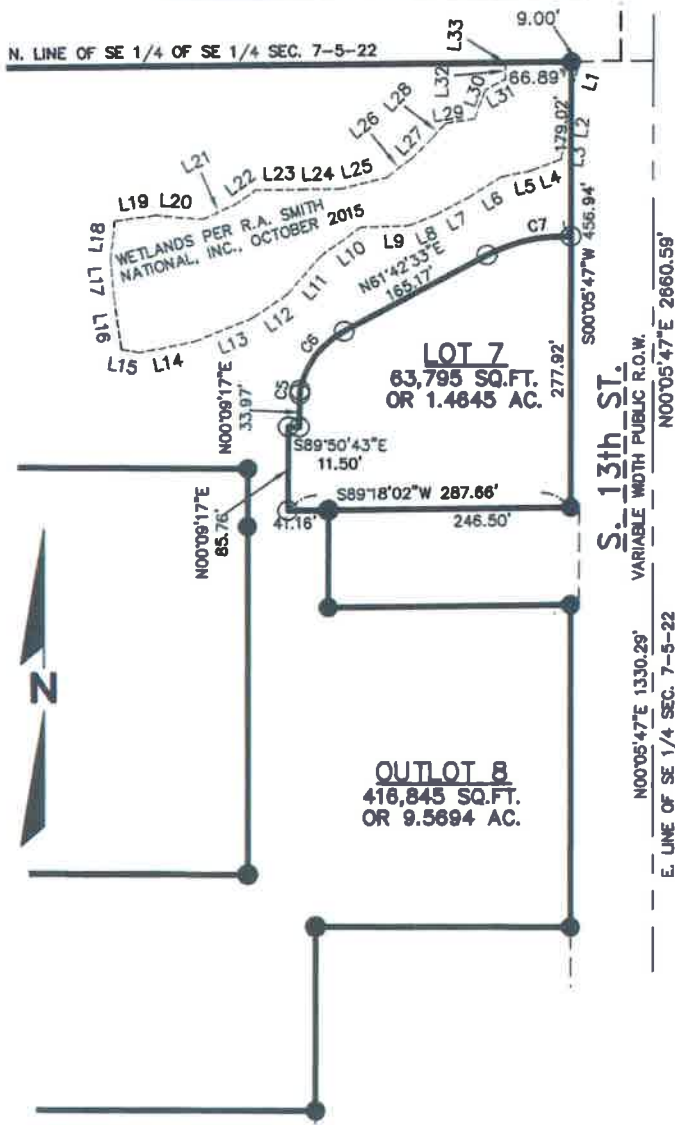
SE COR. OF SE 1/4 SEC. 7-5-22, FOUND CONC. MON. W/BRASS CAP N: 335493.854 E: 2554276.329



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Outlot 3 of Certified Survey Map No. 9236, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

## WETLAND AND INTERIOR LOT DETAILS



Curve #	Length	Radius	Chord Bearing	Chord	Tangent In	Tangent Out	Delta
C5	3.93	19.00	N6°04'30"E	3.92	N00°09'17.2"E	N11°59'42.1"E	011°50'25.0"
C6	77.66	89.50	N36°51'07"E	75.24	N11°59'42.1"E	N61°42'32.7"E	049°42'50.6"
C7	88.53	163.50	N77°13'18"E	87.46	N61°42'32.7"E	S87°15'55.8"E	031°01'31.5"

Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length
L1	S17°03'57"W	35.98	L12	S85°12'57"W	43.47	L23	N88°08'13"E	47.28
L2	S7°00'47"W	47.82	L13	S67°40'01"W	62.97	L24	N88°51'28"E	36.91
L3	S8°42'34"W	18.46	L14	S77°38'31"W	66.52	L25	N75°36'13"E	47.80
L4	S88°08'47"W	33.02	L15	N80°11'12"W	18.87	L26	N82°35'33"E	32.43
L5	S78°28'10"W	29.97	L16	N8°12'31"W	33.23	L27	N45°14'45"E	27.81
L6	S57°28'31"W	40.19	L17	N52°52'02"W	40.56	L28	N41°38'47"E	22.03
L7	S62°13'16"W	37.16	L18	N8°51'04"E	38.64	L29	N81°38'10"E	29.73
L8	S87°07'33"W	30.18	L19	N81°30'45"E	41.64	L30	N19°42'11"E	30.88
L9	S88°01'00"W	48.78	L20	S88°08'08"E	48.11	L31	N81°12'08"E	23.47
L10	S84°11'45"W	50.62	L21	N84°14'57"E	37.41	L32	N0°17'28"E	15.12
L11	S40°36'48"W	51.49	L22	N83°48'12"E	23.23	L33	N4°27'14"E	2.02

**raSmith** 16745 W. Bluemound Road  
 Brookfield, WI 53005-5938  
 (262) 781-1000  
 raSmith.com  
 CREATIVITY BEYOND ENGINEERING

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Outlot 3 of Certified Survey Map No. 9236, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN        }  
  :SS  
WAUKESHA COUNTY         }

I, ERIC R. STURM, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped a redivision of Outlot 3 of Certified Survey Map No. 9236, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin, which is bounded and described as follows:

COMMENCING at the Southeast corner of said Southeast 1/4 of Section 7; thence North 00°05'47" East along the East line of said Southeast 1/4 Section 1330.29 feet to a point; thence South 89°13'29" West 83.51 feet to a point on the West line of South 13th Street and the point of beginning; thence South 00°05'47" West along said West line 456.94 feet to the Northeast corner of Certified Survey Map No. 110; thence South 89°18'02" West 246.50 feet to the Northwest corner of said Certified Survey Map No. 110; thence South 00°05'47" West 99.99 feet to the Southwest corner of said Certified Survey Map No. 110; thence North 89°18'02" East 246.50 feet to the West line of South 13th Street; thence South 00°05'47" West along said West line 332.22 feet to the Northeast corner of Lot 2 of Certified Survey Map No. 9149; thence North 89°52'55" West along the North line of said Lot 2, a distance of 259.29 feet to a point; thence South 00°09'10" West along the West line of said Lot 2, a distance of 188.09 feet to the Northeast corner of Lot 2 of Certified Survey Map No. 9174; thence North 89°50'50" West along the North line of said Lot 2, a distance of 319.70 feet to a point on the East line of Lot 3 of Certified Survey Map No. 9174; thence North 00°29'02" East 187.63 feet to the Northeast corner of said Lot 3; thence North 89°46'11" West along the North line of said Lot 3, a distance of 14.46 feet to a point; thence North 00°09'17" East 53.40 feet to a point; thence South 89°50'43" East along the South line of Lot 2 of Certified Survey Map No. 9236, a distance of 264.30 feet to the Southeast corner of said Lot 2; thence North 00°00'12" West along the East line of said Lot 2, a distance of 358.73 feet to a point; thence North 00°08'31" East along said East line 59.23 feet to a point; thence North 89°51'29" West along the North line of said Lot 2, a distance of 295.23 feet to a point; thence Southwesterly 24.10 feet along the arc of a curve, whose center lies to the Southeast, whose radius is 23.66 feet, and whose chord bears South 28°14'39" West 23.07 feet to a point; thence South 00°09'17" West 35.54 feet to a point; thence South 89°50'35" West along the North line of said Lot 2, a distance of 31.05 feet to the Southeast corner of Lot 1 of Certified Survey Map No. 9236; thence North 00°09'17" East along the East line of said Lot 1, a distance of 463.58 feet to a point on the North line of the Southeast 1/4 of the Southeast 1/4 of said Section 7; thence North 89°13'29" East along said North line 665.40 feet to the point of beginning.

Said lands contain 480,666 square feet or 11.0346 acres.

THAT I have made the survey, land division and map by the direction of HIGHGATE, LLC, owner.

THAT the map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with Chapter 236 of the Wisconsin Statutes and Chapter 14 of the City of Oak Creek Municipal Code in surveying, dividing, and mapping the same.

DATE MARCH 21, 2023  *Eric R. Sturm* (SEAL)  
ERIC R. STURM  
PROFESSIONAL LAND SURVEYOR S-2309

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Outlot 3 of Certified Survey Map No. 9236, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

HIGHGATE, LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said corporation has caused the land described on this map to be surveyed, divided, and mapped in accordance with the requirements of Chapter 236 of the Wisconsin Statutes and Chapter 14 of the City of Oak Creek Municipal Code.

HIGHGATE, LLC, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Oak Creek

IN Witness Whereof, HIGHGATE, LLC has caused these presents to be signed by

\_\_\_\_\_, its Managing Member, this \_\_\_\_\_

day of \_\_\_\_\_, 2023.

\_\_\_\_\_

STATE OF WISCONSIN     }  
  :SS  
MILWAUKEE COUNTY     }

PERSONALLY came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2023, \_\_\_\_\_ of the above named HIGHGATE, LLC, to me known to be the person who executed the foregoing instrument, and to me known to be Managing Member and acknowledged that he executed the foregoing instrument as such officer as the deed of the corporation, by its authority.

\_\_\_\_\_  
Notary Public, State of \_\_\_\_\_  
My Commission Expires \_\_\_\_\_





CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Outlot 3 of Certified Survey Map No. 9236, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

PLANNING COMMISSION OF APPROVAL

Certified Survey Map accepted by the Planning Commission of the City of Oak Creek on this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
MAYOR DANIEL BUKIEWICZ, CHAIRMAN

\_\_\_\_\_  
DOUGLAS SEYMOUR, SECRETARY

COMMON COUNCIL APPROVAL

Certified Survey Map approved by the Common Council of the City of Oak Creek on this \_\_\_\_\_ day of \_\_\_\_\_, 2023, by Resolution No. \_\_\_\_\_.

\_\_\_\_\_  
DANIEL BUKIEWICZ, MAYOR

\_\_\_\_\_  
CATHERINE ROESKE, CITY CLERK



THIS INSTRUMENT WAS DRAFTED BY ERIC R. STURM,  
PROFESSIONAL LAND SURVEYOR S-2309

## COMMON COUNCIL REPORT

**Item:** Abendschein Park Pavilion Amended Architectural and Engineering Design Services Contract

**Recommendation:** That the Common Council considers a motion to approve amendments to the Architectural and Engineering Design Services Contract for the Abendschein Park to Plunkett Raysich Architects for their stated services fee of \$60,000. (1st Aldermanic District)

**Fiscal Impact:** The 2022 Capital Improvements Budget originally included \$1,318,000 for this project. Upon rejection of the bids, that funding was diverted to other needed capital projects. Partial funding was provided for parking lot and entrance road improvements in this year's budget. If the Council were to proceed, additional funding sources would need to be identified.

**Critical Success Factor(s):**

- Vibrant and Diverse Cultural Opportunities
- Thoughtful Development and Prosperous Economy
- Safe, Welcoming, and Engaged Community
- Inspired, Aligned, and Proactive City Leadership
- Financial Stability
- Quality Infrastructure, Amenities, and Services
- Not Applicable

---

**Background:** In August of 2022 construction bids for the Abendschein Park pavilion were received by the City. The apparent low bidder proposed a construction amount of \$4,557,000 for the project, which was \$1,341,600 over the design development budget of \$3,215,900.

On October 4, 2022 the Common Council rejected the bids received for the Abendschein Park Pavilion Project and to directed staff to explore alternative design options.

The attached documentation represents staff's and architect's efforts to redesign the project to better align with previously budgeted resources while retaining the functionality of the site and building.

The overall area has been reduced from 7,164 s.f. to 4,611 s.f., a reduction of 2,553 s.f. (35%). Additionally, architectural design options have been identified to make the project more cost effective, such as the elimination of the stage and simplifying the design. Basic renderings of the redesigned facility are included as an attachment to this report.

The Parks and Recreation Commission was asked to weigh in on whether the proposed changes are acceptable, and should be further advanced through an amended design contract with the architect, recognizing that ultimately, any funding and timing decisions would be the sole responsibility of the Common Council.

**Options/Alternatives:** Should the Council not approve the amendment of the contract, it would be an indication that the project is no longer viable. This would effectively stop work on this until additional project resources become available and there is a more favorable construction environment.

---

Respectfully submitted:



Andrew J. Vickers, MPA  
City Administrator

Prepared:



Doug Seymour, AICP  
Director of Community Development

Fiscal Review:



Maxwell Gagin, MPA  
Assistant City Administrator / Comptroller

---

**Attachments:**

Amendment 2 to Abendschein Park Pavilion Engineering and Design contract (1 page)

Revised layout and renderings (7 pages)

Comparison of approved layout and design with proposed revisions (2 pages)

PRA Project No. 210180-01

23, February 2023

AMENDMENT 02

13.2.5 When signed by all parties, this document will act as an Amendment to our AIA B101 – 2017 Standard Form Agreement between Owner and Architect, dated October 12, 2021 titled City of Oak Creek Abenschein Park Beer Garden located at 1311 E. Drexel Avenue in Oak Creek, Wisconsin. This Amendment is for Additional Services.

Modify Article 3.3.1:

Additional Services items provided and tracking as follows:

- Redesign of project to fit within updated project budget
  - See attached VE Path letter
  - See attached revised design proposal
- Alterations to Architectural design to reduce project budget
- Alterations to Structural design to reduce project budget
- Alterations to HVAC, Electrical, Plumbing and Fire Protection design to reduce project budget
- Additional Program Meetings Meetings
- Added Photorealistic Renderings for owner approval

Modify Article 11.1:

Add: \$ 60,000 for the above Additional Services

Original Contract:	\$108,000
Amendment #1:	\$ 64,800
Amendment #2:	\$ 60,000
TOTAL NEW FEE:	\$272,800 (Two-Hundred Seventy-Two Thousand Eight Hundred Dollars)

OWNER:  
City of Oak Creek

By \_\_\_\_\_  
(Signature)

City Administrator

ARCHITECT:  
Plunkett Raysich Architects, LLP

By \_\_\_\_\_  
(Signature)

Gregg R. Golden, AIA, NCARB  
Partner

209 south water street milwaukee, wisconsin 53204 414 359 3060  
2310 crossroads drive suite 2000 madison, wisconsin 53718 608 240 9900  
1970 main street suite 201 sarasota, florida 34236 941 444 8845  
311 canyon wren drive buda, texas 78610 512 649 5627

innovative design with inspiring results | [www.praarch.com](http://www.praarch.com)

Partners: Michael Bahr, Kevin Broich, Michael Brush, Gregg Golden, John Holz, Devin Kack, Nicholas Kent, Steven Kieckhafer, Scott Kramer, Jason Puestov, Larry Schneider, Michael Sobczak





**Project:** Abendschein Park Pavilion  
**Date:** 210180-01  
 02/16/2023  
**Location:** 1311 Drexel Ave.  
 Oak Creek, WI 53154

**Project Summary**

PRA met with the apparent low bidder to review their assessment of project budget and bid. They made several suggestions for the project team to review.

**Project Budget and Bidding:**

Design Development budget:	4/24/2022	\$3,215,900
Apparent Low bid:	8/26/2022	\$4,557,500
Difference		+1,341,600
City revised budget	11/30/2022	\$2,500,000
Difference		+2,057,500

**Caveats noted by low bidder: Bidding climate factors**

- 1) Allow longer window from contract award to mobilization to deal with procurement challenges.
- 2) Develop schedule that optimizes bidders and limits winter conditions.



**Value Engineering Path**

**Scope Reduction**

- Omit Large Stage
- Omit Parking lot paving (funded elsewhere)
- Parking lot lighting (can this be funded elsewhere)
- 8" water main for Fire Protection and future extension (can it be funded elsewhere)

**Site Related Reductions**

- Omit Food truck hook-ups
- Omit fencing around pond
- Reduce Site Concrete. Could replace with alternative paving
- Reduce planting density to code minimums
- Reduce Site lighting
- Simplify yard screening (prefabricated alternate)

**Building**

Reduce overall footprint

Area:	Prev	New	Reduction	
Overall	7,164	4,611	-2,553	-35%
Enclosed	3,573	2,667	-906	-25%
Covered	2,817	1,239	-1,578	-56%
Trash	775	601	-174	-22%

Decrease cooler size

Reduce toilet fixture count

Omit Family Toilet Room

Move cooler outside of building shell (option not shown yet)

Remove south facing clerestory (will track this as an Alternate Deduct)

Simply structural steel (reduce spans, no moment connections)

Aim to use more wood structure

Increased main roof slope to 3/12 to allow simpler alternate to roof shingles

Alternate soffit panels to LMC

Alternate Siding Material

Reduce number of overhead sectional doors

Omit Overhead Serving Door

Omit Destrat fans and controls

Three seasons instead of year round tempered building (has other structural and MEP systems impacts)

Fire Protection

Prepared by:



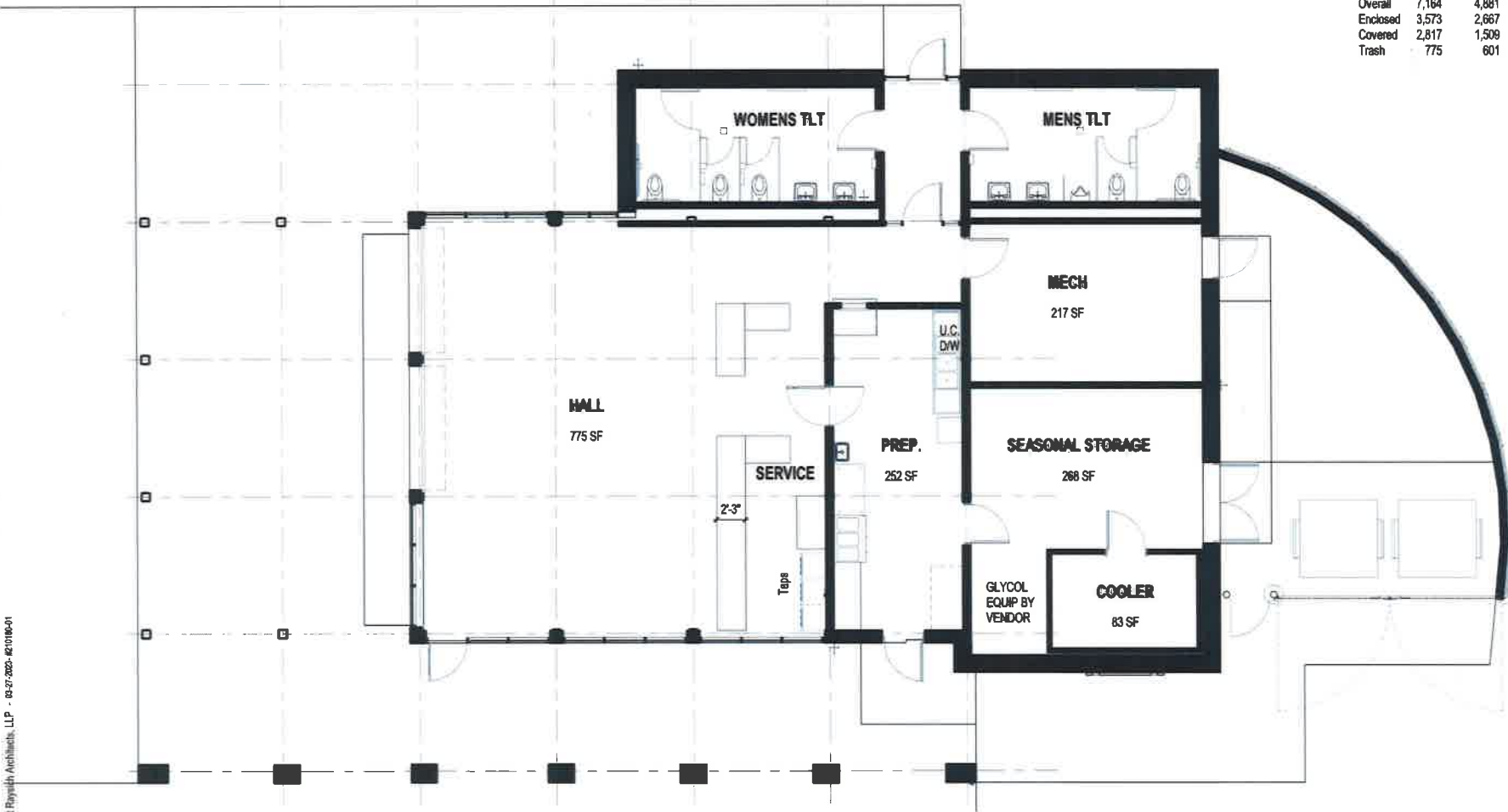

Ryan N. Schmitz AIA  
Project Manager



# ABENDSCHEIN PARK PAVILION

PLUNKETT RAYSICH  
ARCHITECTS, LLP

Area:	Prev	New	Reduction
Overall	7,164	4,881	-2,283 -32%
Enclosed	3,573	2,667	-906 -25%
Covered	2,817	1,509	-1,308 -46%
Trash	775	601	-174 -22%



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NORTH  
  
**REVISED PLAN**  
 1/8" = 1'-0"

CURRENT PLAN

ABENDSCHEIN PARK PAVILION

PLUNKETT RAYSICH  
ARCHITECTS, LLP



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SOUTHEAST VIEW

ABENDSCHEIN PARK PAVILION

PLUNKETT RAYSICH  
ARCHITECTS, LLP



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SOUTH VIEW

ABENDSCHEIN PARK PAVILION

PLUNKETT RAYSICH  
ARCHITECTS, LLP



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SOUTHWEST VIEW

ABENDSCHEIN PARK PAVILION

PLUNKETT RAYSICH  
ARCHITECTS, LLP



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WEST VIEW



ABENDSCHEIN PARK PAVILION

PLUNKETT RAYSICH  
ARCHITECTS, LLP



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NORTHWEST VIEW

ABENDSCHEIN PARK PAVILION

PLUNKETT RAYSICH  
ARCHITECTS, LLP



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NORTH VIEW

## COMMON COUNCIL REPORT

<b>Item:</b>	S. 6 <sup>th</sup> Street Bridge, P-40-0556, Three Party Design Contract
<b>Recommendation:</b>	That the Common Council considers a motion to authorize the Engineering Department to enter into a Three Party Design Contract, not to exceed \$108,322, between the Wisconsin Department of Transportation, City of Oak Creek, and Alfred Benesch and Company for the design services of the S. 6 <sup>th</sup> Street bridge over Oak Creek. (1 <sup>st</sup> District)
<b>Fiscal Impact:</b>	The city will be responsible for 20% of the total design costs, which is estimated to be \$21,665. Funding was allocated in the budget under CIP #19029, with a balance of \$230,000. The remaining 80% of the total design costs will be federally funded, which is estimated to be \$86,657.
<b>Critical Success Factor(s):</b>	<input type="checkbox"/> Vibrant and Diverse Cultural Opportunities <input type="checkbox"/> Thoughtful Development and Prosperous Economy <input checked="" type="checkbox"/> Safe, Welcoming, and Engaged Community <input type="checkbox"/> Inspired, Aligned, and Proactive City Leadership <input checked="" type="checkbox"/> Financial Stability <input checked="" type="checkbox"/> Quality Infrastructure, Amenities, and Services <input type="checkbox"/> Not Applicable

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**Background:** On February 7, 2023, the Common Council approved Resolution No. 12385-020723 entering into a State Municipal Agreement (SMA) with WisDOT for the rehabilitation of the bridge located on S. 6<sup>th</sup> Street, bridge over Oak Creek (7800 S. 6<sup>th</sup> Street). On February 20, 2023, the Common Council authorized the Engineering Department to enter into contract negotiations with Alfred Benesch and Company for the design services of the S. 6<sup>th</sup> Street bridge over Oak Creek. The proposed improvements will include removing and replacing the existing superstructure of the bridge, constructing new approach slabs, and replacing the existing wingwalls & guardrails. Now that the SMA is in place and negotiations with Alfred Benesch and Company is complete, the next step is to sign the Three Party Design Contract between the Wisconsin Department of Transportation, City of Oak Creek, and Alfred Benesch and Company to begin the design of the S. 6<sup>th</sup> Street bridge.

Through negotiations Engineering staff, WisDOT, and Alfred Benesch and Company agreed upon a scope of services and contract amount to not exceed \$108,322 for the project design. The city will be responsible for 20% of the contract amount.

Construction is scheduled for 2025.

**Options/Alternatives:** The alternative is to renegotiate the scope of services and contract amount, jeopardize the project schedule and risk losing federal funding for not complying with the requirements of WisDOT's Local Bridge Program grant funding.

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Respectfully submitted:



Andrew J. Vickers, MPA  
City Administrator

Prepared:



Ashley Kiepczynski, PE  
Assistant City Engineer

Fiscal Review:



Maxwell Gagin, MPA  
Assistant City Administrator/Comptroller

Approved:



Matthew J. Sullivan, PE  
City Engineer

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Attachments: Three Party Design Engineering Services Contract Signature Pages

THREE PARTY DESIGN ENGINEERING SERVICES CONTRACT  
SIGNATURE PAGES

ENGINEERING SERVICES CONTRACT

BETWEEN THE WISCONSIN DEPARTMENT OF TRANSPORTATION,

The City of Oak Creek (MUNICIPALITY)

AND Alfred Benesch and Company (CONSULTANT) FOR

2987-07-01  
South 6<sup>th</sup> St over Oak Creek  
P-40-556  
Milwaukee County

This CONTRACT made and entered into by and between the DEPARTMENT, MUNICIPALITY and the CONSULTANT provides for those SERVICES described in the Scope of Services and Special Provisions and is generally for the purpose of providing the SERVICES solicited by the MUNICIPALITY in an RFP dated 1/18/2023 and including bridge and roadway design SERVICES. This Qualification Based Selection was made based on the CONSULTANT'S Notice of Interest response and any interviews conducted.

The DEPARTMENT and MUNICIPALITY deem it advisable to engage the CONSULTANT to provide certain engineering SERVICES and has authority to contract for these SERVICES under sec. 84.01(13), Wis. Stats.

The DEPARTMENT REPRESENTATIVE is: Michael J. Baird; WisDOT SE Region PDS-Local Program Project Manager; 141 NW Barstow St, Waukesha, WI 53187; michael.baird@dot.wi.gov; 262-548-5918.

The MUNICIPALITY REPRESENTATIVE is: Ashley Kiepczynski; Assistant City Engineer; City of Oak Creek 8040 S. 6th Street Oak Creek, WI 53154; akiepczynski@oakcreekwi.gov; (414) 766-7038.

The CONSULTANT REPRESENTATIVE is: William Zippel; Project Manager; 1300 W Canal St, Suite 150, Milwaukee, WI 53233; wzippel@benesch.com; 414-517-4786.

The CONSULTANT SERVICES will be performed for the DEPARTMENT's SE Region office located in Waukesha, WI and will be completed by 6/1/2025. Deliver PROJECT DOCUMENTS to 8040 S. 6th Street Oak Creek, WI 53154, unless other directions are given by the DEPARTMENT.

Compensation for all SERVICES provided by the CONSULTANT under the terms of the CONTRACT will be from the:

DEPARTMENT       MUNICIPALITY

For project management, structure design, and other civil design, actual costs to the CONSULTANT up to \$86,408.69, plus a fixed fee of \$5,801.22, not to exceed \$92,209.91.

For topographic survey and Phase 1 Haz Mat investigation, subcontracted to The Sigma Group, the CONSULTANT's actual cost to The Sigma Group based on The Sigma Group's actual cost up to \$7,679.81 plus fixed fee of \$481.62 not to exceed \$8,161.43.

THREE PARTY DESIGN ENGINEERING SERVICES CONTRACT  
SIGNATURE PAGES

For geotechnical investigation and engineering, subcontracted to Gestra Engineering, Inc, the CONSULTANT's actual cost to Gestra Engineering, Inc not to exceed \$7,950.00 for units delivered based on rates in the table below.

Item	Unit Amount	Unit Type	Rate	Total Expenses
<b>Geotechnical Testing (Drilling Services)</b>				
Drill Rig Mobilization	1	EA	\$ 200.00	\$ 200.00
SPT Drilling (0-25')	50	LF	\$ 16.00	\$ 800.00
SPT Drilling (25-50')	30	LF	\$ 20.00	\$ 600.00
Mud Rotary Set-up	2	EA	\$ 200.00	\$ 400.00
Shelby Tube	4	EA	\$ 85.00	\$ 340.00
Abandonment (Bentonite Chips)	80	per FT	\$ 7.00	\$ 560.00
Stemming Plug	2	EA	\$ 15.00	\$ 30.00
Pavement Repair (with asphalt)	2	EA	\$ 75.00	\$ 150.00
GPS Locator (charged on P-40-558)		EA	\$ 300.00	\$ -
Traffic Sign Rental	2	DAILY		\$ -
			<b>Sub Total</b>	<b>\$ 3,080.00</b>
<b>Lab Testing</b>				
Molsture Content	30	EA	\$ 9.00	\$ 270.00
Atterberg Limit	2	EA	\$ 85.00	\$ 170.00
Unconfined Comp. and Dry Density	4	EA	\$ 70.00	\$ 280.00
Sieve Analysis	1	EA	\$ 135.00	\$ 135.00
			<b>Sub Total</b>	<b>\$ 855.00</b>
<b>Project Management and Geotechnical Analysis/Eng/Report</b>				
Principal Engineer - Masud Alam	2	Hour	\$ 250.00	\$ 500.00
Project Engineer - Eric Jeske	24	Hour	\$ 135.00	\$ 3,240.00
Project Coordination - Tim Winkler	1	Hour	\$ 135.00	\$ 135.00
Administration - Katie Greene	2	Hour	\$ 70.00	\$ 140.00
			<b>Sub Total</b>	<b>\$ 4,015.00</b>
<b>EXHIBIT 1 TOTAL</b>				<b>\$7,950.00</b>

Compensation for all SERVICES provided by the CONSULTANT under the terms of the CONTRACT shall be for an amount not to exceed \$ 108,321.34.

The CONSULTANT does and will comply with the laws and regulations relating to the profession of engineering and will provide the desired engineering SERVICES.

This CONTRACT incorporates and the parties agree to all of the standard provisions of the Three Party Design Engineering Services Contract, dated July 1, 2015 and referenced in Procedure 8-15-1 of the State of Wisconsin Department of Transportation Facilities Development Manual. CONSULTANT acknowledges receipt of a copy of these standard provisions.

This CONTRACT incorporates all of the MANUALS defined in the CONTRACT.

The parties also agree to all of the Special Provisions which are annexed and made a part of this CONTRACT, consisting of 10 pages.

Nothing in this CONTRACT accords any third part beneficiary rights whatsoever on any non-party that may be enforced by any non-party to this contract.

**THREE PARTY DESIGN ENGINEERING SERVICES CONTRACT  
SIGNATURE PAGES**

**For the CONSULTANT**

**By:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**For the DEPARTMENT**

**By:** \_\_\_\_\_

**Contract Manager, WisDOT**

**Date:** \_\_\_\_\_

**For the MUNICIPALITY**

**By:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**COMMON COUNCIL REPORT****Item:** License Committee Report**Recommendation:** That the Common Council grant the various license requests as listed on the 5/2/23 License Committee Report.**Fiscal Impact:** License fees in the amount of \$860.00 were collected.**Critical Success Factor(s):**  
 Vibrant and Diverse Cultural Opportunities  
 Thoughtful Development and Prosperous Economy  
 Safe, Welcoming, and Engaged Community  
 Inspired, Aligned, and Proactive City Leadership  
 Financial Stability  
 Quality Infrastructure, Amenities, and Services  
 Not Applicable

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**Background:**

1. Grant an Operator's license to (favorable background reports received):
  - \* Jennifer H. Helser (Community Center)
  - \* Ian J. Sanchez (Kwik Trip)
  - \* Misti S. Stenglein (Kwik Trip)
  - \* Angelica D. Doughty (Aldi)
  - \* Joyce A. Paul (Southbound Again)
  - \* Jenna N. Hagar (South Shore Cinema)
  - \* Judy A. Schneider (Route 41 Bar & Grill)
2. Grant a Transient Merchant solicitor license to Travis J. Cobb, soliciting home improvement products for Renewal by Anderson (approved on 2/20/23) (favorable background reports received).
3. Grant a Temporary Class B Beer / Class B Wine license to Paula Nevarez, Oak Creek Tourism Commission for a Pop-Up Beer Gardens to be held at Drexel Town Square, on June 15-17, July 13-15, and August 17-19.

**Options/Alternatives:** None

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**Respectfully submitted:**Andrew J. Vickers, MPA  
City Administrator**Prepared:**Christa J. Miller CMC/WCMC  
Deputy City Clerk**Fiscal Review:**Maxwell Gagin, MPA  
Assistant City Administrator / Comptroller

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Attachments: none



## COMMON COUNCIL REPORT

**Item:** Vendor Summary Report

**Recommendation:** That the Common Council approve the April 26, 2023 Vendor Summary Report in the total of \$489,574.41.

**Fiscal Impact:** Total claims paid of \$489,574.41.

**Critical Success Factor(s):**

- Vibrant and Diverse Cultural Opportunities
- Thoughtful Development and Prosperous Economy
- Safe, Welcoming, and Engaged Community
- Inspired, Aligned, and Proactive City Leadership
- Financial Stability
- Quality Infrastructure, Amenities, and Services
- Not Applicable

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**Background:** Of note are the following payments:

1. \$23,761.45 to Bibliotheca, LLC (pg #3) for equipment service contracts.
2. \$11,700.00 to CDW Government, Inc. (pg #4) for antivirus software.
3. \$22,558.13 to Compass Minerals Company (pg #4) for salt inventory.
4. \$11,868.34 to E. H. Wolf & Sons, Inc. (pgs #5 & 6) for fuel inventory.
5. \$8,537.50 to Edgewater Resources, LLC (pg #6) for North Bluff planning study. Project #22001.
6. \$6,095.24 to Fire Suppression Solutions LLC (pg #6) for fire suppression tools.
7. \$6,900.00 to First Responders Psychological Services, LLC (pg #7) for mental health visits.
8. \$103,502.88 to GFL Environmental (pg #7) for April trash and recycling.
9. \$90,597.76 to Hiller Ford, Inc. (pg #8) for 2 new squad cars.
10. \$6,800.00 to Kurt Krueger, Jr. (pg #1) for Rock 'n' Wrestling event.
11. \$13,000.00 to Milliman (pg #10) for retiree medical valuation.
12. \$5,000.00 to Pitney Bowes Bank Reserve Account (pg #11) for postage refill.
13. \$10,076.19 to Poms Tire Service (pg #11) for tires and service.
14. \$35,132.84 to SHI (pg #13) for computer equipment. Project #21023.
15. \$10,920.21 to Sovos Compliance LLC (pg #13) for TIR ACA manager.
16. \$29,169.56 to WE Energies (pgs #15 & 16) for street lighting, electricity, natural gas & street light maintenance. Project #17024.

Options/Alternatives: None

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Respectfully submitted:



Andrew J. Vickers, MPA  
City Administrator

Prepared:



Rory T. Vircks  
Staff Accountant

Fiscal Review:



Maxwell Gaggin, MPA  
Assistant City Administrator/Comptroller

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Attachments: 04/26/2023 Invoice GL Distribution Report