



PLAN COMMISSION REPORT

Proposal: Plan Review

Description: Site plan review for a proposed addition to the existing parking lot

Applicant(s): Nick Newman, Kwik Trip, Inc.

Address(es): 9535 S. 13th Street (5th Aldermanic District)

Suggested Motion: That the Plan Commission approves the site and building plans submitted by Nick Newman, Kwik Trip, Inc. for the addition to the existing parking lot on the property at 9535 S. 13th Street with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That the plans are revised to include setbacks for the additional parking spaces.
3. That the plans are revised to include impervious and green space calculations.
4. That a landscaping plan is submitted in conformance with Code requirements for perimeter parking lot landscaping.
5. That all final plans (site, building, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Owner(s): KT Real Estate Holdings, LLC

Tax Key(s): 904-9008-000

Lot Size(s): 4.19 acres

Current Zoning District(s): B-4, Highway Business

Overlay District(s): CU

Wetlands: Yes No

Floodplain: Yes No

Comprehensive Plan: Commercial

Background:

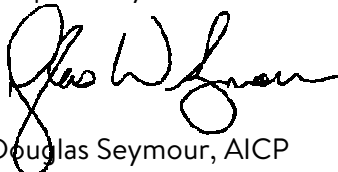
The Applicant is requesting approval for a proposed addition of seven (7) parking stalls on the southwest corner of the property located at 9535 S. 13th Street. The intent is for the additional parking stalls to serve as employee parking to free up parking on the north and east sides of the building for visitors to the store. As proposed, it appears that the proposed expansion meets most requirements. However, there are several areas that require revision:

- In the proposed plans, it appears that the parking lot expansion will comply with the required 15-foot side setback, but this dimension is not labeled in plans and should be verified.
- In the application, the Applicant states that landscape requirement do not apply to this project, citing Article V. Section 17.0505, 2a, #2. However, this Section of Code applies to parking lot interior areas, and the proposed parking lot expansion would be on the perimeter of the parking lot. Along the perimeter of a parking lot, landscaping requirements apply to any expanded area, per Section 17.0505 (b)(1)(b)(2). Code requires one (1) shrub or native grasses for every three (3) feet of landscape area length along the expanded parking lot area.
- Property in the B-4 zoning district may not exceed 70% lot coverage per Code. The proposed parking lot expansion will add 1,324 square feet of impervious area lot coverage. However, current plans do not indicate the current lot coverage percentage for the site.

With the above in mind, and recognizing that City staff will continue to work with the Applicant and their consultants on outstanding issues, staff has provided a suggested motion for approval with conditions above for Plan Commission consideration.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Sylvia Brueckert
Zoning Administrator/Planner

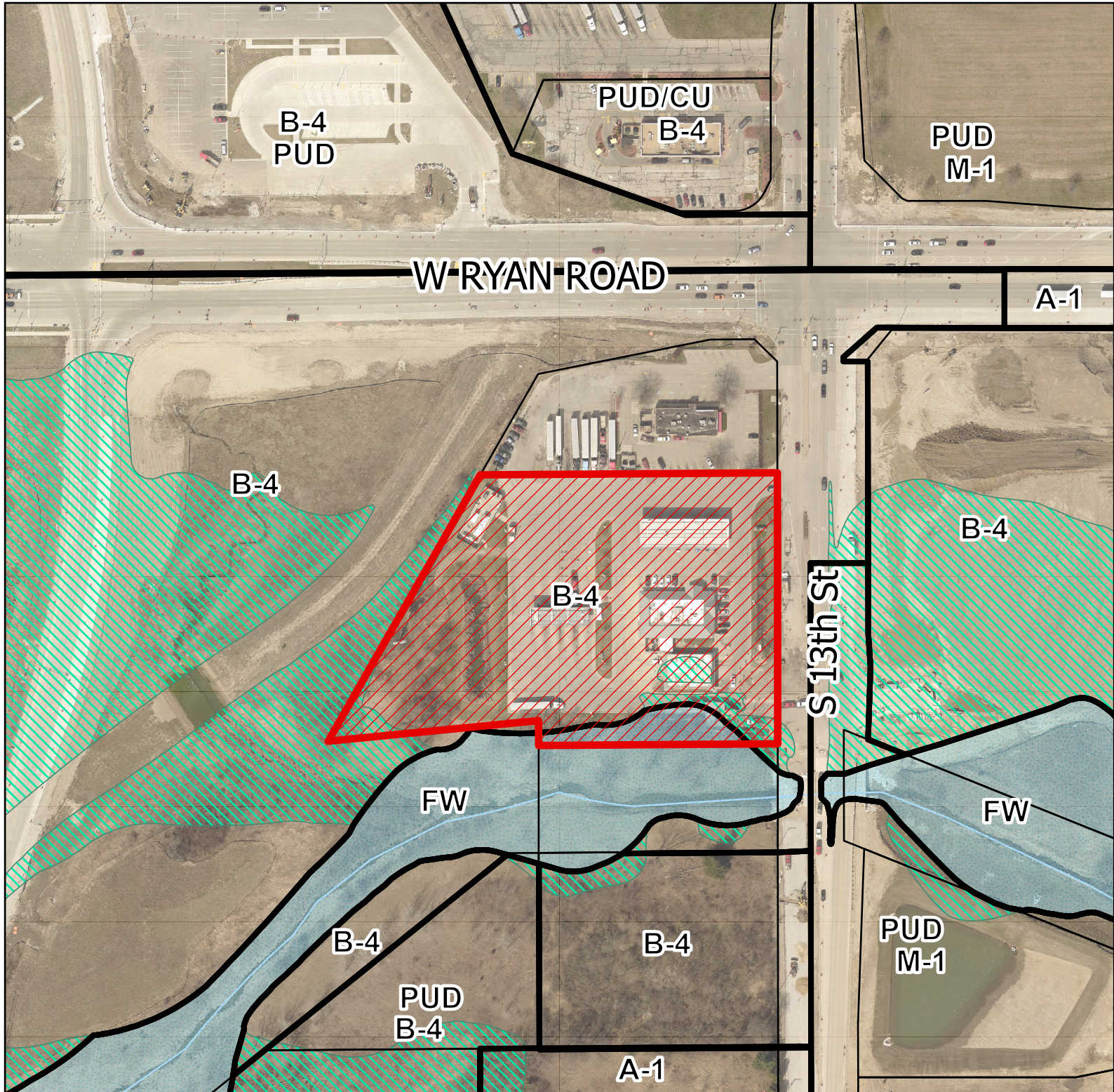
Attachments:

Location Map

Narrative and Plans (8 pages)

Location Map

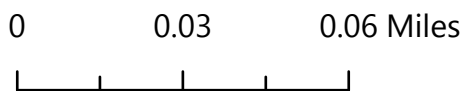
9535 S 13th Street



This map is not a survey of the actual boundary of the property this map depicts

Legend

- Zoning
- Official Street Map
- Floodway
- Flood Fringe
- Parcels
- 9535 S 13th St





March 22, 2023

Community Development
8040 S. 6th St.
Oak Creek, WI 53154
(414) 766-7000

Dear Planning Commission,

The enclosed proposal is for Kwik Trip Inc, and involves their property at 9535 S. 13th Street, in the city of Oak Creek, Wisconsin. In the southwest corner of the site, we wish to add an additional eight parking stalls to serve as employee parking to free up more parking on the north, and east sides of the building for visitors and guests of the store.

This project will disturb 2,452 square feet of the 182,378 square feet (4.19 acre) site and add 1,324 square feet of impervious area to the site. Of the area being disturbed, 195 square feet is currently impervious from the existing pavement and curb, while the remaining 2,257 square feet is all pervious.

This property is located within an area having a zone AE designation, by federal emergency management agency (FEMA) on flood insurance rate map no. 55079c0231e, with a date of identification of 9/26/2008. The recorded floodway elevation is 688.40 feet, and no grading passes that elevation as shown in the plans.

This project requires no landscaping as well, since this is classified as a Parking lot interior area. Since we are only adding seven stalls to the site, which is less than the required ten for the applicability of Article V. Section 17.0505, 2a, #2. As for trees, only three living trees are going to be removed, and all three of them are less than twelve inches. So, no further replanting is required.

The project also requires no lighting plan, since there is a light directly adjacent to the parking addition that is not going to be disturbed and should supply ample lighting for the parking addition.

If you have any questions or concerns, please do not hesitate to reach out.

Sincerely,

A handwritten signature in black ink that reads 'Andrew Bergmann' with a stylized flourish at the end.

Andrew Bergmann
Civil Engineer
abergmann@snyder-associates.com

KWIK TRIP CONVENIENCE STORE # 422

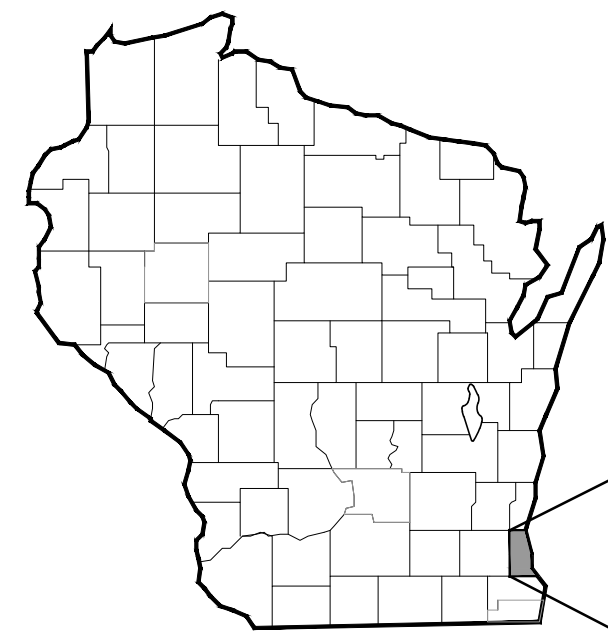
SECTION 35, TOWNSHIP 24N, RANGE 8E

**Kwik
TRIP**

**Kwik
STAR**

KWIK TRIP, Inc.
P.O. BOX 2107
1626 OAK STREET
LA CROSSE, WI 54602-2107
PH. (608) 781-8988
FAX (608) 781-8960

S
**SNYDER
& ASSOCIATES**
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444



REGIONAL



MILWAUKEE COUNTY



SITE LOCATION MAP

OAK CREEK,
MILWAUKEE COUNTY, WISCONSIN

SHEET #	SHEET TITLE
T 1.0	TITLE SHEET
DM 1.0	EXISTING SITE & DEMOLITION PLAN
SP 1.0	SITE PLAN - LAYOUT
SP 1.1	SITE PLAN - KEYNOTE
SP 2.0	SITE GRADING
SP 3.0	EROSION CONTROL PLAN
SP 4.0	DETAILS

BENCHMARKS

BENCHMARK # 1
FIRE HYDRANT - TOP NUT OF HYDRANT
NEAR SOUTHEAST ENTRANCE
ELEV. = 695.92

CAUTION:

CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON THE PLANS. THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. FOR EXACT LOCATION CONTACT DIGGERS HOTLINE 1-800-242-8511

 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE

TITLE SHEET

CONVENIENCE STORE # 422

MERCHANDISING

9535 S. 13th STREET
OAK CREEK, WI 53154

#	DATE	DESCRIPTION

DRAWN BY: S. ANDERSON / M. WAHL
SCALE: NOTED
PROJ. NO.: 122.1703.30
DATE: FEBRUARY 21, 2023
SHEET: T 1.0



PLAN NOTES:

CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING WORK ON SITE

CONTRACTOR SHALL CALL FOR UTILITY LOCATIONS PRIOR TO COMMENCING WORK ON SITE

EXISTING SITE CONDITIONS BASED ON TOPOGRAPHIC SURVEY BY:
 SNYDER & ASSOCIATES
 SURVEYOR: ALEX SCHAEFER
 PHONE: 608-838-0444
 DATED: JANUARY 2023

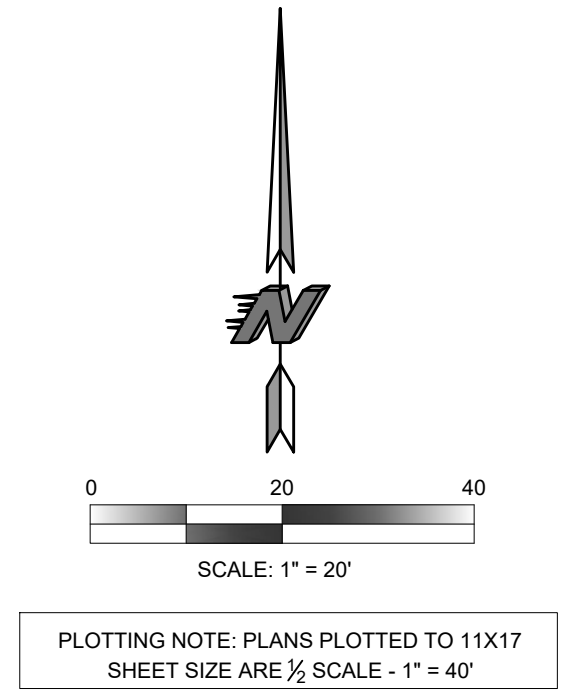
CONTRACTOR SHALL PROVIDE ALL NECESSARY EROSION CONTROL MEASURES PER TOWN, CITY, COUNTY AND STATE SPECIFICATIONS. ALL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCING WORK ON SITE. ALL MEASURES SHALL BE MAINTAINED UNTIL SITE SOILS ARE STABILIZED. SEE SHEET SWP1- SWP4 FOR MORE INFORMATION

CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION AND CONSTRUCTION PRIOR TO COMMENCING ANY WORK ON SITE.

ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO DEMOLITION ACTIVITIES. SEE SHEET SP 3.0 FOR LOCATIONS OF EROSION CONTROL MEASURES.

DEMOLITION KEYNOTES

- 1 SAW-CUT EXISTING PAVEMENT AS NEEDED FOR REMOVAL
- 2 REMOVE EXISTING CURB
- 3 REMOVE EXISTING TREES IN THEIR ENTIRETY AS NEEDED
- 4 SIGN NEEDS MOVED AND RELOCATED



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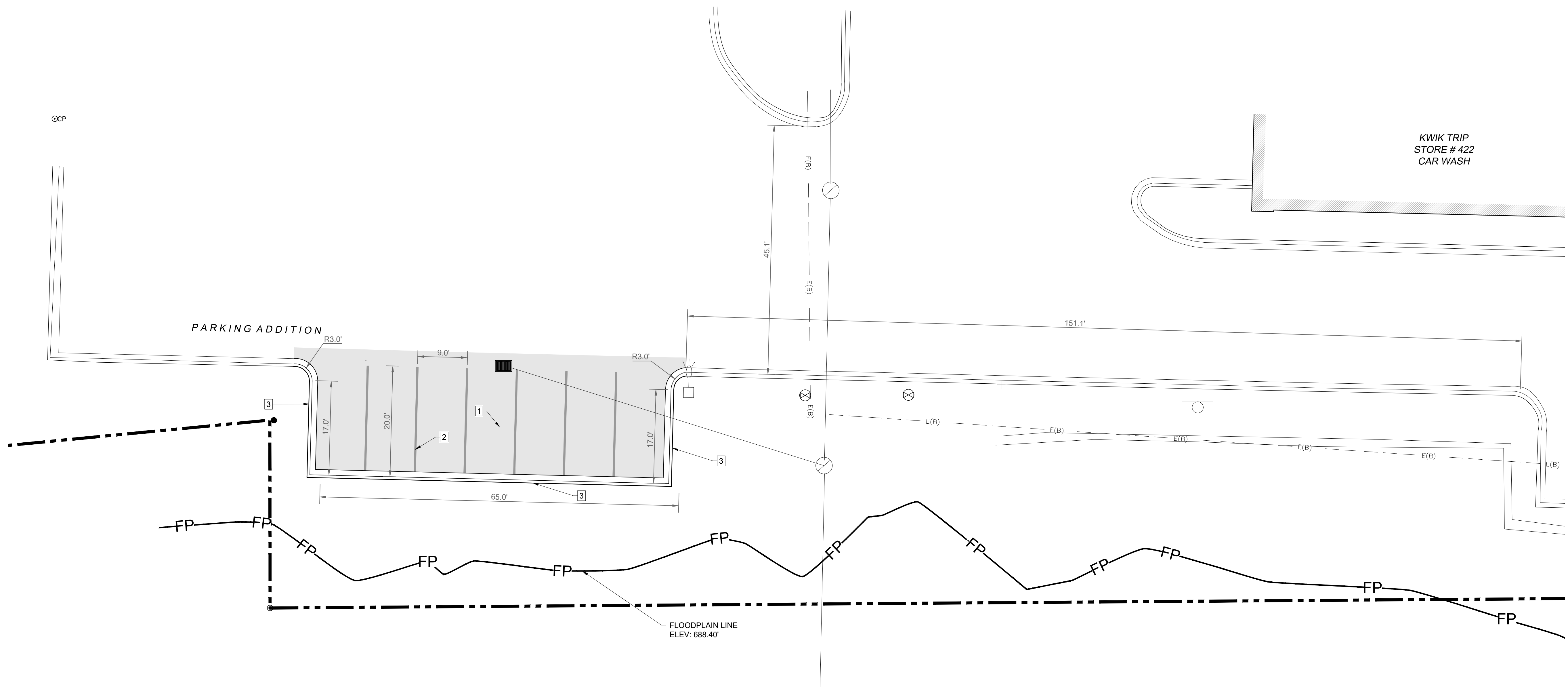
EXISTING SITE & DEMOLITION PLAN

CONVENIENCE STORE # 422
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#	DATE	DESCRIPTION

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SHEET	DM 1.0



SITE INFORMATION

ZONING DISTRICT: B-4 - HIGHWAY BUSINESS
 TOTAL SITE AREA: 182,378 SF / 4.19 ACRES
 AREA TO BE DISTURBED: 2452 SF
 NEW IMPERVIOUS AREA TO BE ADDED: 1,324 SF

EMPLOYEE PARKING ADDITION

STANDARD PARKING: (7) 9'X20' STALLS

FLOOD NOTE:

THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE AE DESIGNATION, BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 55079C0231E, WITH A DATE OF IDENTIFICATION OF 9/26/2008.

FIRE LANE:

S. 13th STREET WILL ACT AS THE FIRE LANE ACCESS TO THE BUILDING.

NOTE:

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON AND ADJACENT TO THE SITE PRIOR TO THE START OF THE PROJECT.

RADII ARE FROM FACE OF CURB

DIMENSIONS ARE FROM FACE OF CURB

SITE PLAN KEYNOTES

1. 6" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR 3' O.C. CONCRETE SEALER: TK-28UV -1,404 SQ.FT.
2. 4" WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS COLOR: YELLOW PAINT SHALL BE SHERWIN WILLIAMS SETFAST PREMIUM ALKYD ZONE MARKING PAINT
3. INSTALL NEW 18" REJECT CURB AND GUTTER

KWIK TRIP
 STORE # 422
 CAR WASH

KWIK TRIP

KWIK STAR

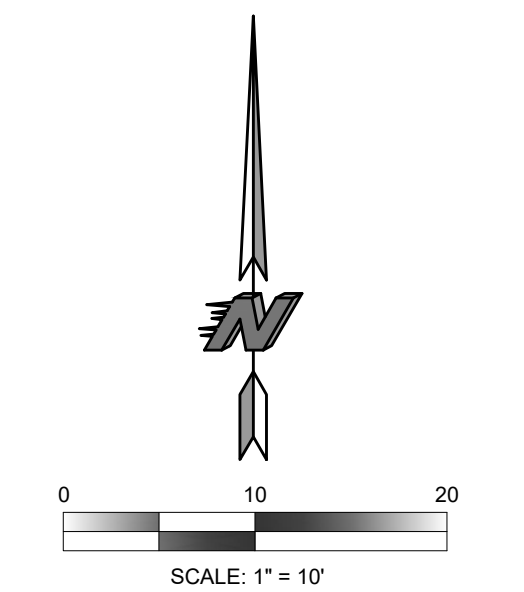
KWIK TRIP, Inc.
 P.O. BOX 2107
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SNYDER & ASSOCIATES
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444

PARKING ADDITION - LAYOUT & KEYNOTES

CONVENIENCE STORE # 422
 MERCHANDISING

9535 S. 13th STREET
 OAK CREEK, WI 53154



PLOTTING NOTE: PLANS PLOTTED TO 11X17
 SHEET SIZE ARE 1/2 SCALE - 1" = 20'

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

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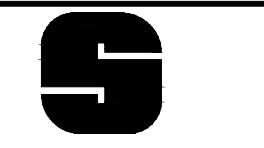
#	DATE	DESCRIPTION

DRAWN BY: S. ANDERSON / M. WAHL
 SCALE: NOTED
 PROJ. NO.: 122.1703.30
 DATE: FEBRUARY 21, 2023
 SHEET: **SP 1.0**

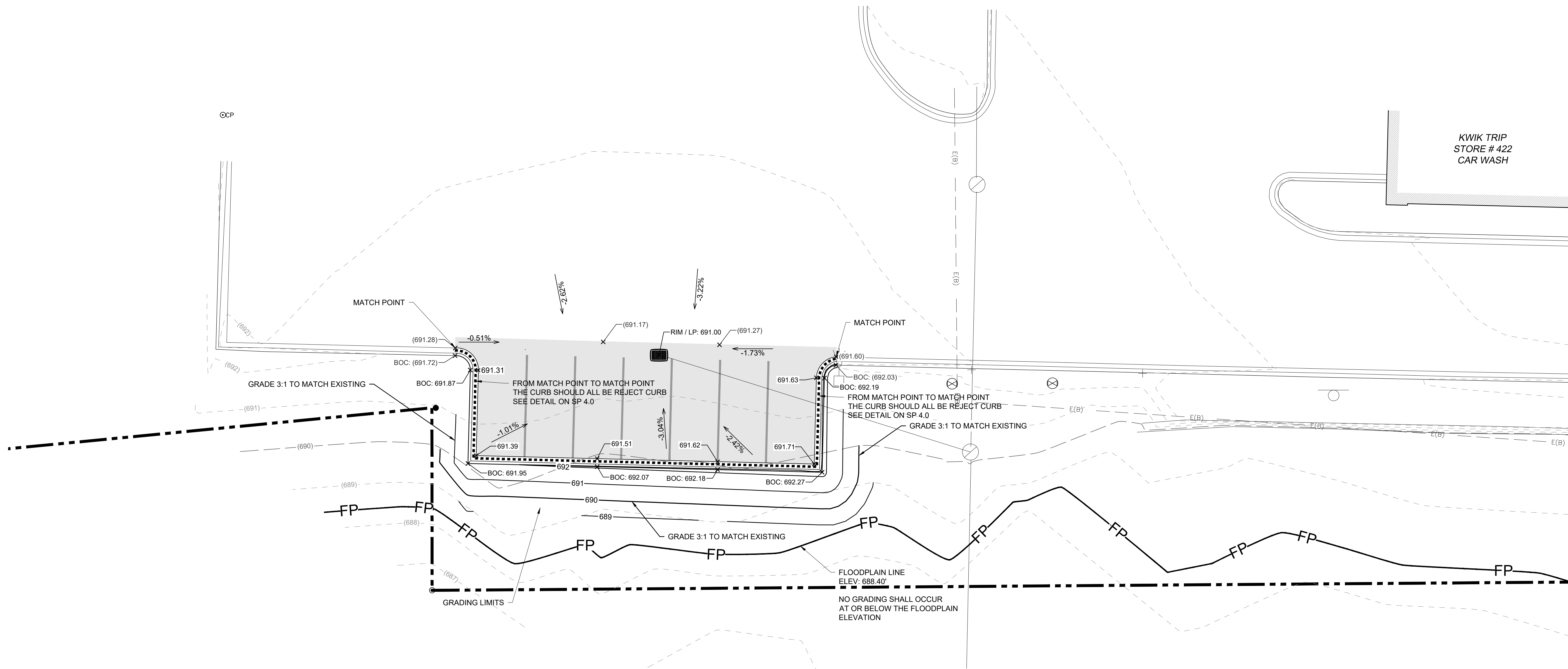
KWIK TRIP

KWIK STAR

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EROSION NOTES:

-ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

-SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

-REFER TO THE EROSION CONTROL PLAN NOTES AND DETAIL SHEETS FOR MORE INFORMATION.

CONTACT: NICK NEWMAN
KWIK TRIP, INC
PO BOX 2107
LACROSSE, WI 54602
608-793-8199

GRADING LEGEND

(796.00) EXISTING GRADE ELEVATION

796.93 PROPOSED GRADE ELEVATION

GRADING NOTES:

ENGINEER TO OBTAIN RIGHT-OF-WAY EXCAVATION PERMIT PRIOR TO BEGINNING SITE WORK.

CONSTRUCTION FENCING TO BE INSTALLED AROUND ENTIRE CONSTRUCTION SITE. COORDINATE WITH OWNER FOR FENCING AND GATE LOCATION AND APPROPRIATE SIGNAGE LOCATION.

CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK NOTIFY THE OWNER OF ANY POTENTIAL CONFLICTS.

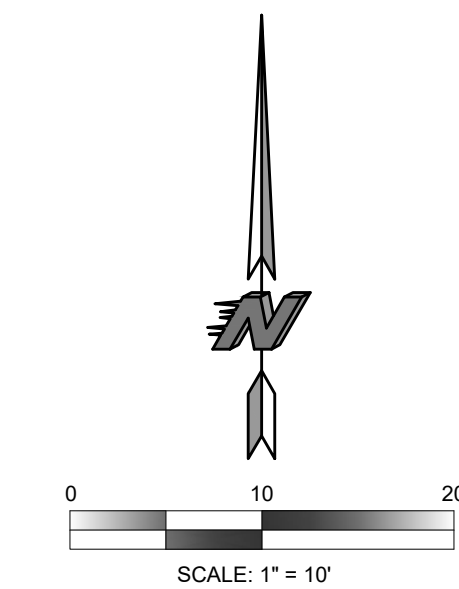
CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK, AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.

CONTRACTOR SHALL COORDINATE GRADING AND INSTALLATION OF DRIVES IN R.O.W. WITH APPROPRIATE GOVERNMENT AGENCIES. OBTAIN APPROPRIATE PERMITS FOR GRADING AND DRAINAGE IN ALL R.O.W.

REFER TO OWNERS SPECIFICATIONS FOR CURB, APPROACH, AND CONCRETE PROFILES AS WELL AS ADDITIONAL SITE STANDARDS RELATED TO THIS PROJECT.

EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS



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PARKING ADDITION GRADING

CONVENIENCE STORE # 422
MERCHANDISING

9535 S. 13th STREET
OAK CREEK, WI 53154

#	DATE	DESCRIPTION

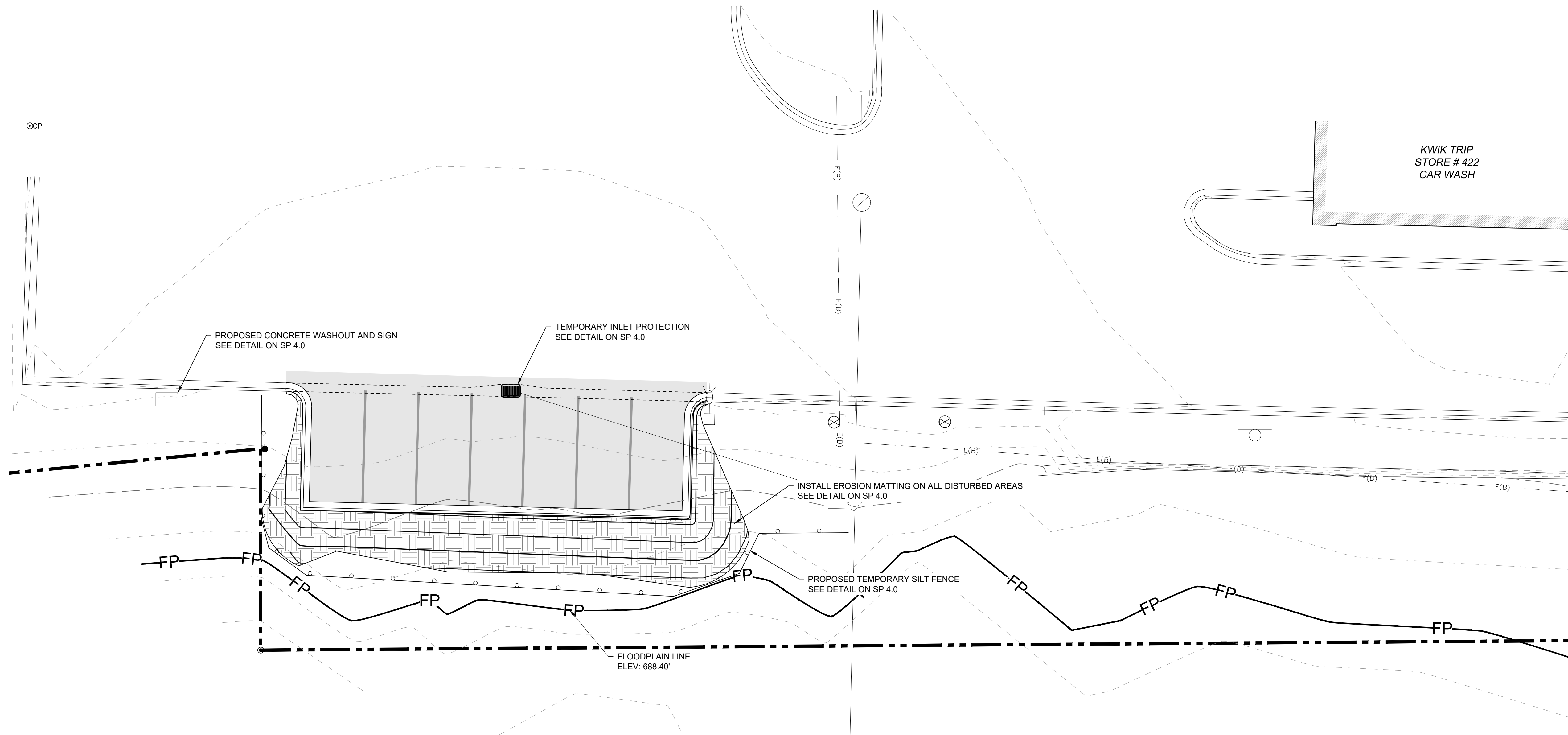
DRAWN BY S. ANDERSON / M. WAHL

SCALE NOTED

PROJ. NO. 122.1703.30

DATE FEBRUARY 21, 2023

SHEET SP 2.0



KWIK TRIP
STORE # 422
CAR WASH

PROPOSED CONCRETE WASHOUT AND SIGN
SEE DETAIL ON SP 4.0

TEMPORARY INLET PROTECTION
SEE DETAIL ON SP 4.0

INSTALL EROSION MATTING ON ALL DISTURBED AREAS
SEE DETAIL ON SP 4.0

PROPOSED TEMPORARY SILT FENCE
SEE DETAIL ON SP 4.0

FLOODPLAIN LINE
ELEV: 688.40'

CONSTRUCTION SEQUENCE

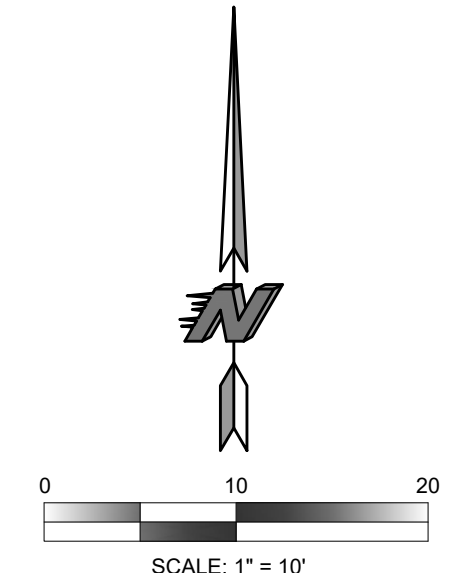
- *INSTALL EROSION/SEDIMENT CONTROL MEASURES
- *REMOVE PAVEMENTS
- *INSTALL PAVEMENTS
- *INSTALL LAWN/ LANDSCAPE
- *REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

NOTES:

- ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR PRIOR TO ANY SITE WORK.
- SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.
- REFER TO THE EROSION CONTROL PLAN NOTES AND DETAIL SHEETS FOR MORE INFORMATION.
- CONTRACTOR SHALL LOCATE ALL UTILITIES WHICH MAY AFFECT THIS WORK NOTIFY THE OWNER OF ANY POTENTIAL CONFLICTS.
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK, AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS THAT REMAIN TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.
- AREAS NOT PAVED AND TO BE LANDSCAPED SHALL RECEIVE MINIMUM OF 4" DEPTH COMPACTED TOPSOIL.
- EXCAVATOR IS RESPONSIBLE FOR ALL EROSION CONTROL INSPECTIONS
- INSTALL PERIMETER CONTROL AROUND STOCKPILES AND STABILIZE STOCKPILES THAT WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- TEMPORARILY STABILIZE DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS.
- PERMANENTLY STABILIZE ANY PORTION OF THE SITE WITHIN 7 DAYS OF REACHING FINAL GRADE

ESTIMATED PRELIMINARY EROSION CONTROL QUANTITIES (ACTUAL QUANTITIES SUBJECT TO CHANGE)	
ITEM	QUANTITY
ROCK CONSTRUCTION ENTRANCE - TEMP	0
EROSION MAT - PERMANENT	0 S.Y.
SILT FENCE - TEMP	130 L.F.
INLET PROTECTION, TYPE D - TEMP	1 EA.
CONCRETE WASHOUT - TEMP	1 EA.

NOTE: FOR MAINTENANCE PURPOSES CONTRACTOR SHALL SUPPLY ALL SUFFICIENT QUANTITIES FOR REPAIR AND REPLACEMENT OF EROSION CONTROL DEVICES THROUGHOUT ALL PHASES OF THE PROJECTS CONSTRUCTION.



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STAR**

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LA CROSSE, WI 54602-2107
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S
**SNYDER
& ASSOCIATES**
5010 VOGES ROAD
MADISON, WISCONSIN 53718
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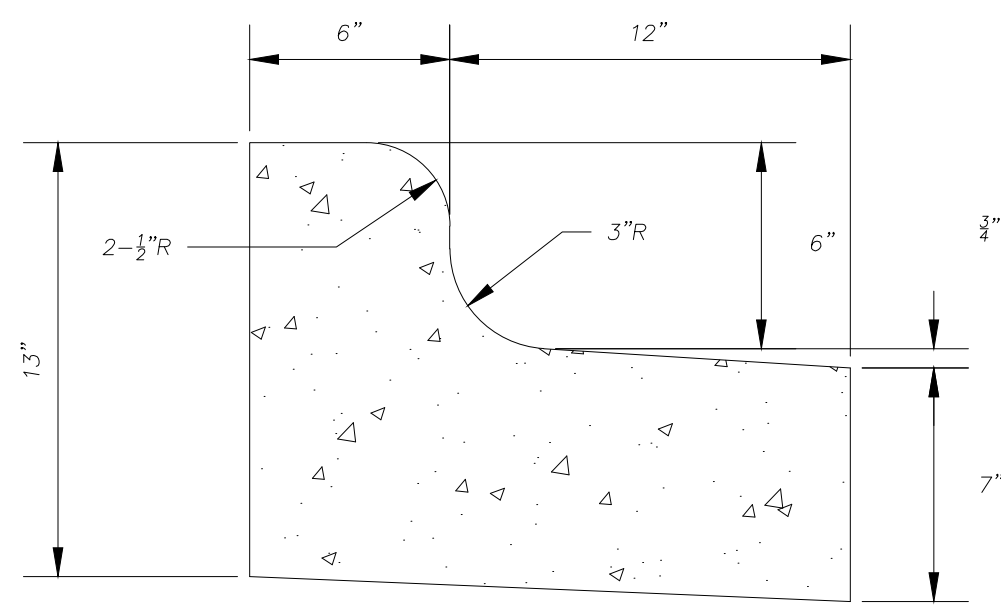
EROSION CONTROL PLAN

CONVENIENCE STORE # 422
MERCHANDISING

9535 S. 13th STREET
OAK CREEK, WI 53154

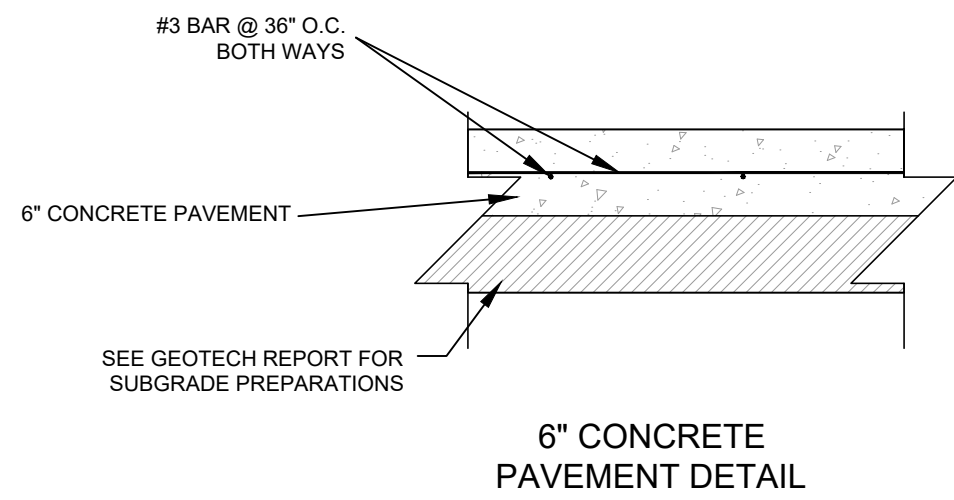
#	DATE	DESCRIPTION

DRAWN BY S. ANDERSON / M. WAHL
SCALE NOTED
PROJ. NO. 122.1703.30
DATE FEBRUARY 21, 2023
SHEET **SP 3.0**

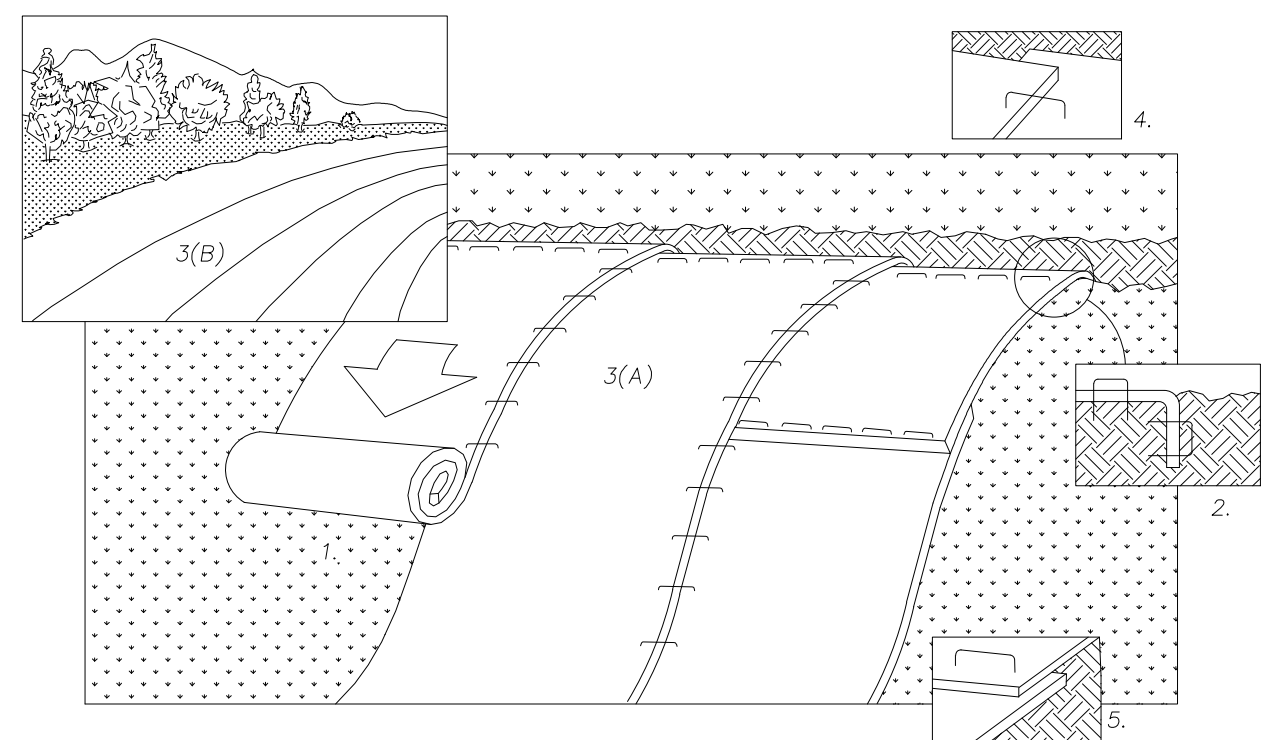


NOTES:
 LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 15' NOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3" IN DEPTH. EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT ANGLE POINTS, OR AS DIRECTED BY THE ENGINEER.
 THE EXPANSION JOINT SHALL BE A ONE PIECE ASPHALTIC MATERIAL HAVING THE SAME DIMENSIONS AS CURB & GUTTER AT THAT STATION AND BE 1/2" THICK. IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

1 REJECT CONCRETE CURB AND GUTTER
 SP4.0 NOT TO SCALE



2 CONCRETE PAVEMENT SECTION
 SP4.0 NOT TO SCALE



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

3 EROSION MATTING - SLOPED INSTALLATION
 SP4.0

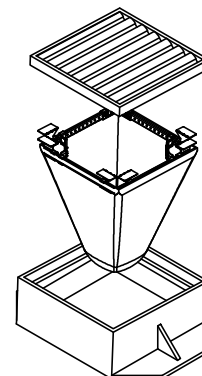
4 NOT USED
 SP4.0 NOT TO SCALE

NOTES: *FLOW RATINGS SHOWN ARE 50% MAXIMUM

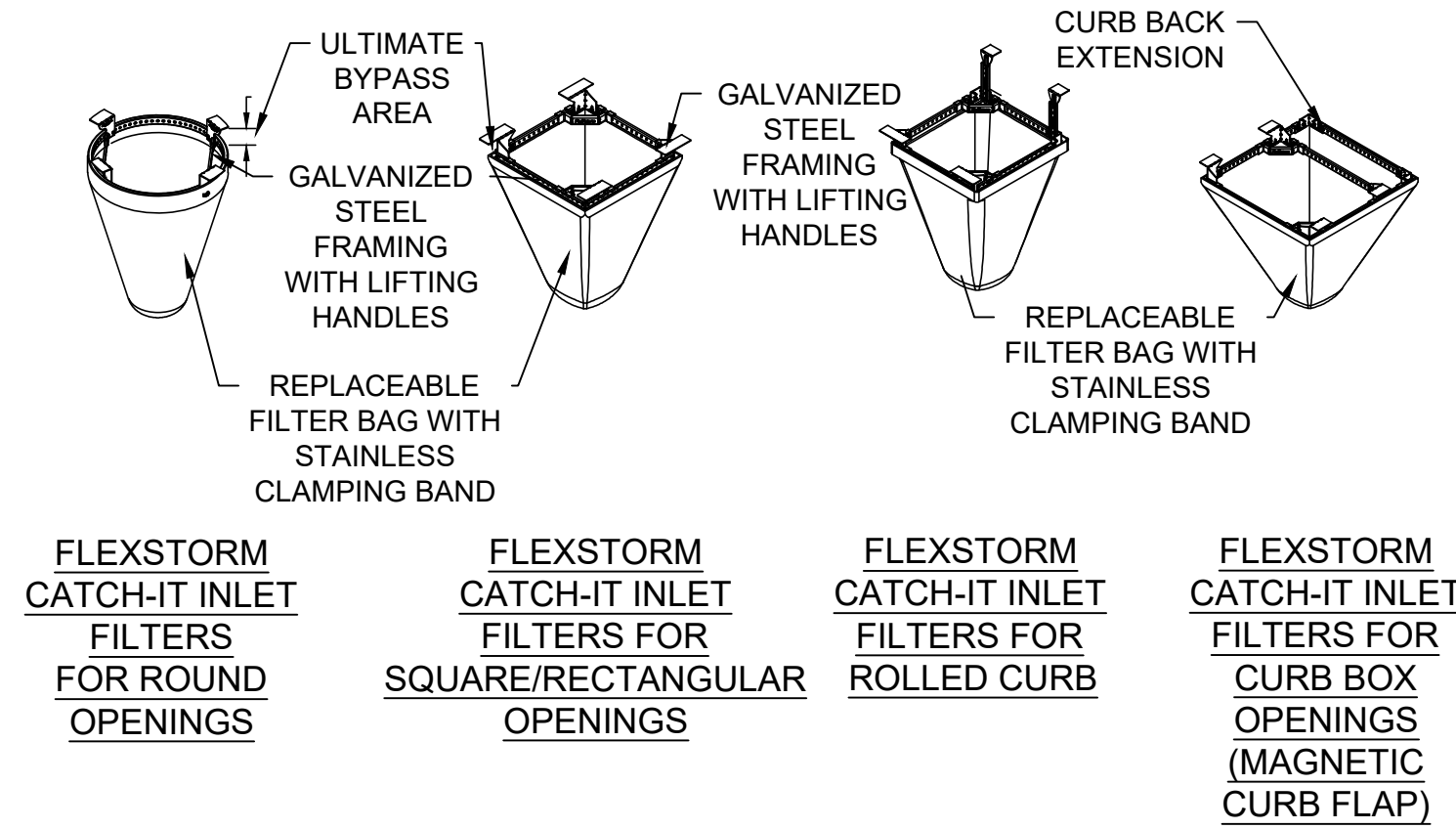
- ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL FRAMING FOR PROLONGED PRODUCT LIFE.
- TOTAL BYPASS CAPACITY WILL VARY WITH EACH SIZED DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE. CONCRETE STRUCTURES MAY REQUIRE ADDITIONAL REVIEW.
- UPON ORDERING THE ADS P/N CONFIRMATION OF THE DOT CALLOUT, FLEXSTORM ITEM CODE, CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED.
- FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

INSTALLATION:

- REMOVE GRATE
- DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
- REPLACE GRATE

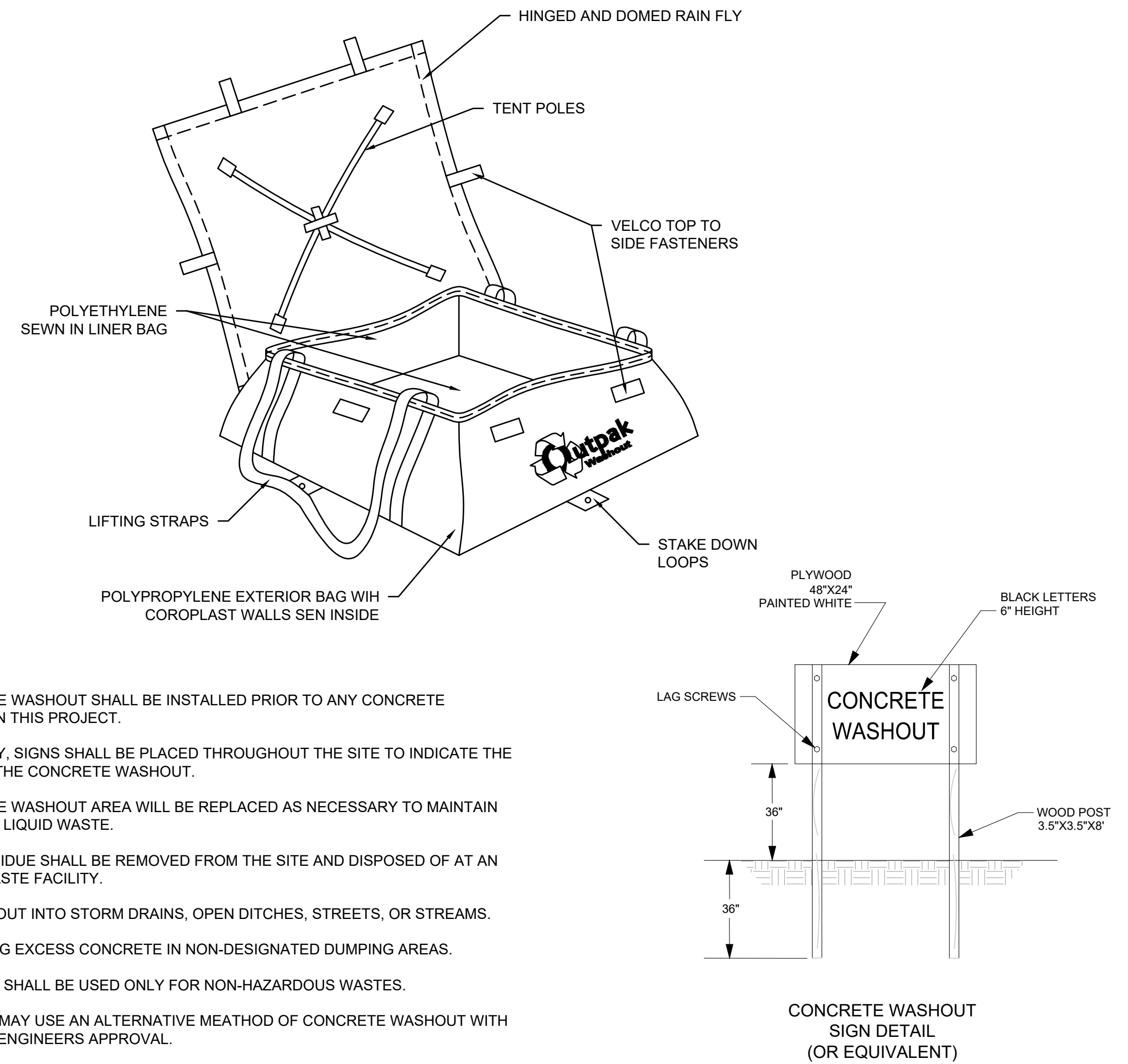


Product selection for FLEXSTORM CATCH-IT Filters (Temporary Inlet Protection)							
Neenah Casting	Inlet Type	Grate Size	Opening Size	Bag Cap (ft ²)	Flow Ratings (CFS)		ADS P/N
					FX	Bypass	
1040/1642/1733	Round	26	24	1.9	1.5	5.4	62MRDFX
3067 w/FLAP	Curb Box	35.25 x 17.75	33.0 x 15.0	3.8	1.9	5.6	62LCBEXTFX
3067 EXTENDED BACK	Curb Box	35.25 x 17.75	33.0 x 15.0	4.4	2.3	5.8	62LCBEXTFX
3246A	Curb Box	35.75 x 23.875	33.5 x 21.0	4.2	2.2	3.3	62LCBFX
3030	Square/Rect (SQ)	23 x 16	20.5 x 13.5	1.6	1.4	2.2	62MCBFX
3067-C	Square/Rect (SQ)	35.25 x 17.75	33 x 15	3.2	2.0	5.2	62LSQFX



FLEXSTORM CATCH-IT INLET FILTERS FOR ROUND OPENINGS
FLEXSTORM CATCH-IT INLET FILTERS FOR SQUARE/RECTANGULAR OPENINGS
FLEXSTORM CATCH-IT INLET FILTERS FOR ROLLED CURB
FLEXSTORM CATCH-IT INLET FILTERS FOR CURB BOX OPENINGS (MAGNETIC CURB FLAP)

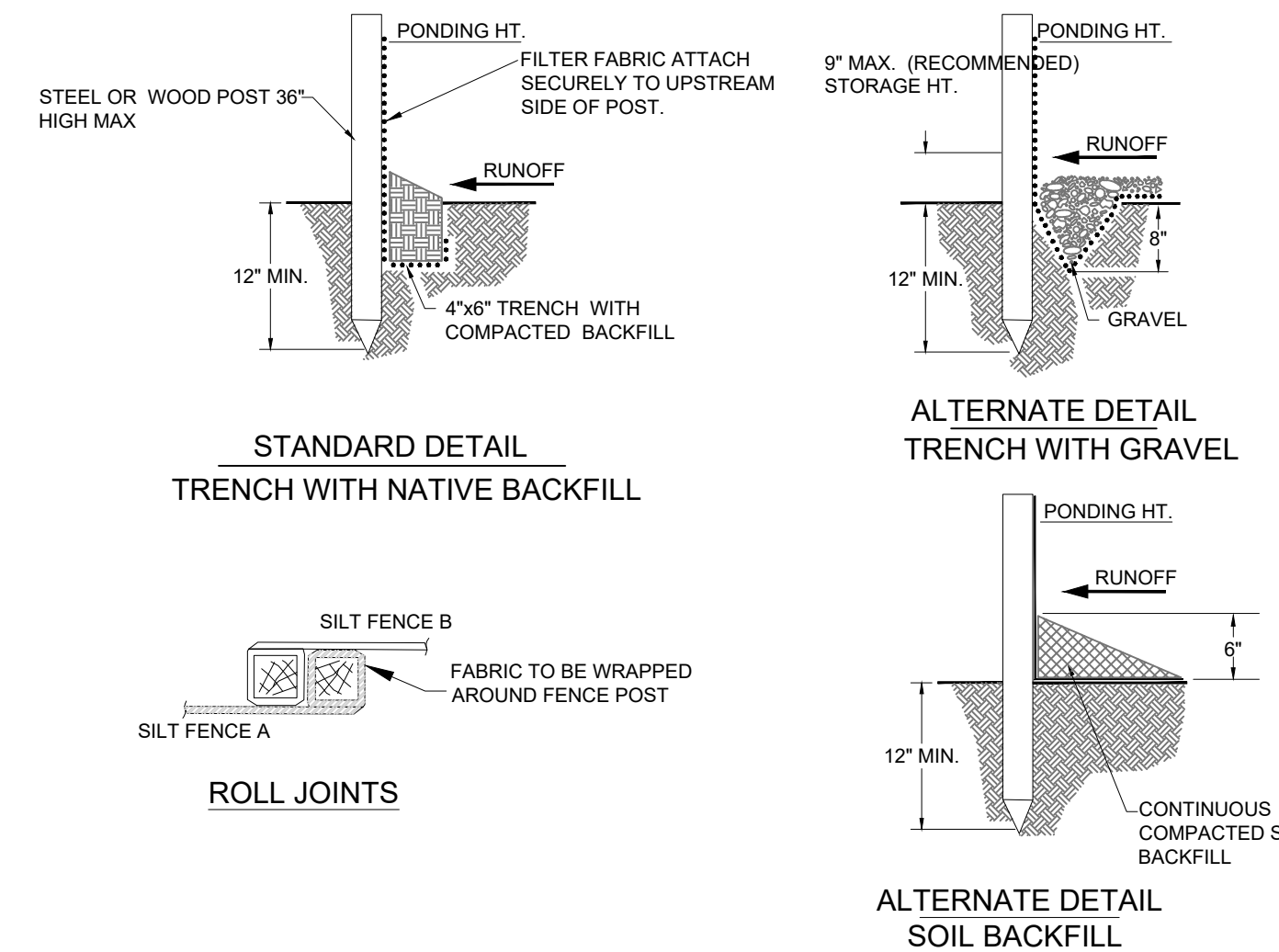
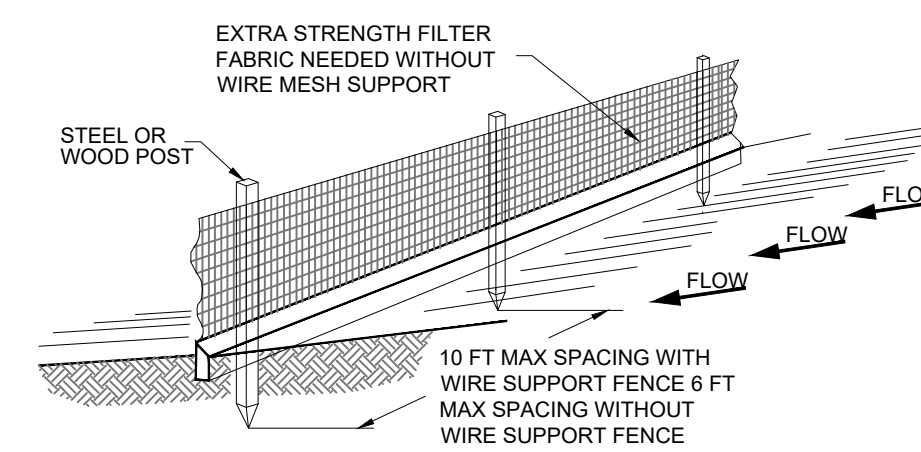
5 STORM WATER INLET PROTECTION
 SP 4.0 NOT TO SCALE



NOTES:

- THE CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THIS PROJECT.
- AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE CONCRETE WASHOUT.
- THE CONCRETE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR LIQUID WASTE.
- WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
- DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
- THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.
- CONTRACTOR MAY USE AN ALTERNATIVE METHOD OF CONCRETE WASHOUT WITH THE PROJECT ENGINEERS APPROVAL.

6 CONCRETE WASHOUT
 SP4.0 NOT TO SCALE



7 SILT FENCE INSTALLATION DETAILS
 SP 4.0 NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

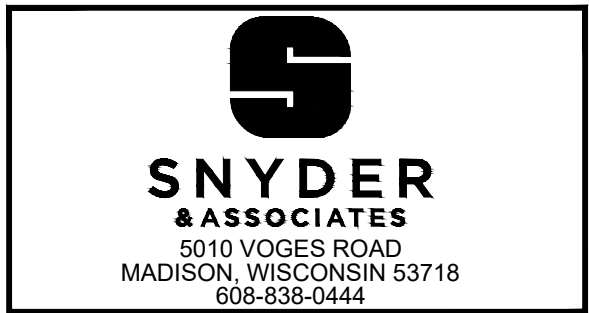
THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 18".
 THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.
 IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
 POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.
 THE ENDS OF THE FENCE SHALL BE TURNED UPHILL.
 A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG. THE WIRES OR HOE RINGS THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
 THE STANDARD-STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 6 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
 WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.
 THE TRENCH SHALL BE BACKFILLED AND/OR THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC. THE FILTER FABRIC SHALL NOT BE SECURED BY SAND BAGS.
 SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.
 SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED, AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

INSPECTION AND MAINTENANCE

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT STORM (1" IN 24 HR.). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM.
 THE REMOVED SEDIMENT SHALL BE VEGETATED OR OTHERWISE STABILIZED.



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DETAILS CONVENIENCE STORE # 422 MERCHANDISING 9535 S. 13th STREET OAK CREEK, WI 53154	#	DATE	DESCRIPTION
DRAWN BY		S. ANDERSON / M. WAHL	
SCALE		NOTED	
PROJ. NO.		122.1703.30	
DATE		FEBRUARY 21, 2023	
SHEET		SP 4.0	