



PLAN COMMISSION REPORT

Proposal: Plan Review – Exterior Building Modifications

Description: Plan review for proposed exterior modifications to the existing Arby’s restaurant

Applicant(s): Jason Bowman, AES Restaurant Group

Address(es): 1920 W. Ryan Road (6th Aldermanic District)

Suggested Motion: That the Plan Commission approves the site and building plans submitted by Jason Bowman, AES Restaurant Group for proposed exterior modifications on the property at 1920 W. Ryan Road with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That landscaping is reestablished as was required per the 1997 approved plan.
3. That all final plans (site, building, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Owner(s): Jason Bowman, AES Restaurant Group

Tax Key(s): 878-9001-001

Lot Size(s): Approximately 0.89 acres

Current Zoning District(s): B-4, Highway Business

Overlay District(s): PUD

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial

Background:

The Applicant is requesting plan approval for proposed exterior modifications to the existing Arby’s restaurant on the property located at 1920 W. Ryan Road. Site modifications include removal of EIFS on the all elevations and replacement with Nichiha Panel Finish. This change in material increases the portion of the façade consisting of cement fiber siding, an approved material per Mixed-use and nonresidential design

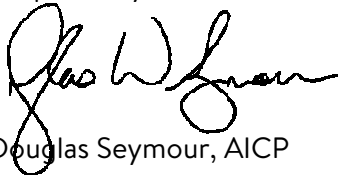
standards. The existing brick will be repainted to create a red band around the building and existing light fixtures will be upgraded and relocated. Existing canopies will also be removed and replaced with prefabricated metal canopies. Please note that signs shown in the attached plans are placeholders.

Existing landscaping, particularly on the south side of the property, needs to be improved for compliance with approved plans and Code requirements. Per this property's 1997 approval, the 3-foot berm on the south of the property was required to incorporate additional evergreen plantings. It appears that the evergreens began to be removed after 2007 and by 2016, were completely removed.

With the above in mind, staff has provided a suggested motion for approval with conditions above for Plan Commission consideration.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Sylvia Brueckert
Zoning Administrator/Planner

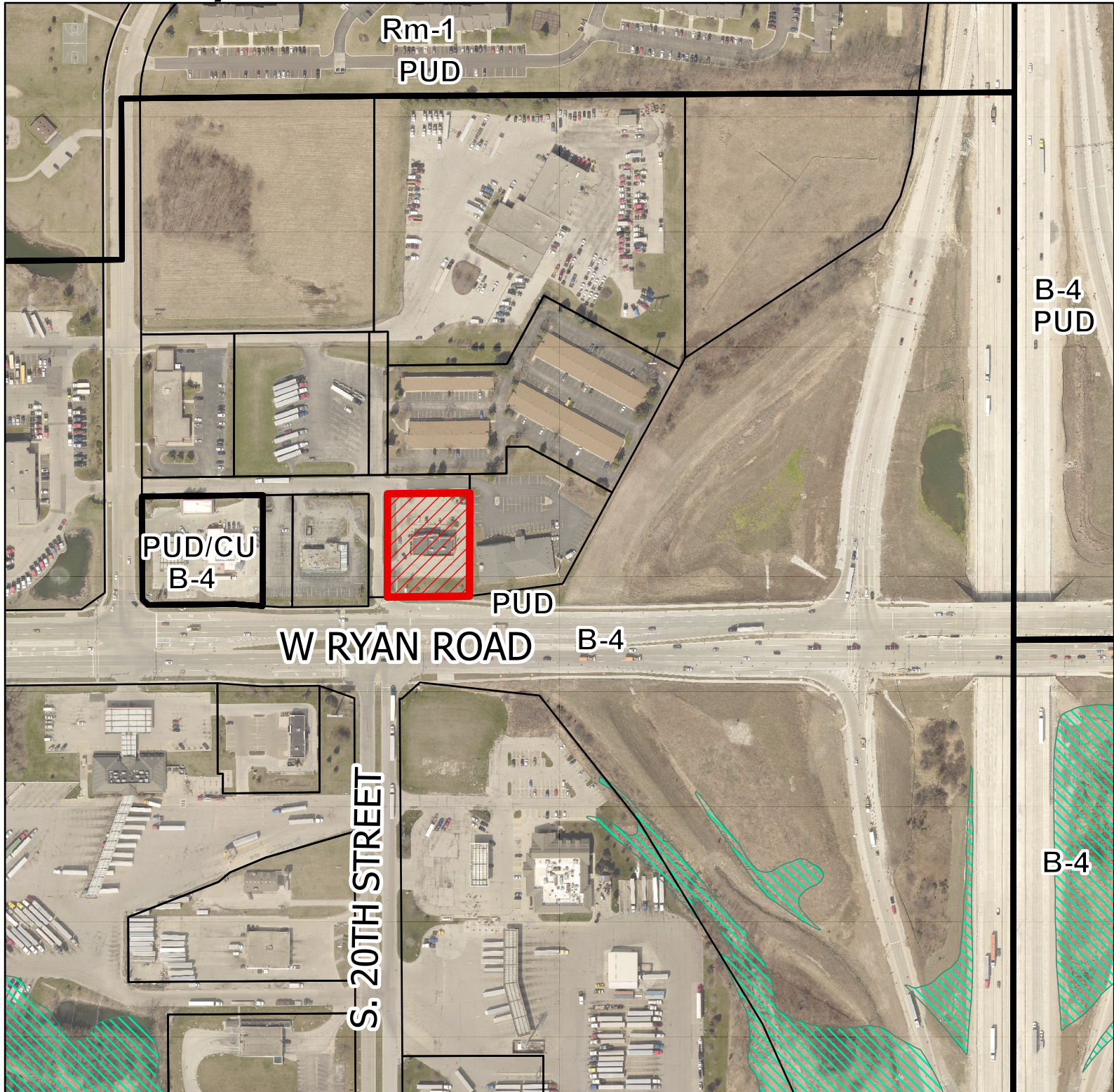
Attachments:

Location Map

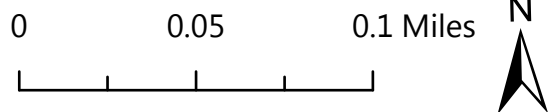
Narrative and Plans (7 pages)

Notification Map

1920 W. Ryan Road



This map is not a survey of the actual boundary of the property this map depicts



Legend

- Zoning
- Official Street Map
- Floodway
- Flood Fringe
- Parcels
- 1920 W. Ryan Road



March 27, 2023

RE: Arby's #7336
1920 W. Ryan Road, Oak Creek, WI 53154

Dear Ms. Papelbon:

Please find the attached application and plan sheets showing our proposed scope of work for the existing Arby's building located at 1920 W. Ryan Road, Oak Creek, WI 53154.

The project is primarily aesthetic in nature and is intended to bring the existing building into compliance with current Arby's Corporate Image Requirements. This includes the removal of existing EIFS around the building. This will be replaced by Nichiha fiber cement finish panels with prefinished brick, wood, and horizontal grooved surfaces. The two different colors of existing brick will be painted. New exterior lighting fixtures will be provided, as well as a new sign on the front of the building. The interior will receive a similar aesthetic upgrade with new finishes throughout the customer areas.

As requested, we have included sample images of buildings in different jurisdictions which have recently undergone similar remodels for your convenience. Our color elevations indicate our specific intent with this building.

Please feel free to reach out to me with any questions or concerns on the scope of the project.

Sincerely,

David Wagner, AIA, Partner

CURRAN ARCHITECTURE

Sample #1 of similar project:



Sample #2 of similar project:





Community Development
 8040 S. 6th St.
 Oak Creek, WI 53154
 (414) 766-7000
www.oakcreekwi.gov

PLAN COMMISSION APPLICATION

DEADLINE FOR SUBMISSION: 4 WEEKS PRIOR TO PLAN COMMISSION MEETING

It is the applicant's responsibility to contact the Community Development Department prior to any submittal. It is also suggested that the applicant contact the District Alderperson and Mayor to discuss the proposed development. Refer to the application submission requirements on the City website. Payment is due at the time of submission.

PLEASE TYPE OR PRINT. ILLEGIBLE OR INCOMPLETE APPLICATIONS WILL BE RETURNED.

APPLICANT INFORMATION

Name	
Company	
Address	
City, State Zip	
Phone	
Email	
Applicant Representative (if applicable)	
Name	
Company	
Email/Phone	

PROPERTY INFORMATION (List all in proposal)

Address(es)	
Tax Key(s)	
Zoning District(s)	
Property Owner(s)	
Property Owner(s) Contact	

APPLICATION TYPE (Select all that apply)

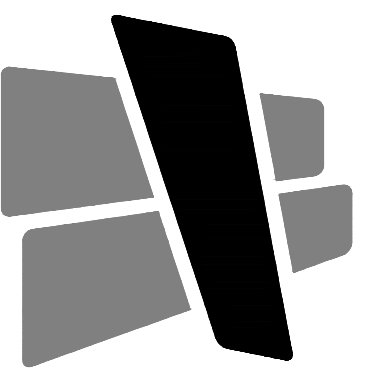
<input type="checkbox"/> Site & Building Plan Review - \$850	<input type="checkbox"/> Comprehensive Plan Amendment - \$1,000
<input type="checkbox"/> Certified Survey Map - \$525	<input type="checkbox"/> Zoning Text Amendment - \$1,000
<input type="checkbox"/> Lot Line Adjustment (no new lots) - \$275	<input type="checkbox"/> Official Map Amendment - \$1,000
<input type="checkbox"/> Conditional Use Permit - \$1,250	<input type="checkbox"/> Preliminary Subdivision Plat - \$750
<input type="checkbox"/> Conditional Use Permit Amendment - \$950	<input type="checkbox"/> Final Subdivision Plat - \$875
<input type="checkbox"/> Temporary Use / Use Approval - \$600	<input type="checkbox"/> Condominium Plat - \$875
<input type="checkbox"/> Rezoning - \$775	<input type="checkbox"/> Landscaping Plan Review (if separate) - \$550
<input type="checkbox"/> Sign Plan Review - \$550	<input type="checkbox"/> Lighting Plan Review (if separate) - \$550
<input type="checkbox"/> Planned Unit Development (PUD) - \$1,700	<input type="checkbox"/> Affidavit of Correction - \$275
<input type="checkbox"/> Amendment to PUD - \$1,100	<input type="checkbox"/> Right-of-Way Vacation - \$1,000
<input type="checkbox"/> Plan Commission Consultation - \$400	<input type="checkbox"/> Special PC Meeting - \$35/citizen member + app

Expedited Review (select application type above) – Application fee + 50%
By checking this box and signing this application form, Applicant/Representative acknowledges and understands that expedited reviews are not guaranteed. Requests for expedited reviews will only be considered where permissible given available staff resources and public notice requirements.

Jason Bowman

Signature _____ Date _____

<i>FOR OFFICE USE ONLY</i>	
Date Submitted: _____	Accepted by: _____
Amount Paid: _____	



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CERTIFICATION



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PROJECT INFORMATION

REMODEL TO:
AES #7336
1920 W. RYAN ROAD
OAK CREEK, WI 53154



ISSUE DATES

ISSUE	DATE
ISSUED FOR CONSTRUCTION	03.27.2023

PROJECT NUMBER: 230010

FLOOR PLAN

A101

GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND JOB CONDITIONS. ANY DEVIATION FROM WHAT IS NOTED IN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- ALL DIMENSIONS SHOWN ARE FACE OF BRICK, MASONRY OR METAL STUD FRAMING, UNLESS OTHERWISE NOTED.
- PROVIDE FIRE RATED WOOD BLOCKING IN METAL STUD WALLS FOR ANY WALL SUPPORTED ITEMS.
- PROVIDE APPROVED FIRE RATED STOPPING MATERIALS IN ANY OPENINGS IN FIRE RATED ASSEMBLIES.
- REFER TO DOOR AND WINDOW SCHEDULES FOR ALL MATERIALS, FINISHES, AND HARDWARE INFORMATION.
- ALL MATERIALS LOCATED IN CEILING PLENUM SHALL BE RATED FOR SUCH INSTALLATION OR PROTECTED TO PROVIDE COMPLIANCE. THIS INCLUDES BUT IS NOT LIMITED TO INSULATION (FHC 2550) POWER AND LOW VOLTAGE WIRING, TELECOMMUNICATIONS CABLING, PLUMBING SUPPLY AND DRAIN LINES AND SUPPORTING BRACKETS AND/OR BLOCKING FOR CEILING HUNG ITEMS.
- PRIOR TO ORDERING ANY PRODUCTS, CONTRACTOR SHALL SUBMIT SAMPLES TO THE ARCHITECT OF ALL FINISH MATERIALS TO BE USED ON THE PROJECT. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY MATERIALS ORDERED INCORRECTLY WHEN THAT MATERIAL WAS NOT REVIEWED BY THE ARCHITECT.
- ALL EXIT DOORS TO HAVE TACTILE EXIT SIGNAGE PER 703.4 OF THE ANSI 117.1 2009

PLUMBING NOTES

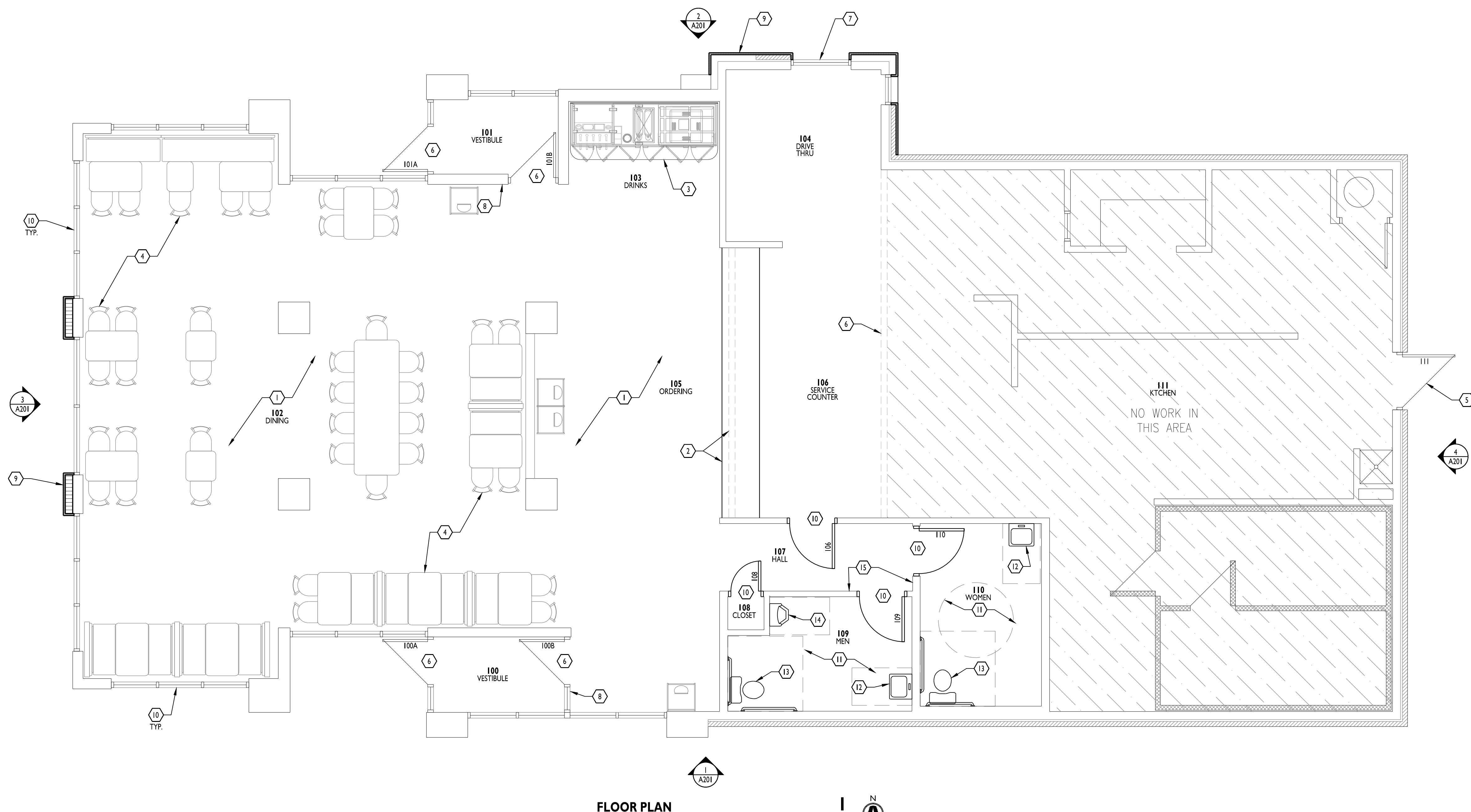
- PLUMBING WORK IS LIMITED TO REPLACING AND RELOCATING FIXTURES AS SHOWN HERE.
- RE-ROUTE EXISTING PLUMBING SUPPLY LINES AS REQUIRED FOR NEW FIXTURE LOCATIONS. PROVIDE NEW SHUT-OFF VALVES AT ALL FIXTURES AND PIPE PROTECTION GUARDS AT LAWS. CAP ALL UNUSED SUPPLY LINES.
- PROVIDE SANITARY VENTS AT EACH FIXTURE. ALL VENTS SHALL BE TIED INTO EXISTING OVERHEAD VENT LINES. VERIFY LOCATION IN FIELD.

ELECTRICAL NOTES

- NO NEW CIRCUITS WILL BE RUN TO THE ELECTRICAL PANELS. NO WORK TO OCCUR IN EXISTING ELECTRICAL PANELS.
- ALL NEW ELECTRICAL RECEPTACLES IN THE DINING ROOM SHALL BE WIRED TO EXISTING CIRCUITS AS SHOWN.
- ALL NEW WIRING SHALL USE EMT OR RIGID CONDUIT.
- ALL WORK TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC 300.1.
- ALL EXTERIOR SIGNAGE AND LIGHTING SHALL BE CONTROLLED BY NEW YORK EVZ-103 DIGITAL TIME SWITCH.
- ALL NEW WIRING TO BE TYPE THHN, #10 AWG TO MATCH EXISTING CIRCUIT WIRING.
- EXISTING OVERCURRENT PROTECTION DEVICES TO REMAIN. VERIFY SIZE/CAPACITY.

KEYED NOTES
(ALL NOTES MAY NOT BE USED)

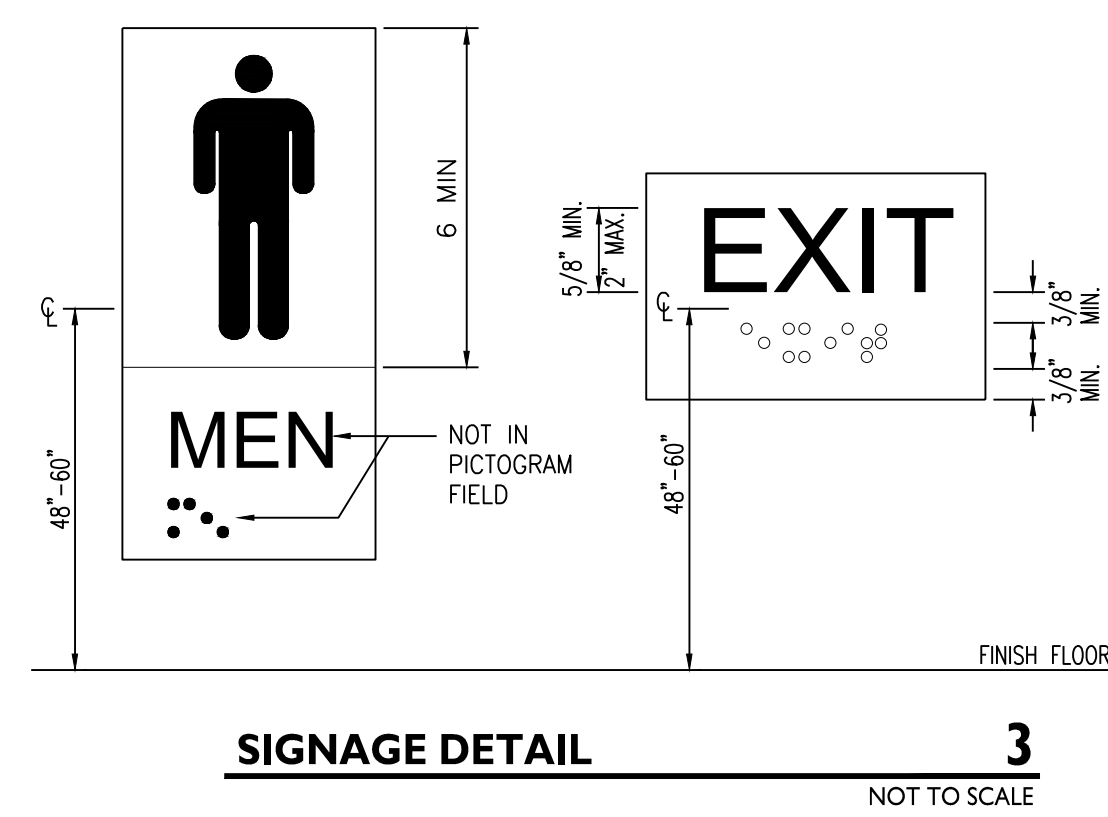
- PROVIDE NEW FLOOR FINISH THROUGHOUT DINING ROOM AS SHOWN ON INTERIOR DECOR PLANS. COORDINATE WITH OWNER AND SEATING/DECOR PLAN FOR REQUIRED POWER AND DATA OUTLETS AT SEATING AREAS AND TV LOCATIONS.
- NEW COUNTERTOP INSTALLED AT 3" AFF MAX. PROVIDE FRP FINISH ON BACK SIDE OF WALL BELOW COUNTER.
- COORDINATE WITH OWNER FOR ANY WORK AT DRINK STATION.
- NEW DINING ROOM FURNITURE PACKAGE BY DECOR VENDOR. SEE DECOR DRAWINGS FOR SIZES AND LOCATIONS.
- EXISTING HOLLOW METAL DOOR, FRAME AND HARDWARE. SEE DOOR SCHEDULE. PAINT AS SHOWN ON EXTERIOR ELEVATIONS.
- EXISTING STOREFRONT DOORS AND HARDWARE. VERIFY FUNCTIONALITY OF ALL HARDWARE AND REPAIR AS REQUIRED.
- EXISTING SLIDING DRIVE-THRU WINDOW, COORDINATE WITH OWNER FOR ANY MAINTENANCE OR ADJUSTMENTS.
- EXIT COMPLYING WITH ICC A117.1, REFER TO DETAIL 3/A101.
- NEW NICHHA PANELS ON NEW OR EXISTING FRAMING. REFER TO ELEVATIONS FOR PATTERNS AND COLORS AND WALL SECTIONS FOR NEW FRAMING.
- PROVIDE NEW DOORS AND FRAMES. VERIFY SIZES IN FIELD. SEE DOOR SCHEDULE FOR ADDITIONAL INFO.
- PROVIDE NEW TILE FLOOR, NEW 1/2" CONCRETE TILE BACKER BOARD AND WALL TILE FINISHES PER INTERIOR DECOR DRAWINGS. COORDINATE AND VERIFY CLEAR WIDTH REQUIREMENTS WITH NEW TILE FINISH THICKNESS. ADJUST HEIGHT OF FLOOR DRAIN TO BE NO MORE THAN 1/2" BELOW FINISH FLOOR.
- ADA COMPLIANT WALL MOUNTED LAVATORY. PROVIDE SCALD GUARDS ON SUPPLY / WASTE LINE. SEE TYPICAL ACCESSIBILITY DETAILS FOR ACCESSIBLE MOUNTING INFORMATION.
- ADA COMPLIANT TANK TOILET. EXTEND UNDER SLAB PLUMBING TO NEW LOCATION AS SHOWN IN MEN'S ROOM. SEE TYPICAL ACCESSIBILITY DETAILS FOR ACCESSIBLE MOUNTING INFORMATION.
- ADA COMPLIANT WALL MOUNTED URINAL W/ FLUSH VALVE CONTROL. SEE TYPICAL ACCESSIBILITY DETAILS FOR ACCESSIBLE MOUNTING INFORMATION.
- RESTROOM SIGN COMPLYING WITH ICC A117.1, REFER TO DETAIL 3/A101.



FLOOR PLAN

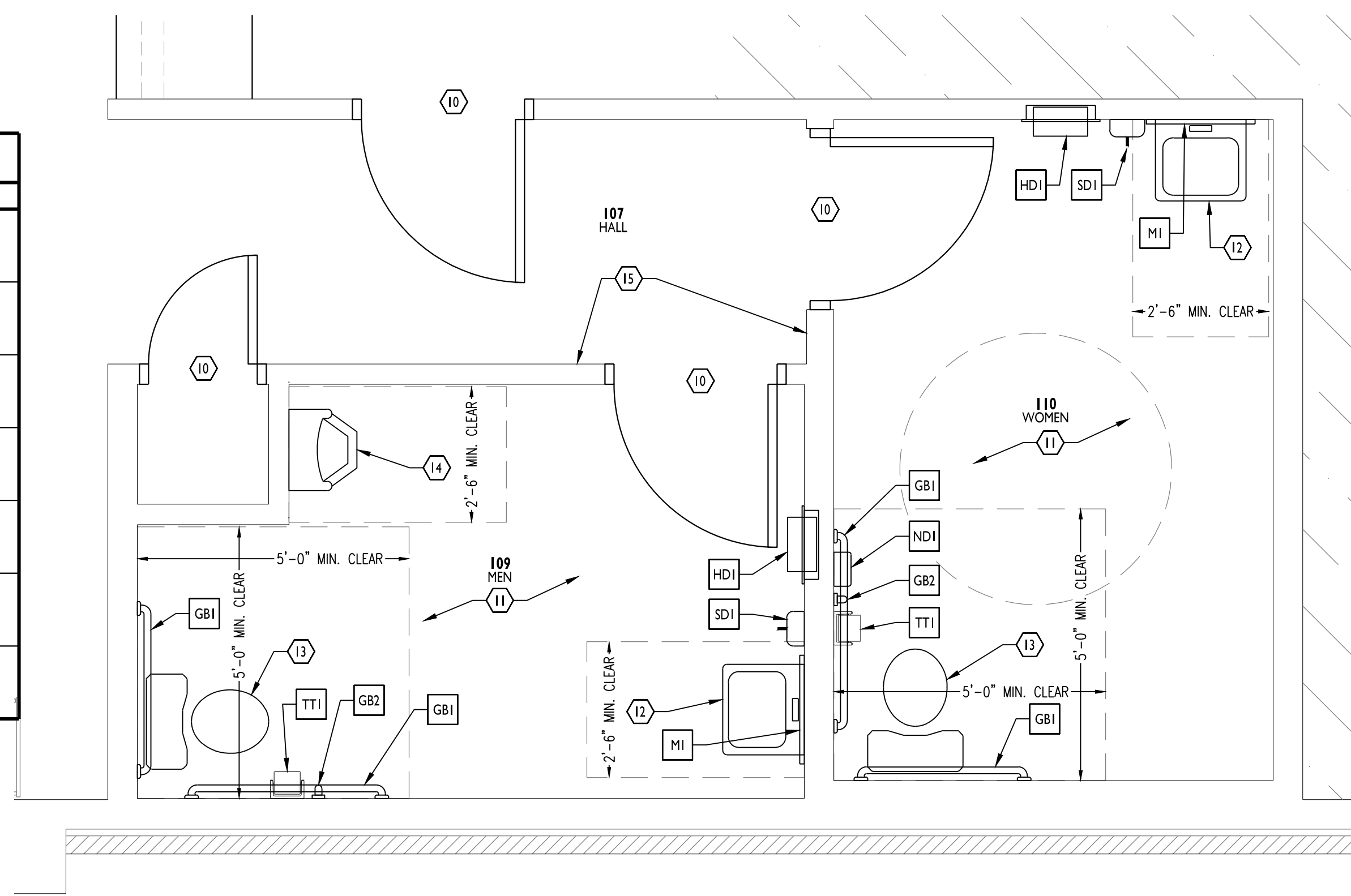
1/4" = 1'-0" N

TOILET ACCESSORY SCHEDULE			
MARK	SYMBOL	MFR #	DESCRIPTION
TT1		BOBRICK B-2888	MULTI-ROLL TOILET TISSUE DISPENSER
GB1		BOBRICK B-5806 X 36 B-5806 X 42	36" AND 42" GRAB BARS
GB2		BOBRICK B-5806 X 18	18" VERTICAL GRAB BAR
M1		BOBRICK B-165	MIRROR 2'-0" X 4'-0"
SD1		BOBRICK B-2112	SOAP DISPENSER
ND1		BOBRICK B-353 B-270	B-353: SANITARY NAPKIN DISPOSAL UNIT AT GWB LOCATIONS. B-270: SURFACE MOUNT SANITARY NAPKIN DISPOSAL UNIT AT PARTITIONS
HD1		XCELERATOR XL-SB	ELECTRIC HAND DRYER, WIRE TO EXISTING HAND DRYER CIRCUIT.



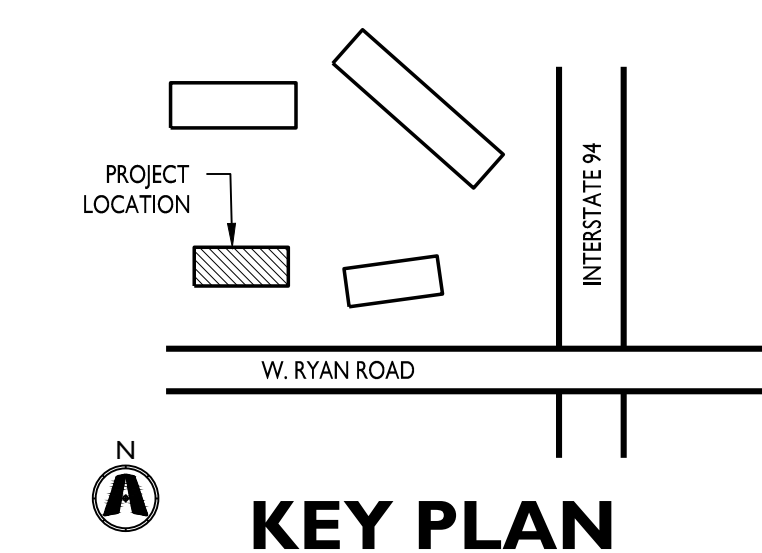
SIGNAGE DETAIL

3 NOT TO SCALE



ENLARGED RESTROOM PLAN

1/2" = 1'-0" N



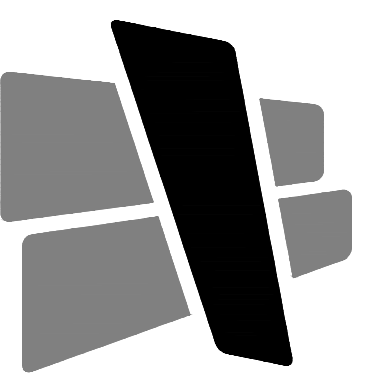
KEY PLAN

GENERAL DEMO NOTES

- A. DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED, UNLESS NOTED OTHERWISE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ALL DEMOLITION ITEMS.
- B. DEMOLITION SHALL BE DONE WITHOUT DAMAGE TO EXISTING CONSTRUCTION TO REMAIN. WHERE SUCH DAMAGE OCCURS PATCH, REPAIR, OR RESTORE WALLS, FLOORS, CEILINGS, ETC., TO MATCH EXISTING. PROVIDE SHORING, BRACING, OR SUPPORT AS REQUIRED TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING CONSTRUCTION.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF DEMOLITION ITEMS WITH THE OTHER TRADES PRIOR TO THE START OF DEMO WORK.
- D. REMOVE ALL EXISTING CONSTRUCTION, ITEMS AND FINISHES MADE OBSOLETE BY, OR IN CONFLICT WITH NEW CONSTRUCTION, VERIFY WITH ARCHITECT. REMOVE WIRING BACK TO SOURCE AT ALL OUTLETS ETC., MADE OBSOLETE BY WALL REMOVAL OR ANY OTHER NEW CONSTRUCTION.
- E. WHERE EXISTING WALLS, BULKHEADS, OR FINISHES ARE REMOVED OR PARTIALLY DEMOLISHED, EACH TRADE SHALL BE RESPONSIBLE FOR PATCHING OR REFINISHING OF EXISTING CONSTRUCTION REQUIRED BY THAT TRADES WORK ON THIS PROJECT. THIS WORK MUST BE DONE IN A MANNER WHICH WILL ACCEPT NEW FINISHES.
- F. ALL CONTRACTORS ARE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILING GRID AND/OR TILES IN ANY AREA WHERE THEY NEED ACCESS AND THE EXISTING CEILING IS TO REMAIN. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL REPLACE ANY CEILING TILES OR GRID DAMAGED IN THIS PROCESS.
- G. AT THE OWNER'S REQUEST SALVAGED ITEMS SHALL BE TURNED OVER TO THE OWNER OR STORED IN AN AREA DESIGNATED BY THE OWNER.
- H. DIMENSIONS SHOWN FOR EXISTING CONSTRUCTION TO BE DEMOLISHED ARE APPROXIMATE AND ARE INTENDED TO GIVE A GENERAL IDEA OF WORK TO BE REMOVED OR WORK TO BE TEMPORARILY REMOVED IN ORDER TO COMPLETE NEW CONSTRUCTION. COORDINATE DEMOLITION WORK WITH DESIGN INTENT OF NEW CONSTRUCTION TO PROVIDE ADEQUATE AREA FOR THIS WORK.
- I. CONTRACTOR MUST FIELD VERIFY ALL AREAS AND/OR WORK TO BE DEMOLISHED PRIOR TO BEGINNING WORK. CONTRACTOR MUST COORDINATE WITH ARCHITECT ANY DIFFERENCES BETWEEN FIELD VERIFIED CONDITIONS AND/OR CONSTRUCTION, AND WHAT IS SHOWN ON DEMOLITION DRAWINGS.
- J. PRIOR TO BEGINNING DEMOLITION, DUST CONTROL BARRIERS SHALL BE CONSTRUCTED TO PREVENT THE SPREAD OF DUST INTO SURROUNDING AREAS.
- K. EXITING FROM STRUCTURE, IF REQUIRED TO PASS THROUGH DEMOLITION AREA(S), SHALL HAVE APPROVED BARRIERS ETC., TO INSURE SAFETY OF PUBLIC.
- L. REFINISH ENTIRE SURFACES AS NECESSARY TO PROVIDE AN EVEN FINISH. REFINISH ENTIRE ASSEMBLIES. CONTINUOUS SURFACES WILL BE TAKEN TO THE NEAREST INTERSECTION.

KEYED NOTES
(ALL NOTES MAY NOT BE USED)

- 1. EXISTING BRICK TO REMAIN. PREP FOR NEW PAINTED FINISH.
- 2. EXISTING ALUMINUM STOREFRONT WINDOWS TO REMAIN.
- 3. EXISTING ROOF ACCESS LADDER TO REMAIN. PREP FOR NEW PAINTED FINISH.
- 4. EXISTING SCUPPERS AND DOWNSPOUTS TO REMAIN. PREP FOR NEW PAINTED FINISH.
- 5. EXISTING UTILITY EQUIPMENT TO REMAIN. PREP FOR NEW PAINTED FINISH.
- 6. EXISTING DRIVE-THRU WINDOW TO REMAIN. COORDINATE WITH OWNER FOR ANY REQUIRED MAINTENANCE OR ADJUSTMENTS.
- 7. REMOVE EXISTING AWNINGS OVER ALL WINDOWS.
- 8. REMOVE EXISTING DECORATIVE LIGHT FIXTURES.
- 9. REMOVE EXISTING EIFS FINISH FROM EXISTING WALL. VERIFY CONDITION OF EXISTING SHEATHING AND REPLACE AS REQUIRED.
- 10. REMOVE EXISTING EIFS BAND FROM SURFACE OF BRICK. PREP UNDERLYING BRICK FOR NEW PAINTED FINISH.
- 11. REMOVE PORTION OF EXISTING PARAPET WALL SYSTEM TO ELIMINATE ANGLED EIFS PROTRUSION. COORDINATE WITH NEW ELEVATIONS.
- 12. REMOVE EXISTING SIGNAGE. SALVAGE FOR REINSTALLATION AFTER APPLICATION OF NEW FINISHES.
- 13. EXISTING EIFS FINISH IN THIS AREA TO REMAIN. PREP FOR NEW PAINTED FINISH.
- 14. PREP EXISTING SURFACE FOR NEW NICHHA PANEL FINISH SYSTEM.
- 15. EXISTING HOLLOW METAL DOOR AND FRAME TO REMAIN. PREP FOR NEW PAINTED FINISH.



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FRANCHISEE



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CERTIFICATION



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PROJECT INFORMATION

REMODEL TO:
AES #7336
1920 W. RYAN ROAD
OAK CREEK, WI 53154



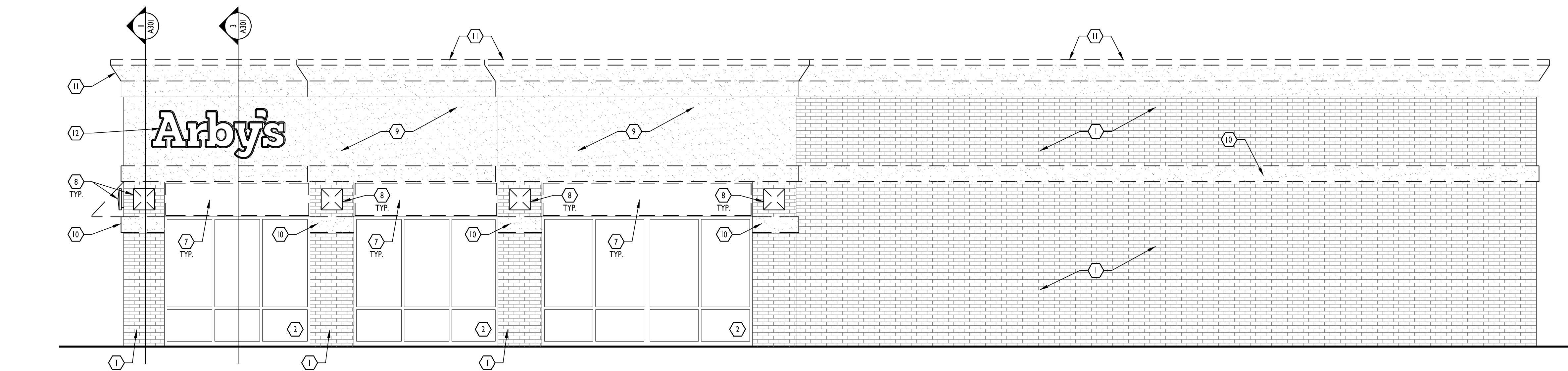
ISSUE DATES

ISSUE	DATE
ISSUED FOR CONSTRUCTION	03.27.2023

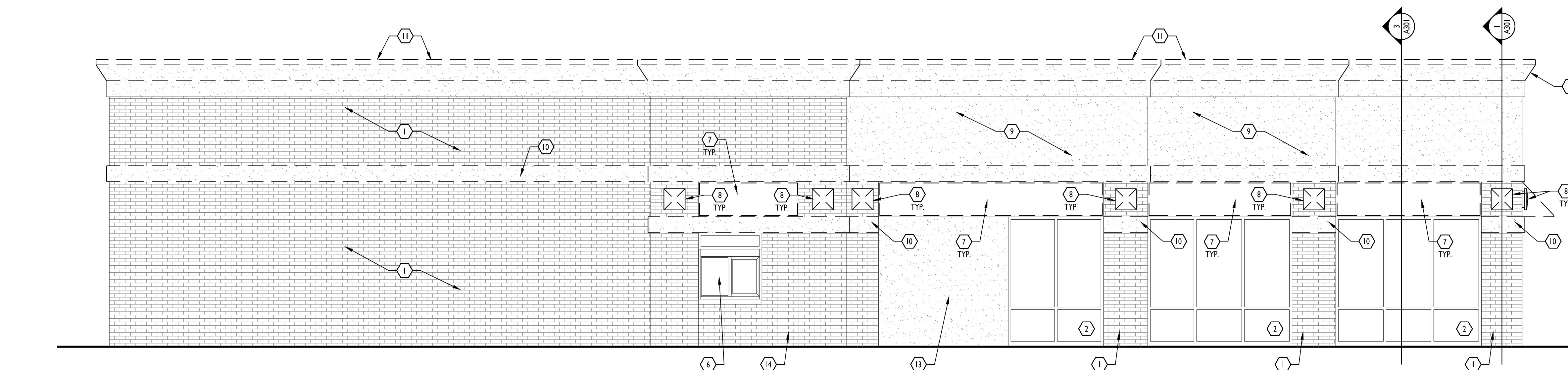
PROJECT NUMBER: 230010

DEMOLITION EXTERIOR
ELEVATIONS

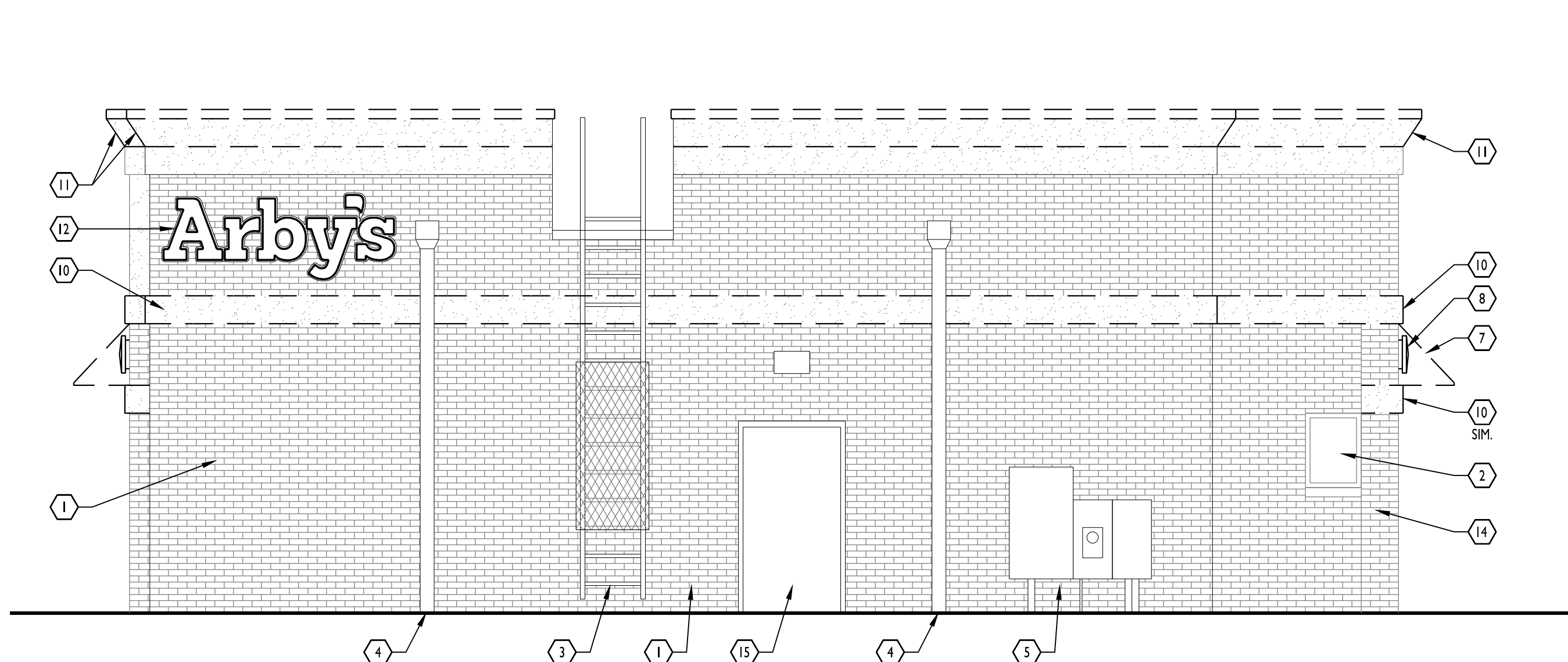
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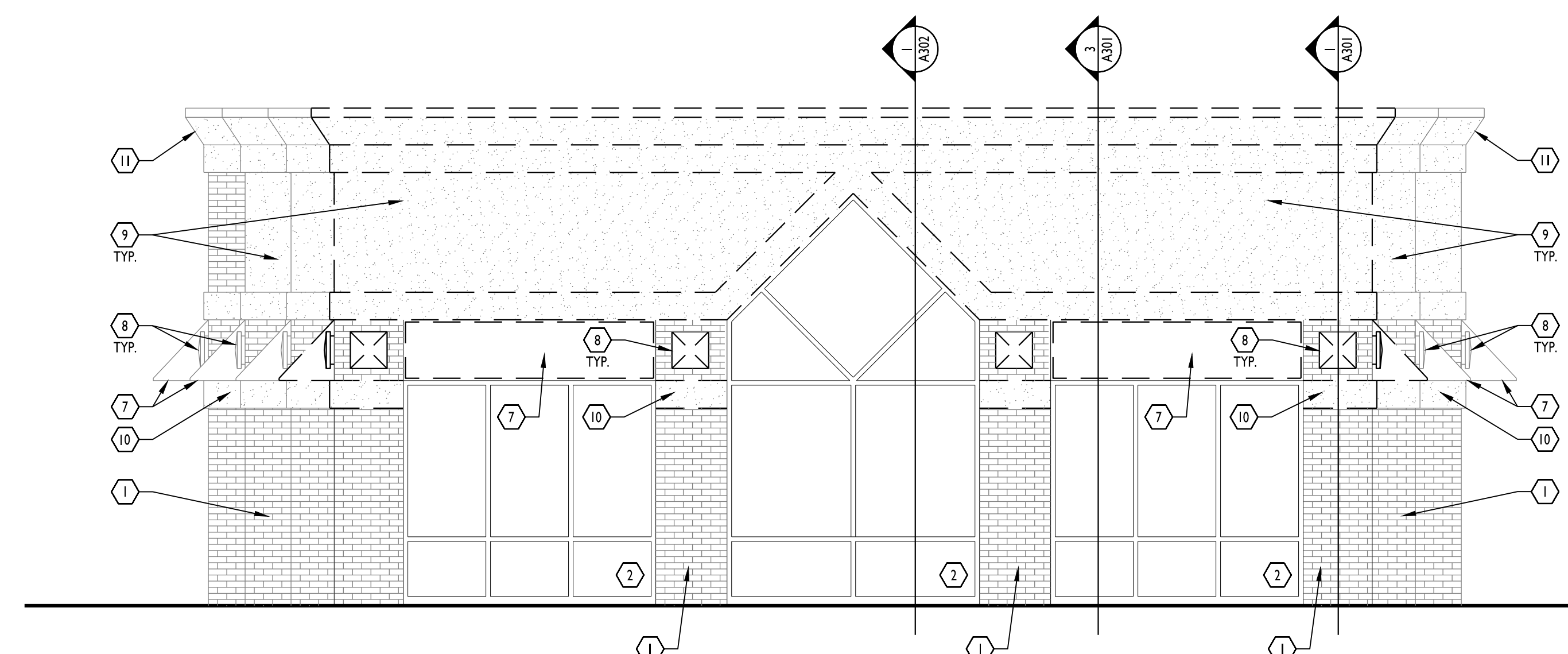
ELEVATION 1
SCALE



ELEVATION 2
SCALE



ELEVATION 3
SCALE



ELEVATION 4
SCALE

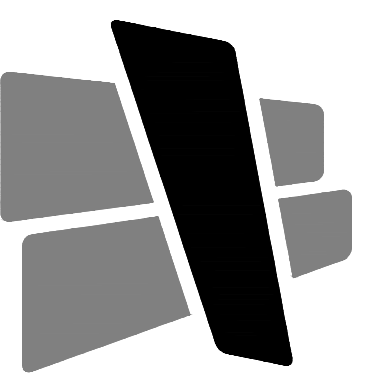
GEN. FINISH NOTES

- A. PAINT ALL EXPOSED GAS PIPE ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.
- B. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.
- C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.
- D. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.
- E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.
- G. ALUMINUM STOREFRONT TO BE DARK BRONZE.
- H. ALL GLAZING TO BE 1" INSULATED GLAZING.
- I. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- J. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVERS.
- K. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.
- L. PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.
- M. ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.
- N. PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.
- O. ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH U.N.O. (EXCEPTIONS INCLUDE ROWLOCK SILL, SOLDIER COURSE HEADERS AT DRIVE THRU WINDOW AND BRICK CORNICE)
- P. THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).

KEYED NOTES

(ALL NOTES MAY NOT BE USED)

1. PRE-FINISHED METAL COPING.
2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.
3. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
4. EXISTING ALUMINUM STOREFRONT SYSTEM TO REMAIN.
5. NEW PAINTED FINISH ON EXISTING BRICK.
6. ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.
7. PAINT DOOR AND FRAME.
8. NICHHA 'RIBBED' PANEL FINISH, OVER EXISTING WALL. REPLACE ANY SHEATHING AS REQUIRED AFTER REMOVAL OF EIFS AND PROVIDE NEW AIR INFILTRATION BARRIER.
9. NICHHA 'CANYON BRICK' PANEL FINISH PAINTED COLOR AS SHOWN. INSTALLED OVER NEW FRAMING AND SHEATHING. REFER TO WALL SECTIONS.
10. NICHHA 'ROUGH SAWN' PANEL FINISH, OVER EXISTING WALL. REPLACE ANY SHEATHING AS REQUIRED AFTER REMOVAL OF EIFS AND PROVIDE NEW AIR INFILTRATION BARRIER.
11. PAINTED ACCENT BAND, ALIGN WITH METAL ACCENT BAND.
12. EXISTING DRIVE THRU WINDOW.
13. WALL MOUNTED DOWN-LIGHT FIXTURE, TIED INTO EXISTING EXTERIOR LIGHTING CIRCUIT.
14. WALL MOUNTED UP-DOWN LIGHT FIXTURE, TIED INTO EXISTING EXTERIOR LIGHTING CIRCUIT.
15. REINSTALL EXISTING SIGNAGE.
16. EXISTING ROOF LADDER, PAINT COLOR AS SHOWN.
17. EXISTING SCUPPERS AND DOWNSPOUTS, PAINT COLOR AS SHOWN.
18. USE MANUFACTURER'S STANDARD TRIM AT ALL WINDOW JAMBS.
19. EXISTING UTILITY EQUIPMENT, PAINT COLOR AS SHOWN.
20. EXISTING EXTERIOR WALL LIGHT TO REMAIN.
21. NEW ARBY'S HAT SIGNAGE REFER TO SIGNAGE VENDOR'S DRAWINGS.
22. OUTLINE OF EXISTING STOREFRONT WINDOW SYSTEM BEHIND NEW FRAMING.
23. PAINT EXISTING EIFS FLAT CORNICE BAND COLOR AS SHOWN.



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ARCHITECTURE

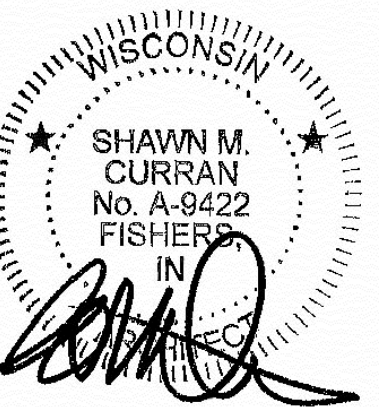
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CERTIFICATION



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PROJECT INFORMATION

REMODEL TO:
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ISSUE DATES

ISSUE	DATE
ISSUED FOR CONSTRUCTION	03.27.2023

PROJECT NUMBER: 230010

EXTERIOR ELEVATIONS

A201

