



PLAN COMMISSION REPORT

Proposal: Plan Review – Townhomes (north)

Description: Site, building, landscaping, and related review for two (2) proposed 8-unit townhomes and two (2) proposed 6-unit townhomes in Lakeshore Commons.

Applicant(s): Nick Jung, F Street OCLV NT, LLC

Address(es): 4005 E. Lake Vista Parkway (4th Aldermanic District)

Suggested Motion: That the Plan Commission approves the site and building plans submitted by Nick Jung, F Street OCLV NT, LLC, for two (2) 8-unit townhomes and two (2) 6-unit townhomes on the property at 4005 E. Lake Vista Parkway with the following conditions:

1. That all relevant Code requirements and conditions of the Traditional Neighborhood Development Planned Unit Development (TND PUD) remain in effect.
2. That a snow storage plan is submitted for review and approval by the Department of Community Development prior to submission of permit applications.
3. That all mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) shall be screened from view.
4. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Owner(s): F Street OCLV, LLC

Tax Key(s): 868-9005-000

Lot Size(s): 34.519 ac (parcel)

Current Zoning District(s): Traditional Neighborhood Devel. (TND)

Overlay District(s): PUD

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Mixed Use

Background:

The Applicant is requesting site, building, landscaping, and related plan approval for two (2) proposed 8-unit townhomes and two (2) proposed 6-unit townhomes on Lot 7 of the Lakeshore Commons Subdivision Plat with a current address of 4005 E. Lake Vista Parkway as part of Phase I of the Lakeshore Commons development. Plan Commissioners will recall that Lakeshore Commons is zoned as a Traditional Neighborhood Development Planned Unit Development (TND PUD), the Amended Conditions and Restrictions for which were approved in Ord. 3063 in January of this year, and included with this report for reference.

Phase 1 of Lakeshore Commons includes public infrastructure, multiple housing types, and associated amenities. Originally, the Master Development Plan called for nine (9) two-family villas in this part of the PUD. Though similar to the existing townhomes south of the A9 apartments in the center of the development, these townhomes will be rental units with slightly different architecture and color schemes. One (1) end unit per building is split into an upper & lower unit. These buildings are oriented such that the 2-car garages face and are accessed from the private alley to the south. Mailboxes are located southeast of the farthest east 6-unit building, although staff recommend that they are sited at least 2-4 feet from the alley to ensure sufficient space for snow clearing.

Dimensional standards for TND PUDs differ from those of the Rm-1, Multifamily Residential district requirements. Below are the requirements of the TND PUD by building type.

Dimensional Standards, Traditional Neighborhood Development

Standard	Single-Family Detached (a)	Single-Family Attached (2 Units) (a)	Single-Family Attached (3-4 Units) (a)	Single-Family Attached (5-9 Units) (a)	Multifamily	Mixed Use	Nonresidential	Civic (institutional rec.) (a)(b)
Lot Standards (Minimum)								
Lot Area	3,600 sq ft	7,200 sq ft	10,400 sq ft	17,820 sq ft	42,000 sq ft	15,000 sq ft	5,000 - 10,000 sq ft	-
Lot Width	40 ft	80 ft	116 ft	90 ft	120 ft	100 ft	75 ft	-
Yard Setbacks								
Front								
Minimum	5 ft	5 ft	5 ft	5 ft	2 ft	5 ft	5 ft	30 ft
Maximum	20 ft	20 ft	20 ft	25 ft	-	15 ft	-	-
Side (b), (c), (e)	3 ft	3 ft	3 ft	3 ft	2 ft	10 ft	5 ft	30 - 50 ft
Side (b), (c), (e)	See footnotes				2 ft	10 ft	5 ft	30 - 50 ft
Rear (b)	4 ft	4 ft	4 ft	4 ft	2 ft	5 - 20 ft	15 - 25 ft	50 ft
Building Standards (Maximum)								
Height (d)	2.5 stories/ 35 ft	2.5 stories/ 35 ft	2.5 stories/ 35 ft	2.5 stories/ 35 ft	5 stories/ 75 ft	50 ft	50 - 55 ft	55 ft
Building Coverage (f)	70%	-	-	-	-	-	25%	25%
Lot Coverage (f)	70%	70%	70%	70%	70%	70%	70%	70%
Notes								
(a) Minimum front setbacks to the property line shall be maintained for porches inclusive of stairs, raised planters, foundations, and buildings. Maximum front setbacks shall be measured from the front plane of the principal building to the lot line. There shall be no encroachments into municipal easements unless written authorization is received from the City Engineer.								
(b) A reduction in the required setbacks to private alleys may be approved by the Plan Commission as part of the PUD.								
(c) There shall be a minimum distance of eight (8) feet between buildings. Side setbacks shall not be less than (3) feet on any side.								
(d) Height modifications shall be requested in accordance with (d)(3)(a)(viii) above and § 17.0303(a) (as amended).								
(e) Double Lot Frontage: Structures on lots abutting two (2) opposite streets shall be provided with a front setback and a rear setback. The front and side setbacks shall be determined as part of the PUD and in a manner that prohibits access to a double frontage lot from arterial streets. The selected front setback area shall be required to comply with the front setback requirements for the district in which the lot is located. The selected rear setback area shall be required to comply with the rear setback requirements for the district in which the lot is located and the rear setback area shall be screened from arterial streets with fencing or landscaping, as may be appropriate.								
(f) Standards for the gross area of the PUD.								

It appears from the plans that the townhome buildings as proposed meet the dimensional standards for the TND PUD.

Minimum parking requirements for multifamily townhomes are two (2) attached spaces per unit. Since each unit includes an attached 2-car garage, the plan as proposed meets the minimum requirement. There are no additional off-street parking areas. Each unit has an approximately 12-foot-long apron in front of the garage, separated by low retaining walls, which could be utilized for additional parking if vehicles do not extend into the alley. The 20-foot alley must be kept clear at all times for emergency access. Staff recommend that a

snow storage plan be provided to ensure sufficient space outside of parking, alley, and stormwater management areas.

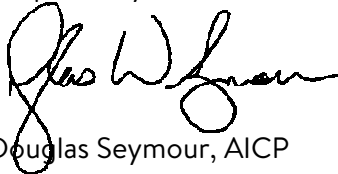
Exterior building materials are described in the PUD as high-quality and accent (see Exhibit 7.1), with requirements for where each can be located on the buildings. For the proposed townhome buildings, the plans call for a mix of engineered wood panel siding and engineered wood vertical board & batten siding as the primary building materials on all elevations. Windows are maximized on the north elevations of each building, although windows are incorporated throughout. Unlike the townhomes currently under construction near the A9 apartments, these units do not include second-story balconies. Instead, small patios are shown on the north elevations. All buildings will utilize architectural asphalt shingles on the roofs. Materials calculations per elevation are shown on the plans included with this report. Staff recommends color variations amongst the buildings for additional contrast, and additional color variations on the garage elevations so that they do not appear as a solid dark mass.

Revisions to the submitted landscape plans may be required for compliance with the approved Master Landscape Design Guide and PUD requirements. However, as a reminder, the ground-level HVAC condensers, exterior building-mounted gas and electrical utilities, and transformers will be required to be adequately screened. Trash receptacles will be required to be sited similarly to single-family dwellings, likely interior to the garages, and wheeled out for collection onto the garage pads. No trash receptacles will be allowed in front or street yards.

With the above in mind, and recognizing that City staff will continue to work with the Applicant and all involved parties on outstanding issues, staff has provided a suggested motion for approval with conditions above for Plan Commission consideration.

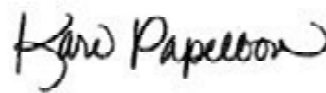
Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Senior Planner

Attachments:

Location Map

Conditions & Restrictions (49 pages)

Narrative (1 page)

Plans

Cover Sheet & PC-00 through PC-14 (16 pages)

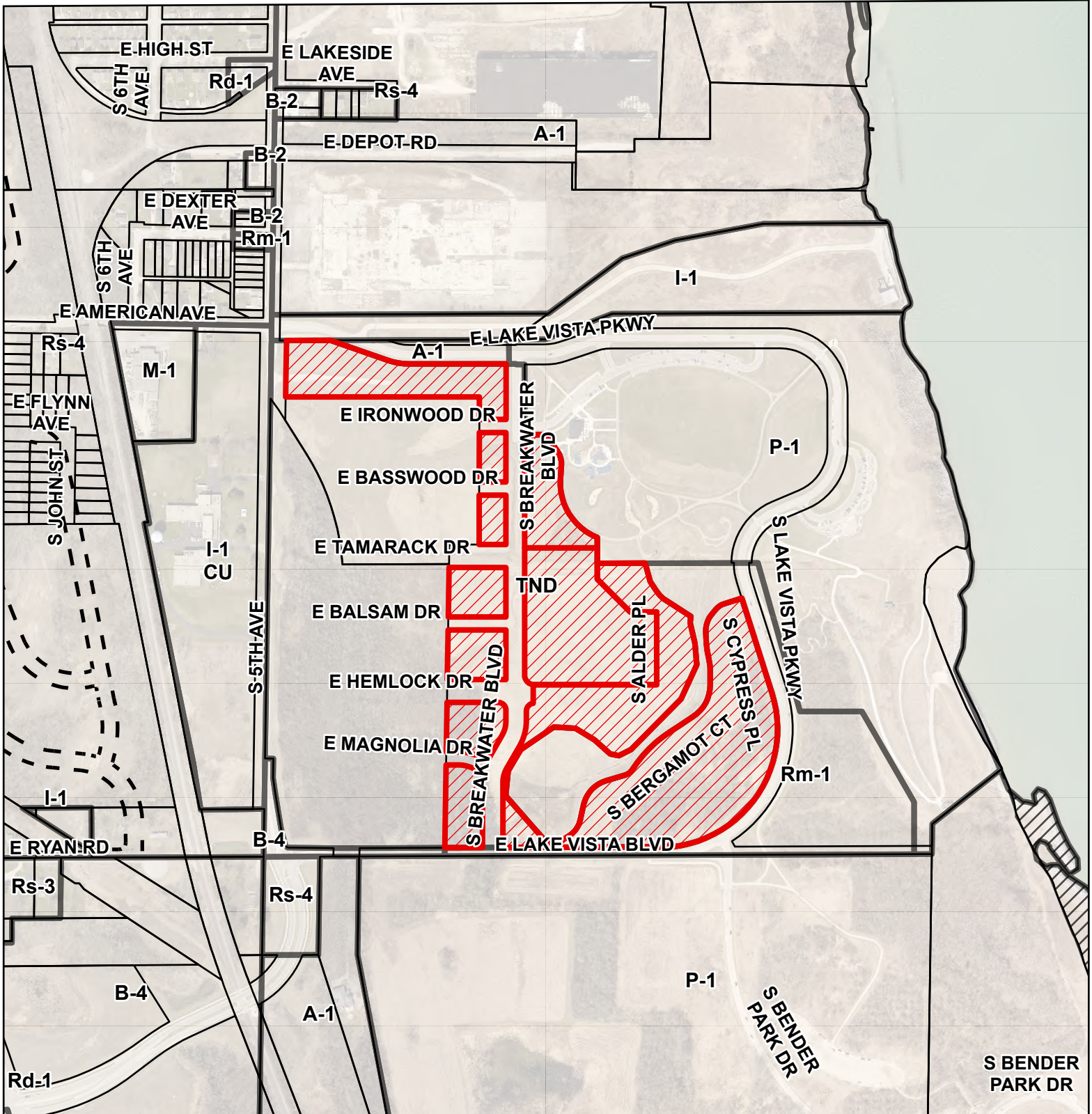
Civil Plans, C101 – C106B (18 pages)

Landscape Plans, L101 – L201 (4 pages)

Photometric Plan (1 page)

LOCATION MAP

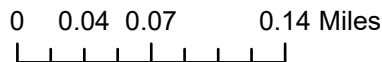
4005 E. Lake Vista Pkwy.



This map is not a survey of the actual boundary of any property this map depicts.



Community Development



Legend

- Zoning
- Official Map
- Floodway
- Flood Fringe
- 4005 E. Lake Vista Pkwy.

**Lakeshore Commons
Traditional Neighborhood Planned Unit Development (PUD)
General Development Plan and Conditions and Restrictions
AMENDED**

Applicant: F Street Development Group
Project: Lakeshore Commons Development
Property Address(es): 9116 & 9300 S. 5th Ave., and 4005 E. Lake Vista Pkwy (parcels)
Tax Key Number(s): Various (Condo Units; 868-9006-000, 868-9994-002, former 868-9005-000)

**Approved by Plan Commission: 11-22-22
Approved by Common Council: 1-17-23
Ord #: 3063, Amend. 3018**

This planned unit development is being developed within the Traditional Neighborhood Development District zoning in accordance with Section 17.0701 (formerly Sec. 17.0327) of the Municipal Code (as amended), and is subject to the following conditions of approval.

Lakeshore Commons is a development that envisions an active, walkable and inclusive community located along the shores of Lake Michigan. Rooted in progressive urban design principals and a vision for a more sustainable future, this document serves as a detailed roadmap for the development ensuring key factors are incorporated in its creation.

Lakeshore Commons is projected to have primarily residential, mixed-use, and community compatible uses. Residential will include a range of housing types from Single Family units, Townhomes, and Multi-Family buildings with mixed-use ground floors. Standalone Community Amenity buildings will also be incorporated into the Masterplan.

1. Required plans, documents, easements, agreements and public improvements (See Sec. 17.0709 of the Municipal Code)

- a. A project narrative describing, at a minimum:
 - i. The mix of uses, housing types and densities within the PUD.
 - ii. An overall statement regarding ownership structure and common area maintenance.
 - iii. The substance of covenants, easements and other restrictions to be imposed on the use of the land including common open space, and buildings or structures.
 - iv. A schedule of development showing the approximate date for beginning and completion of each phase of the planned development.
 - v. An analysis setting forth the anticipated demand on City services.
 - vi. A statement identifying each site development allowance requested from Municipal Code standards including how each allowance would be compatible with surrounding development, is in furtherance of the stated objectives of a Traditional Neighborhood Development and is necessary for proper development of the site.

- b. A general development plan (**Exhibit 1**) for the entire area to be regulated within the PUD shall be approved by the Common Council upon recommendation by the Plan Commission and shall include:
 - i. Lot, block and building locations with setbacks
 - ii. Square footage of buildings and number of units (multifamily)
 - iii. Public street locations including general cross-section and ROW width
 - iv. Private alleys and access drives (width and location)
 - v. Sidewalk and path-trail locations and connections
 - vi. Proposed public and private recreational amenities

- vii. Parking layout and traffic circulation
 - viii. Location
 - ix. Number of spaces
 - 1. Dimensions
 - 2. Setbacks
- c. Location of utility infrastructure (existing and proposed)
- i. Sanitary sewer
 - ii. Water
 - iii. Storm sewer
 - iv. Detention/retention basins
 - v. Green infrastructure plans
 - vi. Location of wetlands (field verified)
 - vii. Location of regulated soil management areas
- d. Schematic drawings (**Exhibits 2.1 through 2.13**) illustrating the design and character of all building typologies. The drawings shall also include a schedule showing the unit sizes and number of bedrooms proposed within all multifamily structures of four (4) or more units.
- e. A master landscape design guide for streetscapes and common areas within the PUD. This shall include minimum landscaping requirements for the single family and multifamily villa housing types with standards established for landscaped streets, trails, front, side and rear yards. No landscaping or disturbance will be permitted in such a location or manner as may be contrary to these conditions and restrictions, deed restrictions or established soil management plans. (See plans approved March 22, 2022).
- f. For each phase of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit. Said landscape plans shall be in conformance with the master landscape design guide approved for the PUD. (See plans approved March 22, 2022).
- g. A professional traffic study showing the proposed circulation pattern within and in the vicinity of the planned development, including the location and description of public improvements to be installed, and any streets and access easements.
- h. Precise detailed plans for each phase of the PUD shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits for that phase. These plans shall be in substantial conformance with the adopted General Development plan and shall include the following:
- i. Site Plan
 - ii. Architectural Plan
 - iii. Landscape Plan
 - iv. Lighting Plan
 - v. Grading Plan, Drainage and Stormwater Management Plan
 - vi. Master Sign Plan
 - vii. Fire Protection Plan
 - viii. Contingent parking plan for townhouse and multifamily buildings
- i. All plans for new buildings or additions shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit. This requirement

shall not apply to single-family structures or two/three-unit multifamily villas.

- j. The Plan Commission shall approve architectural plans for all of the different models proposed for the single-family and two/three-unit multifamily villas. Plan Commission review of individual site and building plans is not required for the single-family and two/three-unit multifamily villas provided they substantially conform to the approved general development plan and building typologies as depicted in **Exhibit 1 and Exhibits 2.1 through 2.10**.
- k. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.
- l. A Development Agreement shall be completed between the owner and the City so as to ensure the construction or installation of public or other improvements required in the adopted General Development Plan, detailed phase plans or as specified by these conditions and restrictions. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, etc.) shall be subject to approval by the City Engineer.
- m. A qualified environmental professional ("QEP") hired by the City shall be responsible for reviewing compliance with the Barrier Management Plan ("BMP") and SMP under the COC".
- n. If required by the City of Oak Creek, public easements for telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted; provided there is access to each of the aforementioned systems and their appurtenances.
- o. If there are any future land divisions, a subdivision or condominium plat or certified survey map shall be prepared, submitted for approval and recorded. All future land divisions shall comply with the Deed Restriction and COC requirements imposed by the WDNR under the Voluntary Party Liability Program ("VPLE")".
- p. The City shall approve the condominium plat and deed restrictions within this planned unit development in accordance with Chapter 14.42 of the Municipal Code (as amended). The City has the right, but not the obligation, to enforce those restrictions, particularly as they relate to existing environmental documentation and agreements.
- q. The Plan Commission shall approve the Declaration of Condominium and the Condominium ByLaws to ensure that there is compliance with the State of Wisconsin Department of Natural Resources ("DNR") Certificates of Completion ("COC") dated November 20, 2014, which require that in the Clean Cover Soil Area ("CCSA") for any condominium and residential development the land should be under common ownership where there is an oversight body responsible for enforcing compliance with the Barrier Management Plan ("BMP") and Soil Management Plan ("SMP") that are part of the Institutional Controls under the COC and are a requirement of the Deed Restrictions imposed by both E.E. DuPont de Nemours and Company and EPEC Polymers, Inc., both dated December 1, 2014.

2. Traditional Neighborhood Development Use and Design Standards

- a. Permitted Uses - In order to achieve the proximity necessary to make neighborhoods

walkable, it is important to mix land uses. A Traditional Neighborhood Development should consist of a mix of residential uses, a mixed-use area and open spaces. The following uses are permitted within this Traditional Neighborhood PUD subject to Section 17.0709 of the Municipal Code (as amended), deed restrictions, the adopted General Development Plan and uses established for designated soil management areas:

- i. Single family detached (not permitted within Clean Cover Soil Area – CCSA)
 - ii. Two- and three-unit multifamily villas
 - iii. Multifamily Townhomes
 - iv. Multifamily buildings of four (4) or more units
 - v. Neighborhood commercial uses up to 10,000 square feet in size, as further restricted by recorded deed restrictions, including:
 1. Food services (grocery stores, butcher shops, bakeries and other specialty food stores without drive-through facilities), cafes, coffee shops, bars and taverns, microbreweries, neighborhood scale distilleries or wineries, tasting rooms, ice cream or candy shops.
 2. Retail, excluding adult entertainment.
 3. Services, including financial institutions (without drive-ups or drive-throughs), day care centers, veterinary services, self-service laundry, dry cleaners.
 - vi. Home occupations, where not excluded by Municipal Code or deed restriction.
 - vii. Public and private recreational and open space uses.
- b. **Conditional Uses** - The following uses require conditional use permits within this Traditional Neighborhood PUD subject to Section 17.0709 of the Municipal Code (as amended), deed restrictions, the adopted General Development Plan and uses established for designated soil management areas:
- i. Permitted neighborhood commercial uses exceeding 10,000 square feet in size.
 - ii. Lodging uses, including bed and breakfast, motels or hotels.
 - iii. Civic or institutional uses.
- c. **Development Units and Density** – The maximum density and number of residential dwelling units and the amount of nonresidential development shall be determined in accordance with the adopted general development plan and **Exhibit 3** - Lakeshore Commons Unit Types & Density Standards by Phase.
- i. The Director of Community Development is authorized to permit variations to the unit mix in any given development phase provided that the total number of units and density does not exceed the maximum for that phase as identified in **Exhibit 3** - Lakeshore Commons Unit Types & Density Standards by Phase provided that no single-family homes shall be permitted in the CCSA.
- d. **Mixed-Use Areas** – Neighborhood retail or service uses, as defined by Sections 17.0405(d) and 17.0406(b) of the Municipal Code (as amended), shall be permitted on ground floors of multifamily structures.
- e. **Open Space and Neighborhood Amenities** – There shall be an interconnected network of public and private open space as depicted in **Exhibit 4** – Open Space & Neighborhood Amenities. All amenities for a given phase must be constructed in accordance with approved Finance Development Agreement and Escrow agreement. Maintenance of private amenities and facilities shall be the responsibility of the property owner(s).

- f. **Stormwater Management** – The properties within the planned unit development shall be subject to a storm water management practices maintenance agreement with the City. Areas designated for stormwater management green infrastructure shall be consistent with the adopted general development plan for this planned unit development.
- g. **Dimensional, Lot, and Block Standards** – Although the development is in the form of a condominium plat without individual lots, the following standards apply to structures within this planned unit development as depicted in **Exhibit 1, Exhibits 11.1 through 11.10, & in the table below.**

Standard	Single-Family Detached (a)	Single-Family Attached (2 Units) (a)	Single-Family Attached (3-4 Units) (a)	Single-Family Attached (5-9 Units) (a)	Multifamily	Mixed Use	Nonresidential	Civic (institutional, rec.) bldgs
Lot Standards (Minimum)								
Lot Area	3,600 sq ft	7,200 sq ft	10,400 sq ft	17,820 sq ft	42,000 sq ft	15,000 sq ft	5,000 – 10,000 sq ft	-
Lot Width	40 ft	80 ft	116 ft	90 ft	120 ft	100 ft	75 ft	-
Yard Setbacks								
Front								
Minimum	5 ft	5 ft	5 ft	5 ft	2 ft	5 ft	5 ft	30 ft
Maximum	20 ft	20 ft	20 ft	25 ft	-	15 ft	-	-
Side (b), (c), (e)	3 ft	3 ft	3 ft	3 ft	2 ft	10 ft	5 ft	30 – 50 ft
Side (b), (c), (e)	See footnotes.				2 ft	10 ft	5 ft	30 – 50 ft
Rear (b)	4 ft	4 ft	4 ft	4 ft	2 ft	5 – 20 ft	15 - 25 ft	50 ft
Building Standards (Maximum)								
Height (d)	2.5 stories/ 35 ft	2.5 stories/ 35 ft	2.5 stories/ 35 ft	2.5 stories/ 35 ft	5 stories/ 75 ft	50 ft	50 - 55 ft	55 ft
Building Coverage (f)	70%	-	-	-	-	-	25%	25%
Lot Coverage (f)	70%	70%	70%	70%	70%	70%	70%	70%
Notes:								
(a) Minimum front setbacks to the property line shall be maintained for porches inclusive of stairs, raised planters, foundations, and buildings. Maximum front setbacks shall be measured from the front plane of the principal building to the lot line. There shall be no encroachments into municipal easements unless written authorization is received from the City Engineer.								
(b) A reduction in the required setbacks to private alleys may be approved by the Plan Commission as part of the PUD.								
(c) There shall be a minimum distance of eight (8) feet between buildings. Side setbacks shall not be less than (3) feet on any side.								
(d) Height modifications shall be requested in accordance with (d)(3)a(1)(viii) above and § 17.0303(a) (as amended).								
(e) Double Lot Frontage. Structures on lots abutting two (2) opposite streets shall be provided with a front setback and a rear setback. The front and side setbacks shall be determined as part of the PUD and in a manner that prohibits access to a double frontage lot from arterial streets. The selected front setback area shall be required to comply with the front setback requirements for the district in which the lot is located. The selected rear setback area shall be required to comply with the rear setback requirements for the district in which the lot is located and the rear setback area shall be screened from arterial streets with fencing or landscaping, as may be appropriate.								
(f) Standards for the gross area of the PUD.								

- h. **Circulation and Parking Standards** – The circulation system shall allow for different modes of transportation. It shall provide functional and visual links between areas within the planned unit development and shall connect to existing or proposed external development. The circulation system shall provide adequate traffic capacity, and promote safe and efficient mobility for pedestrian and bicycles throughout the planned unit development. Roadway sections are depicted in **Exhibits 6.1, 6.2, and 6.3**.
- i. **Pedestrian Circulation** – Pedestrian circulation should minimize pedestrian-vehicle conflicts.
 - 1. Sidewalks shall connect all dwelling entrances and entrances to commercial or mixed-use buildings to the adjacent public sidewalk.
 - 2. Sidewalks shall comply with applicable requirements of the Americans with Disabilities Act.
 - 3. Crosswalks shall be clearly marked with contrasting paving materials or striping and may include other traffic calming measures.
 - ii. **Bicycle Circulation** – Bicycle circulation shall be accommodated on collector streets and/or multiuse paths. Facilities for bicycle travel may include off-street bicycle paths (generally shared with pedestrians and other non-motorized users) and separate, striped, 4-foot bicycle lanes on streets. If a bicycle lane is combined with a lane for parking, the combined width shall be a minimum of 13.5 feet. Bicycle parking shall be provided for all multifamily buildings as well as the private community building and recreation space.
 - iii. **Motor Vehicle Circulation** – Motor vehicle circulation shall be designed to minimize conflicts with pedestrians and bicycles. Traffic calming measures are encouraged to slow traffic speeds.
- i. **Street Hierarchy** – The design intent of the street hierarchy and cross section design within the Traditional Neighborhood Development is illustrated in **Exhibits 6.1, 6.2, and 6.3**, and shall be classified as follows:
- i. **Collector (public)** – Collector streets provide regional access to neighborhood as part of the City’s major street network. Individual driveways are not permitted to directly access collector streets. South 5th Avenue and East Lake Vista Boulevard are designated as collector streets within this planned unit development.
 - ii. **Subcollector (public)** – Subcollector streets provide primary access to residential, commercial and mixed-use areas of the planned unit development. Only consolidated and shared driveways for multifamily and mixed-use parking facilities may directly access subcollector streets. Additional parking is provided within buildings or lots to the side or rear of buildings. Breakwater Boulevard is designated a subcollector street.
 - iii. **Local Street (public)** – Local streets provide primary access to individual properties (although vehicular access to off-street parking is limited to alleys). Ironwood Drive, Basswood Drive, Tamarack Drive, Balsam Drive, Magnolia Drive, Elderberry Drive, and Baneberry Place are designated as public local streets.
 - iv. **Local Street (private)** – Cypress Place and Bergamot Court are designated as private local streets.
 - v. **Alley (private)** – These streets provide access to residential properties where the streets are designed with a narrow width to provide limited on-street parking. Alleys

may also provide delivery access or access to alternate parking for commercial or mixed-use properties.

j. **Parking and Driveway Requirements**

- i. Minimum off-street parking requirements for this project shall be provided at the rate of:
 1. Single-family, multifamily villas, and multifamily townhomes two (2) attached spaces per dwelling unit.
 2. Multifamily buildings of more than four (4) units shall provide a minimum of 1.4 dedicated parking spaces per dwelling unit. Design intent to include as many stalls as possible provided within an enclosed or attached garage within a reasonable vicinity of the dwelling unit.
 3. A contingent parking plan shall be provided as part of the precise detailed site plans required by Section 1h above illustrating those areas on the site set aside for additional parking should actual parking demands exceed the minimum parking requirements established by these conditions and restrictions.
- ii. Where 90° parking is indicated on the site plans, individual-parking stalls shall be nine (9) feet in width by eighteen (18) feet in length. The standards for other types of angle parking shall be those as set forth in Section 17.0501(d) of the Municipal Code (as amended).
- iii. Movement aisles for 90° parking shall be at least twenty-two (22) feet in width.
- iv. All off-street parking areas shall be surfaced with an all-weather wearing surface of plant mix asphaltic concrete over crushed stone base subject to approval by the City Engineer. A proposal to use other materials shall be submitted to the Plan Commission and the Engineering Department for approval.
- v. Surface parking lots or garages for multifamily structures of four or more units shall provide bicycle parking areas in conformance with NACTO standards.
- vi. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.
- vii. All driveway approaches to this property shall comply with the standards set forth in Chapter 23 of the Oak Creek Municipal Code. Any off-site improvements shall be the responsibility of the property owner.
- viii. All off-street parking areas shall be landscaped in accordance with applicable portions of Section 17.0505 of the Municipal Code (as amended), the Master Landscape Design Guide approved March 22, 2022, and these conditions and restrictions.
 1. **Landscape Area.** All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape islands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. For parking lots designed for twenty-five (25) parking spaces or more, at least one-half (1/2) of the minimum five (5) percent landscaped area shall be within the parking lot.
 2. **Parking Lot Screening.** Those parking areas for five (5) or more vehicles if adjoining a public right-of-way shall be screened from casual view by an earth

berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way and six (6) feet in height between the parking and any adjacent residential property line. All screening materials shall be placed and maintained at a minimum height of three (3) feet.

k. **Single Family and Attached Multifamily Villa Fencing Requirements**

- i. Private fenced rear yards are optional within the development at single family and attached multifamily villas. Fencing is allowed at backyard and side yard conditions only. Fencing shall be a minimum of three (3) feet from the rear yard alley line and should extend no more than fifty (55) feet from the alley line. Any deviations that arise shall be brought to the Plan Review Department - staff level, for consideration. Fencing shall be held tight to the demising site lines. Fence materials shall meet the TND requirements per **Exhibit 7.1**.

3. Architectural Standards

- a. **Materials:** Materiality is a critical component within the architecture of Lakeshore Commons. The following guidelines describe levels of quality and general locations of building materials. The exterior materials, and their colors, shall be complementary to each other for a cohesive and refined aesthetic. The use of high quality and durable building materials shall be used on all facades. The use of sustainable building materials is strongly encouraged. Materials examples are illustrated in **Exhibits 7.1 and 7.2**.

- i. **Single Family Homes, Multifamily Villas, and Townhomes (Exhibit 7.1)** - Examples of high-quality materials shall include:

Stone, Brick, Burnished Block, Commercial grade architectural metal panel, Wood, Fiber cement plank or panel, Stucco, Photovoltaic systems, engineered wood systems, Phenolic cladding system, Composite Siding System, Wood look aluminum metal plank system. **(Fence materials to be specified)**

- ii. **Multi Family Buildings and Clubhouse (Exhibit 7.2)** - Examples of high-quality materials shall include:

Stone, Brick, Burnished Block, Commercial grade architectural metal panel, Wood, Fiber cement plank or panel, Stucco, Photovoltaic systems, engineered wood systems, Phenolic cladding system, Corrugated metal paneling, Wood look aluminum metal plank system. Board-formed/textured/decorative concrete shall be allowed for foundations only as part of plans approved by the Plan Commission.

- iii. **Locations of High-Quality materials:** High quality materials shall take precedence on facades that face main roadways or any other frontages that will be in direct contact with the public realm.

- iv. **Accent Materials:** Accent materials are defined as high quality materials that shall not make up the primary composition of a façade. They selectively highlight architectural features and are intended to harmonize within the overall design expression.

Examples of recommended Accent materials include:

- Exposed concrete (variety of colors and textures are acceptable)

- Fritted glazing (variety of patterns are acceptable)
 - Translucent Materials (variety of styles are acceptable)
 - Corrugated Metal Panel
 - Metal and/or vinyl trim and fascia
- v. **Material examples** – Example images of acceptable materials are depicted on **Exhibits 7.1 and 7.2**. Material examples and requirements stated above shall apply to all proposed building typologies within Lakeshore Commons.
- b. **Building Façade Composition** - Buildings at Lakeshore Commons are intended to harmonize with each other and create a uniform and understandable design identity without limiting building style and expression. The community experience is enhanced with visually interesting building facades. All building typologies and facades shall demonstrate a timeless design aesthetic.
- c. **Scale:** A building's composition shall include a hierarchy and variety of elements such as entries, windows, roof elements, structural bays, etc., all of which create neighborhood identity. These elements shall work in harmony with building height and massing emphasizing character and pedestrian comfort.
- d. **Height:** In order to achieve a dense urban character, building heights within Lakeshore Commons shall be maximized following their building. Proposed buildings shall follow the guidelines set forth in the Traditional Neighborhood Development document.
- e. **Depth:** Buildings shall utilize techniques to avoid flat façade treatments. Visually capturing layering and depth includes intentional design and material approaches with windows, roof extensions, and various other façade expressions.
- f. **Glass:** Glazing is an important component in a building's design. Appropriate glazing amounts enhance interior living conditions with natural daylight, outside views, and better air flow depending on window types. All of these components contribute to the health and wellness of all residents. Glazing along pedestrian corridors at the ground level shall be maximized here to promote retail engagement and street edge activation while also providing safety, allowing unobstructed views into and out of buildings.
- i. Tinted glazing and Spandrel glazing should be minimized to small areas on the facades and used primarily as back of house façade treatments at service locations.
 - ii. All building typologies noted below shall meet glazing amount guidelines as stated in the Traditional Neighborhood Development document.
 - iii. **Single Family structure and multifamily two- and three-unit villas glazing guidelines:** Glazing locations, amounts, sizes, and window specifications shall promote the health and wellness of the residents as much as possible.
 - iv. **Multifamily structure of four or more units glazing guidelines:** Ground floor glazing amounts shall serve to activate the street front as much as possible.
 - v. **Commercial & Amenity Building Glazing Guidelines:** Commercial glazing design should be maximized at the ground level to encourage street activation and shall incorporate adequate visibility into the tenant spaces.

4. Landscaping Standards

- a. For each phase of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit. Said landscape plans shall be in conformance with the overall master site landscape plan approved for the PUD March 22, 2022.

5. Lighting Standards

- a. All plans for new outdoor lighting shall be reviewed and approved by the Plan Commission or their designee and shall conform with the standards in Section 17.0509 of the Municipal Code (as amended).

6. Signs

- a. A master sign plan shall be submitted for review and approval by the Plan Commission, and shall include requirements for lettering, base materials, form, landscaping and lighting. Signage, provided that it is in accordance with the approved master sign plan, shall not require additional Plan Commission approval. Refer to **Exhibit 8**, Development Signage, for additional information on conceptual design and placement. The plan shall include signage requirements for
 - i. Wayfinding – Not shown in exhibit. To be individual wayfinding markers, one (1) overall at central amenity space, one (1) at each amenity station. Design intent to match development signage- design, color, and material. Sizing to be fifty-four (54) inches tall by twelve (12) inches wide.
 - ii. Development signage.
 - iii. Multifamily buildings of four (4) or more units and mixed-use buildings.
 - iv. Clubhouse and amenity spaces.

7. Maintenance and Operation

- a. Areas for snow storage on private property shall be provided outside of public rights-of-way as depicted in **Exhibit 9**. Removal of snow from roads (private), alleys, off-street parking areas, sidewalks and access drives shall be the responsibility of the owners.
- b. The number, size, location and screening of appropriate solid waste collection units shall be subject to approval of the Plan Commission as part of the required site plan(s). Garbage and recycling containers may not be stored outside unless screened. Solid waste collection and recycling shall be the responsibility of the owners. **See Exhibit 10**.
- c. The maintenance of stormwater management and green infrastructure facilities is the responsibility of the property owner unless otherwise agreed to and documented by the City.

8. Time of compliance

The operator of the PUD use shall begin installing or constructing the public infrastructure and amenities for Phase 1 as required in these conditions and restrictions for the PUD within twelve (12) months from the date of adoption of the ordinance authorizing the planned unit development. Phase 1 public infrastructure and amenities must be completed, and building permits issued for initial structures therein within forty-eight (48) months from the date of adoption of the ordinance. The time of compliance for future phases shall be as prescribed in the Purchase and Sale Agreement and/or Finance Development Agreement.

In the event that the time of compliance provisions are not complied with, the applicant shall re-apply for a PUD approval, prior to recommencing work or construction.

9. Other regulations

- a. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- b. Compliance with all other applicable City, State and Federal regulations not heretofore stated or referenced, is mandatory.
- c. Impact fees shall apply to all development within this planned unit development in accordance with Section 3.40 of the Municipal Code (as amended).
- d. The development shall fully comply with all conditions of the COC and the Deed Restrictions. A post closure modification for mass grading of the development in some limited areas of final grading has been approved. A Post Closure Modification (“PCM”) may be necessary for some areas of Phase I and for any future Phases. Compliance with the COC and Deed Restrictions is mandatory and shall be enforced by the condominium association.

10. Sequencing of regulatory approvals, land divisions, infrastructure development, building permits and occupancy permits.

- a. Variation from Chapter 14 Requirements – The following sequence represents a variation of Chapter 14 Subdivision and Platting Requirements pursuant to Section 14.180(d) of the Municipal Code.
- b. Certified Survey Map – A certified survey map shall be approved and shall be recorded concurrently with the closing of the sale of the City property.
- c. Infrastructure Development Agreement – A development agreement as required under Section 1L above shall be approved and executed prior to the closing of the sale of the City property.
- d. Rezoning and Planned Unit Development – The properties shall be rezoned to Traditional Neighborhood Development Planned Unit Development. A copy of the signed conditions and restrictions shall be returned to the Department of Community Development.
- e. Commencement of Infrastructure Development- Following approval of the infrastructure development agreement, closing on the property, and approval of the rezoning and PUD, construction may commence in accordance with the conditions set forth in this document, the Deed Restriction and COC requirements imposed by the Wisconsin Department of Natural Resources (“WDNR”) under the Voluntary Party Liability Program (“VPLE”)” and the Post Closure Modification (“PCM) approved by the WDNR.
- f. Preliminary Plat – A preliminary plat shall be submitted for review and approval by the Plan Commission. As part of that submittal, the applicant shall identify and justify any variations that are being requested to the platting procedures as identified in Section 14.180 of the Municipal Code (as amended).
- g. Final Plat – Upon approval of the preliminary plat, the applicant may submit a final plat for review and approval by the Plan Commission and Common Council in accordance with the procedures established in Chapter 14 of the Municipal Code (as amended) or those variations recommended thereto by the Plan Commission. The Plan Commission shall make a recommendation to the Common Council, who in turn may approve the final plat and any variations requested therewith. The final plat may not be recorded, and no new parcels or public rights of way may be created until the conditions of the Post Closure Modification (“PCM”) have been satisfied, unless there is written approval

of the WDNR.

- h. Condominium Plat - A condominium plat shall be submitted for review and approval by the Plan Commission and Common Council in accordance with Section 14.42 of the Municipal Code (as amended). As part of that submittal, the applicant shall identify and justify any variations that are being requested to the platting procedures identified in Section 14.180 of the Municipal Code (as amended).
- i. Conditions Precedent to Issuance of Building Permit – No building permit shall be issued until such time as plans have been approved by the Plan Commission if required by Section 1 of these conditions and restrictions, and until water, sanitary sewer, storm sewer and an accessible roadway have been provided to access the location of said building permit. The extent to which these improvements are deemed acceptable is at the sole discretion of the City Engineer.
- j. Completion, Acceptance and Dedication of Public Improvements and Issuance of Certificate of Occupancy – No occupancy permits may be issued for structures within a phase until such time as all public improvements for that phase have been completed, accepted and dedicated to the City in accordance with the infrastructure development agreement.

11. Revocation

Should an applicant, their heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the PUD approval may be revoked, and the lands may be rezoned to the TND – Traditional Neighborhood Development district. The process for revoking an approval shall generally follow the procedures for approving a PUD in Sections 17.0707 – 17.0709 and enforcement procedures as set forth in Section 17.0805(c) of the Municipal Code (as amended).

12. Acknowledgement

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner / Authorized Representative Signature

Date

(please print name)

List of Exhibits for Lakeshore Commons PUD

Exhibit 1 – General Development Plan

Exhibits 2.1 through 2.13 – Design and Character of Building Typologies

Exhibit 3 – Lakeshore Commons Unit Types & Density Standards by Phase

Exhibit 4 – Proposed Open Space & Neighborhood Amenities

Exhibit 5 – Page Intentionally Left Blank

Exhibits 6.1 through 6.3, 6.4 – Circulation and Road Cross Sections, Alley Cross Sections

Exhibits 7.1 & 7.2 - Material Examples

Exhibit 8 – Development Signage

Exhibit 9 – Snow Storage Areas

Exhibit 10 – Proposed Private Fence and Trash/Recycling Storage Diagram

Exhibits 11.1 through 11.10 – Setback Diagrams

EXHIBIT 1
GENERAL DEVELOPMENT PLAN

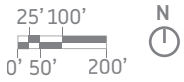


EXHIBIT 2.1
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

SAGE I

RANCH - 1490 SF
2 BED - 2 BATH



SAGE II

RANCH - 1512 SF
2 BED - 2 BATH



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION

EXHIBIT 2.2
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

SAGE III

RANCH - 1702 SF
3 BED - 2 BATH



JUNIPER I

2 STORY - 2130 SF
3 BED + DEN - 2.5 BATH



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



FIG. 3

EXHIBIT 2.3
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

JUNIPER II

2 STORY - 2137 SF
4 BED - 3 BATH



MULBERRY I

2 STORY - 2053 SF
3 BED - 2.5 BATH + LOFT



FIG. 2

REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



FIG. 3

REFER TO EXHIBIT 10 FOR FURTHER INFORMATION

EXHIBIT 2.4
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

MULBERRY II

2 STORY - 2152 SF
4 BED - 2.5 BATH + LOFT



MULBERRY III

2 STORY - 2364 SF
4 BED - 3 BATH + LOFT



1989 3

REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



1989 3

REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



1989 3

EXHIBIT 2.5
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

MULBERRY IV

2 STORY - 2637 SF
5 BED - 3 BATH + LOFT



BASIL I

2 STORY - 2053 SF
3 BED - 2.5 BATH + LOFT



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



1990 3

EXHIBIT 2.6
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

BASIL II

2 STORY - 2152 SF
 4 BED - 2.5 BATH + LOFT



BASIL III

2 STORY - 2364 SF
 4 BED - 3 BATH + LOFT



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



14401 2



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



14401 3

EXHIBIT 2.7
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

BASIL IV

2 STORY - 2637 SF
5 BED - 3 BATH



INDIGO I

2 STORY - 2063 SF
4 BED- 2.5 BATH



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



1441 3



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



1441 3

EXHIBIT 2.8
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

INDIGO II

2 STORY - 2363 SF
4 BED + DEN - 3 BATH



GRAPHITE I

2 STORY - 2063 SF
4 BED - 2.5 BATH



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION

REFER TO EXHIBIT 10 FOR FURTHER INFORMATION

EXHIBIT 2.9
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

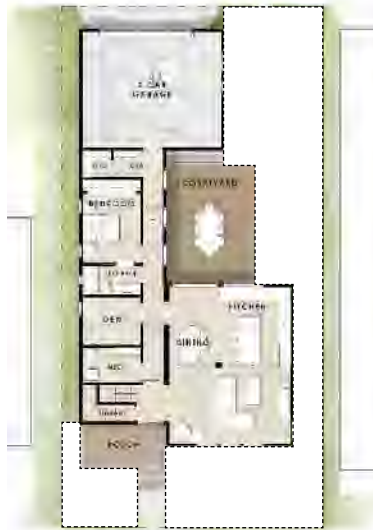
GRAPHITE II

2 STORY - 2363 SF
4 BED - 3 BATH



GRAPHITE III

2 STORY - 2,806 SF
3 BED + DEN - 3.5 BATH



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION

TABLE 3

REFER TO EXHIBIT 10 FOR FURTHER INFORMATION

TABLE 3

EXHIBIT 2.10
DESIGN & CHARACTER OF BUILDING TYPOLOGIES
SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

LAVENDER I

RANCH - 1490 SF
2 BED - 2 BATH



ROSEWOOD I

2 STORY - 2053 SF
3 BED - 2.5 BATH + LOFT



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



REFER TO EXHIBIT 10 FOR FURTHER INFORMATION



1998.3

EXHIBIT 2.11
DESIGN & CHARACTER OF BUILDING TYPOLOGIES

TOWNHOMES

1 & 2 STORY RANGING FROM 2 BEDROOMS TO 4 BEDROOMS



EXHIBIT 2.12
DESIGN & CHARACTER OF BUILDING TYPOLOGIES

MULTI FAMILY

MULTI STORY APARTMENT DEVELOPMENTS



EXHIBIT 2.13
DESIGN & CHARACTER OF BUILDING TYPOLOGIES

CLUBHOUSE



EXHIBIT 3

Lakeshore Commons Unit Types & Density Standards by Phase

Phase	Blocks	Net Acreage	Single Family "A"	Single Family "B"	2-unit villa	3-unit villa	6-unit townhouse	8-unit townhouse	9-unit townhouse	Multifamily	Total units	Maximum dwelling units per net acre
1	1-24	18.9	10	20	38	18	12	16	0	358*	472*	25.0*
2	25-43	11.8	65	18	0	0	0	0	18	147*	248*	21.0*
2.5	44-53	5.5	0	0	54	3	0	8	9	0	74	13.5
Overall		36.2	75	38	92	21	12	24	27	505*	794*	21.9*

* Provides for flexibility of adding an additional residential floor, while meeting parking requirements of the development standards.



EXHIBIT 4

Proposed Open Space & Neighborhood Amenities



EXHIBIT 5

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EXHIBIT 6.1 Circulation and Road Cross Sections

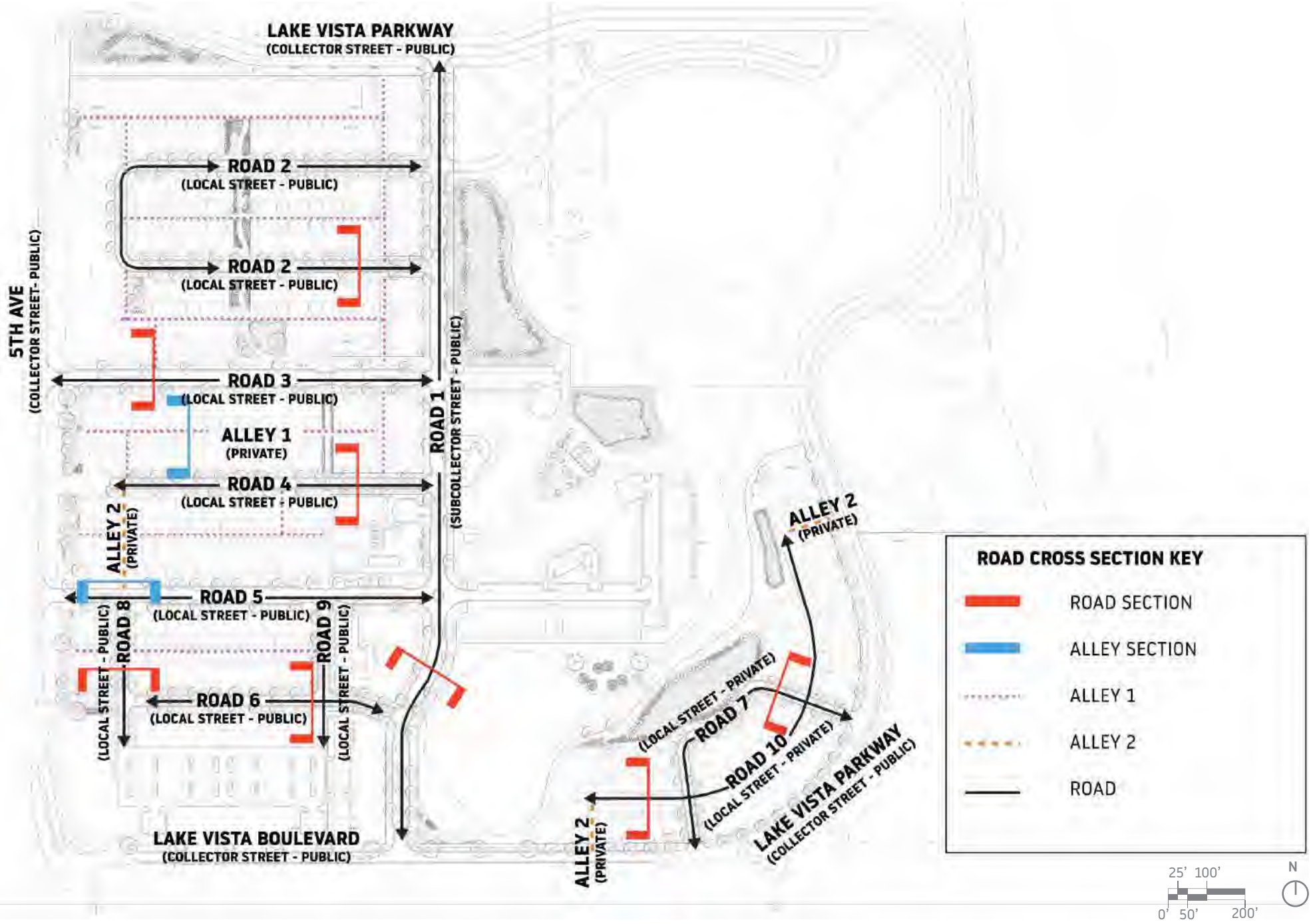
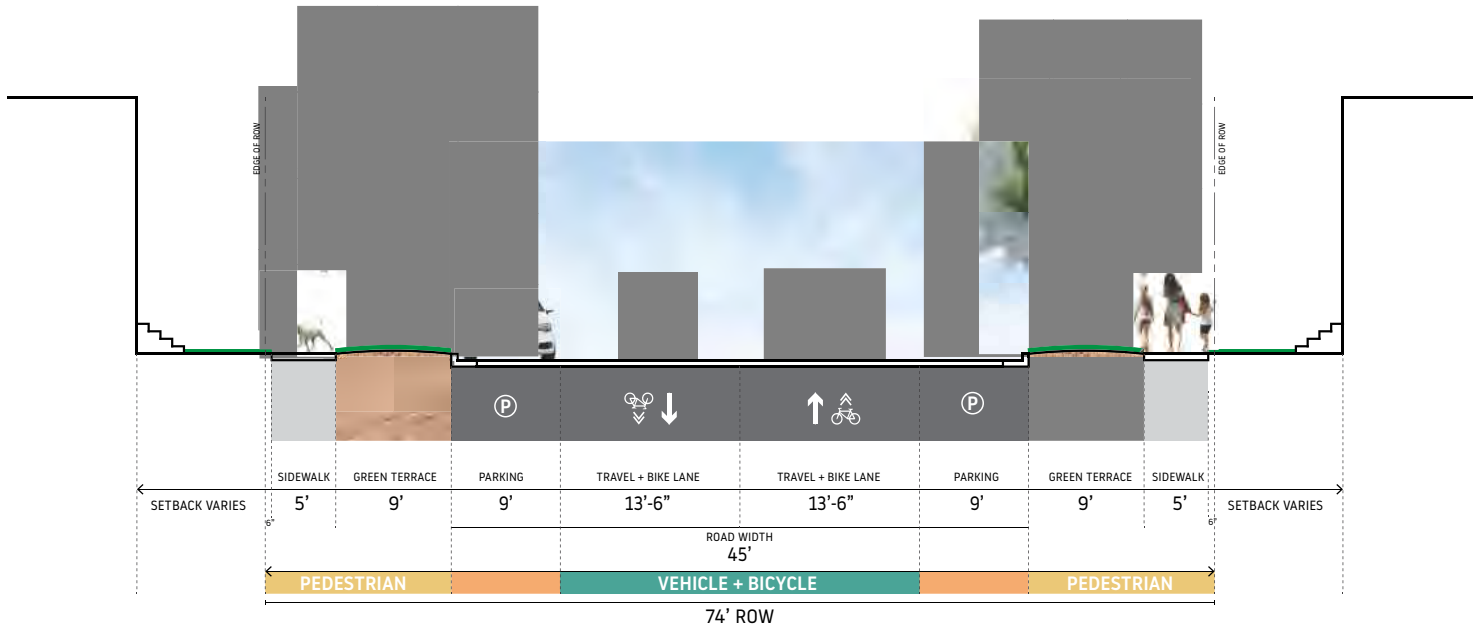


EXHIBIT 6.2

Circulation and Road Cross Sections

ROAD 1 : Subcollector (public)



ROAD 3 , 5* : Local Street (public)

**Road 5 section is similar. Road width and presence of parking stalls varies.*

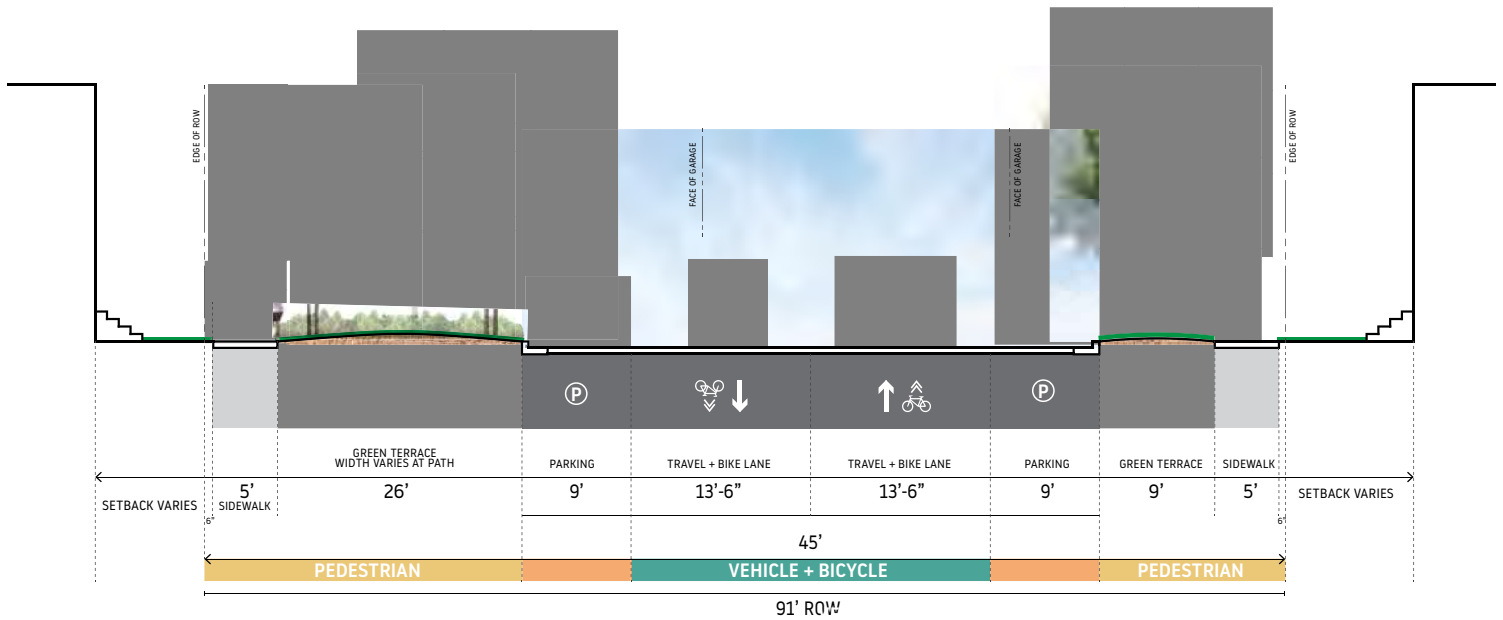
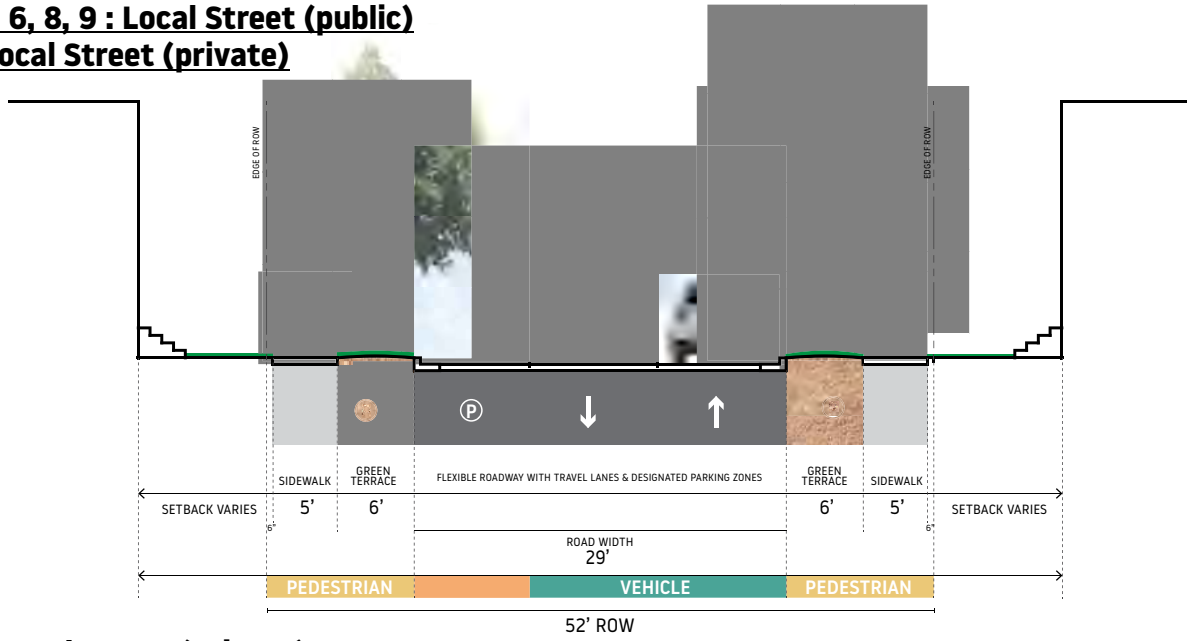


EXHIBIT 6.3

Circulation and Road Cross Sections

ROAD 2, 4, 6, 8, 9 : Local Street (public)

ROAD 7 : Local Street (private)



ROAD 10 : Local Street (private)

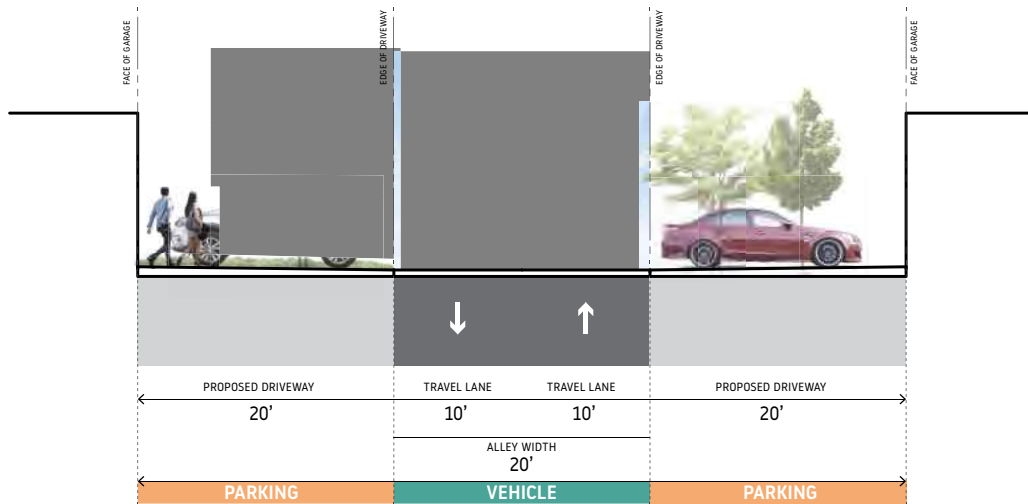


EXHIBIT 7.1

Material examples for Single Family / Multi Family Villa Homes / Townhomes

Images are for reference only. Final colors to be determined.



STONE



BRICK



BURNISHED BLOCK



COMMERCIAL GRADE
ARCHITECTURAL METAL PANEL



WOOD



FIBER CEMENT
PLANK OR PANEL



STUCCO



PHOTOVOLTAIC
SYSTEMS



ENGINEERED WOOD
SYSTEMS



PHENOLIC CLADDING
SYSTEM



COMPOSITE SIDING
SYSTEM



WOOD LOOK
ALUMINUM METAL PLANK

EXHIBIT 7.2

Material examples for Multi Family Buildings and Clubhouse

Images are for reference only. Final colors to be determined.



STONE



BRICK



BURNISHED BLOCK



COMMERCIAL GRADE
ARCHITECTURAL METAL PANEL



WOOD



FIBER CEMENT
PLANK OR PANEL



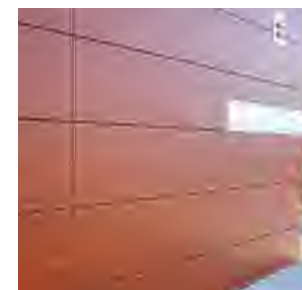
STUCCO



PHOTOVOLTAIC
SYSTEMS



ENGINEERED WOOD
SYSTEMS



PHENOLIC CLADDING
SYSTEM



WOOD LOOK
ALUMINUM METAL PLANK



CORRUGATED METAL
PANELING

EXHIBIT 8 Development Signage



DEVELOPMENT SIGNAGE

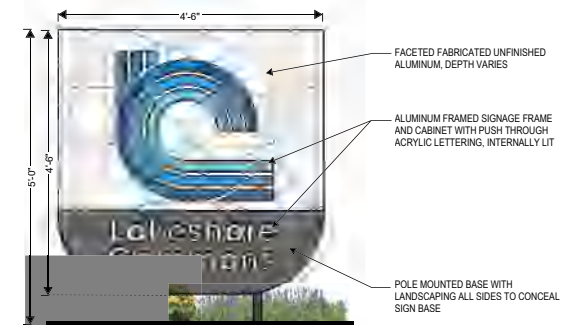
- A** PRIMARY DEVELOPMENT SIGNAGE
- B** SECONDARY DEVELOPMENT SIGNAGE
- C** Each apartment and townhome multifamily building to be allowed one (1) ground monument sign near main entry point to site area, final location to be coordinated with planning department. Building identifying signage will be limited to one (1) main architectural feature sign and one (1) secondary entrance sign at each tenant entry door.
- D** Each retail tenant is limited to one (1) main identifying wall sign and one (1) perpendicular flag sign.
- E** Clubhouse to be allowed one (1) ground monument sign. Final location to be coordinated with planning department.
- F** Townhome addressing signs, if provided, shall be limited to one (1) sign per townhome grouping.

GENERAL NOTES:

1. All signage, noted in this plan, to be constructed of high quality materials including but not limited to concrete, masonry, steel tubing for the base; aluminum / steel / sealed wood cabinet, push through acrylic or cut out lettering for main text. Secondary text can be high quality vinyl applied lettering as approved through the development department.
2. When more than one multifamily building is proposed for approval under a single application, best efforts should be made to combine ground monument signs to limit total number of signs on site.



A - PRIMARY DEVELOPMENT SIGNAGE



B - SECONDARY DEVELOPMENT SIGNAGE

EXHIBIT 9

Snow Storage Areas

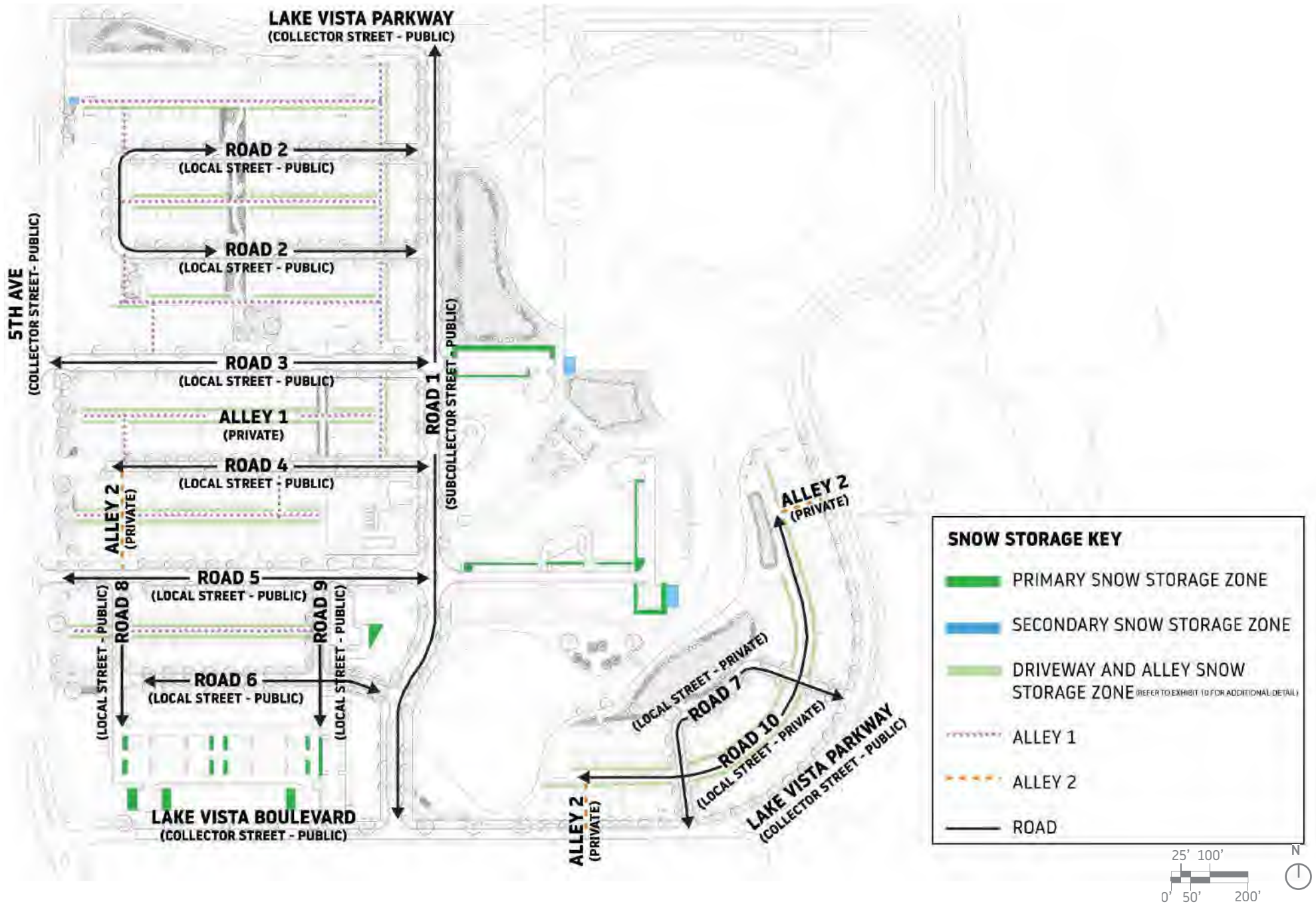
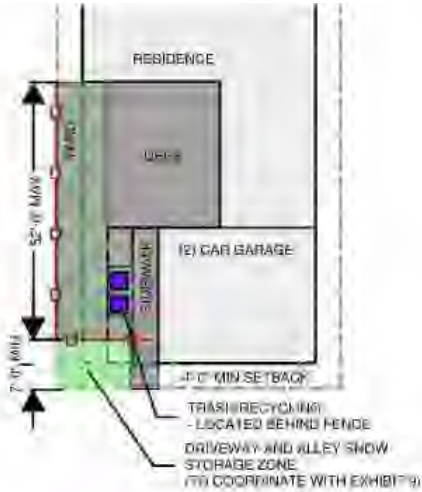


EXHIBIT 10

Proposed Private Fence and Trash/Recycling Storage Diagram SINGLE FAMILY AND MULTI FAMILY VILLA HOMES

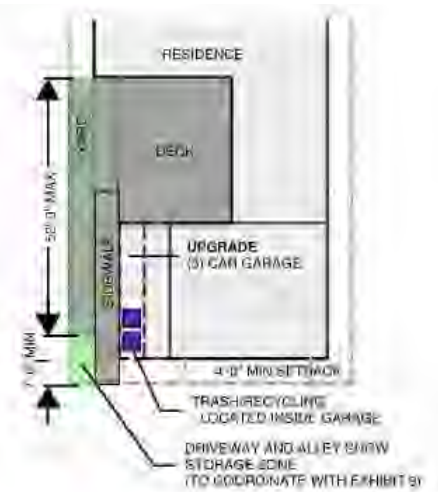
SERIES A - FENCE
- 2 OR 2.5 CAR GARAGE
TRASH CONCEALED BY FENCE



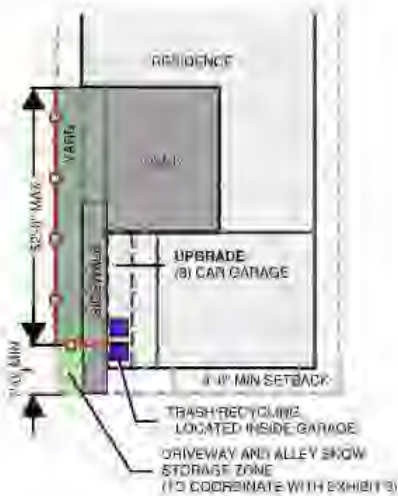
SERIES A - NO FENCE
- 2 OR 2.5 CAR GARAGE
TRASH CONCEALED BY LANDSCAPE



SERIES B - NO FENCE
- 3 CAR GARAGE ONLY
TRASH CONCEALED INSIDE GARAGE



SERIES B - FENCE
- 3 CAR GARAGE ONLY
TRASH CONCEALED INSIDE GARAGE



VILLA EXAMPLE
A - TRASH CONCEALED BY FENCE
A - TRASH CONCEALED INSIDE GARAGE
B - TRASH CONCEALED BY LANDSCAPE

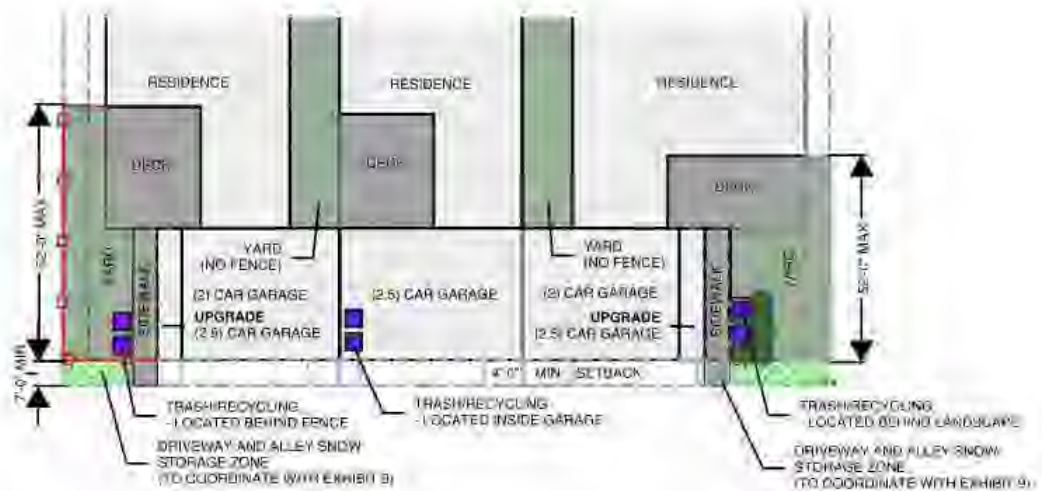
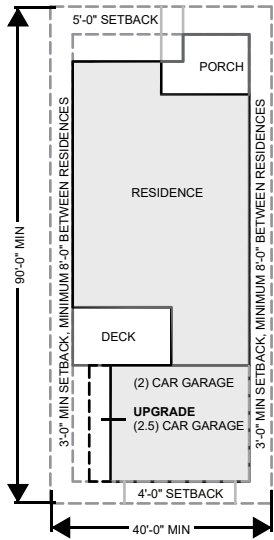


EXHIBIT 11.1

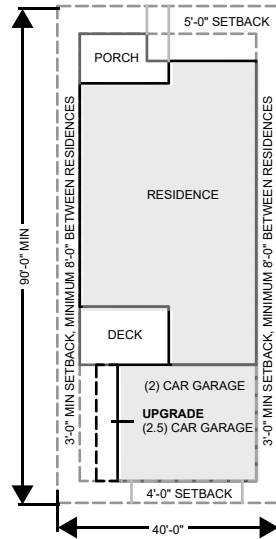
Setback Diagrams - Single Family - Series A

SERIES A - MINIMUM 40'-0" WIDE X 90'-0" DEEP REFER TO EXHIBIT 3 FOR LOCATION OF SERIES A AND B SINGLE FAMILY AND MULTI-FAMILY VILLA HOMES
 REFER TO EXHIBIT 3 FOR LOCATION OF SERIES A AND B SINGLE FAMILY AND MULTI-FAMILY VILLA HOMES

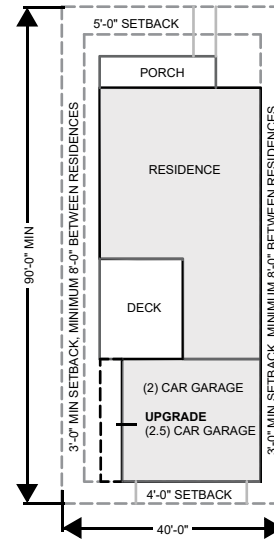
SAGE I / ROSEWOOD I



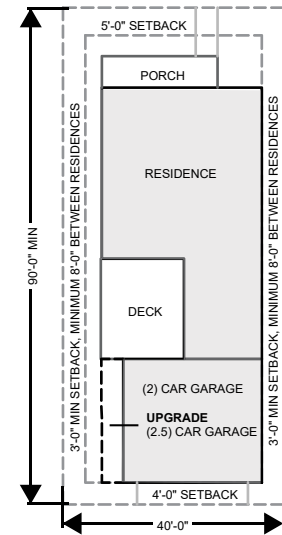
SAGE II



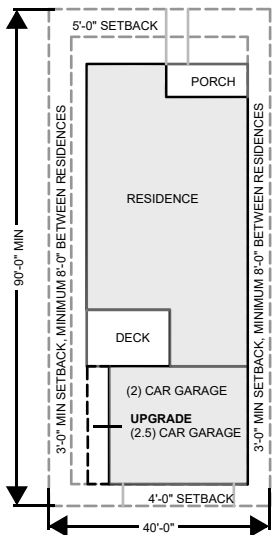
JUNIPER I



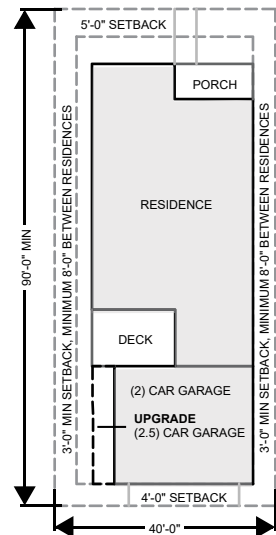
JUNIPER II



MULBERRY I / LAVENDER I



BASIL I



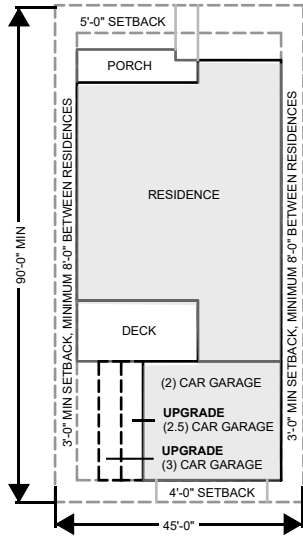
GARAGES:
STANDARD (2) CAR - 25'-0" WIDE (SERIES A & B)
UPGRADE (2.5) CAR - 29'-0" WIDE (SERIES A & B)
UPGRADE (3) CAR - UP TO 37'-0" WIDE (SERIES B)

EXHIBIT 11.2

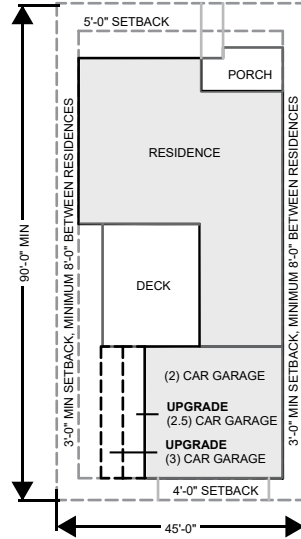
Setback Diagrams - Single Family - Series B

SERIES B - MINIMUM 45'-0" WIDE X 90'-0" DEEP REFER TO EXHIBIT 3 FOR LOCATION OF SERIES A AND B SINGLE FAMILY AND MULTI-FAMILY VILLA HOMES
 REFER TO EXHIBIT 3 FOR LOCATION OF SERIES A AND B SINGLE FAMILY AND MULTI-FAMILY VILLA HOMES

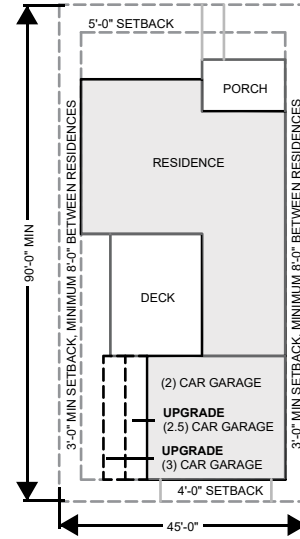
SAGE III



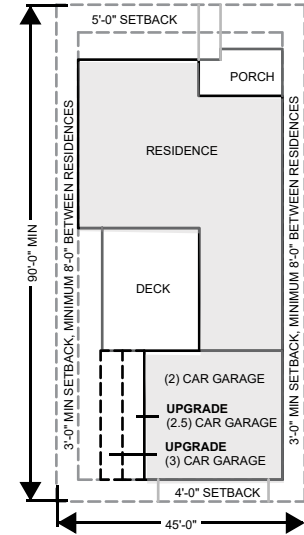
MULBERRY II



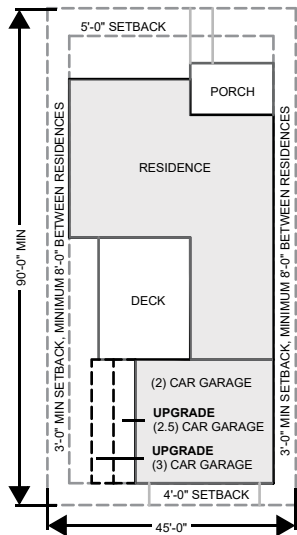
MULBERRY III / MULBERRY IV



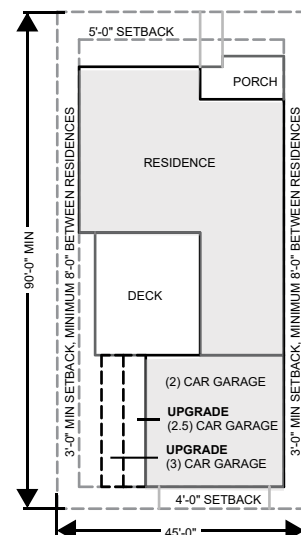
BASIL II



BASIL III / BASIL IV



INDIGO I



GARAGES:
STANDARD (2) CAR - 25'-0" WIDE (SERIES A & B)
UPGRADE (2.5) CAR - 29'-0" WIDE (SERIES A & B)
UPGRADE (3) CAR - UP TO 37'-0" WIDE (SERIES B)

EXHIBIT 11.3

Setback Diagrams - Single Family - Series B Continued

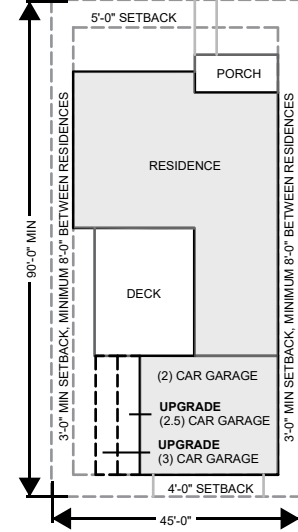
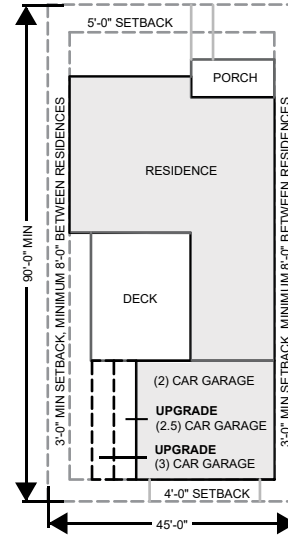
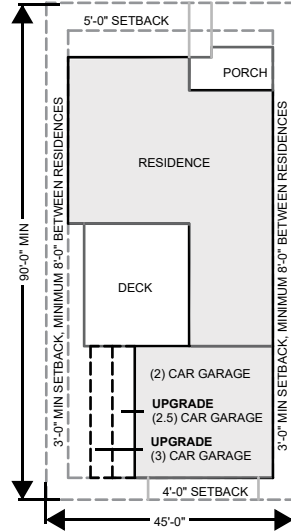
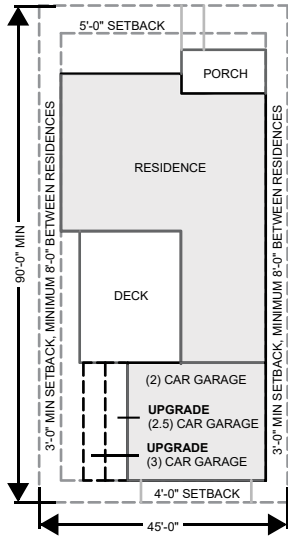
SERIES B - MINIMUM 45'-0" WIDE X 90'-0" DEEP REFER TO EXHIBIT 3 FOR LOCATION OF SERIES A AND B SINGLE FAMILY AND MULTI-FAMILY VILLA HOMES
 REFER TO EXHIBIT 3 FOR LOCATION OF SERIES A AND B SINGLE FAMILY AND MULTI-FAMILY VILLA HOMES

INDIGO II

GRAPHITE I

GRAPHITE II

GRAPHITE III



GARAGES:
STANDARD (2) CAR - 25'-0" WIDE (SERIES A & B)
UPGRADE (2.5) CAR - 29'-0" WIDE (SERIES A & B)
UPGRADE (3) CAR - UP TO 37'-0" WIDE (SERIES B)

EXHIBIT 11.4

Setback Diagrams - Multi-Family Villa Homes - Series A&B

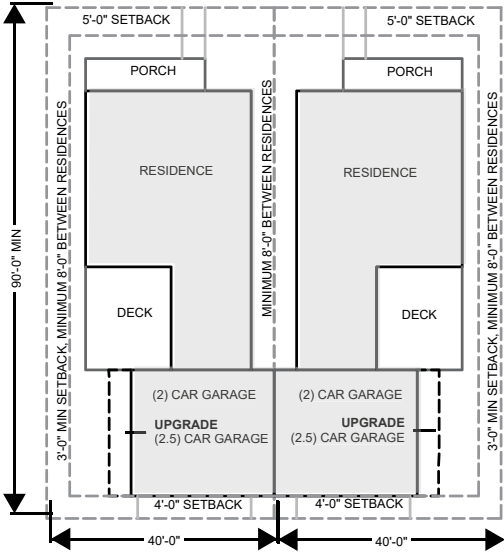
SERIES A - MINIMUM 40'-0" WIDE X 90'-0" DEEP

SERIES B - MINIMUM 45'-0" WIDE X 90'-0" DEEP

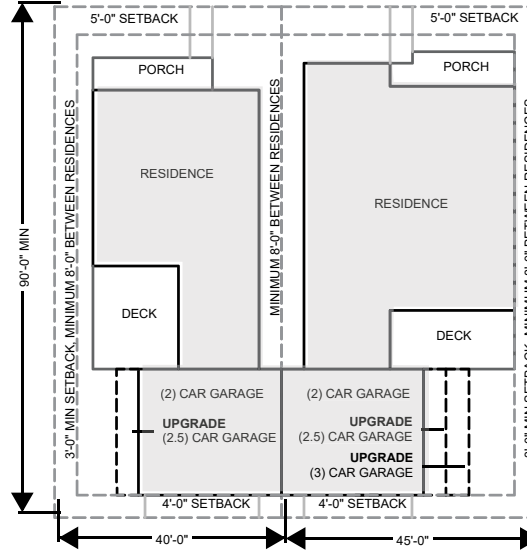
ALL MULTIFAMILY VILLA HOMES ARE SAME TYPES AS SINGLE FAMILY HOMES. BELOW ARE EXAMPLES OF 2-3 SINGLE FAMILY HOMES ATTACHED VIA GARAGE STRUCTURES.

REFER TO EXHIBIT 3 FOR LOCATION OF SERIES A AND B SINGLE FAMILY AND MULTI-FAMILY VILLA HOMES

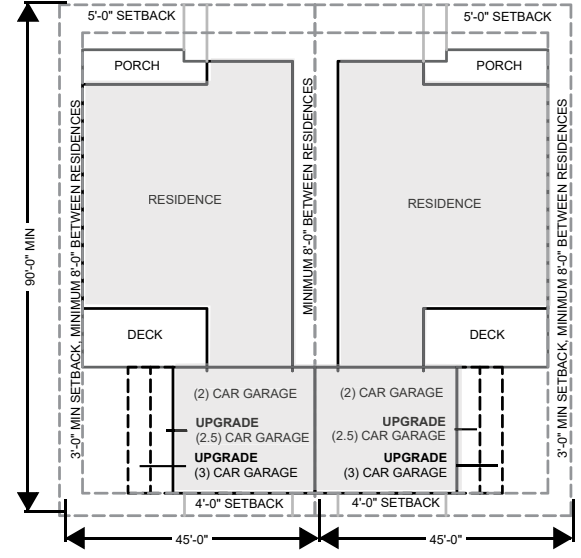
AA



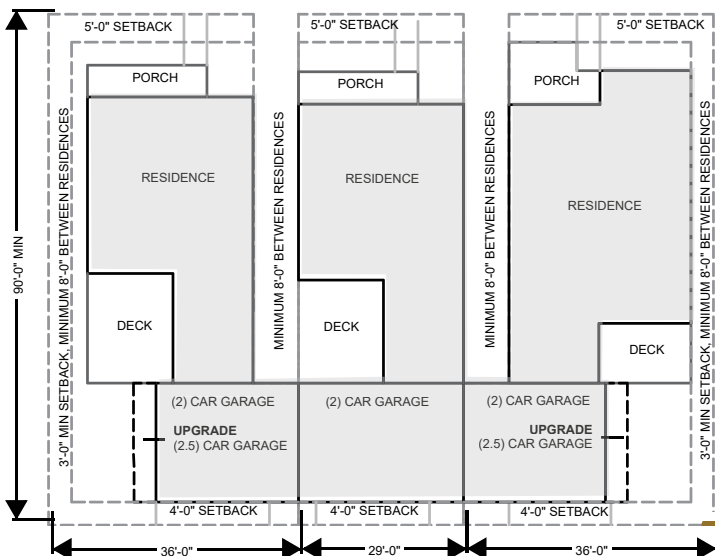
AB



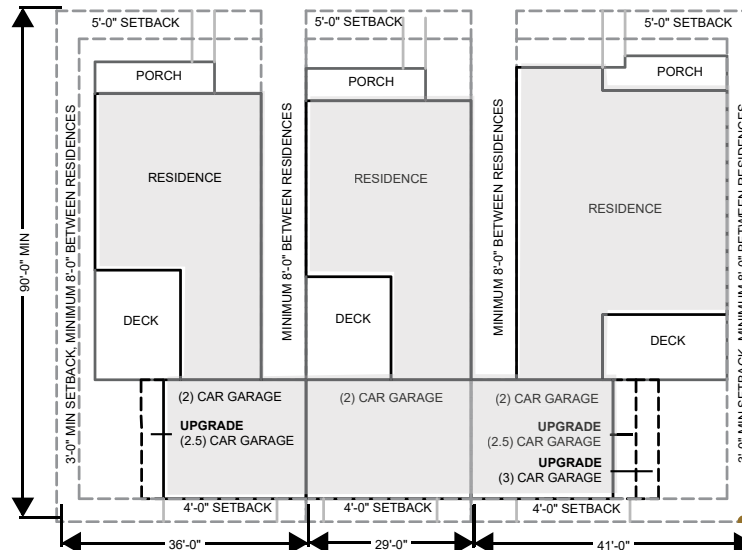
BB



AAA



AAB



GARAGES:

**STANDARD (2) CAR -
25'-0" WIDE
(SERIES A & B)**

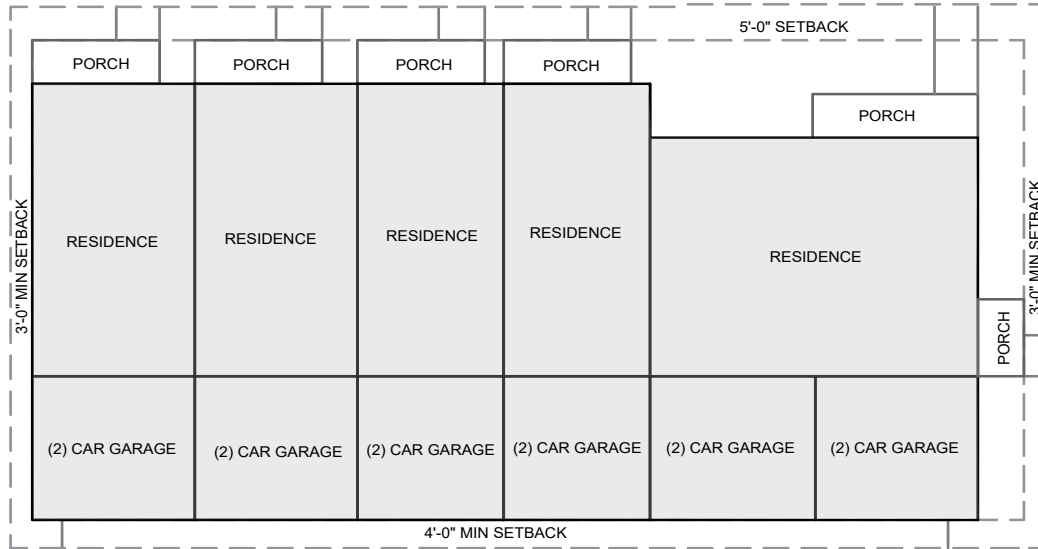
**UPGRADE (2.5) CAR -
29'-0" WIDE
(SERIES A & B)**

**UPGRADE (3) CAR -
UP TO 37'-0" WIDE
(SERIES B)**

EXHIBIT 11.5

Setback Diagrams -Townhomes

6 UNIT



8 UNIT

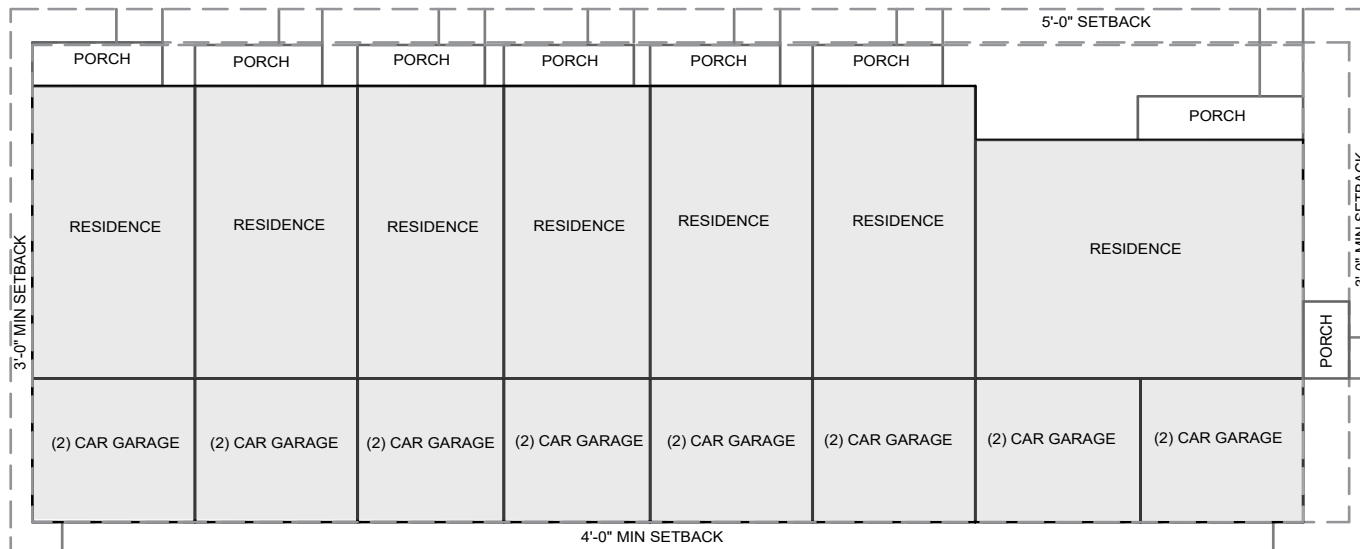


EXHIBIT 11.6

Setback Diagrams -Townhomes Continued

9 UNIT

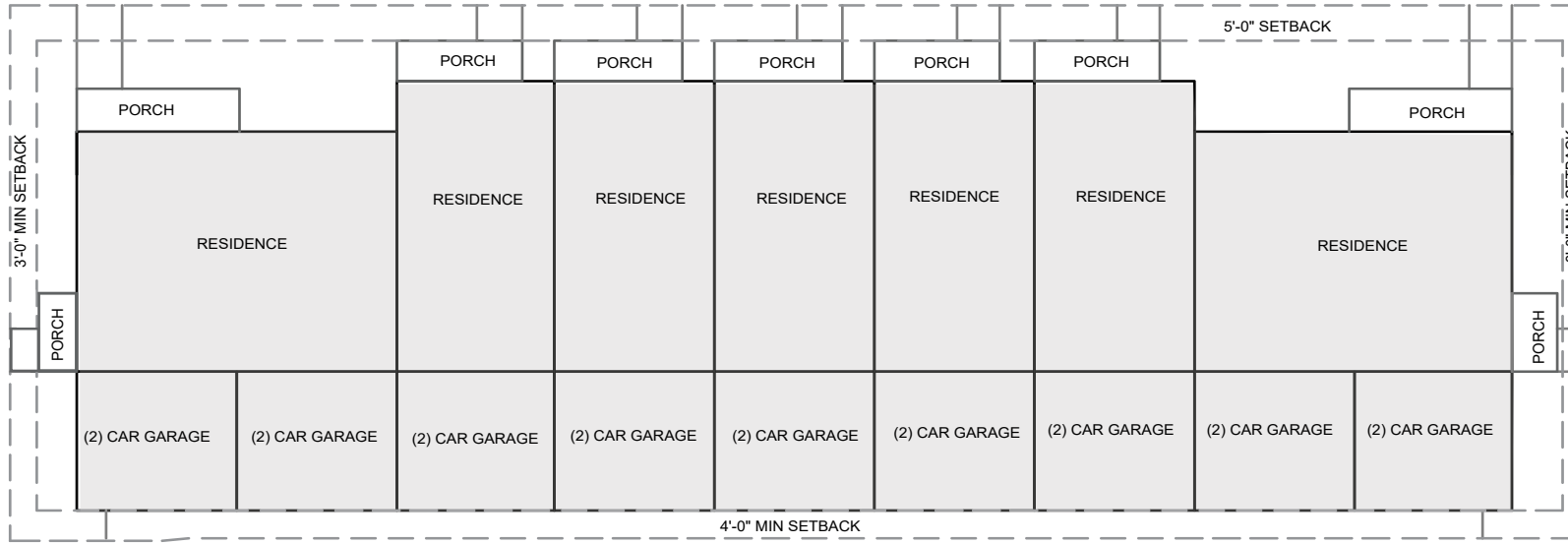


EXHIBIT 11.7 Setback Diagrams -Clubhouse

KEY PLAN

CLUBHOUSE

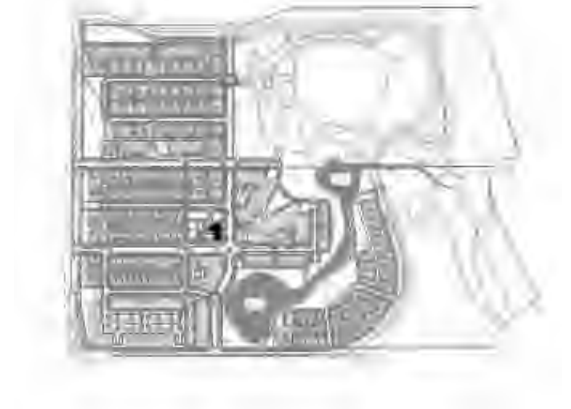
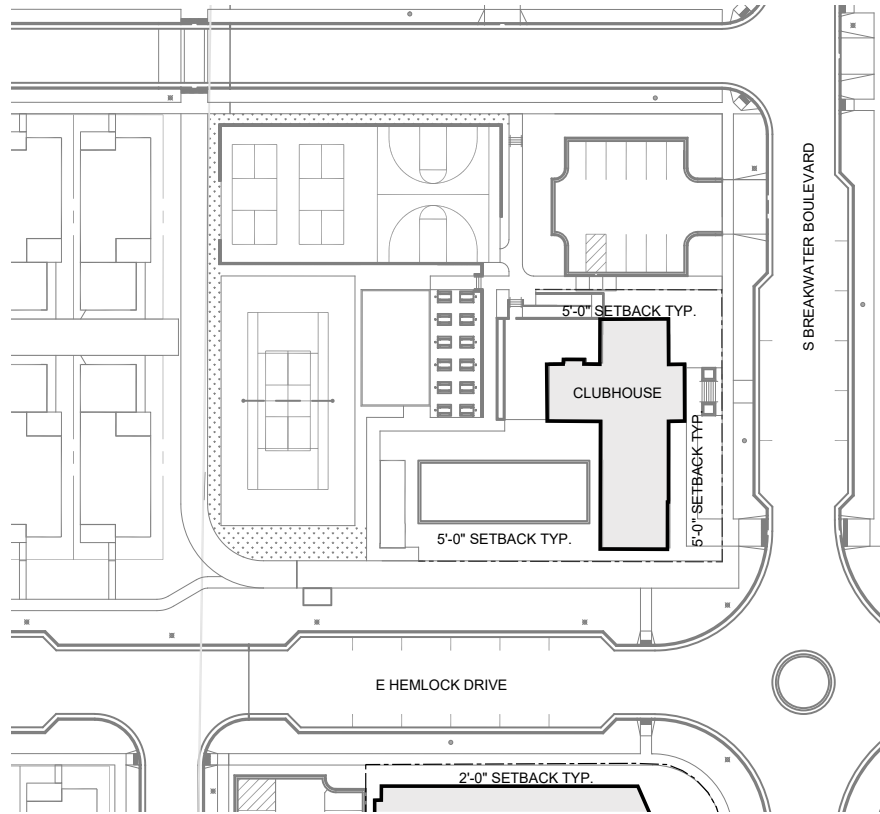


EXHIBIT 11.8

Setback Diagrams - Multifamily Phase 1A

KEY PLAN

A9

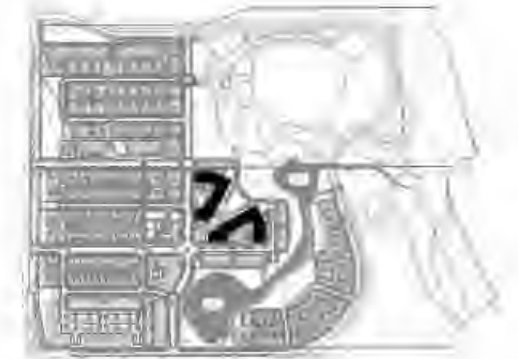
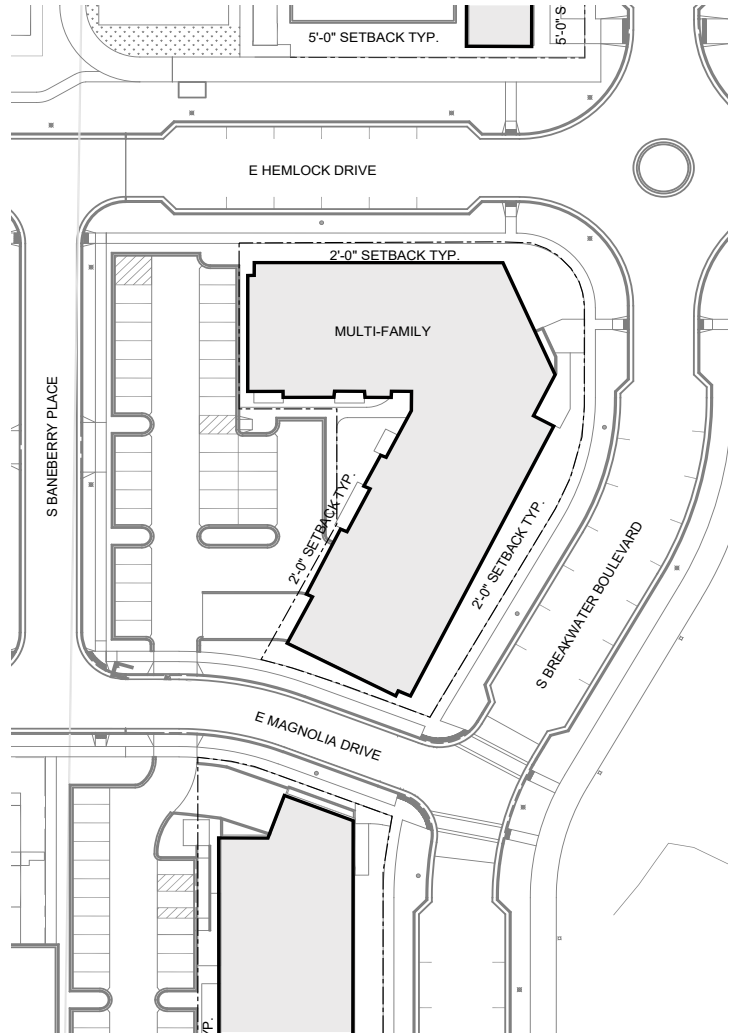


EXHIBIT 11.9

Setback Diagrams - Multifamily Phase 1B

KEY PLAN

A8 - NORTH



A8 - SOUTH

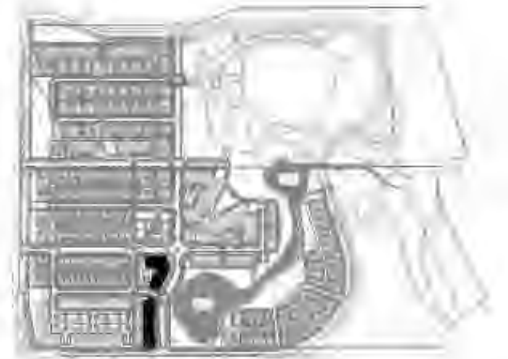
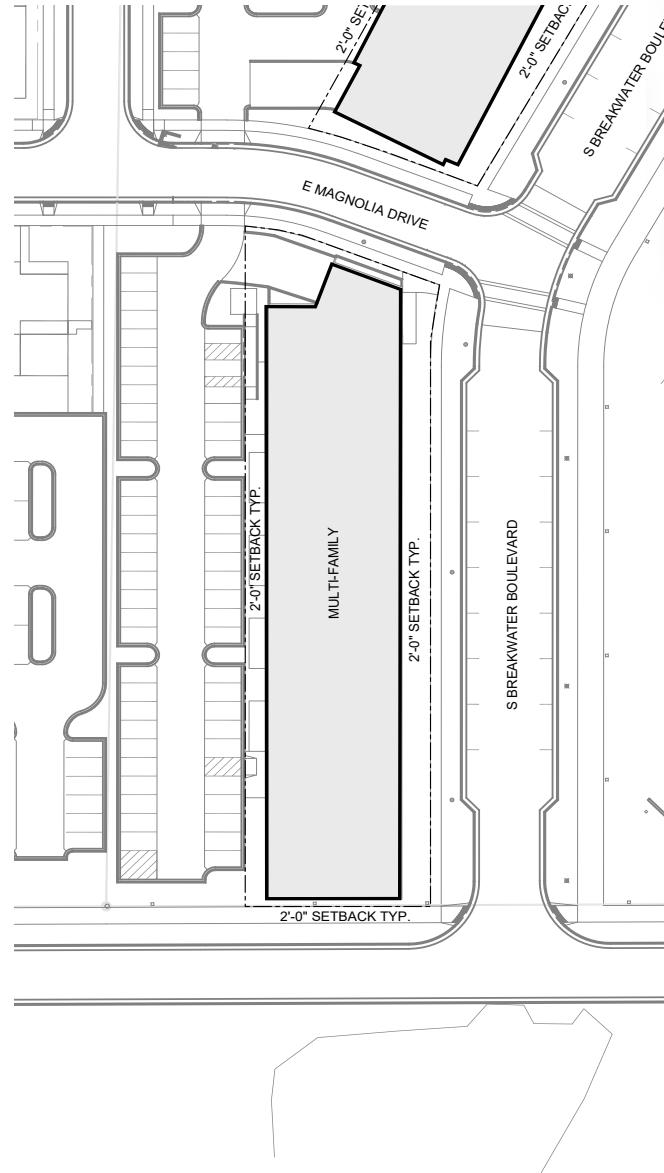
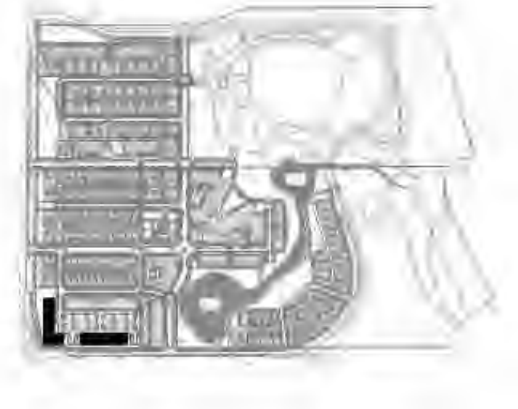
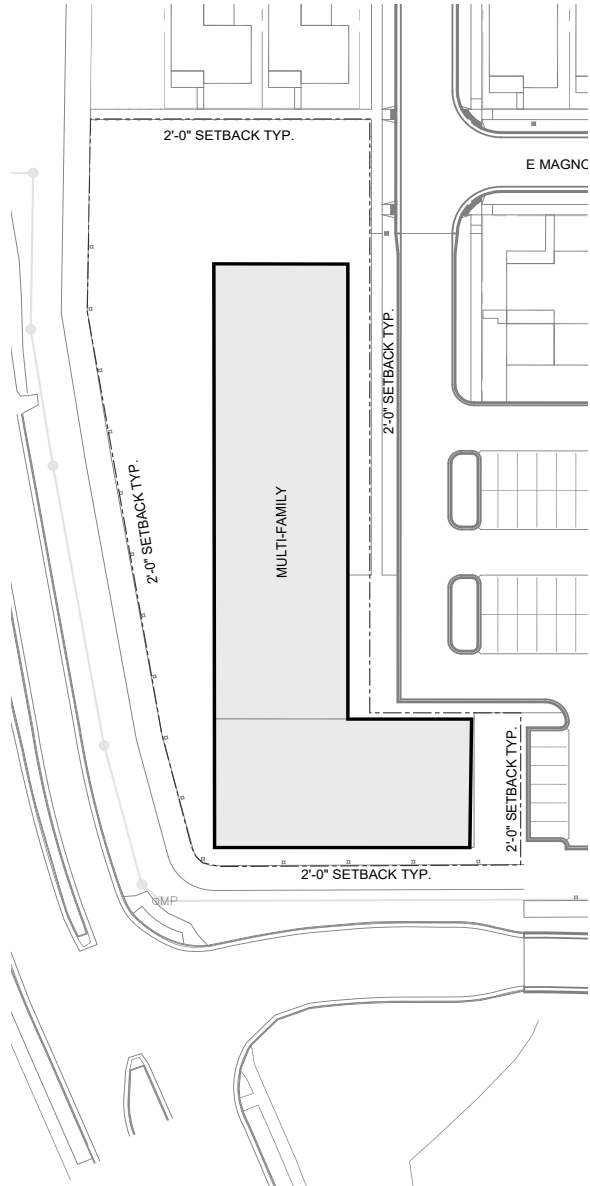


EXHIBIT 11.10
Setback Diagrams - Multifamily Phase 2

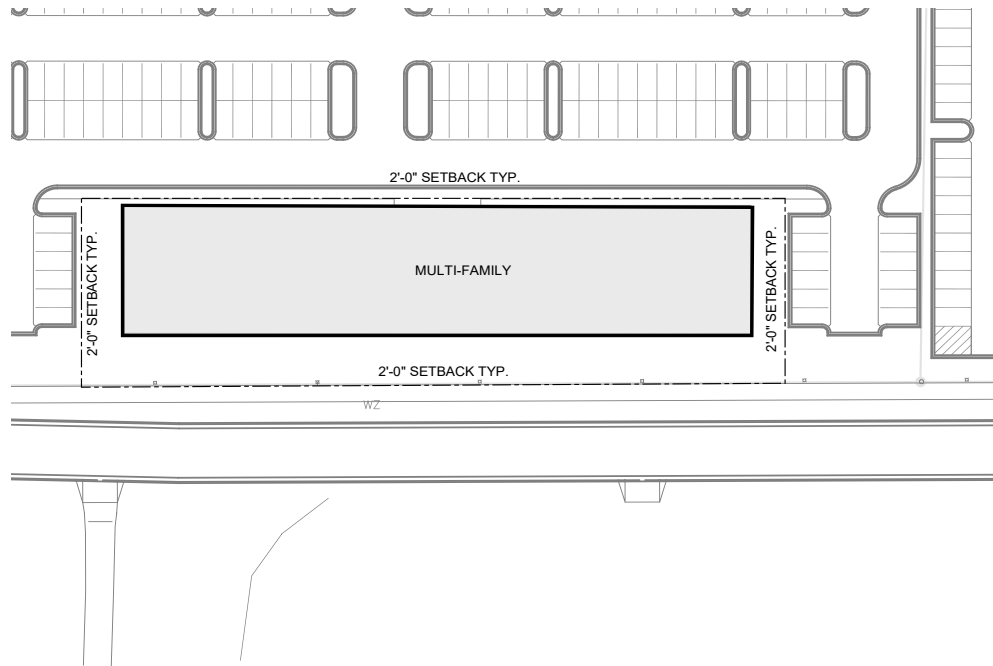
KEY PLAN



A7 - WEST



A7 - EAST



DATE: 03/14/2023

TO: City of Oak Creek, Community Development
Attn: Kari Papelbon
8040 South 6th Street
Oak Creek, WI 53154

SUBJECT: Project Narrative – Lakeshore Commons North Townhomes

We are excited to submit for Plan Commission review the North Townhomes (Buildings 5-8) along Lake Vista Parkway. These townhomes represent the fifth, sixth, seventh, and eighth townhome buildings that will be located within phase 1 of the development. All four buildings are 2-stories with attached 2-car garages, and aside from a few minor tweaks, are very similar in design to townhome buildings 1-4 that are currently under construction. These residential units will be rental units and each have their own at grade entrance and private garage. Like the buildings already under construction, most units are stacked on two floors with corner units being separate on the first and second floors. Individual porches and planters along with exterior materials coordinate with other residential development types throughout the site. We have building and site plans along with landscape and site lighting available for review.

Overall, we are confident that these buildings will be a great contribution to the vibrant community of Oak Creek and will work well with the other planned residential building types our firm has designed for this development. We have not yet formally selected a general contractor for these buildings. We are anticipating breaking ground on the multi-family buildings by summer of 2023.

Please reach out with any additional questions from your team.

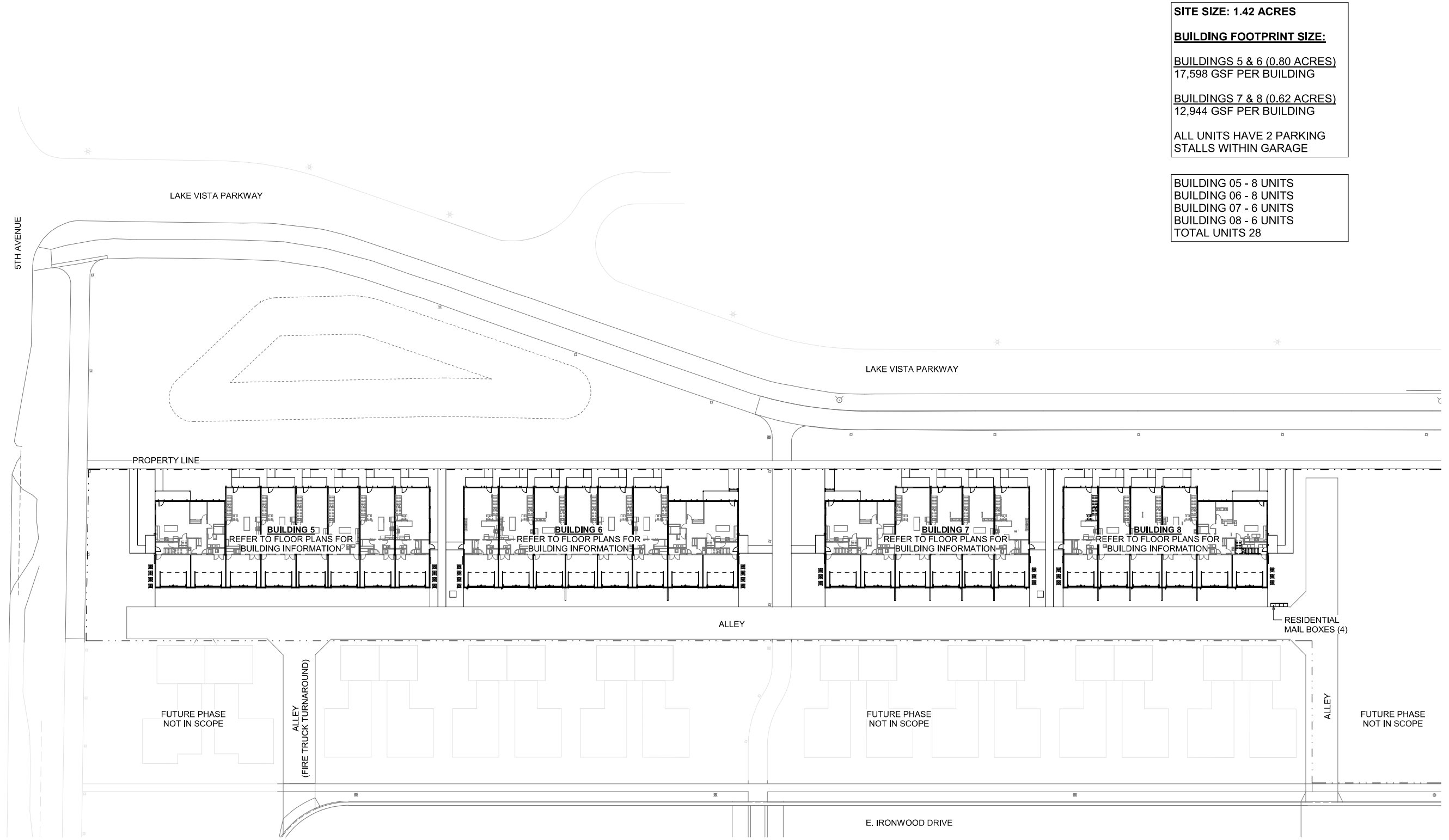
Thank You,

Katie Monachos - SVP, Senior Architect, Project Manager
RINKA



LAKESHORE COMMONS NORTH TOWNHOMES PLAN COMMISSION PROPOSAL

F STREET DEVELOPMENT
RINKA+
MARCH 14TH, 2023



SITE SIZE: 1.42 ACRES

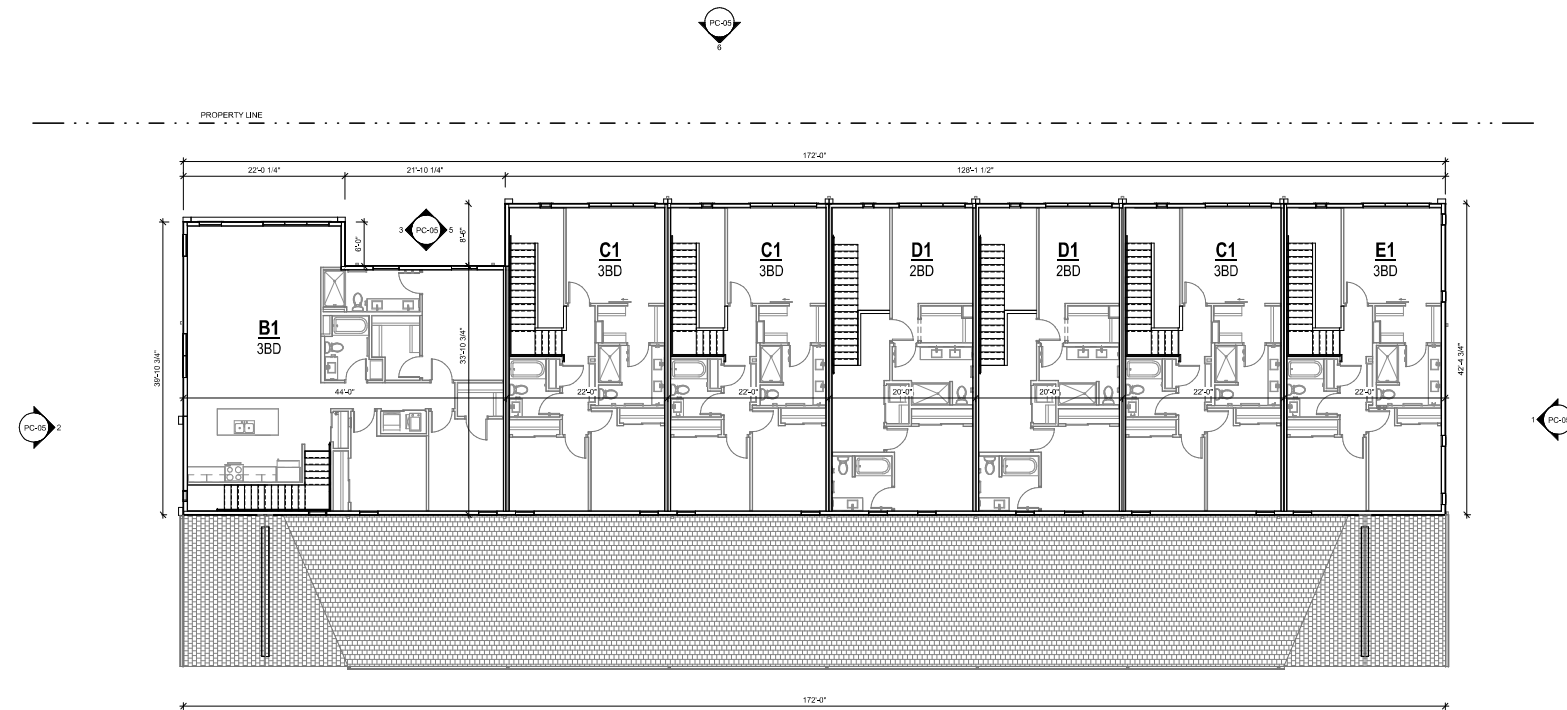
BUILDING FOOTPRINT SIZE:

BUILDINGS 5 & 6 (0.80 ACRES)
17,598 GSF PER BUILDING

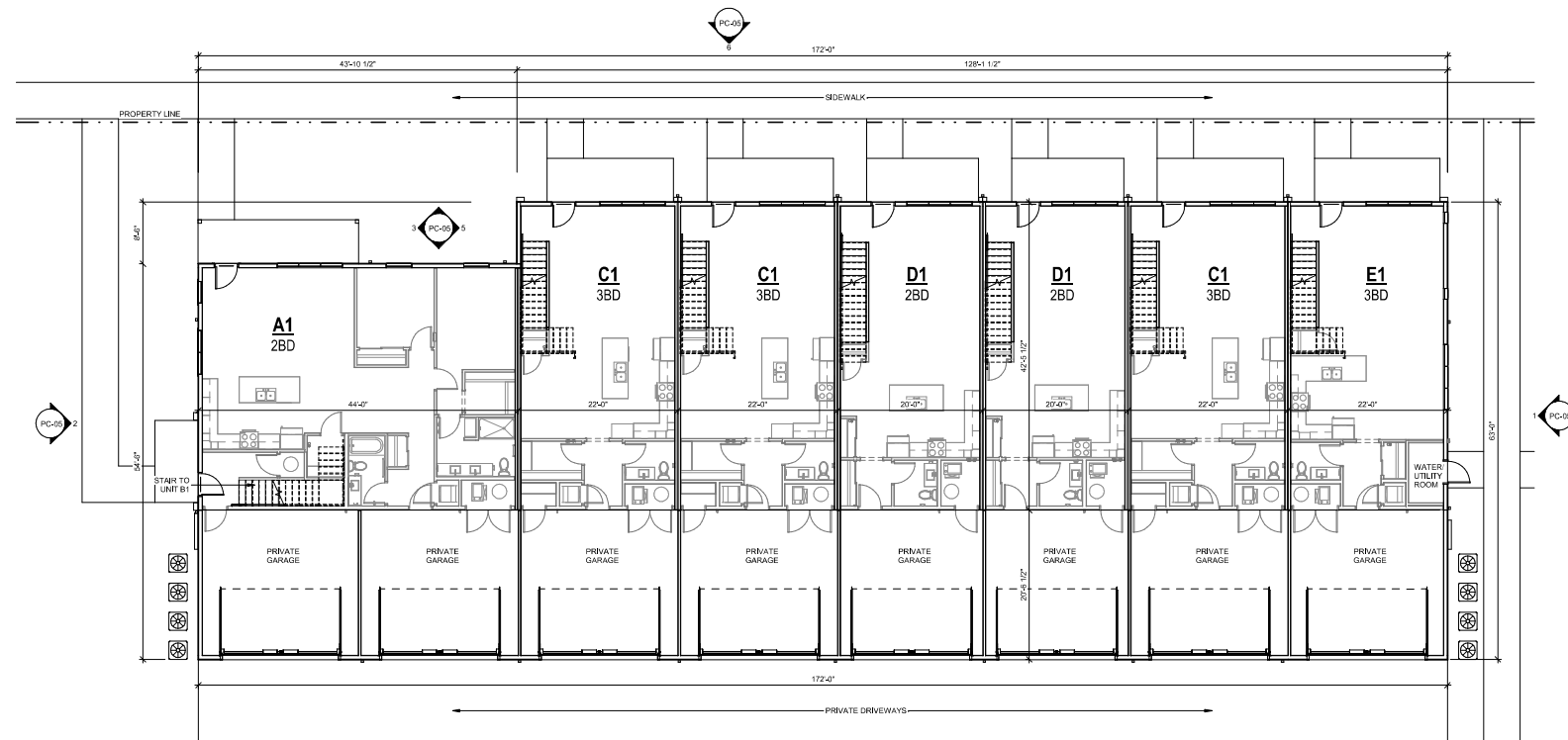
BUILDINGS 7 & 8 (0.62 ACRES)
12,944 GSF PER BUILDING

ALL UNITS HAVE 2 PARKING STALLS WITHIN GARAGE

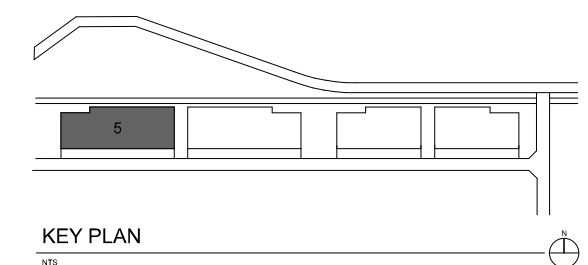
BUILDING 05 - 8 UNITS
 BUILDING 06 - 8 UNITS
 BUILDING 07 - 6 UNITS
 BUILDING 08 - 6 UNITS
 TOTAL UNITS 28



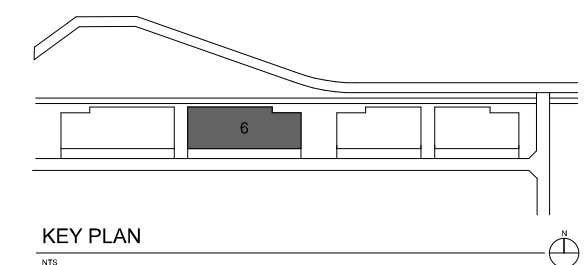
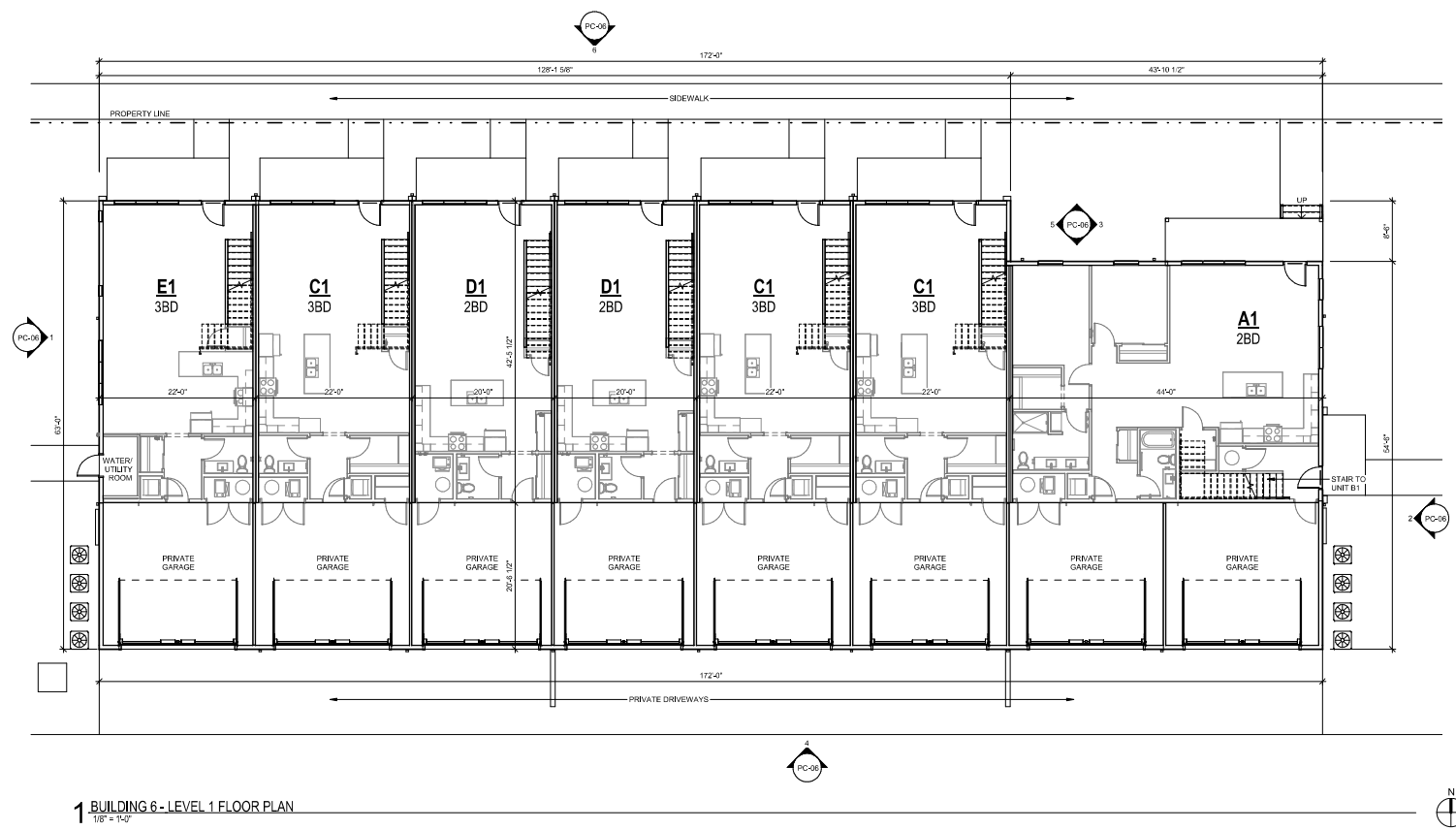
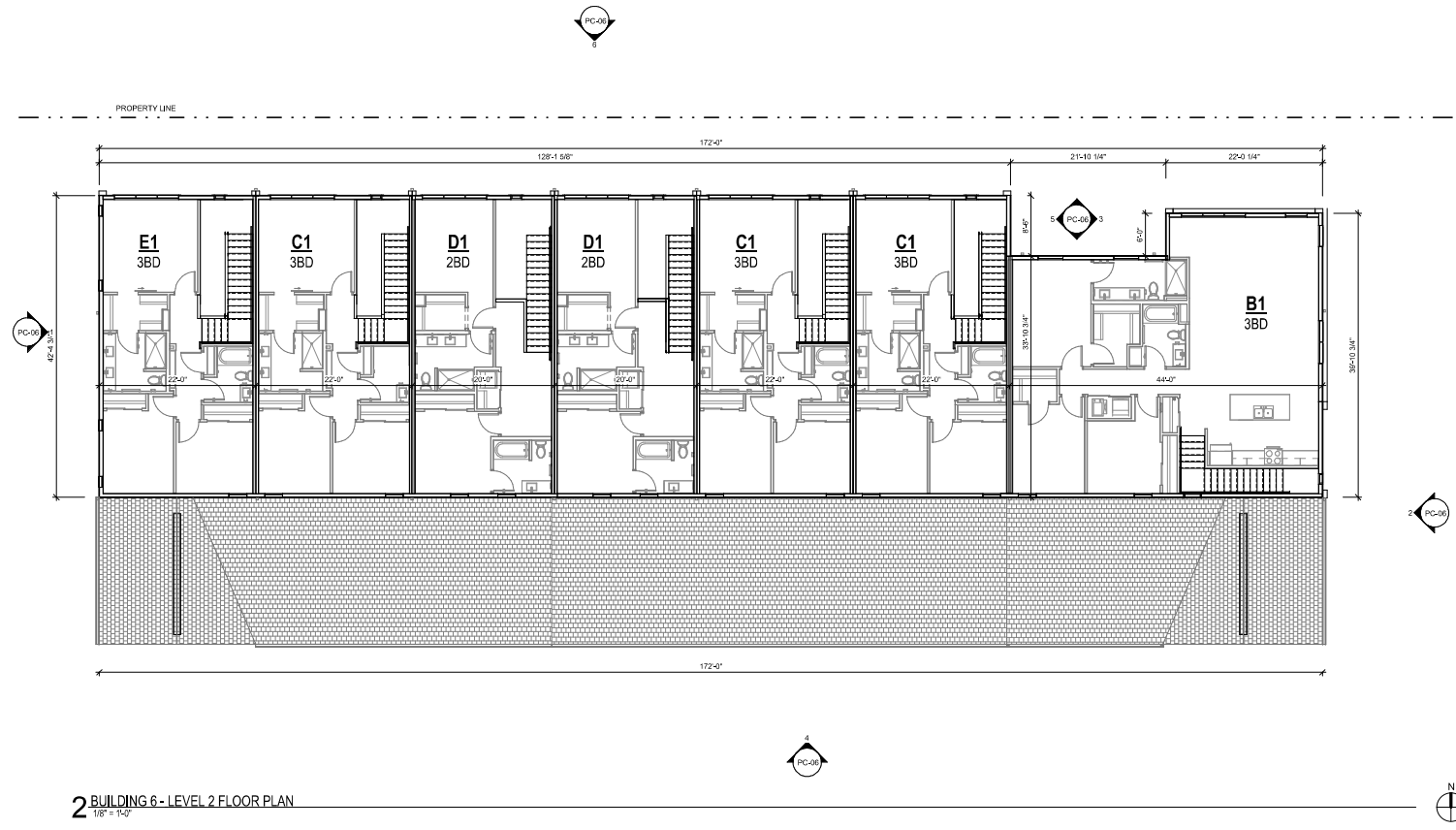
2 BUILDING 5 - LEVEL 2 FLOOR PLAN
1/8" = 1'-0"

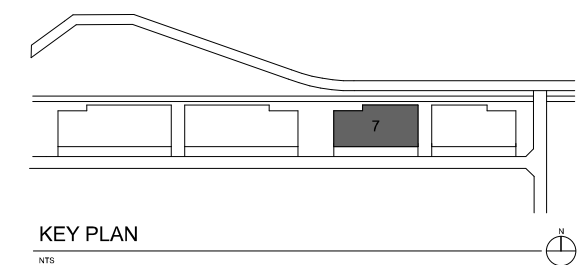
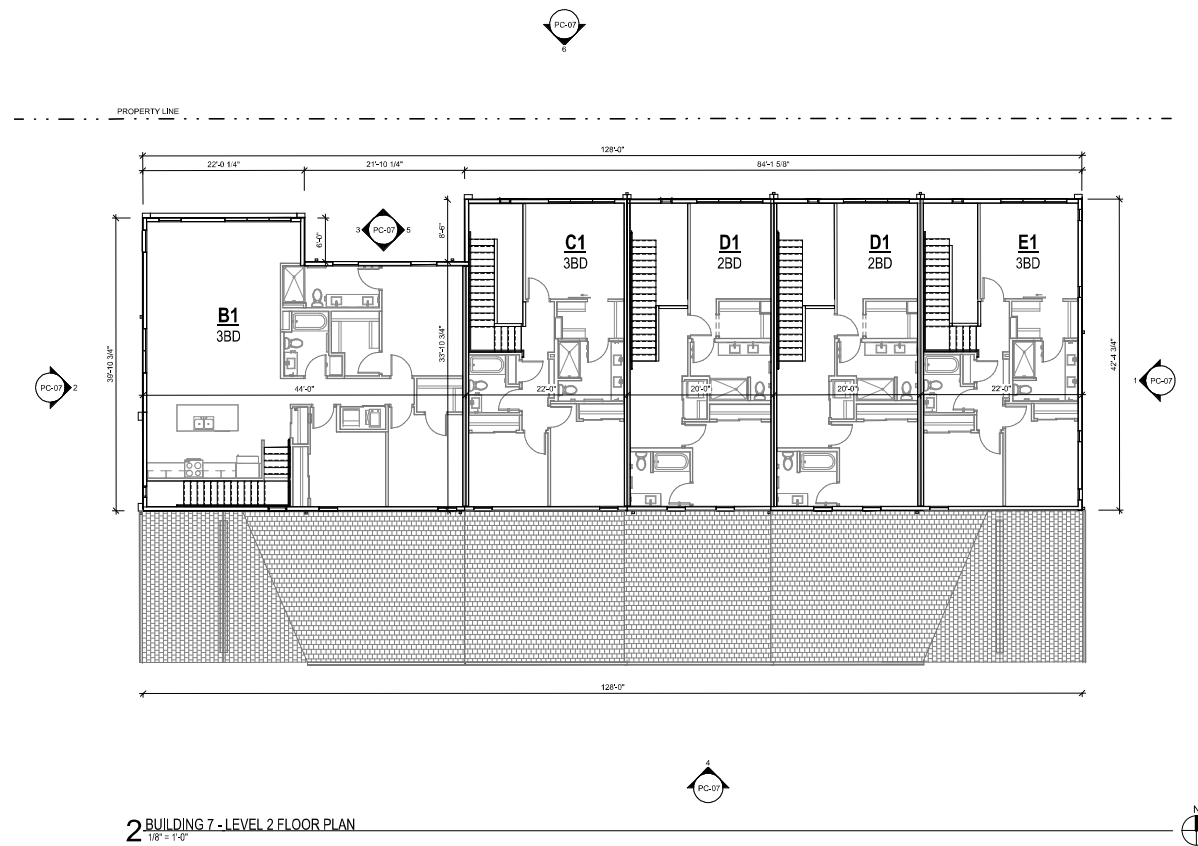


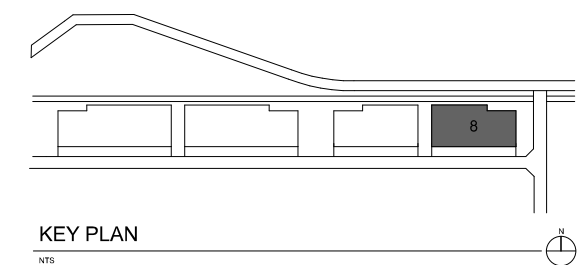
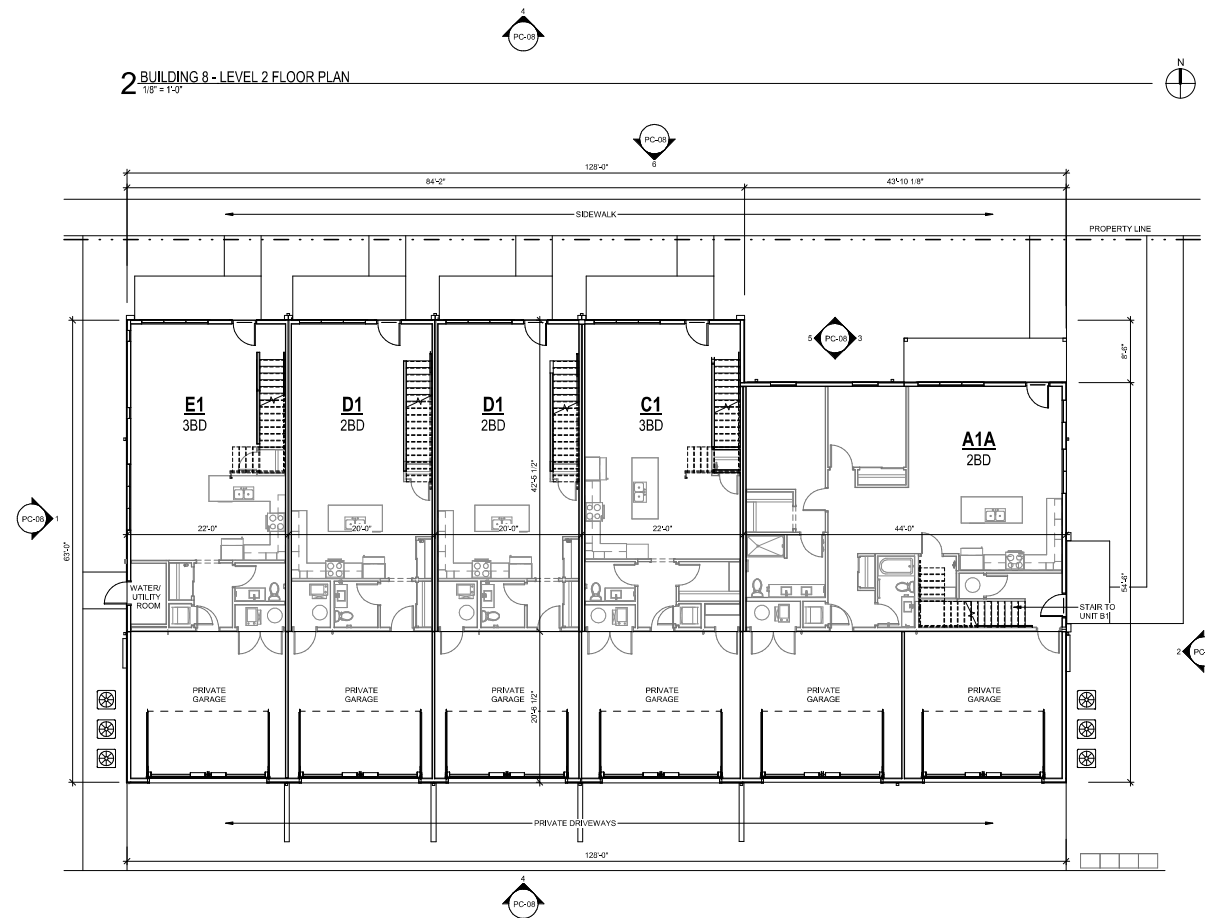
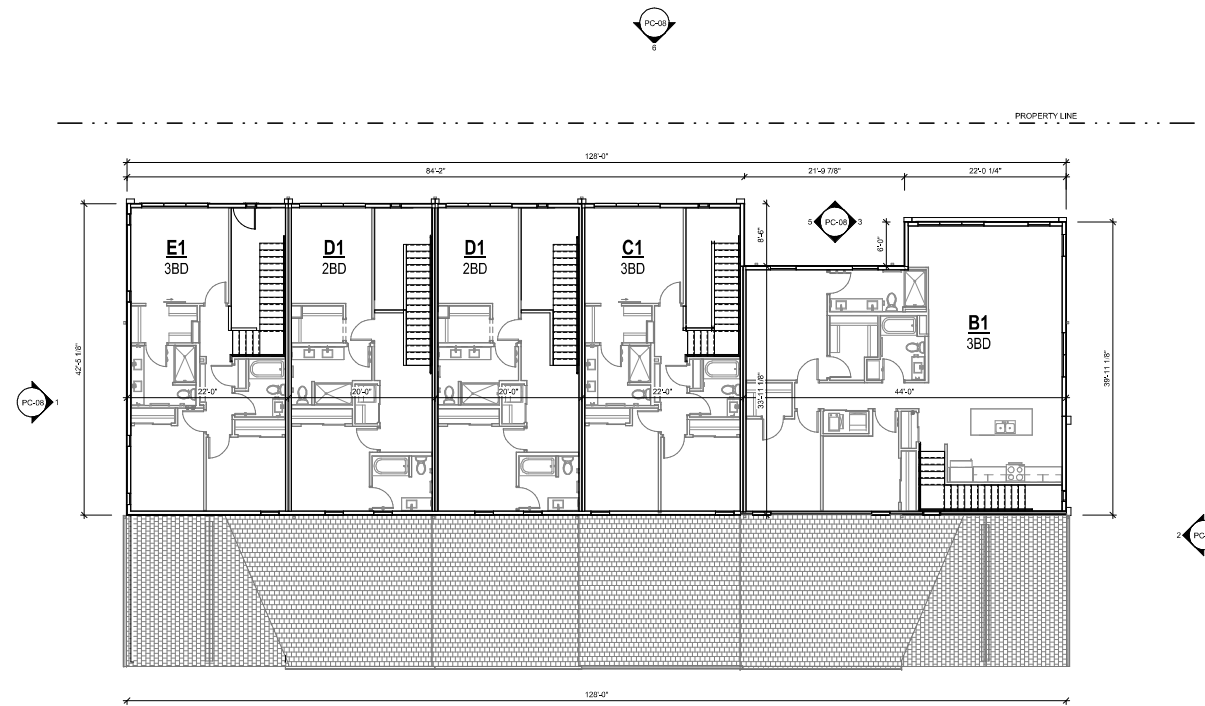
1 BUILDING 5 - LEVEL 1 FLOOR PLAN
1/8" = 1'-0"

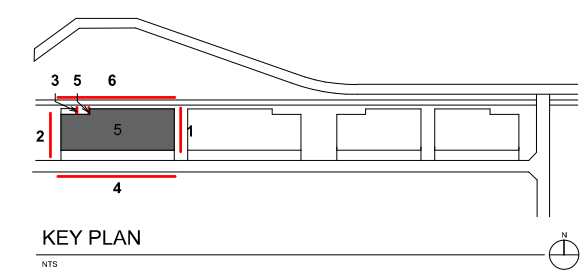
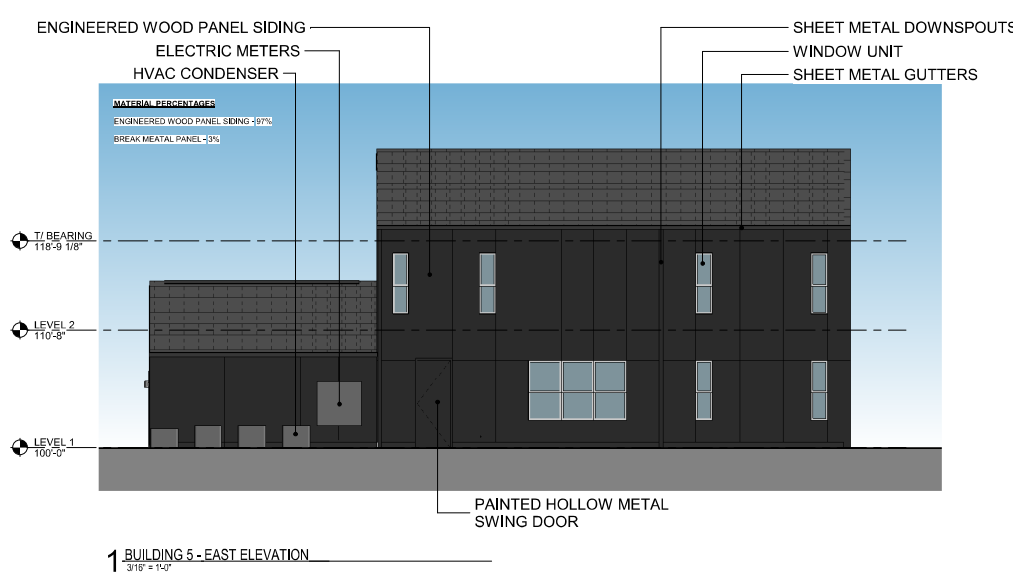
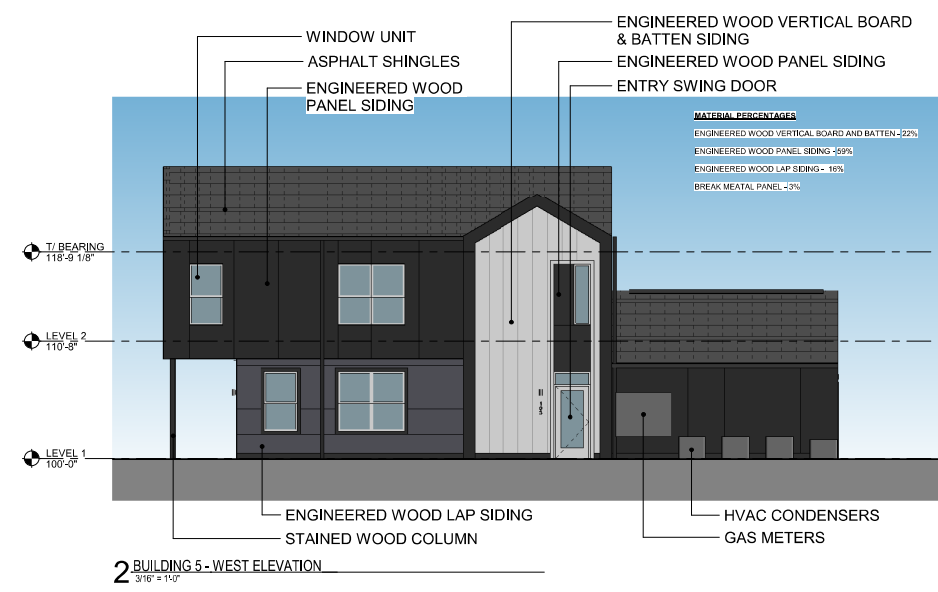
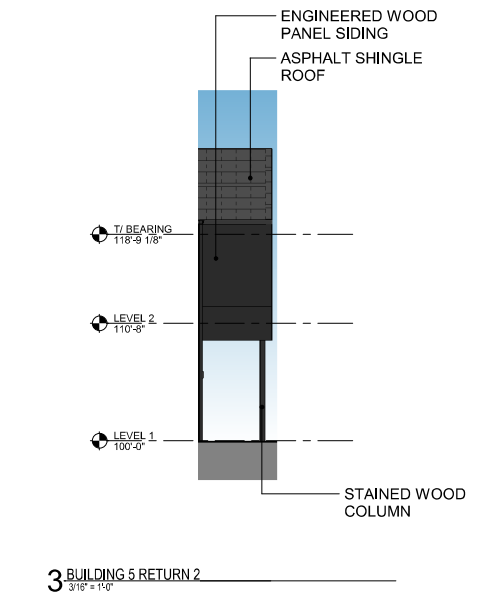
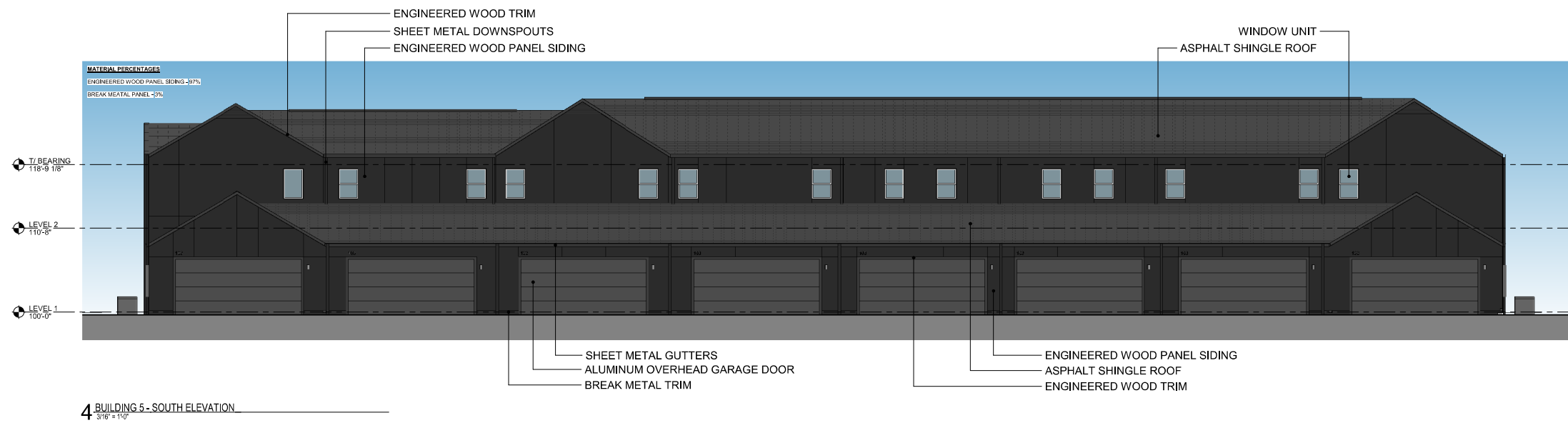
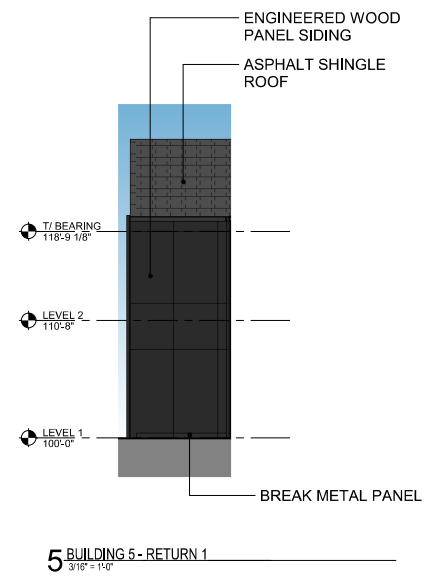
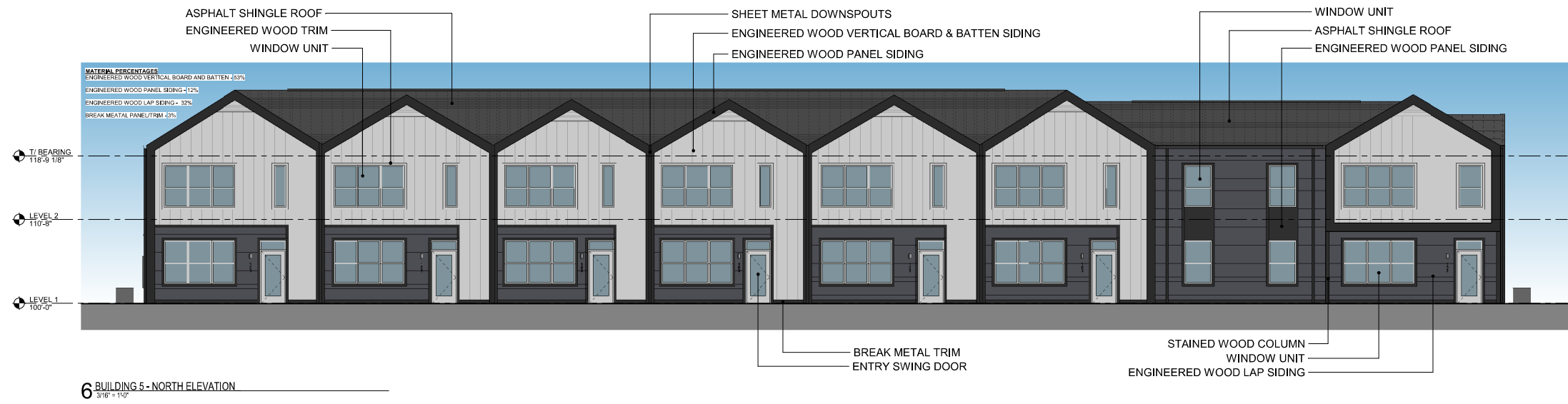


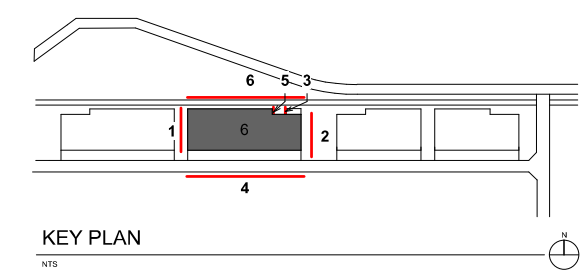
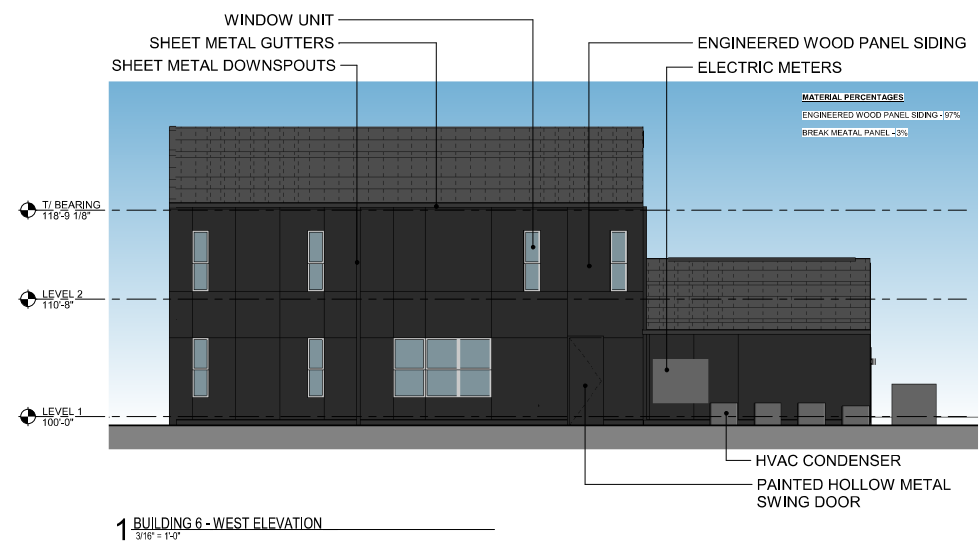
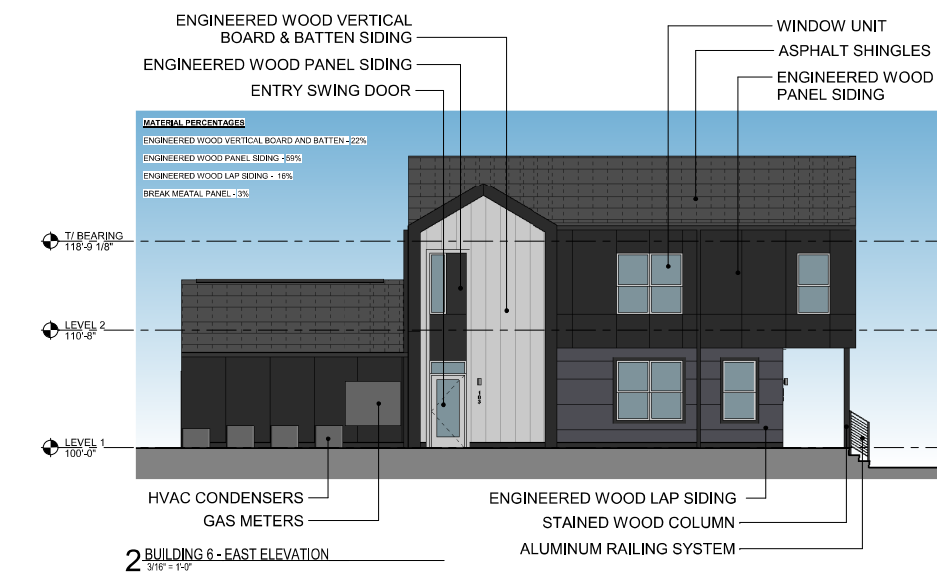
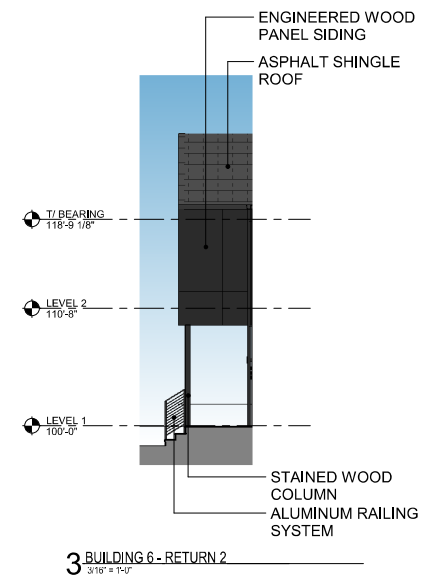
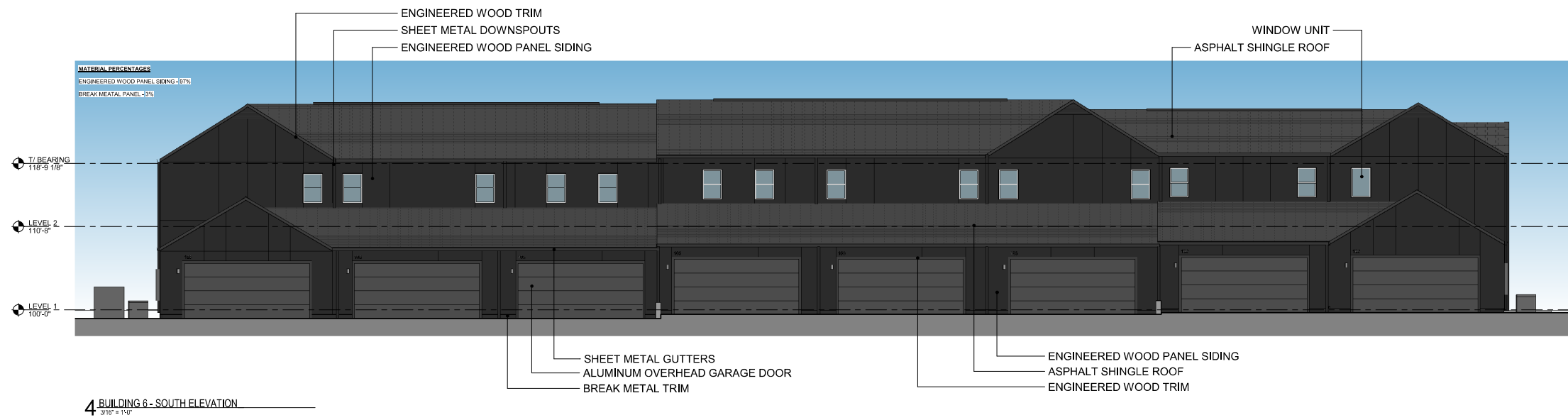
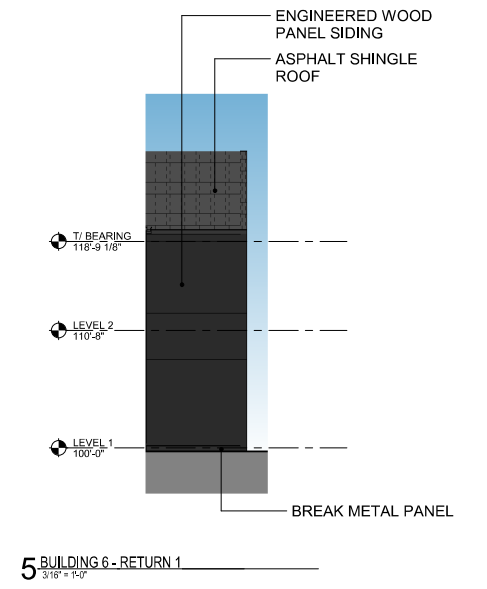
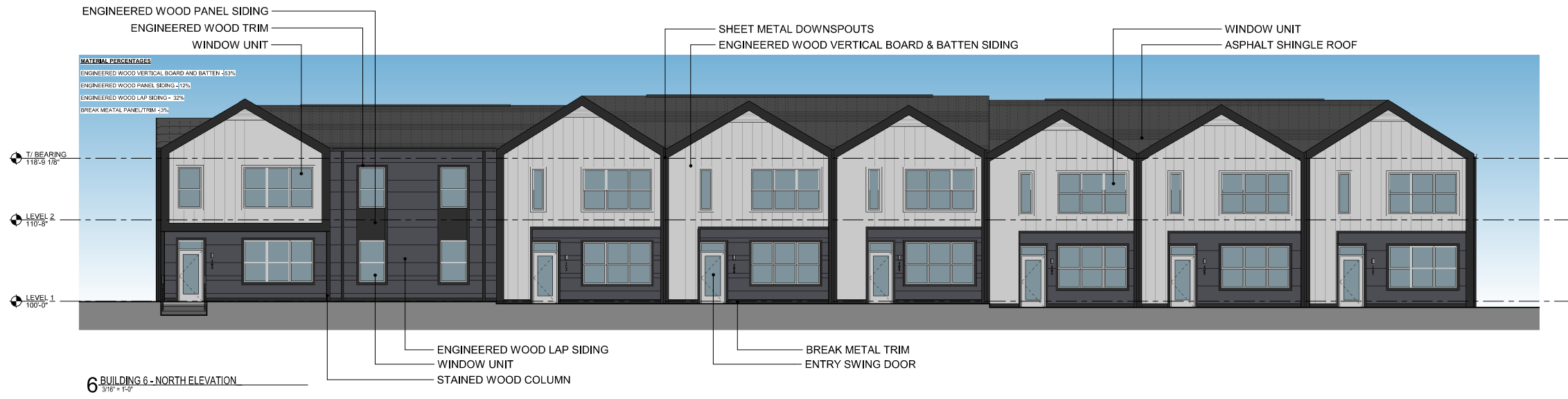
KEY PLAN

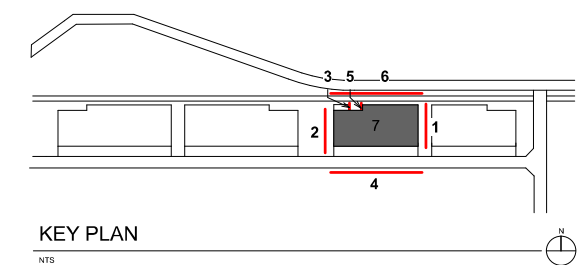
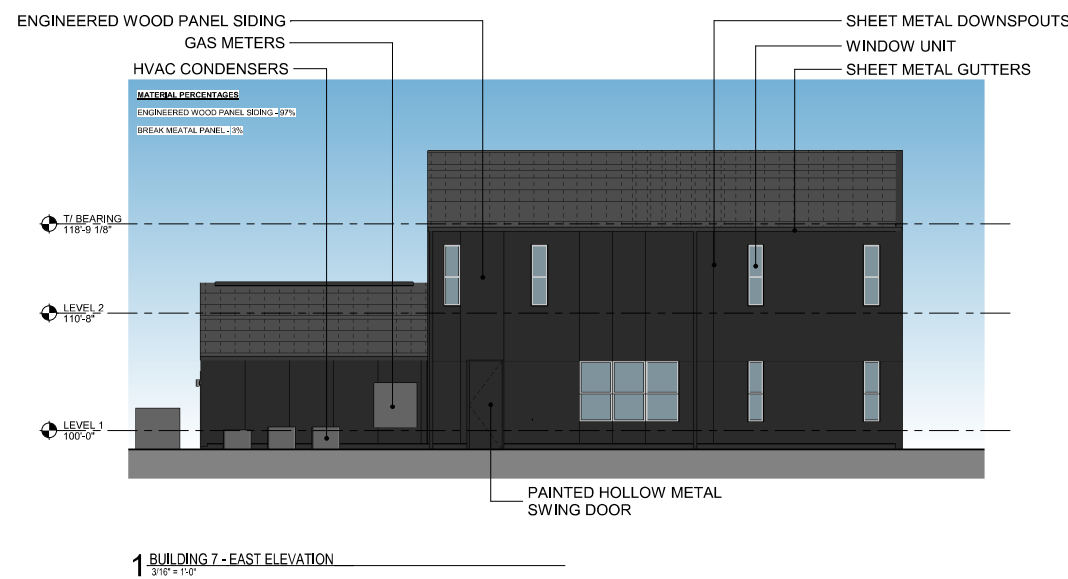
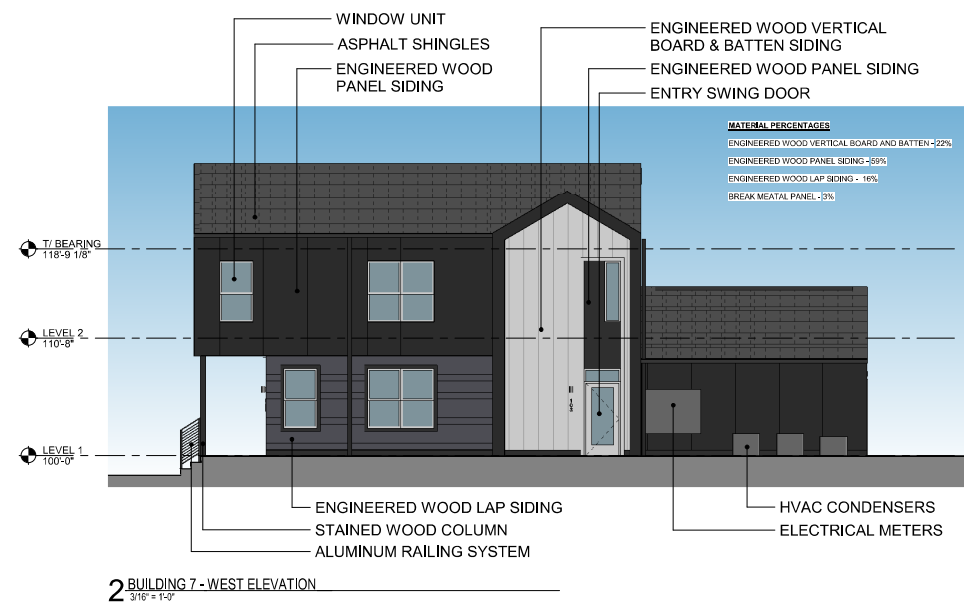
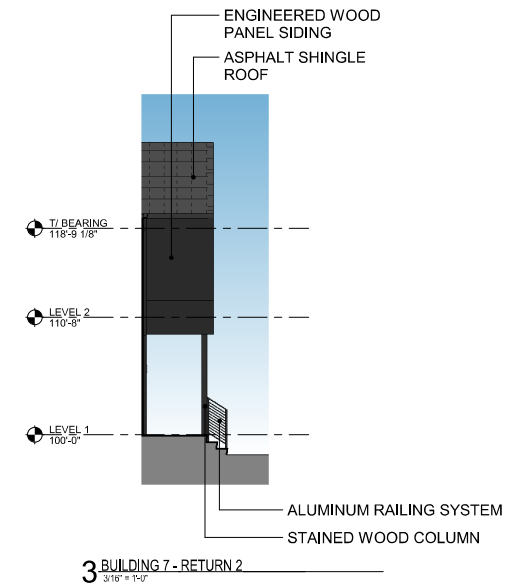
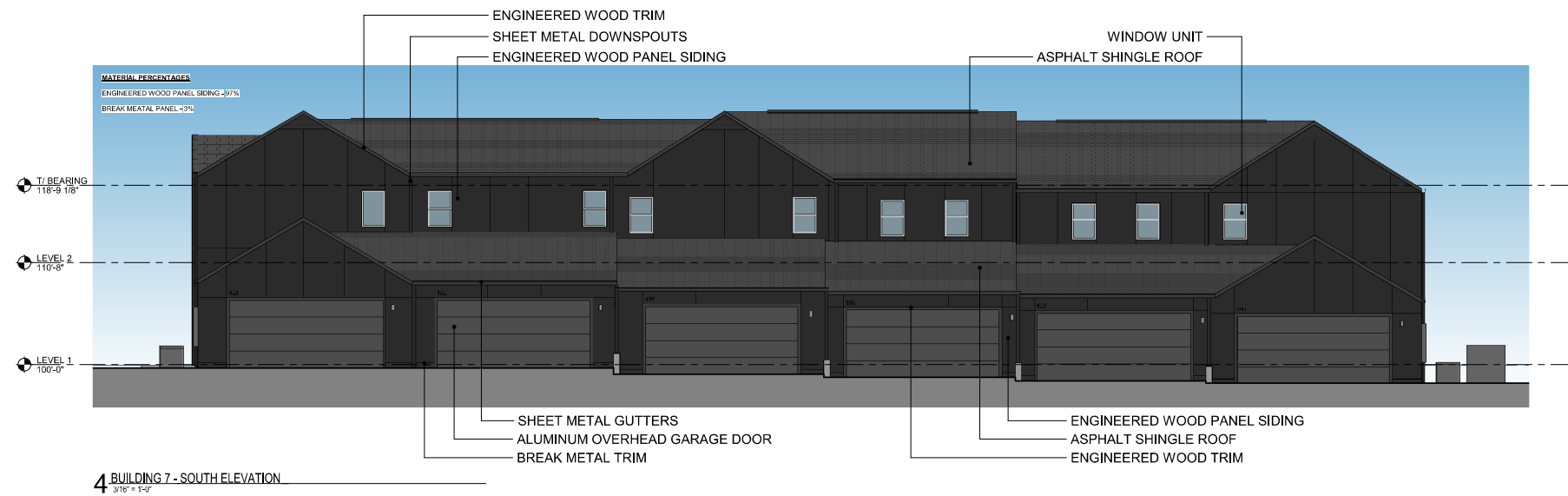
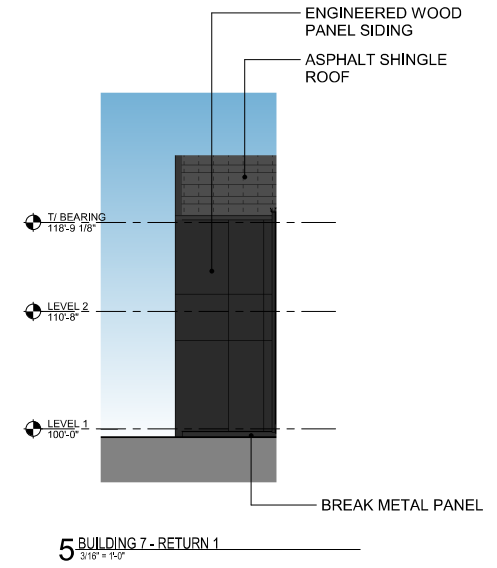
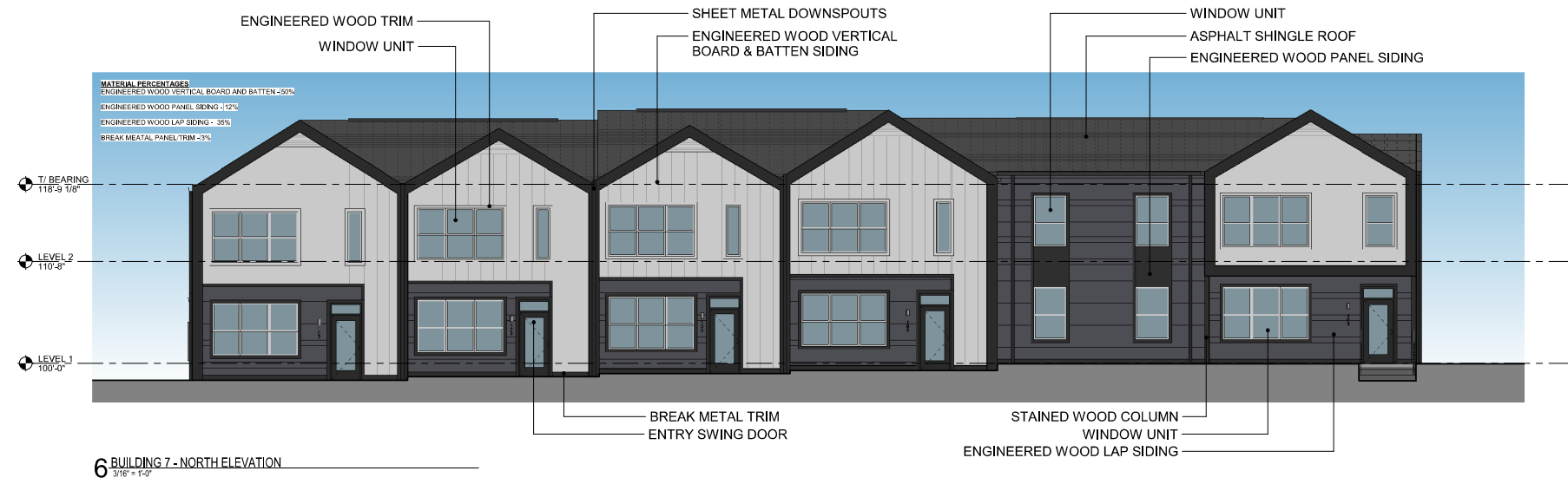


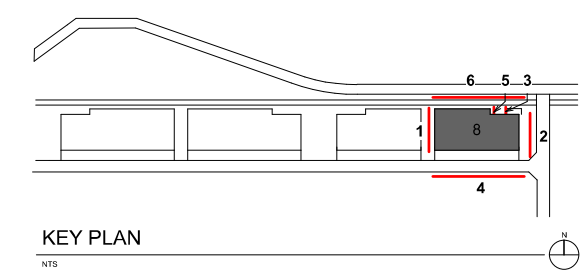
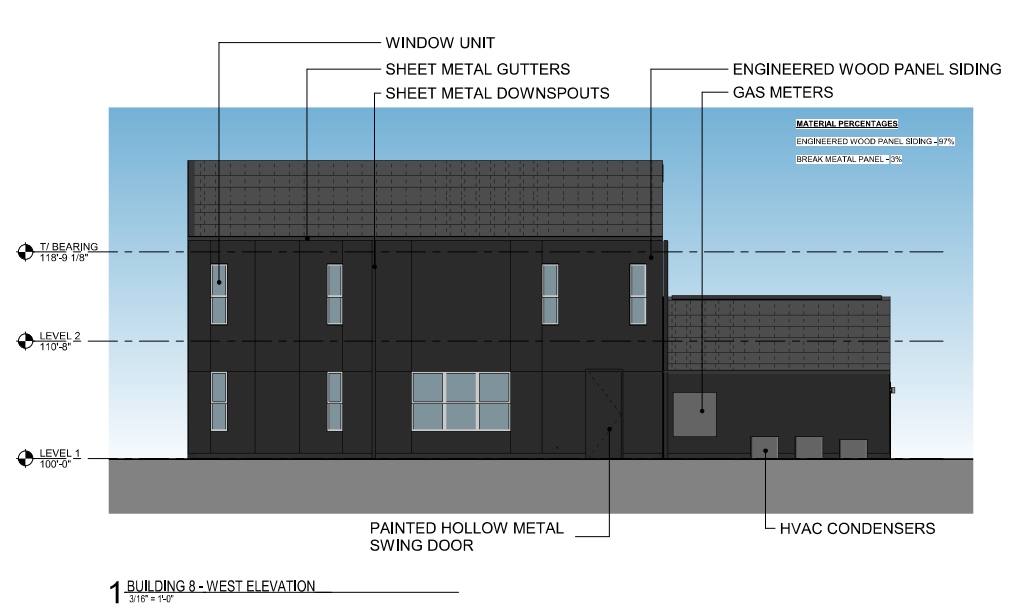
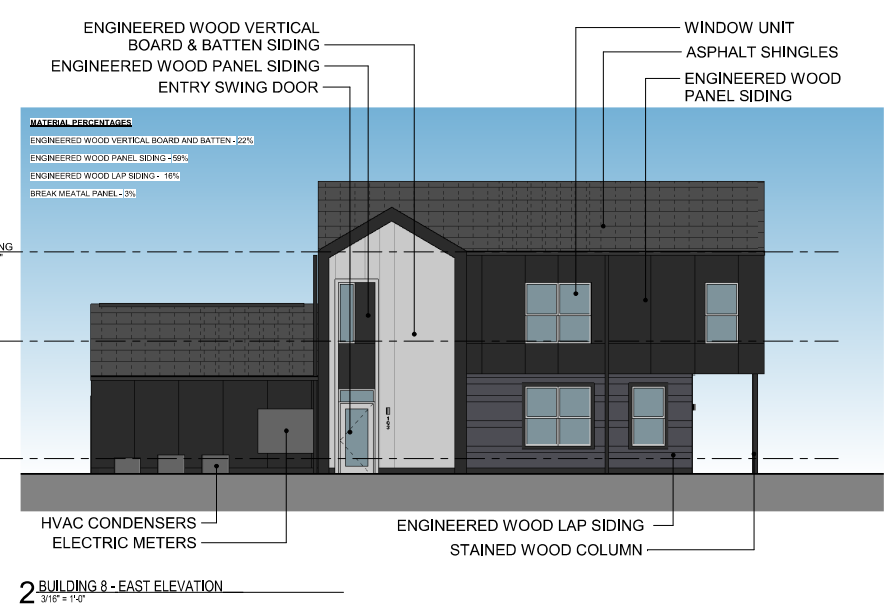
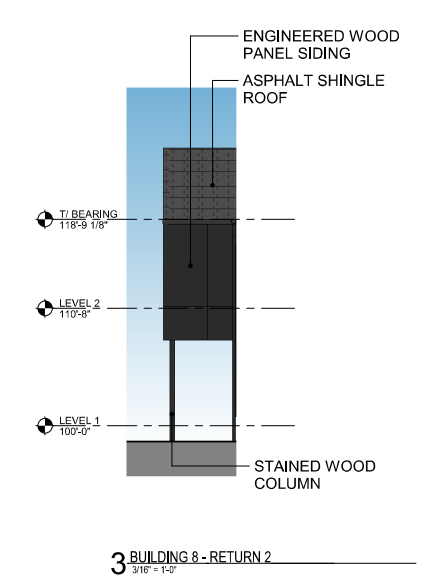
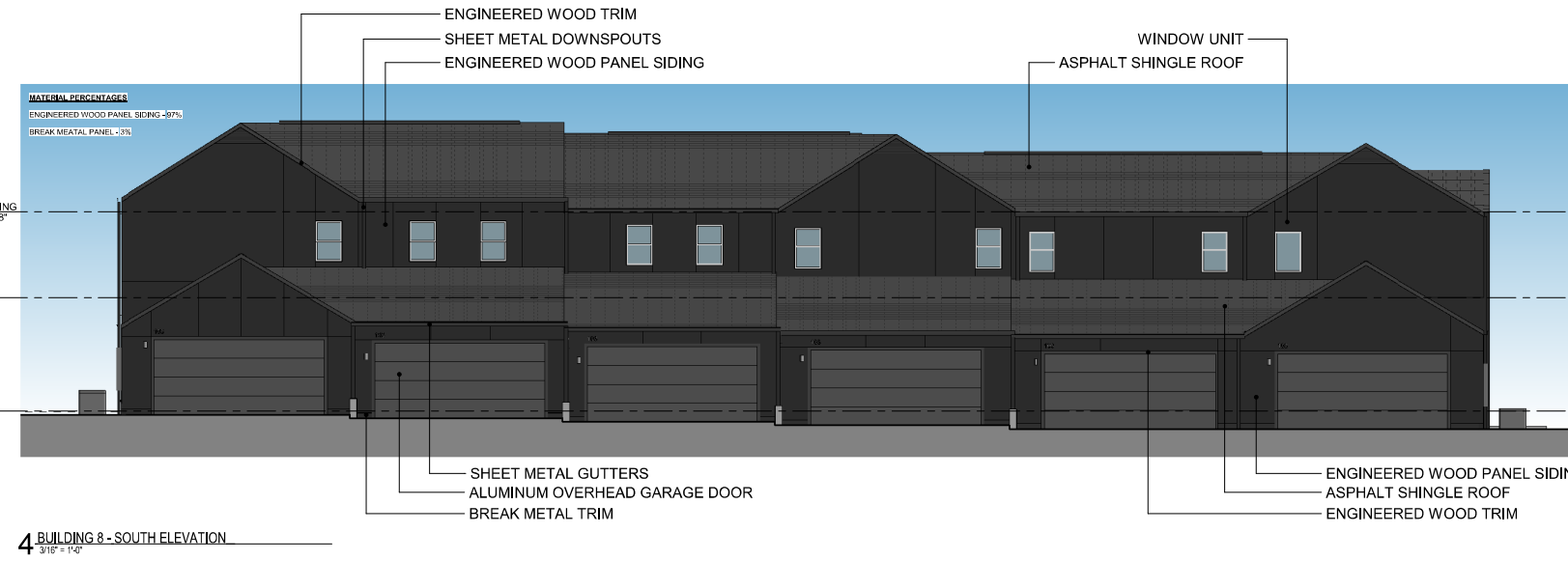
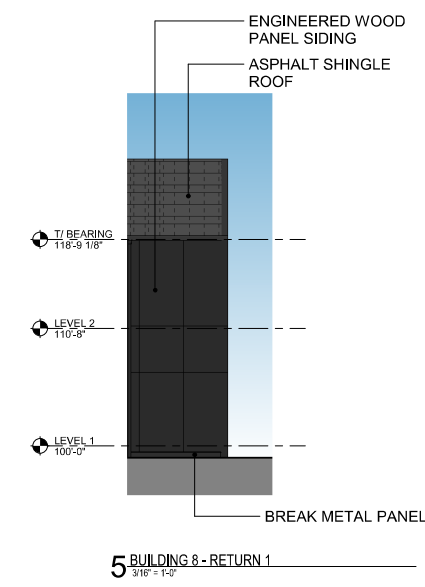


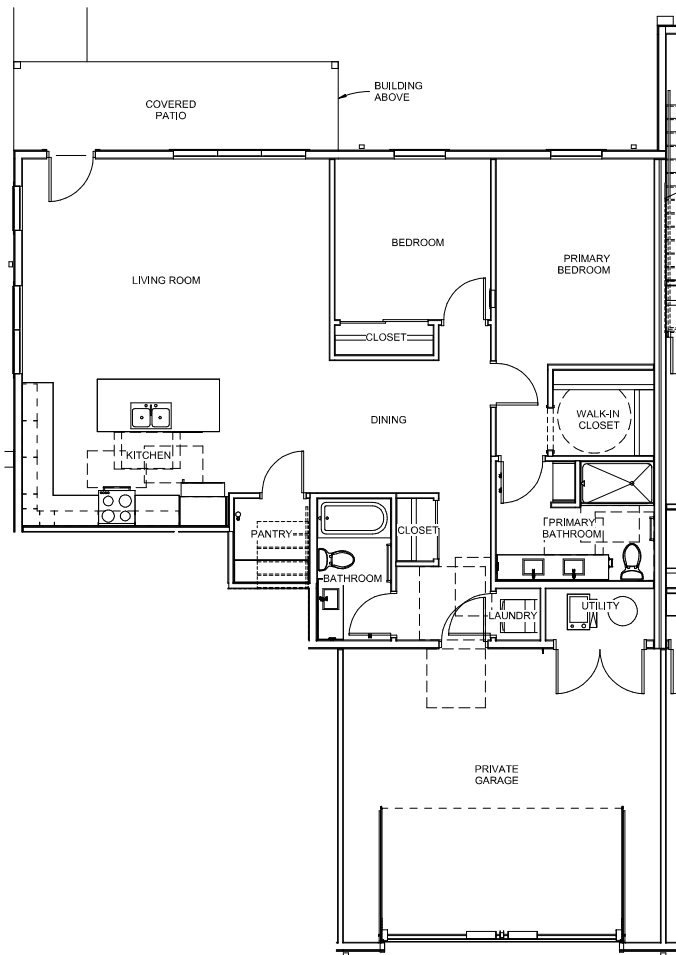




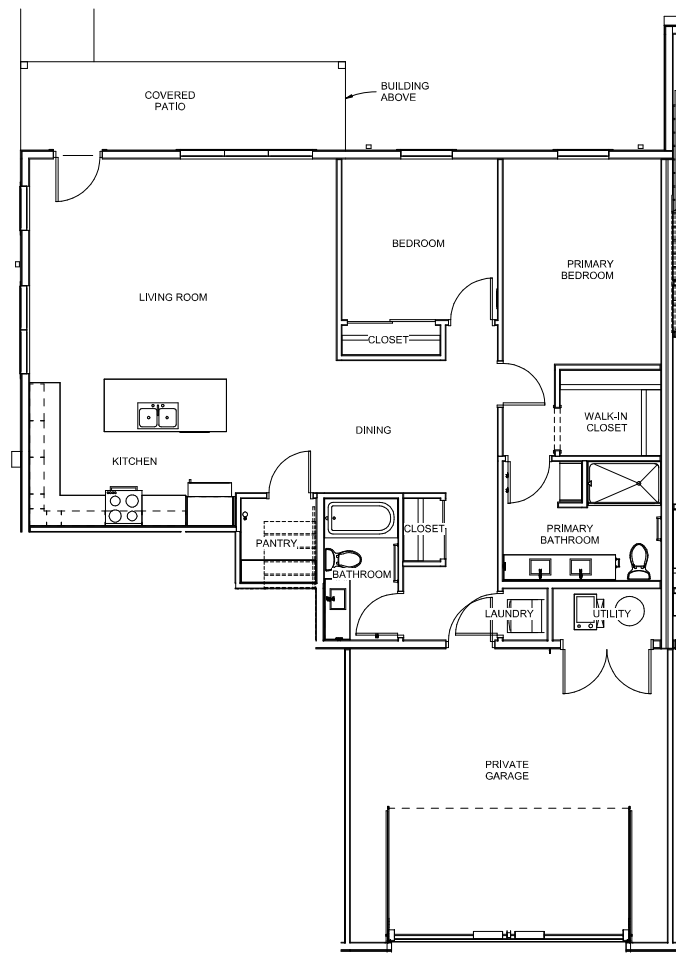




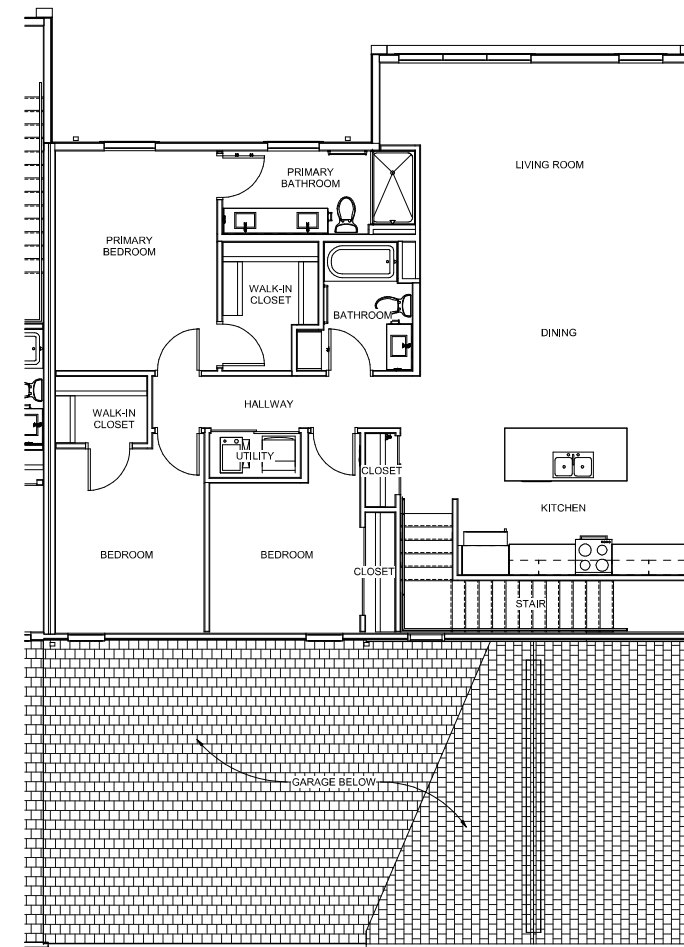




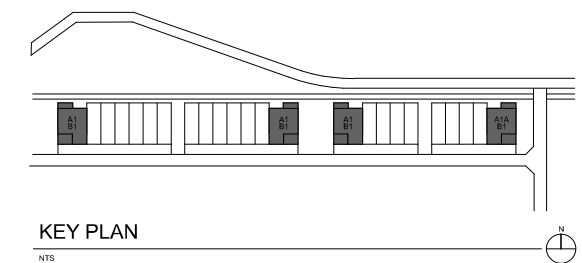
UNIT A1A FLOOR PLAN
1/4" = 1'-0"



UNIT A1 FLOOR PLAN
1/4" = 1'-0"

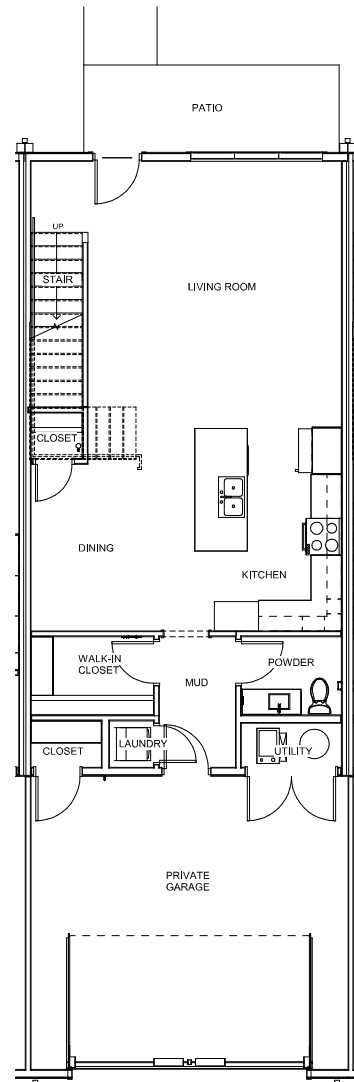


UNIT B1 FLOOR PLAN
1/4" = 1'-0"

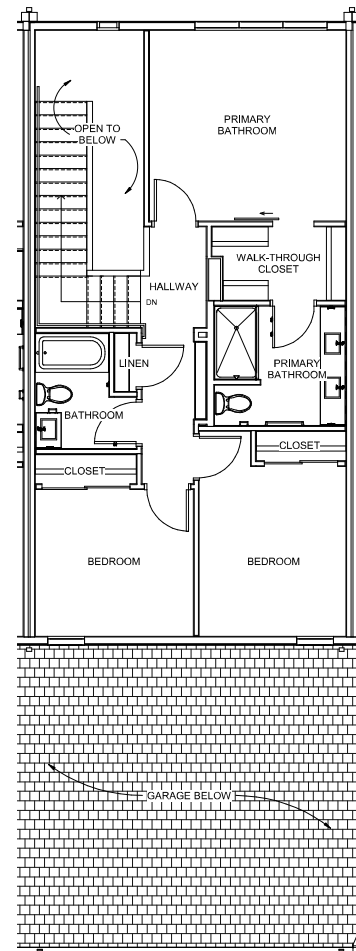


KEY PLAN

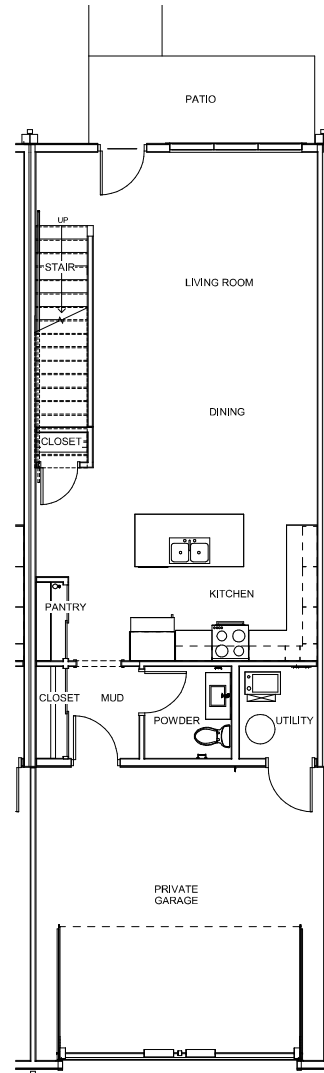
NTS



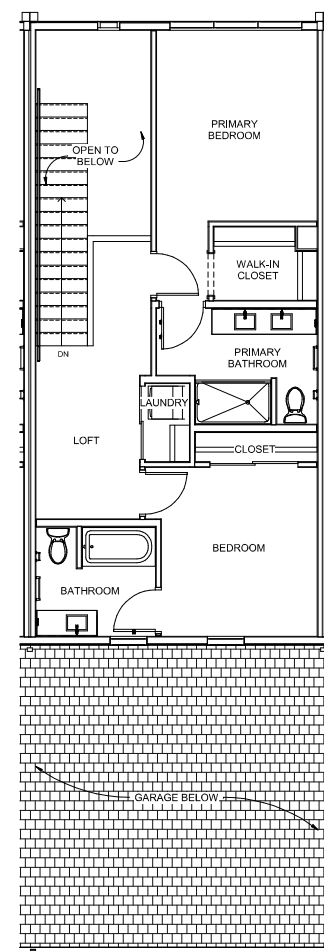
UNIT C1 - LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



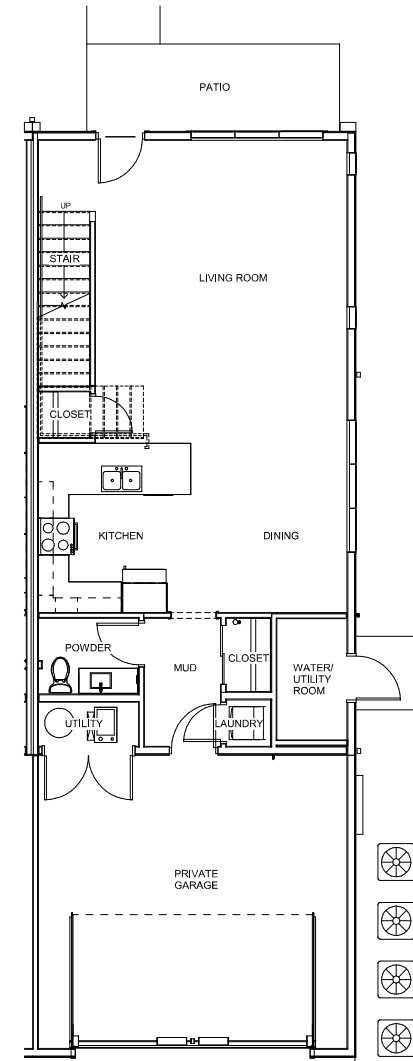
UNIT C1 - LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



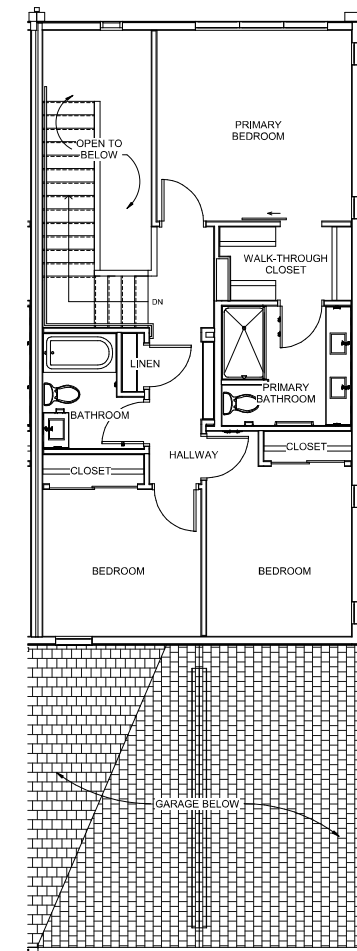
UNIT D1 - LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



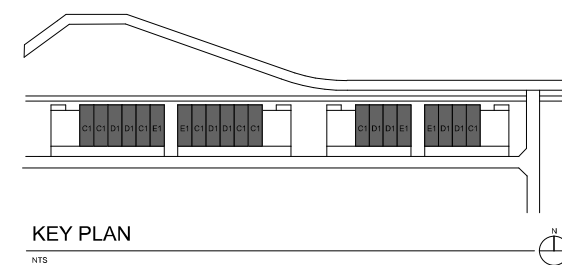
UNIT D1 - LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



UNIT E1 - LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



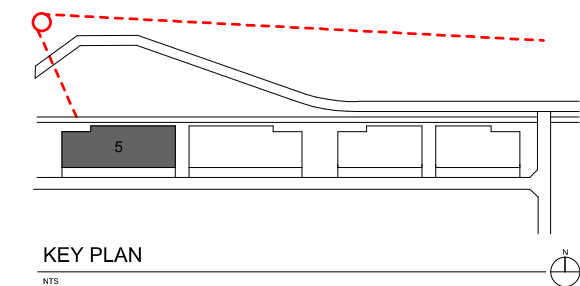
UNIT E1 - LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



KEY PLAN
NTS

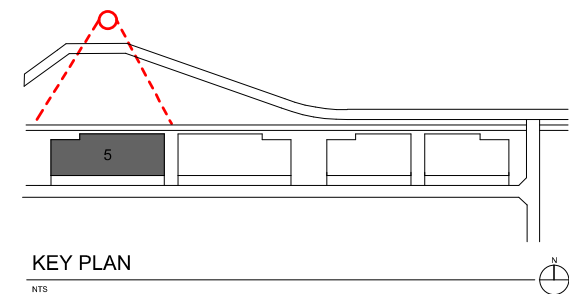


RENDERING - LAKESHORE COMMONS NORTH ENTRY





RENDERING - NORTH TOWNHOMES FROM ACROSS STREET

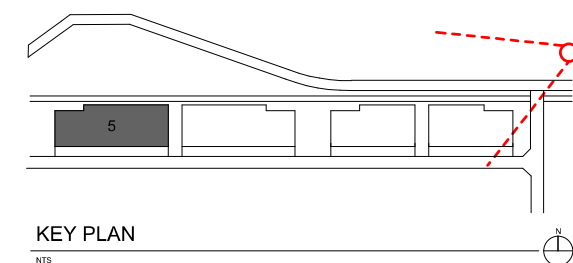


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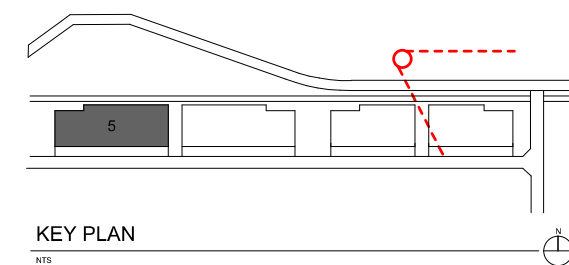


RENDERING - NORTH TOWNHOMES FROM ALLEY ENTRANCE



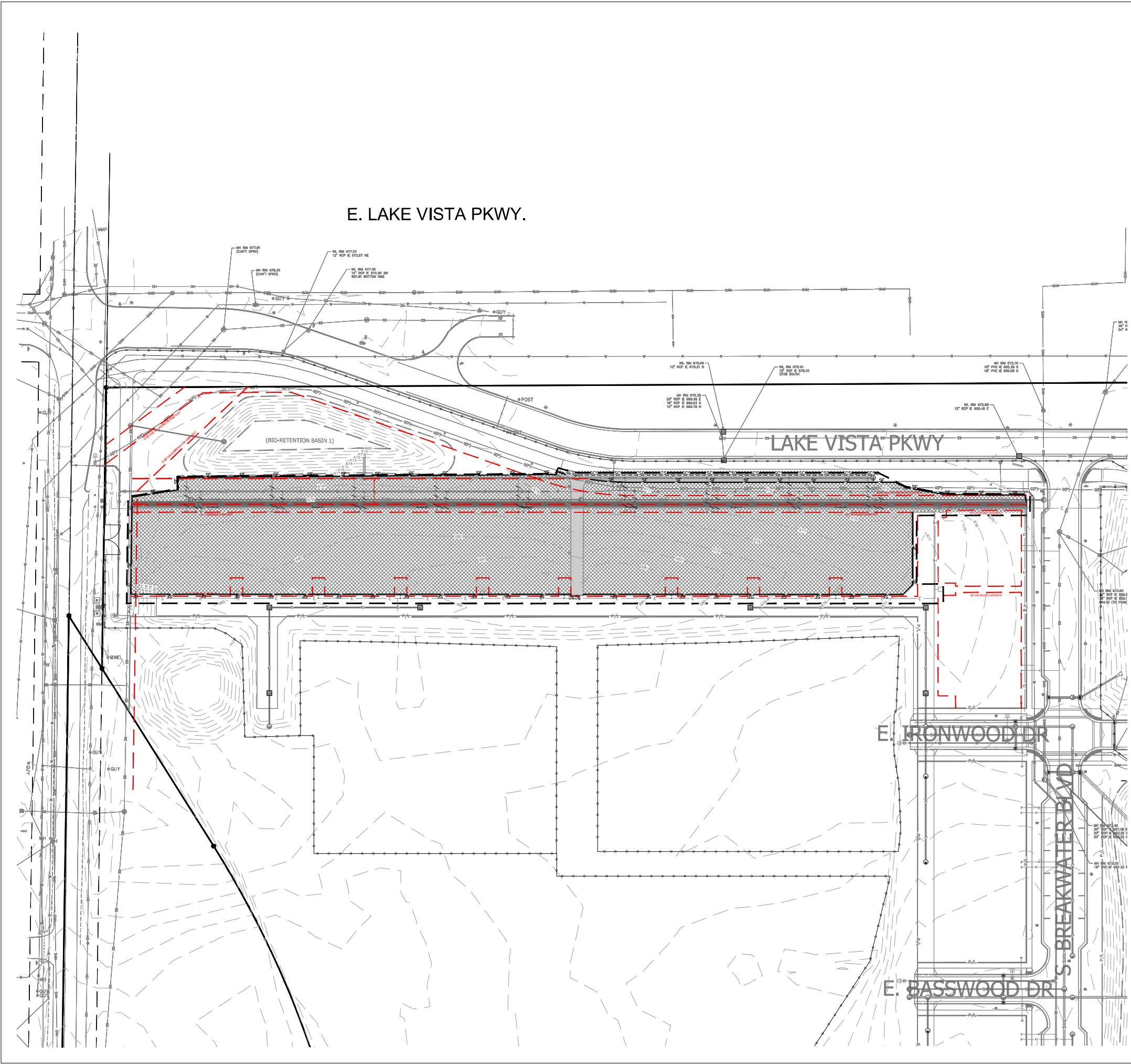


RENDERING - NORTH TOWNHOMES TOWARDS LAKE MICHIGAN



KEY PLAN

NTS



E. LAKE VISTA PKWY.

LAKE VISTA PKWY

E. IRONWOOD DR

E. BASSWOOD DR

S. BREAKWATER BLVD

(BIO-RETENTION BASIN 1)

Scale: 0 15 30 60
Scale: 1" = 30'

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DEMOLITION + EROSION CONTROL NOTES

1. CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED IN PART UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND ENGINEER'S HOLDING. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING APPROVALS, PERMITS, INCLUDING BUT NOT LIMITED TO HOME, STATE OR LOCAL PLUMBING, WOOD, COUNTY, AND STORM WATER MANAGEMENT.
4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT UTILITY OWNERS TO ALLOW SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM DRAINAGE / FLOODING OF THIS UTILITY WORK MUST BE ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.
7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES, REVIEWING ALL SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNERS REQUIREMENTS.
8. INSTALL EROSION MAT ON ALL SLOPES GREATER THAN 4:1 AND ALL DRAINAGE SWALES.
9. INSTALL INLET PROTECTION ON ALL PROPOSED INLETS AFTER THEY HAVE BEEN CONSTRUCTED.
10. MAINTAIN ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND REPAIRS. CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WORKS PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MARSHAL, WITHIN THE STAGING AREA.
11. AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLAN.

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- PROJECT LIMITS
- ASPHALT PAVEMENT & BASE MATERIAL TO BE REMOVED TO SUB-BASE & COURSE OF OPTS. PAVEMENT & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & COURSE OF OPTS. CONCRETE & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- CLEAN SOIL COVER TO BE REMOVED & STOCKPILED ON SITE. CONTRACTOR SHALL STORE EXISTING CAP TO APPROXIMATELY 1' ABOVE BOTTOM OF CAP. CLEAN SOIL COVER THICKNESS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WORKS PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MARSHAL, WITHIN THE STAGING AREA.
- SCSPSCS SAWHUT FULL DEPTH
- DEMOTES UTILITIES TO BE ABANDONED & REMOVED.
- EXISTING CHAIN LINK CONSTRUCTION FENCE PER SITE INFRASTRUCTURE CONTRACTOR. CONTRACTOR TO COORDINATE ANY FENCE ADJUSTMENTS WITH SITE INFRASTRUCTURE CONTRACTOR. IF FENCE IS REMOVED CONTRACTOR TO INSTALL NEW FENCE IN SIMILAR LOCATION.
- NEW FILTER FABRIC FENCE
- DESIGNATES EXISTING INLETS THAT MUST BE PROTECTED PER INFRASTRUCTURE CONTRACTOR IF REMOVED CONTRACTOR TO INSTALL INLET PROTECTION.

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Milwaukee, Wisconsin 53202
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KEY PLAN

NTS

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PLAN COMMISSION

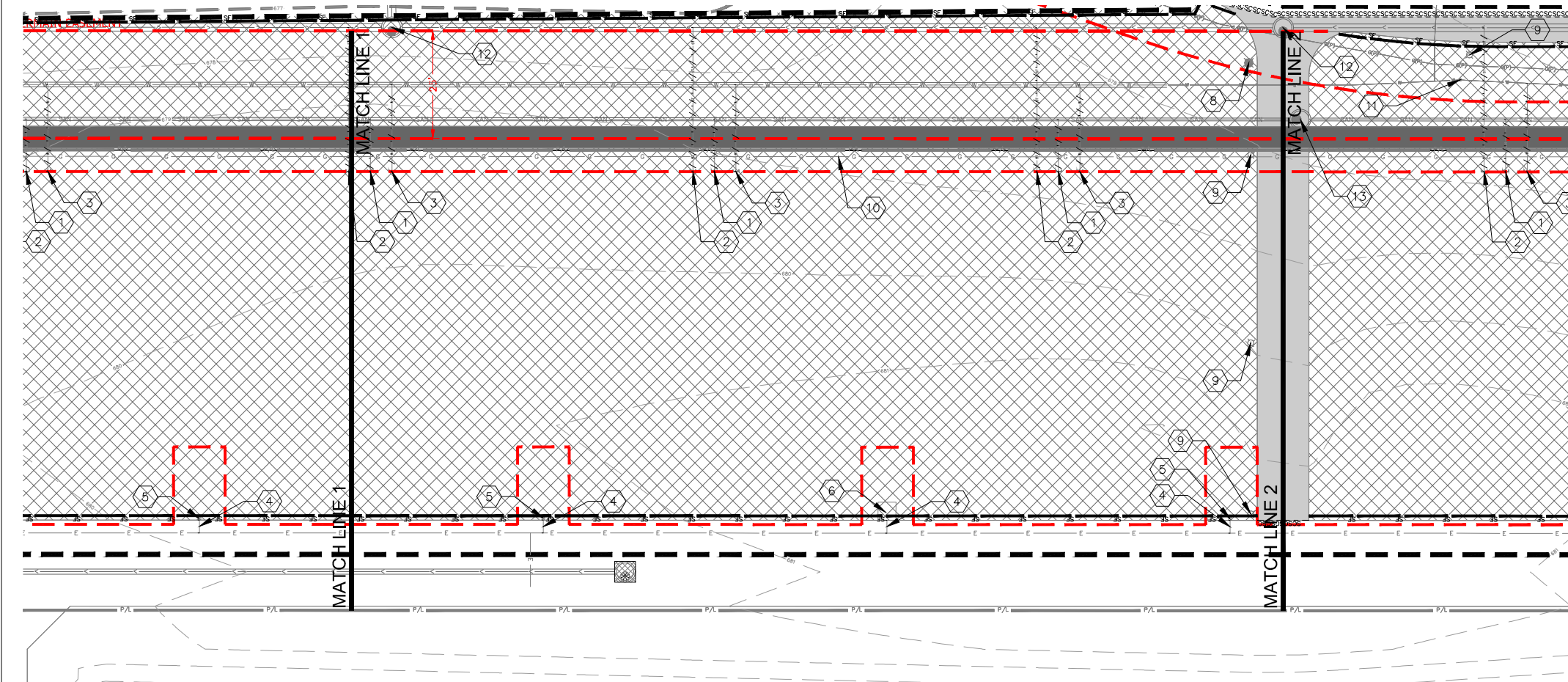
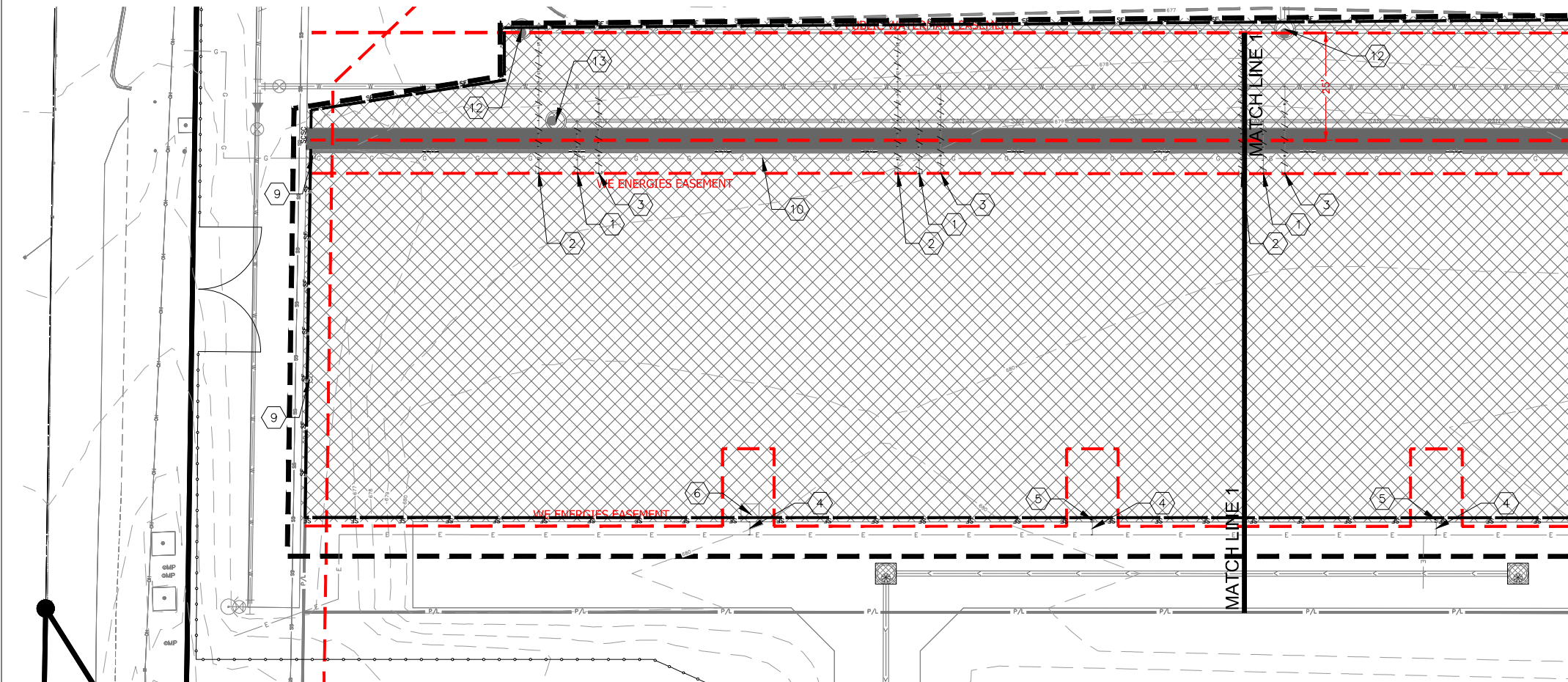
LAKE SHORE COMMONS NORTH TOWNHOMES

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RINKA project #: 201022
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OVERALL SITE DEMOLITION PLAN

Sheet # **C101**

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KEY PLAN

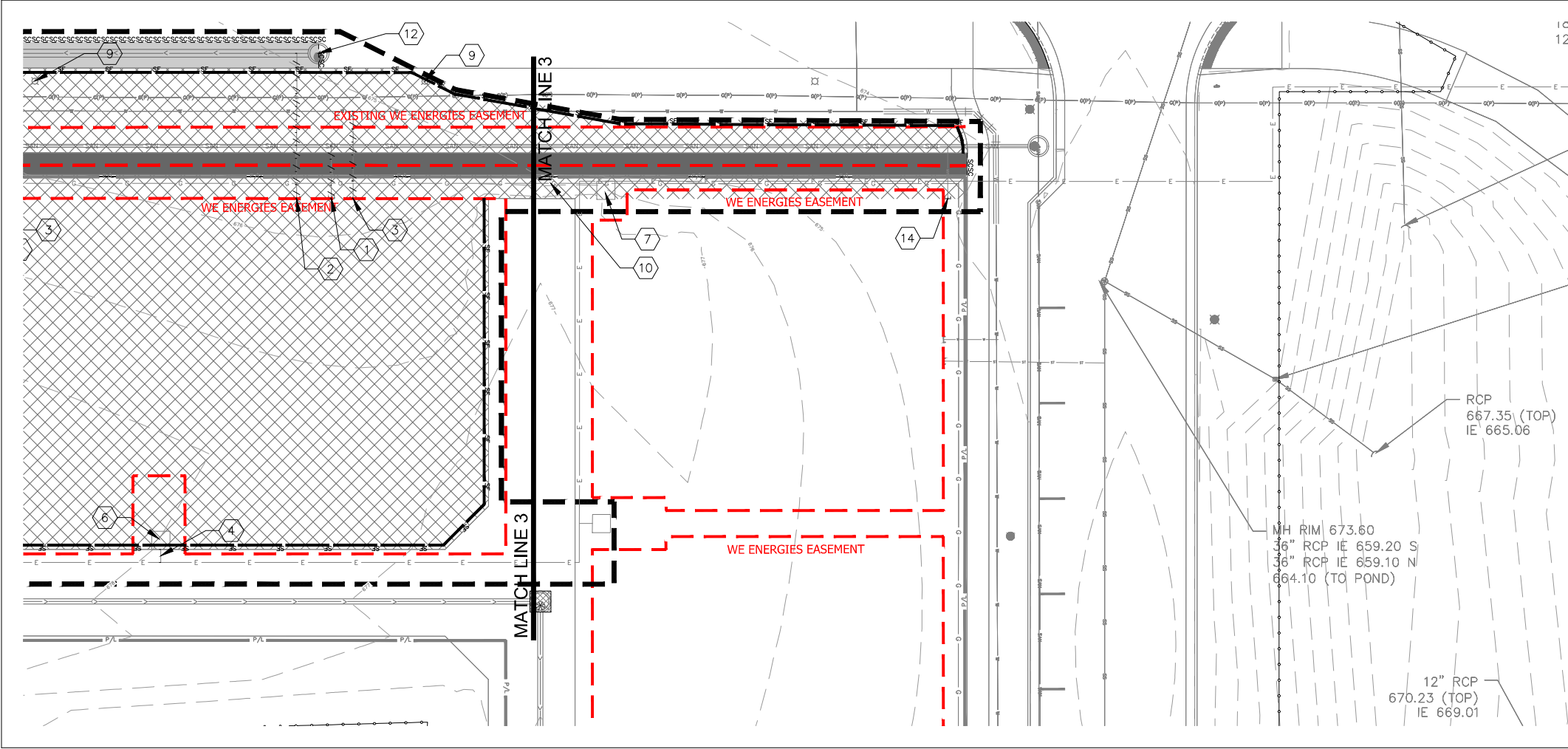
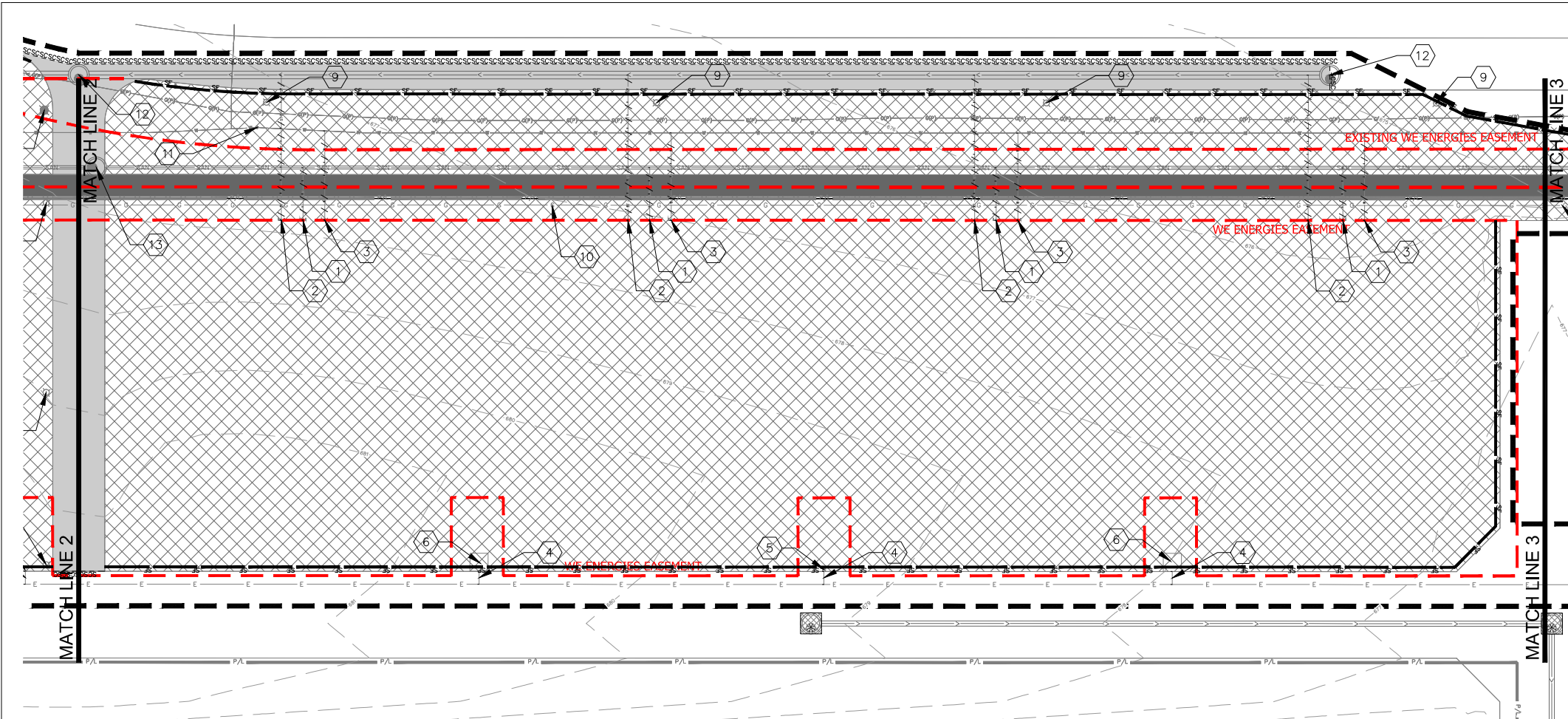
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PLAN COMMISSION
LAKESHORE COMMONS NORTH TOWNHOMES

PARCEL —
OAK CREEK WI 53134
Date Issued: 03/14/2023
ERINKA project #: 201022
Sheet Title
SITE DEMOLITION PLAN
Sheet # C101A

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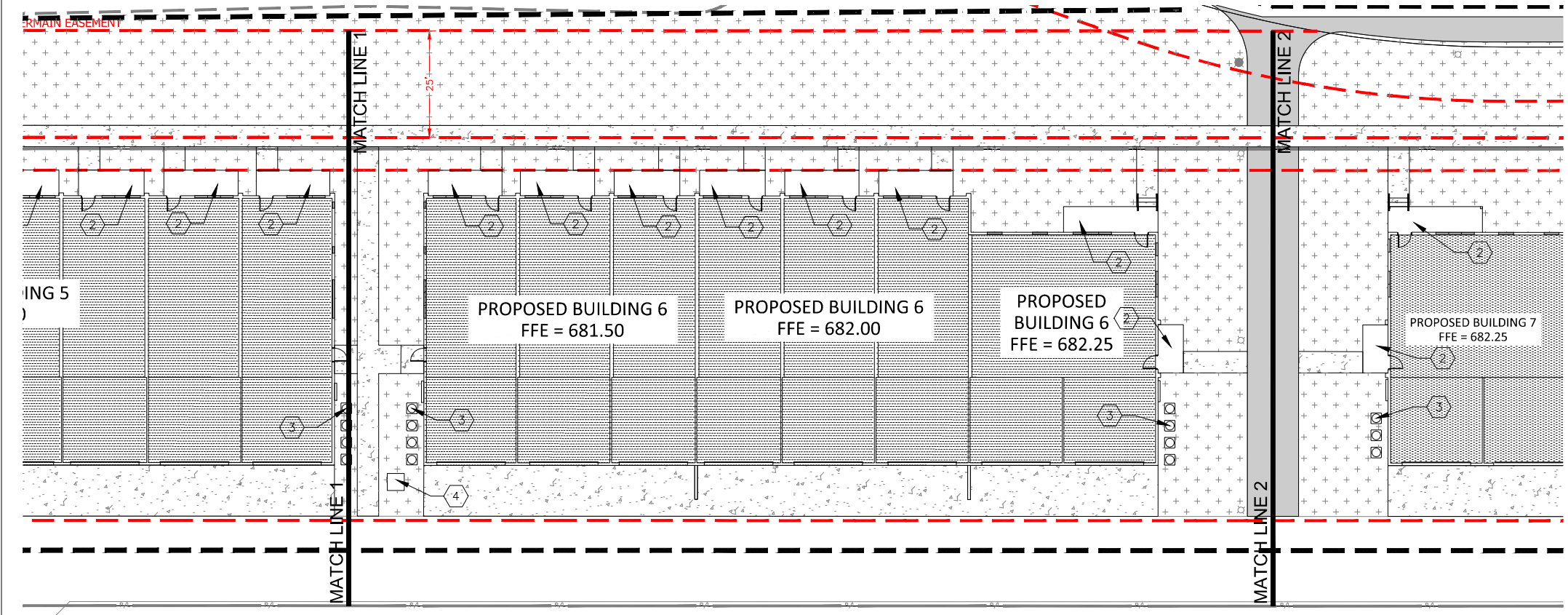
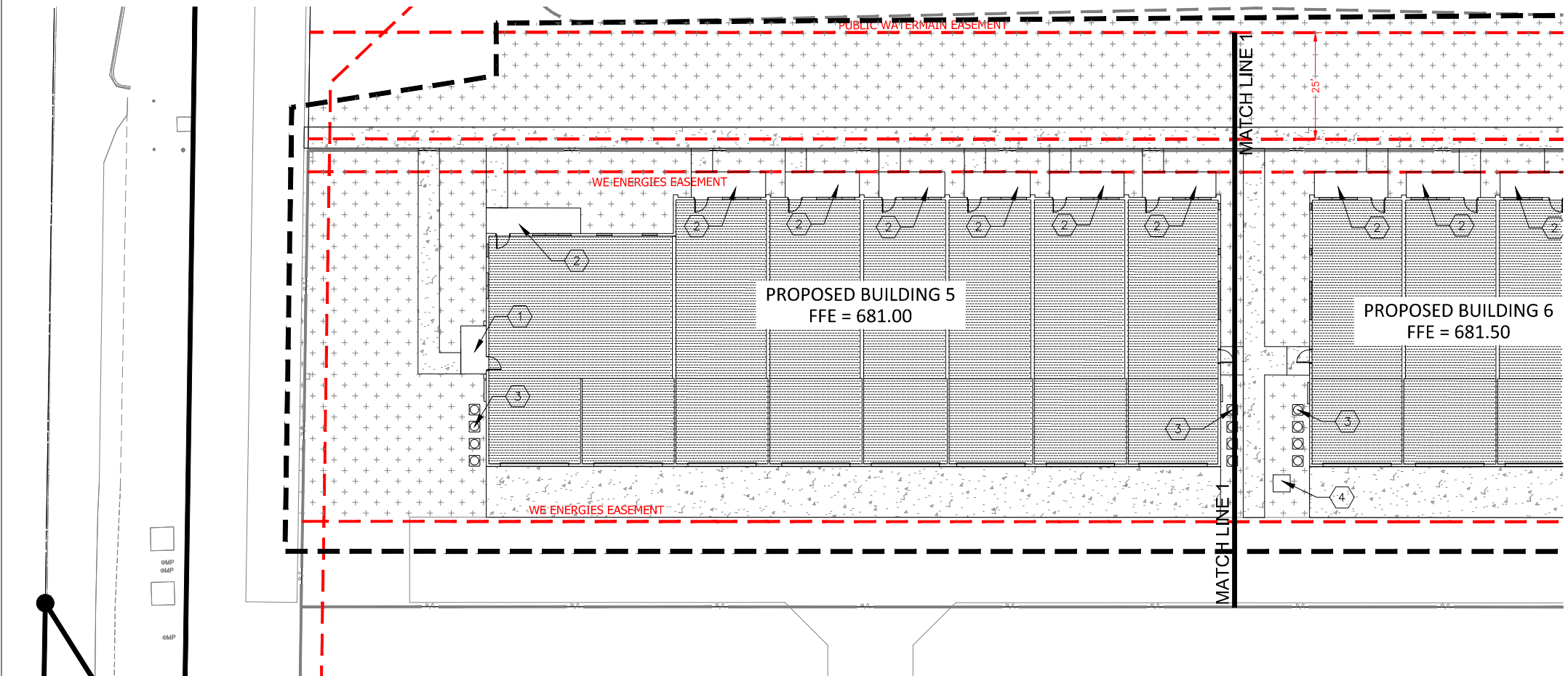
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PLAN COMMISSION
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PARCEL — OAK CREEK W1 53134
 Date Issued: 03/14/2023
 SRINKA project #: 201022
 Sheet Title
 SITE DEMOLITION PLAN
 Sheet # C101B



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- KEY INDEX**
- PROJECT LIMITS
 - AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 2" OF CLEAN COVER SOIL, WHICH INCLUDES A MINIMUM OF 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
 - NEW ASPHALTIC CONCRETE (LIGHT DUTY)
 - NEW CONCRETE SLAB
 - NEW AT GRADE PATIO (TYP.). REFER TO ARCHITECTURAL PLAN FOR MORE INFORMATION.
 - NEW AT RAISED PATIO (TYP.). REFER TO ARCHITECTURAL PLAN FOR MORE INFORMATION.
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 - NEW TRANSFORMER PAD. REFER TO ELECTRICAL PLAN FOR MORE INFORMATION. INSTALL PAD PER MANUFACTURER SPECIFICATIONS.
 - NEW 6" STEEL BOLLARDS
 - NEW RESIDENTIAL MAILBOX UNITS. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.

KEY PLAN
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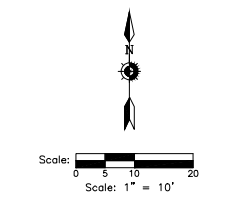
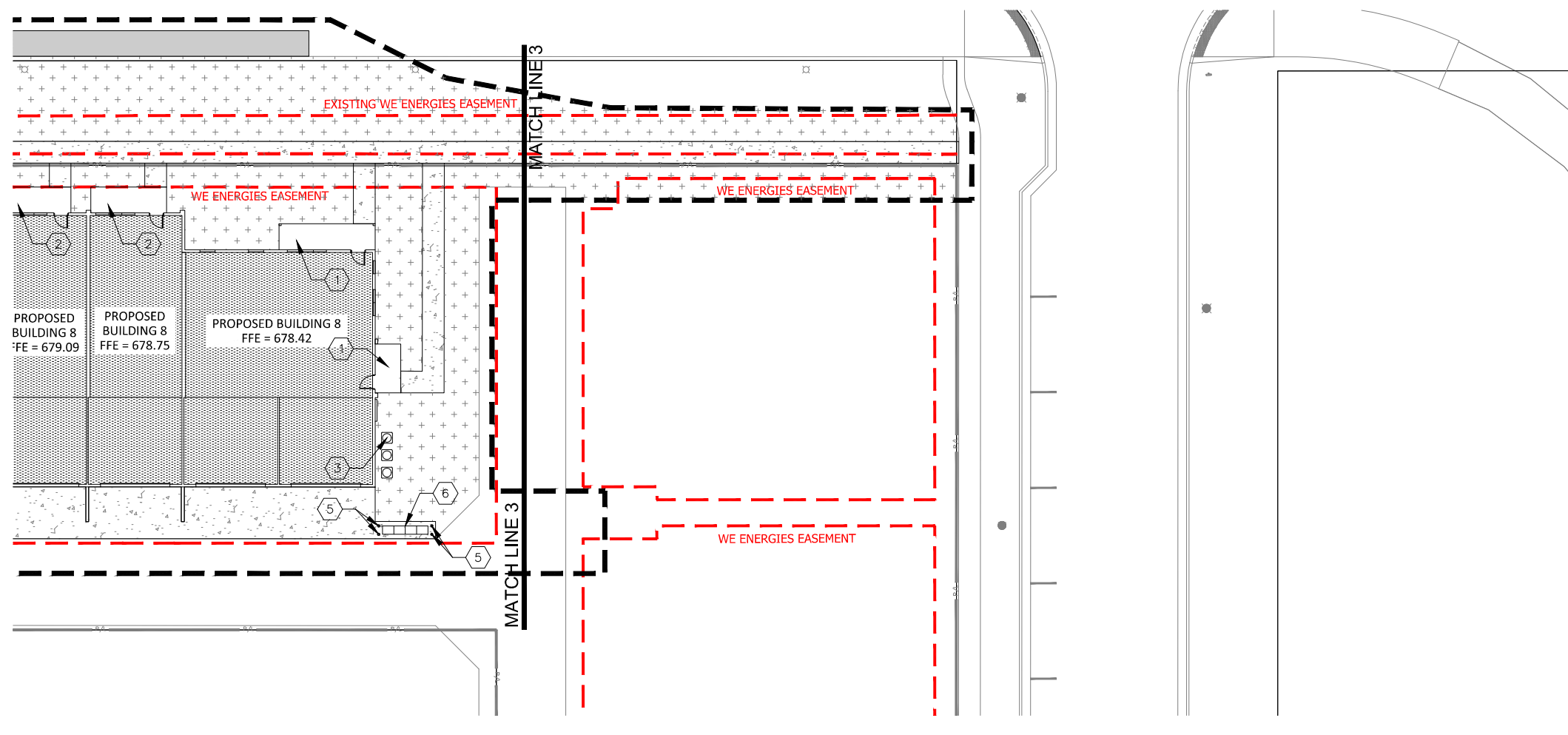
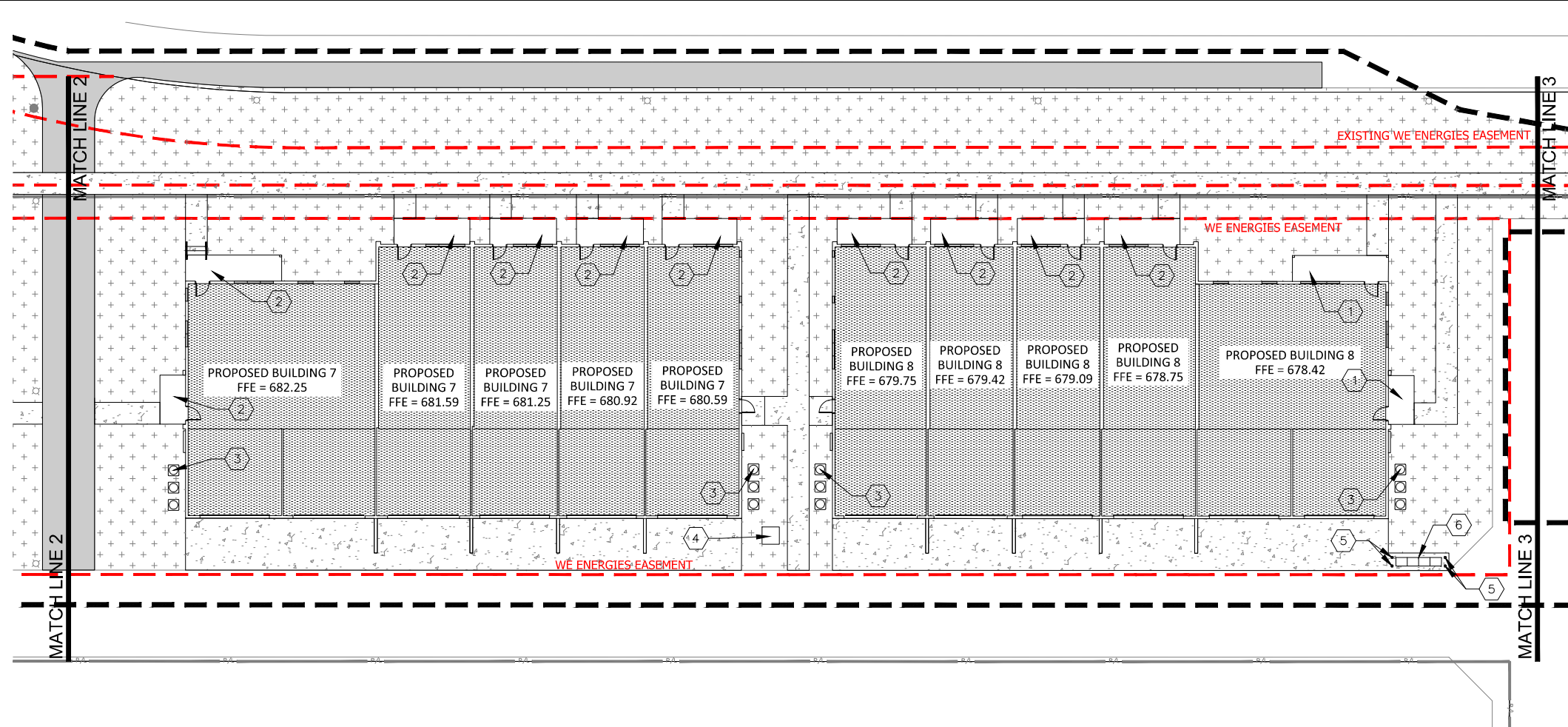
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 LAKESHORE
 COMMONS
 NORTH
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PARCEL —
 OAK CREEK WI 53134
 Date Issued: 03/14/2023
 RBNA project #: 201022
 Sheet Title
**SITE LAYOUT
 PLAN**

Sheet # **C102A**

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KEY PLAN
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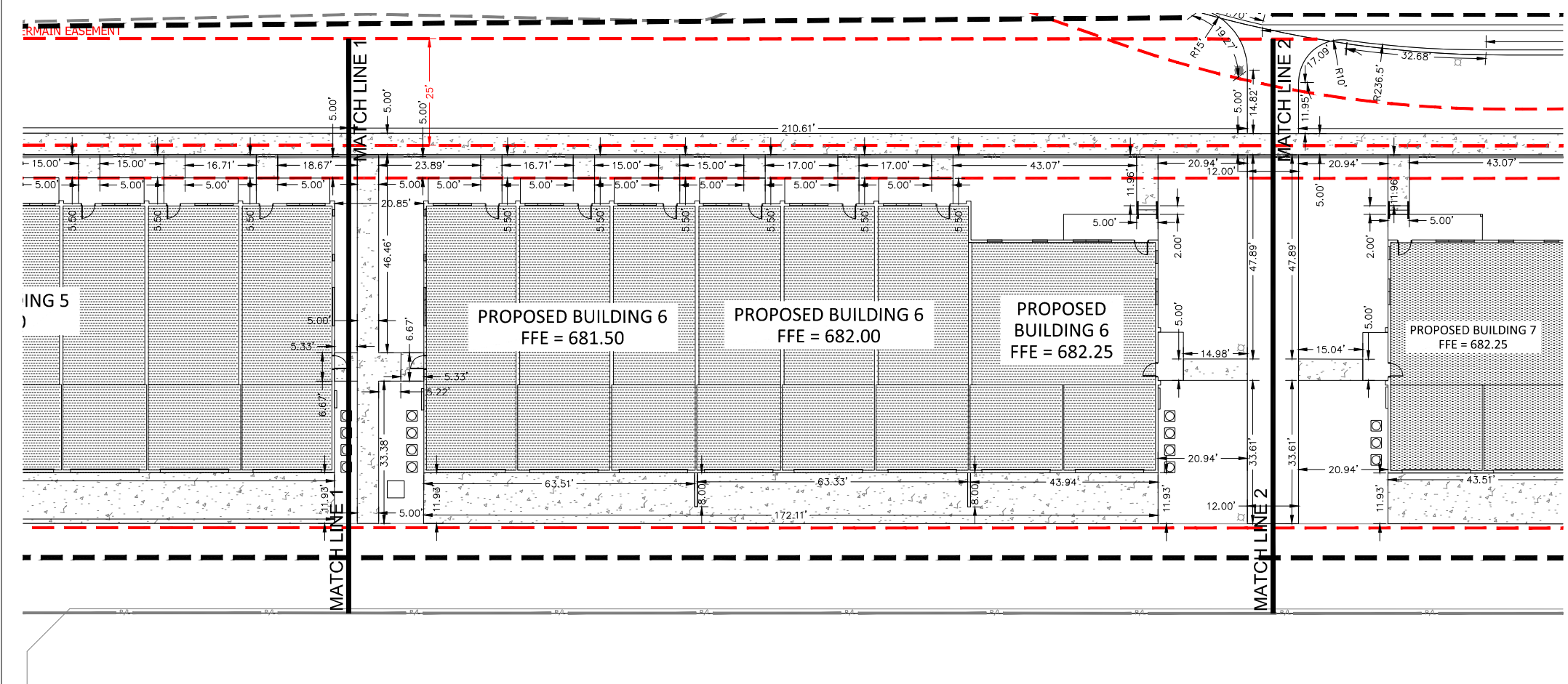
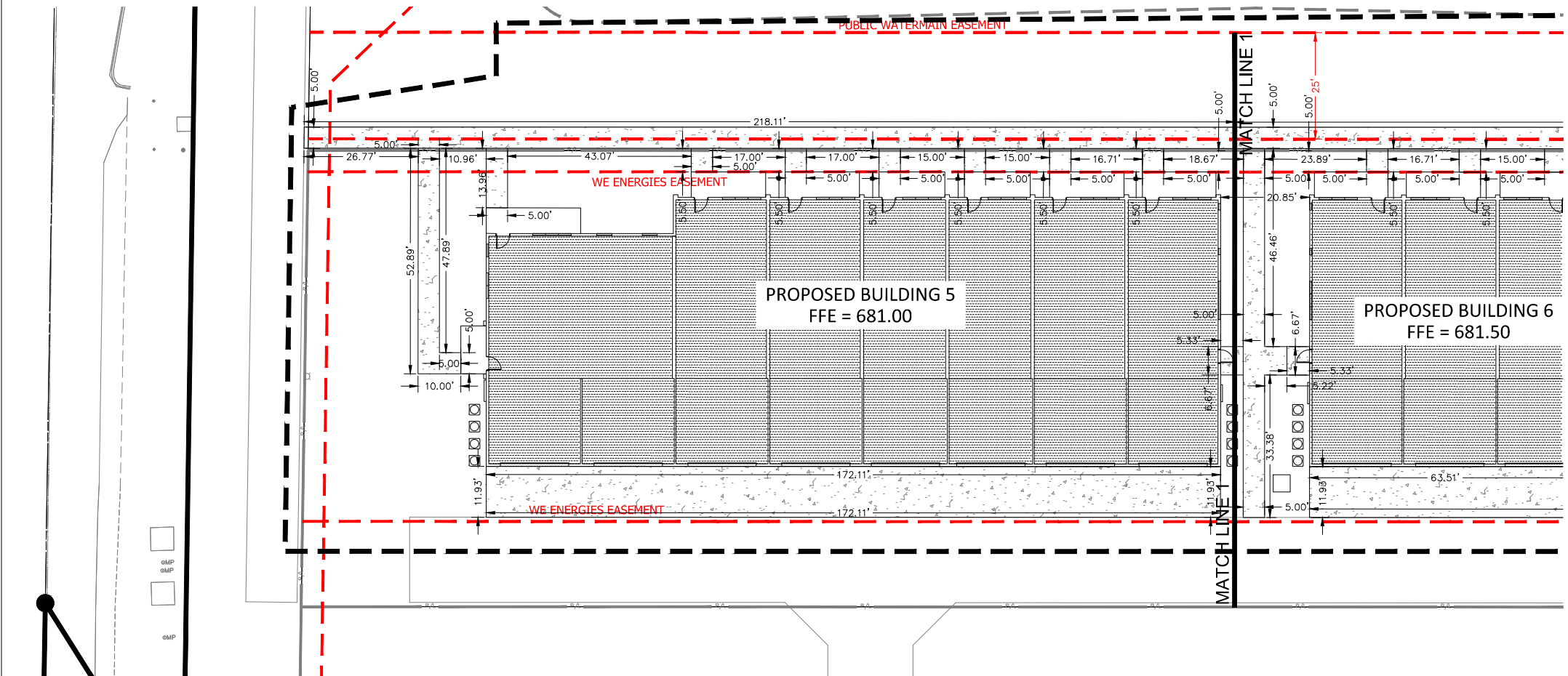
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PLAN COMMISSION
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**SITE LAYOUT
 PLAN**

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KEY INDEX

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KEY PLAN
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△ Revisions

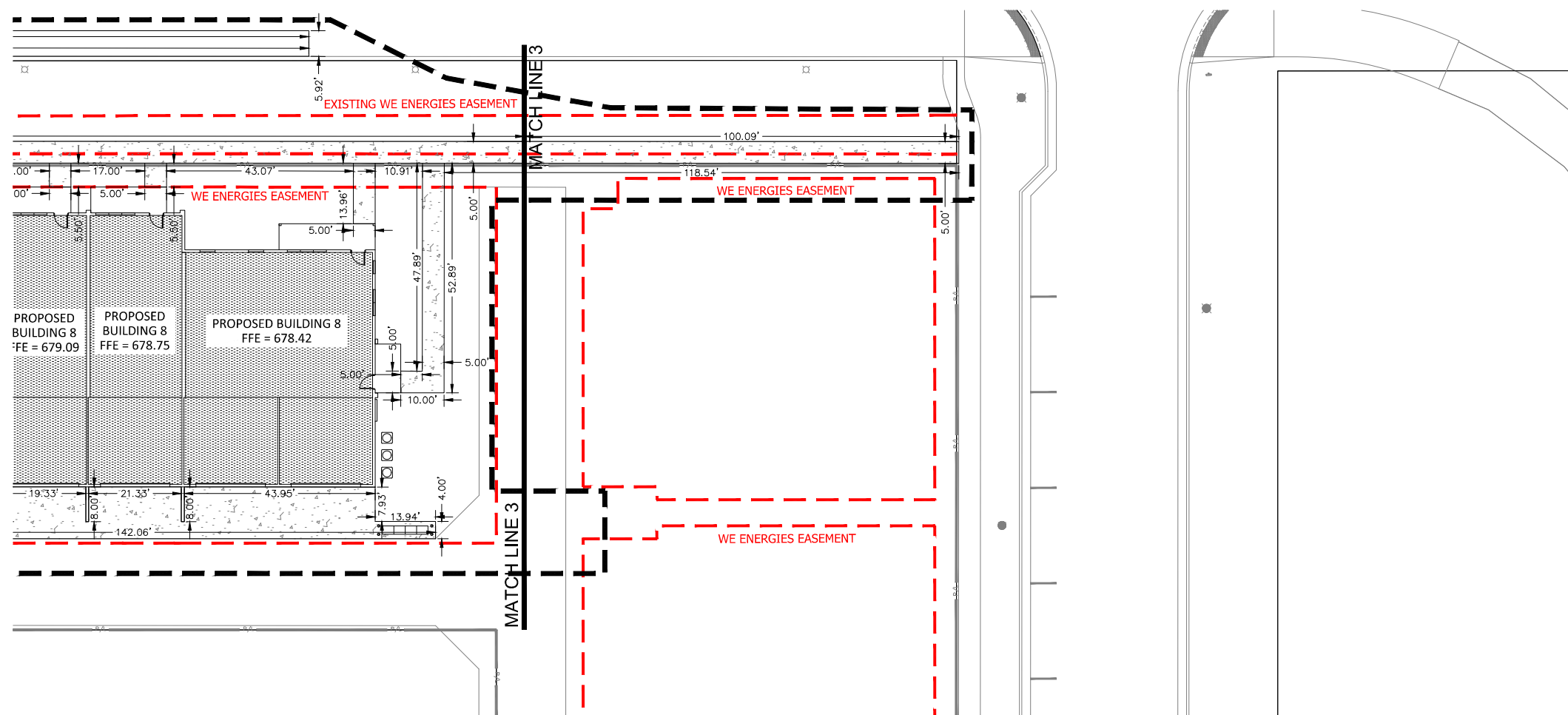
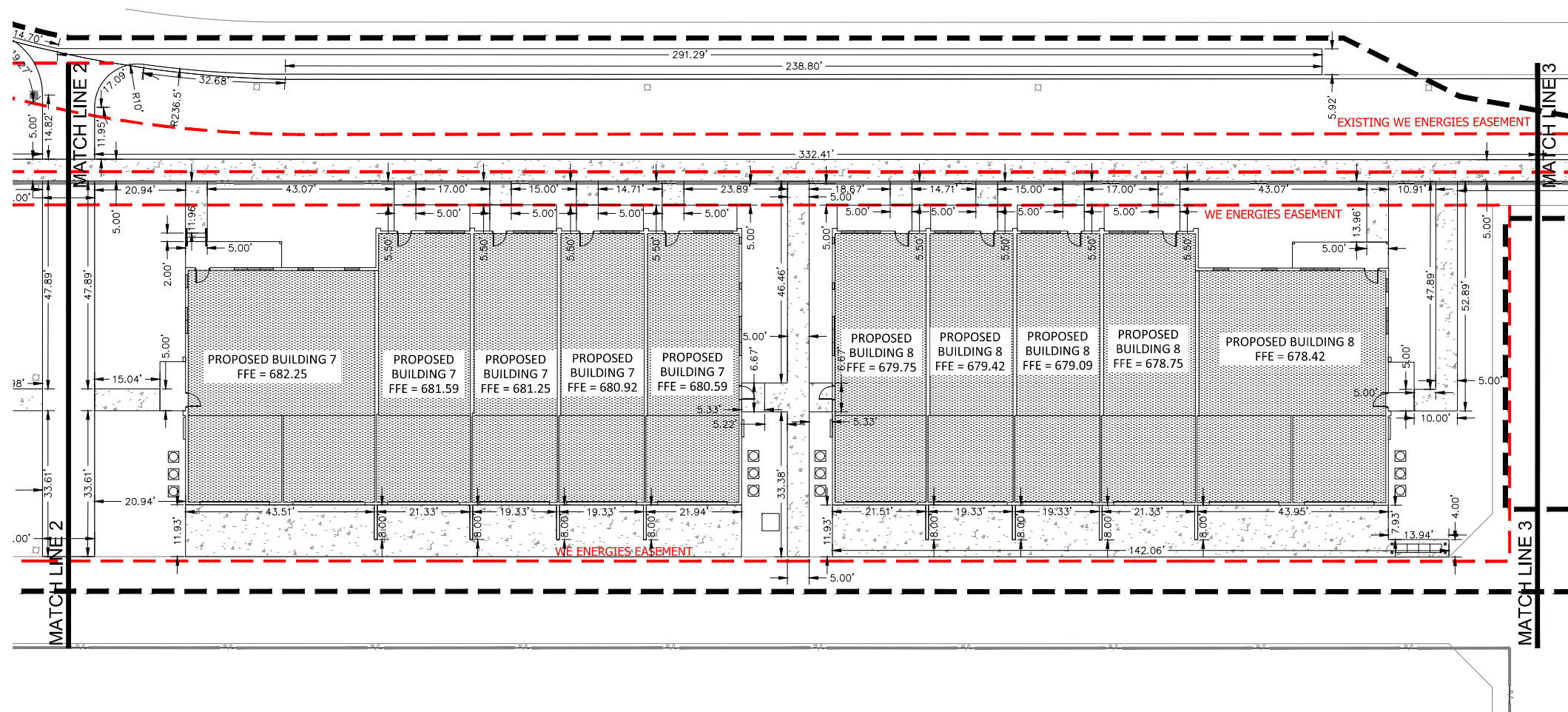
PLAN COMMISSION
 LAKESHORE
 COMMONS
 NORTH
 TOWNHOMES

PARCEL —
 OAK CREEK WI 53134
 Date Issued: 03/14/2023
 BRINKA project #: 201022
 Sheet Title:

SITE SIGNAGE &
 TRAFFIC
 CONTROL PLAN

Sheet # **C103A**

NOT FOR CONSTRUCTION



Scale: 1" = 10'

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 www.DiggersHotline.com

KEY INDEX

PROJECT LIMITS

ORINKA+
 225 North Milwaukee Street, Suite 200
 Milwaukee, Wisconsin 53202
 414.447.8151

kapur
 409 E. Wisconsin Ave.
 Milwaukee, Wisconsin 53202
 kapurinc.com

KEY PLAN
 NTS

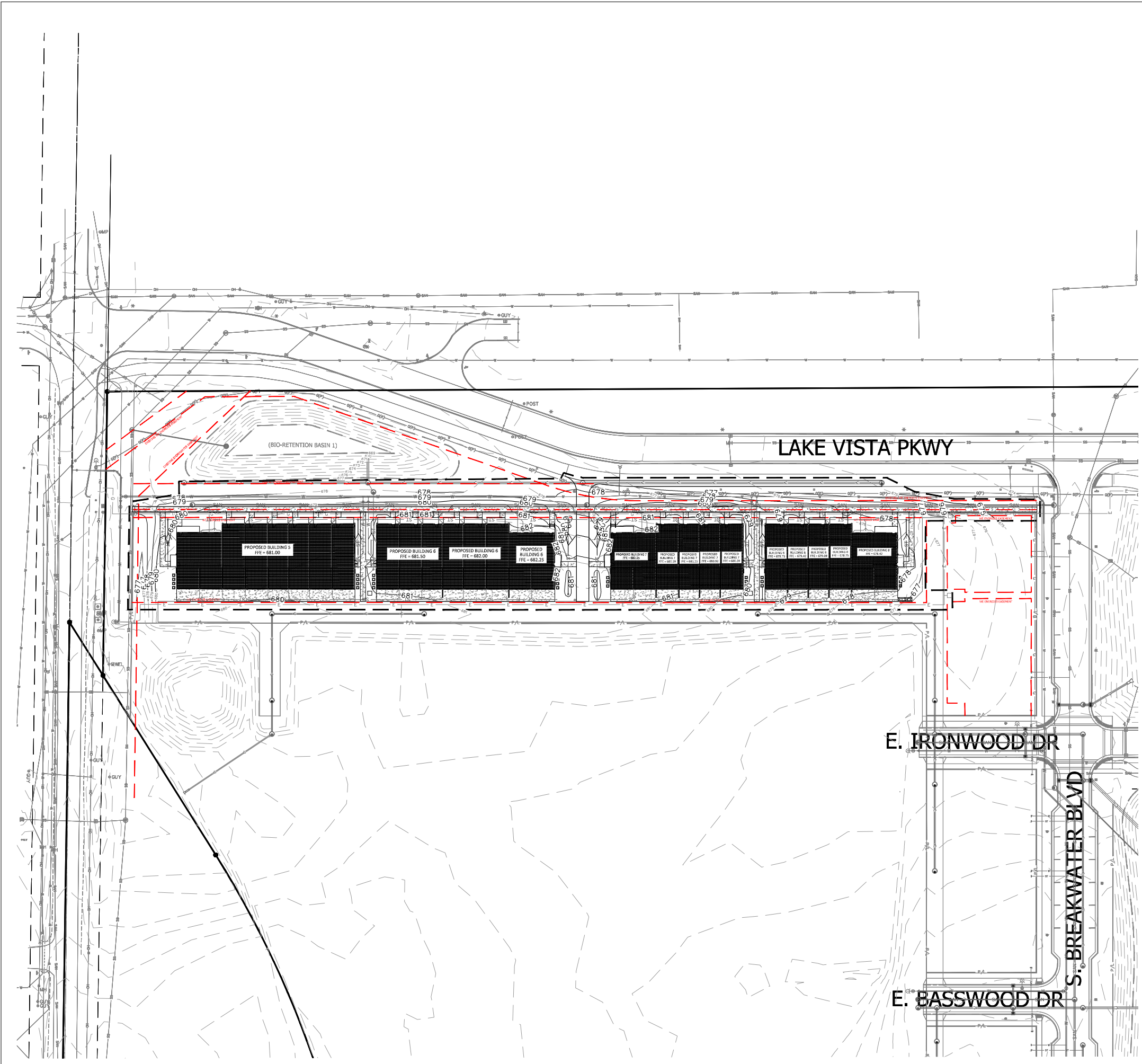
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 COMMONS
 NORTH
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PARCEL —
 OAK CREEK WI 53134
 Date Issued: 03/14/2023
 ORINKA project #: 201022
 Sheet Title
**SITE SIGNAGE &
 TRAFFIC
 CONTROL PLAN**

Sheet # **C103B**

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 Scale: 0 15 30 60
 Scale: 1" = 30'

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KEY INDEX

—	PROJECT LIMITS
- - -	EXISTING CONTOUR MINOR
- - -	EXISTING CONTOUR MAJOR
- - -	PROPOSED CONTOUR MINOR
- - -	PROPOSED CONTOUR MAJOR

KEY PLAN
 NTS

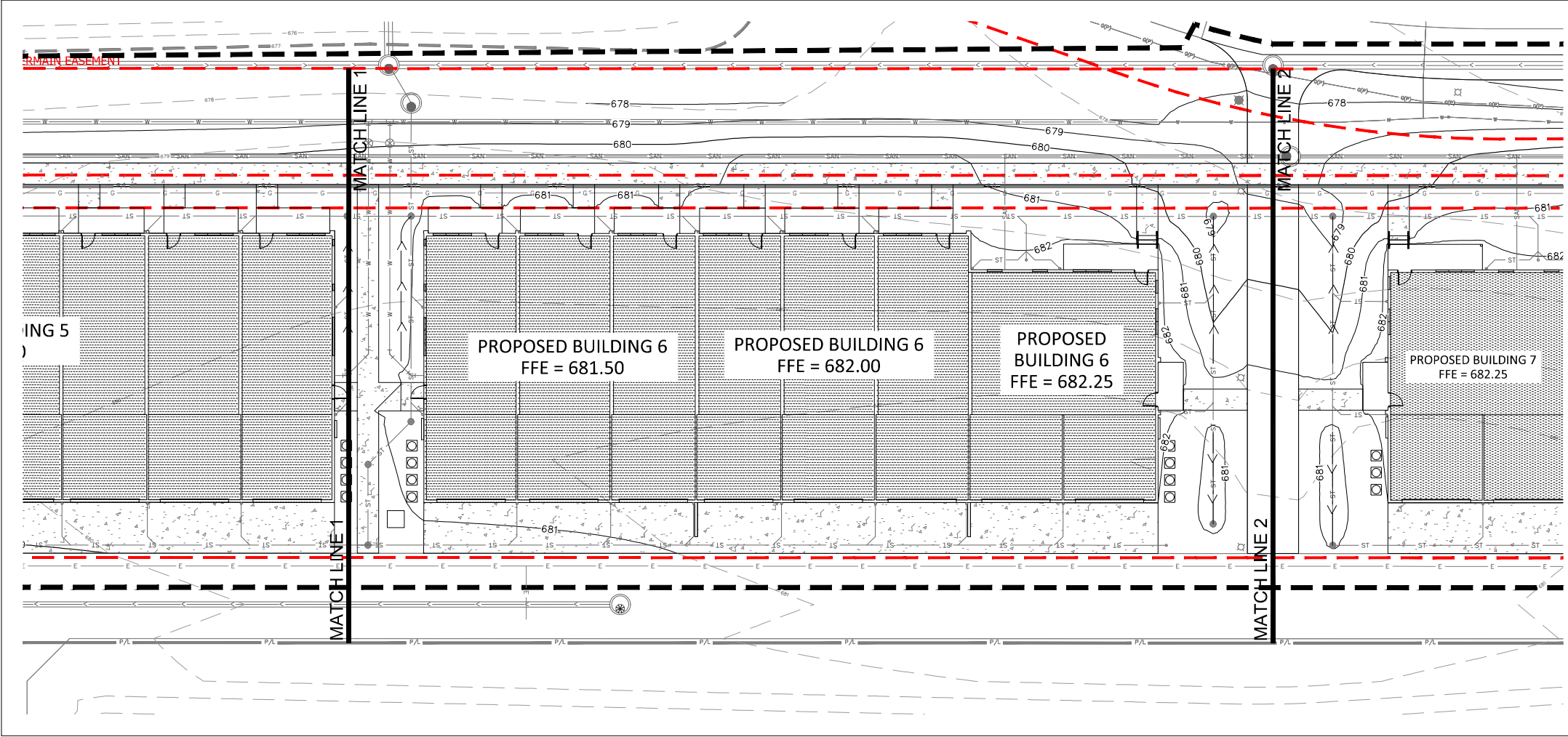
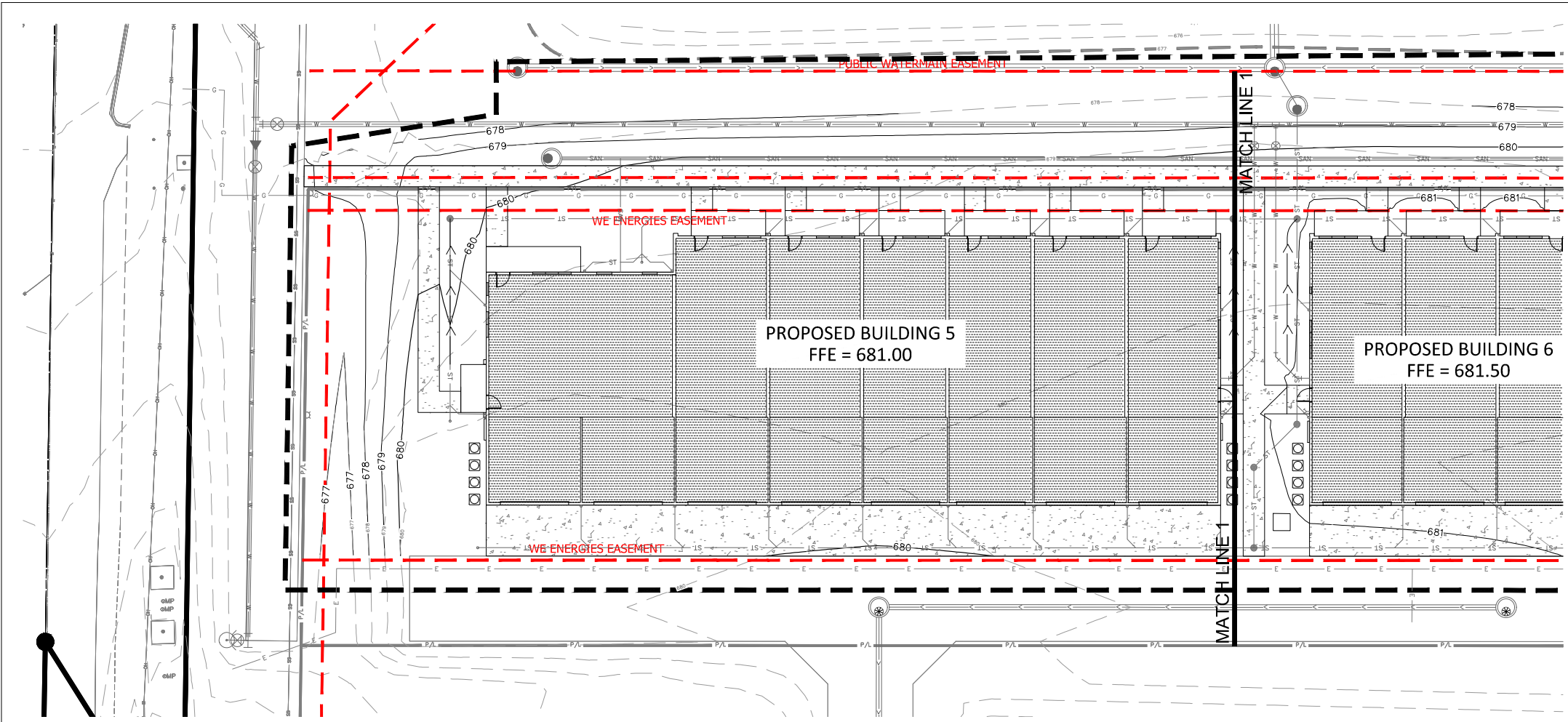
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PARCEL —
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 Date Issued: 03/14/2023
 ORINKA project #: 201022
 Sheet Title
**OVERALL SITE
 GRADING PLAN**

NOT FOR CONSTRUCTION

Sheet # **C104**



Scale: 1" = 10'

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KEY INDEX

- PROJECT LIMITS
- EXISTING CONTOUR MINOR
- EXISTING CONTOUR MAJOR
- PROPOSED CONTOUR MINOR
- PROPOSED CONTOUR MAJOR

KEY PLAN
 NTS

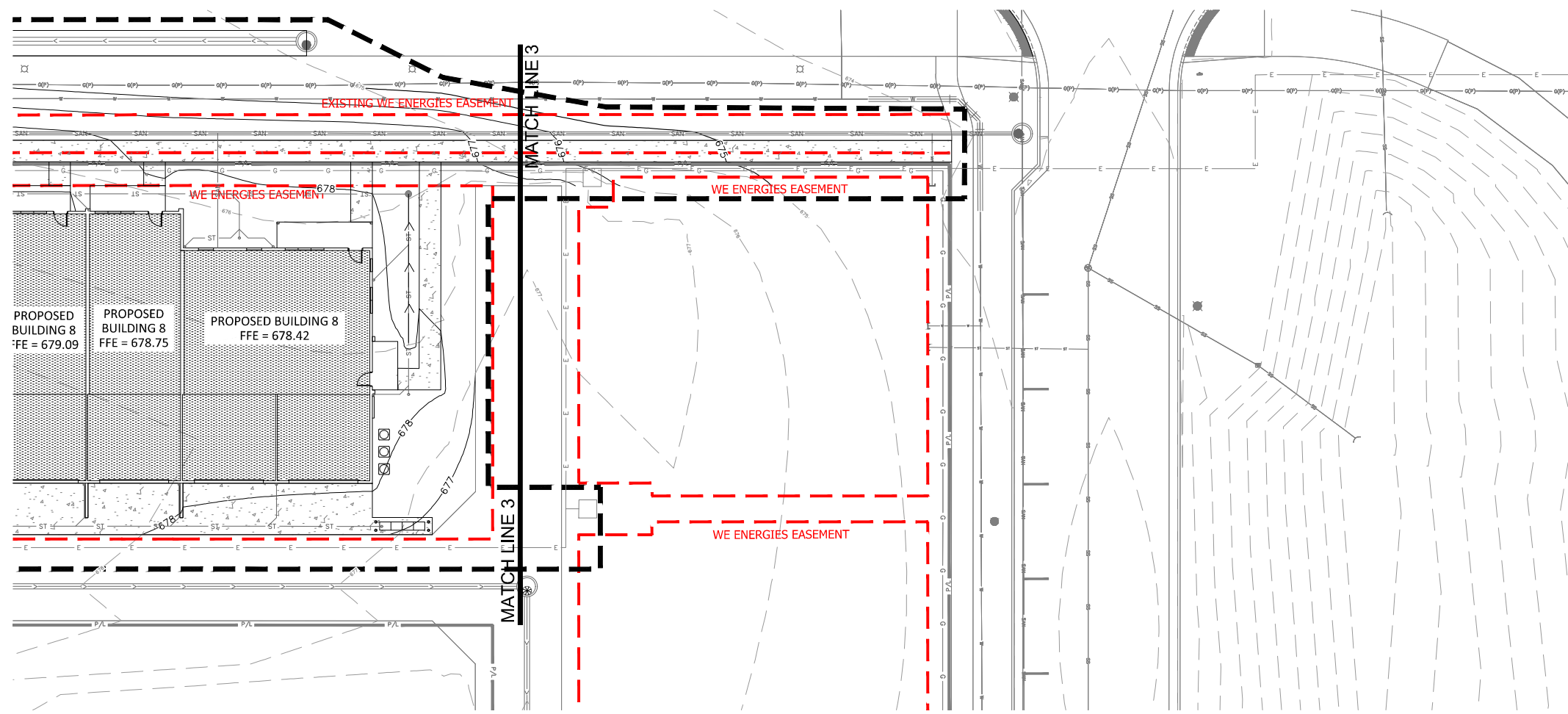
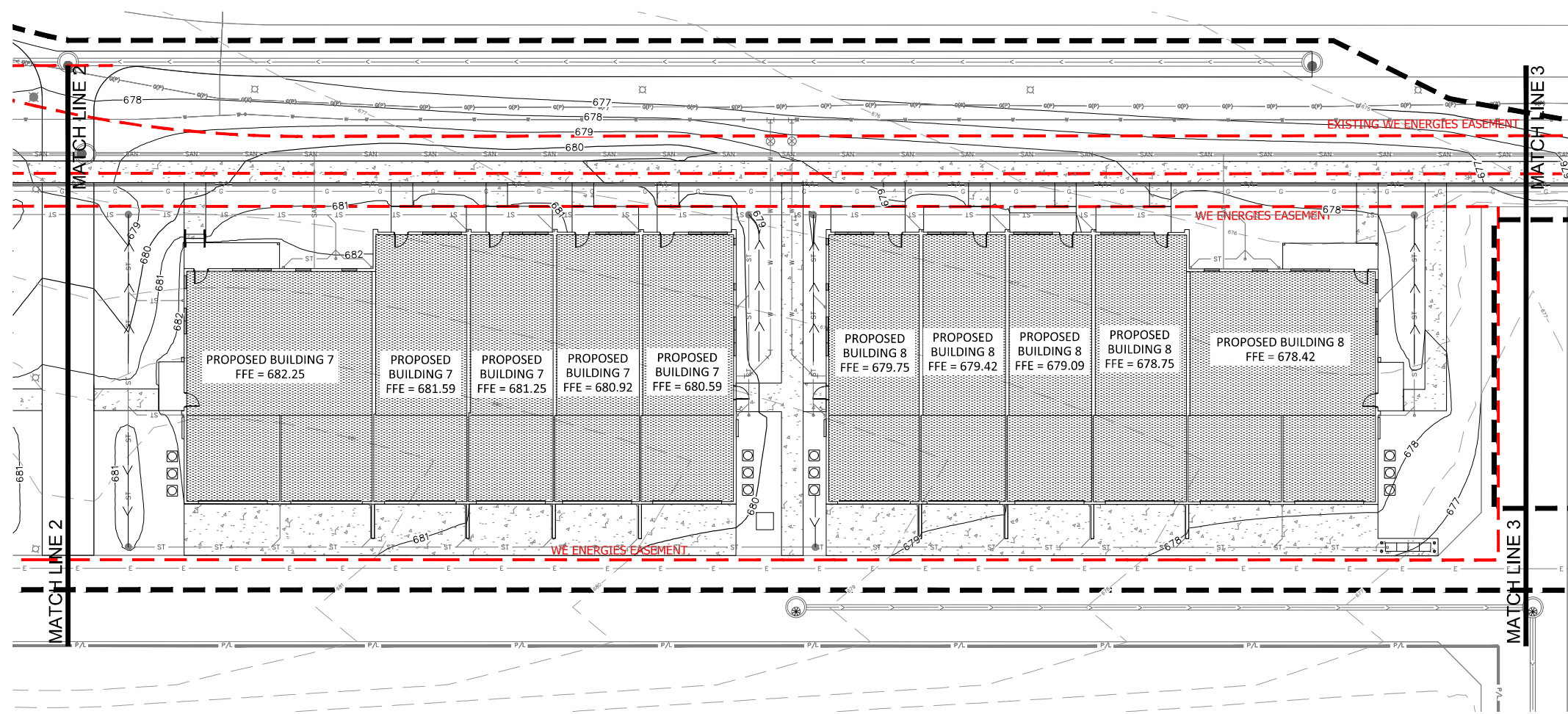
△ Revisions

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 COMMONS
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PARCEL —
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 Date Issued: 03/14/2023
 RBKA project #: 201022
 Sheet Title
**SITE GRADING
 PLAN**

NOT FOR CONSTRUCTION

Sheet # **C104A**



Scale: 1" = 10'

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KEY INDEX

- PROJECT LIMITS
- - - 679 - EXISTING CONTOUR MINOR
- - - 680 - EXISTING CONTOUR MAJOR
- - - 678 - PROPOSED CONTOUR MINOR
- - - 680 - PROPOSED CONTOUR MAJOR

KEY PLAN
 NTS

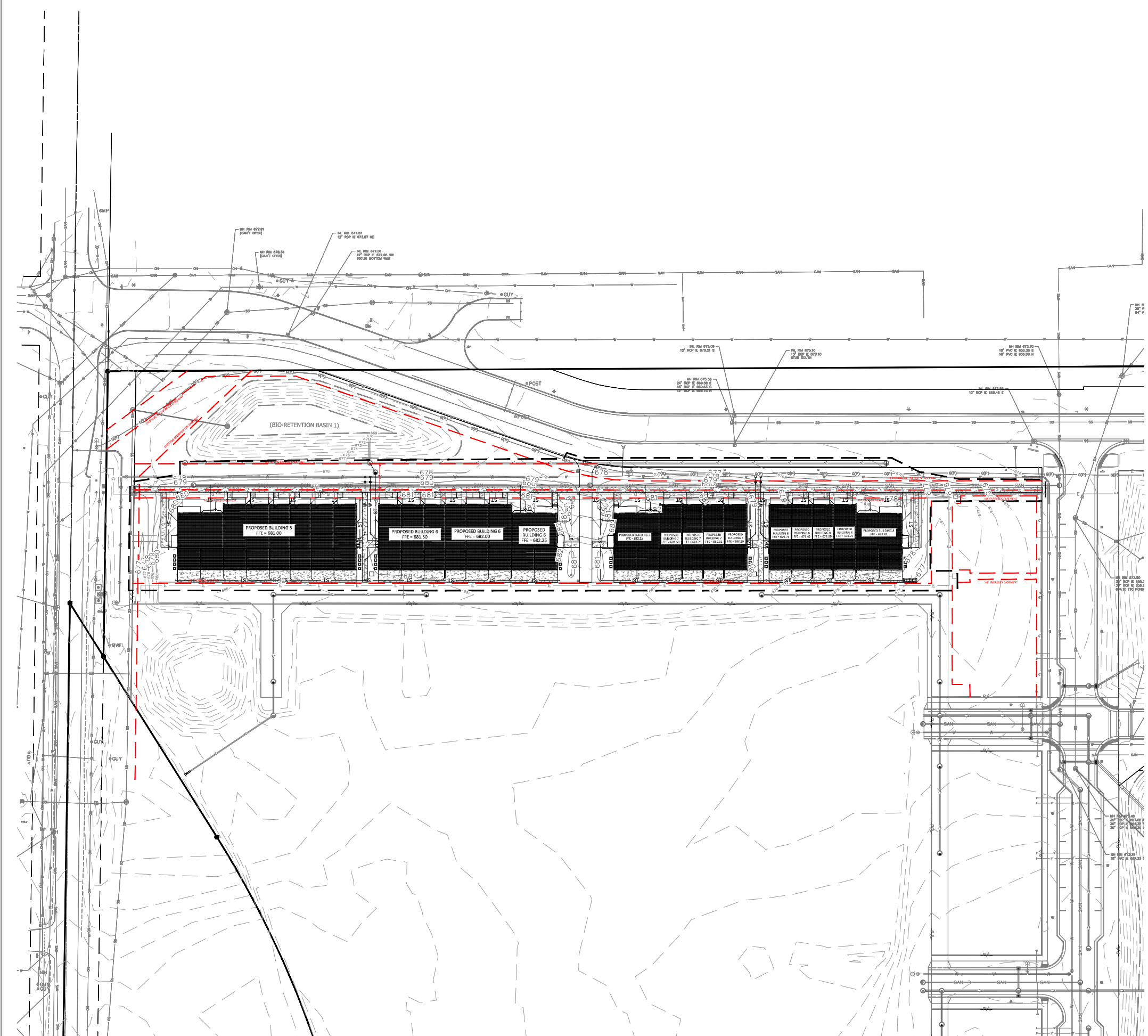
△ Revisions

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PARCEL —
 OAK CREEK WI 53134
 Date Issued: 03/14/2023
 ORINKA project #: 201022
 Sheet Title

**SITE GRADING
 PLAN**

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Scale: 1" = 30'

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KEY INDEX

—	PROJECT LIMITS
●	STORM MANHOLE
○	WATER MAIN VALVE
○	WATER MAIN TEE
○	WATER MAIN
—	STORM SEWER
—	SANITARY SEWER
—	WATER MAIN

KEY PLAN
 NTS

△ Revisions

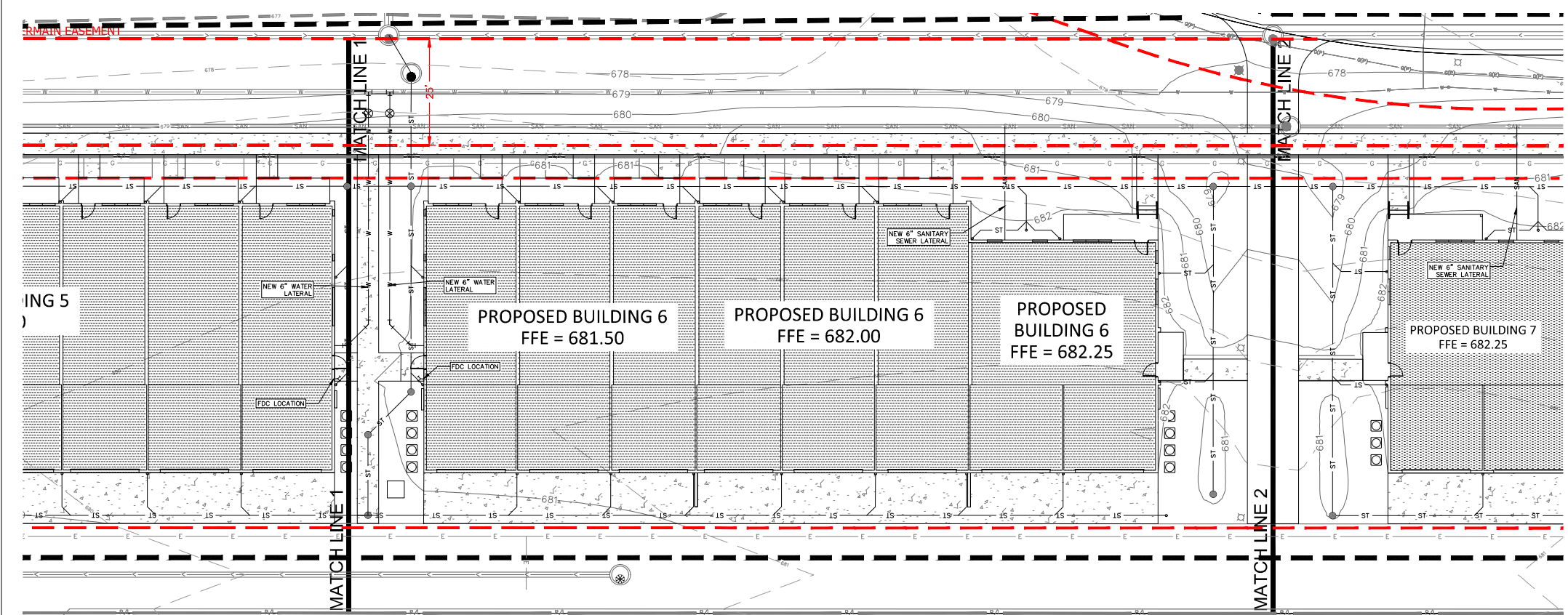
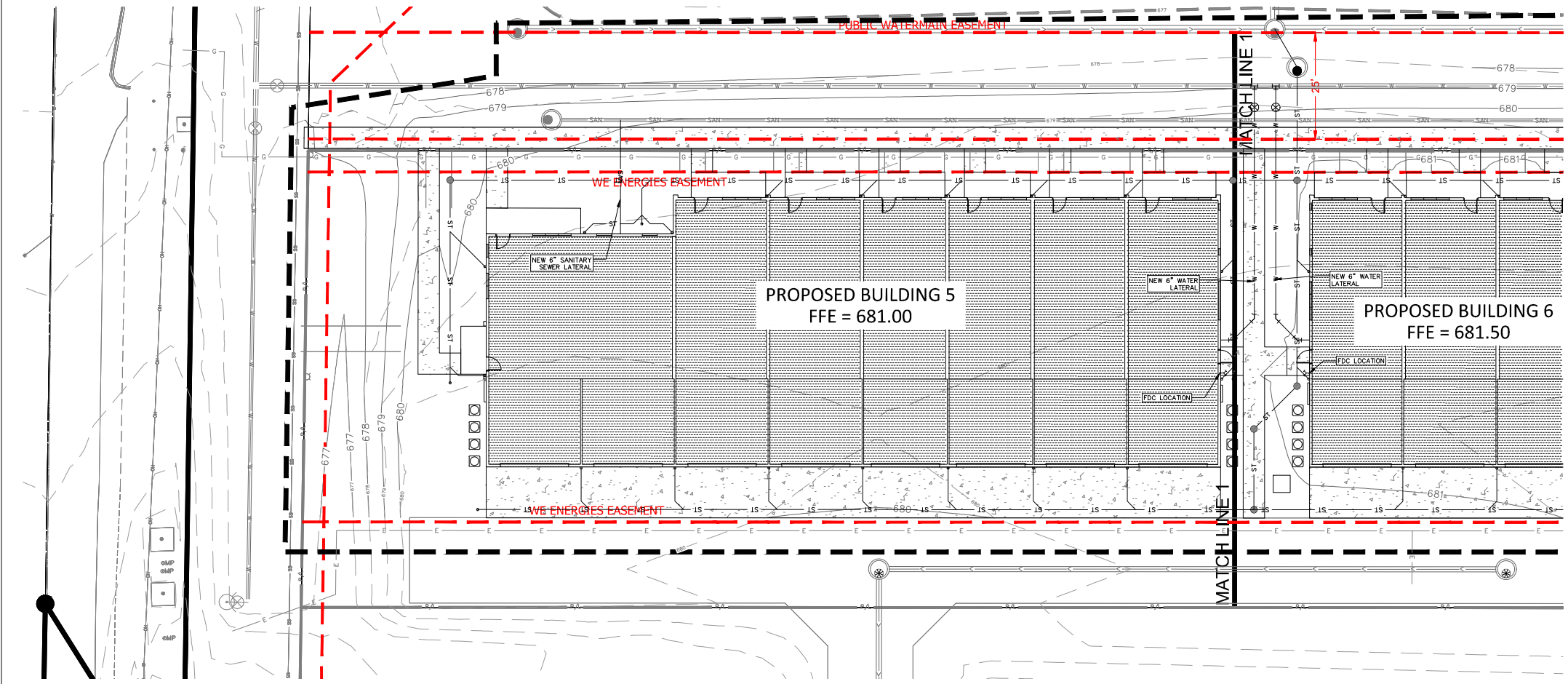
PLAN COMMISSION
 LAKESHORE COMMONS NORTH TOWNHOMES

PARCEL —
 OAK CREEK WI 53134
 Date Issued: 03/14/2023
 RINKA project #: 201022
 Sheet Title:
OVERALL SITE UTILITY PLAN
 Sheet # **C105**

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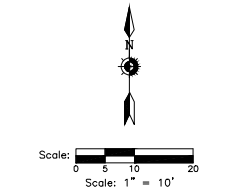
RINKA+
 726 North Milwaukee Street, Suite 200
 Milwaukee, Wisconsin 53202
 414.431.8151

kapur
 400 E. Wisconsin Ave.
 Milwaukee, Wisconsin 53202
 kapurinc.com



KEY INDEX

	PROJECT LIMITS
	STORM MANHOLE
	NYLOPLAST DRAIN
	WATER MAIN TEE
	WATER MAIN VALVE
	STORM SEWER
	SANITARY SEWER
	WATER MAIN



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KEY PLAN
 NTS

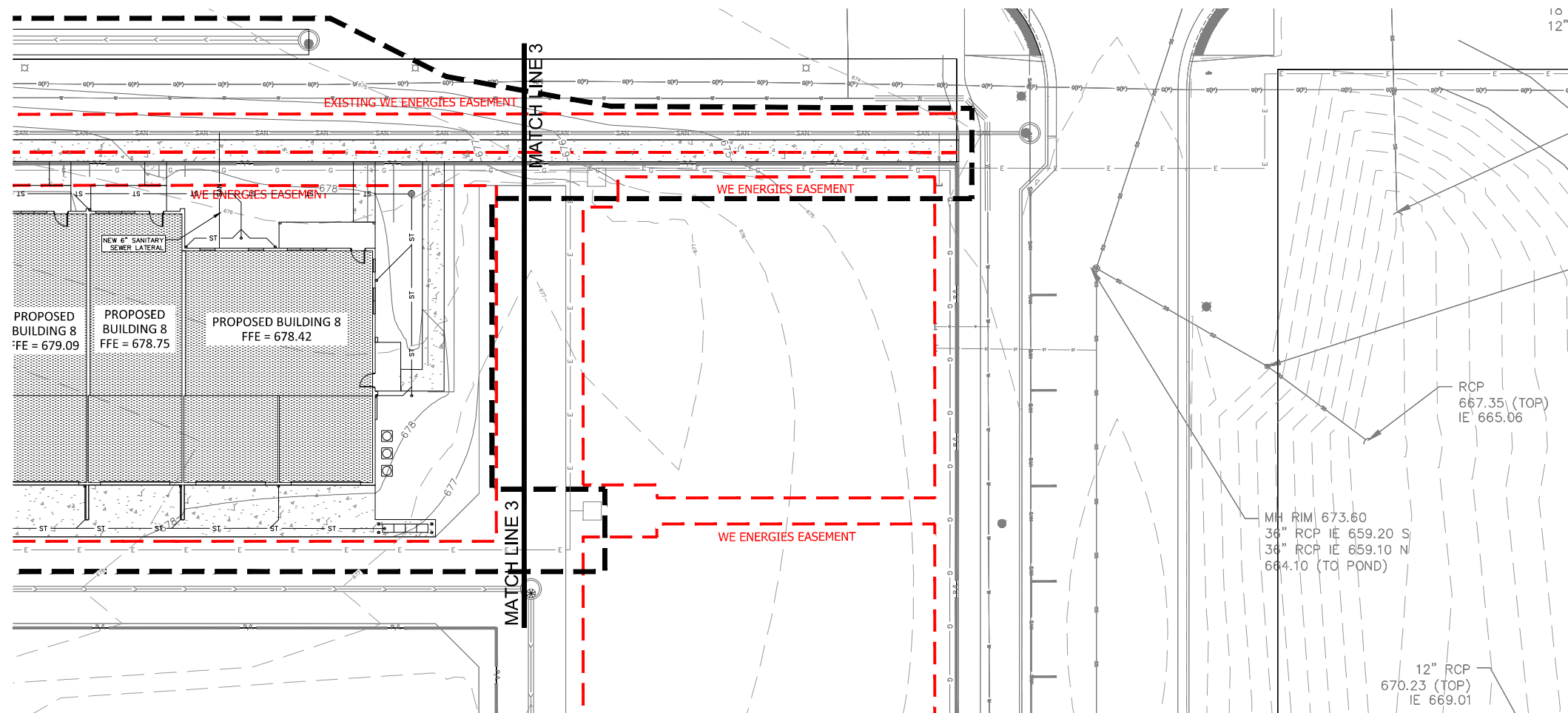
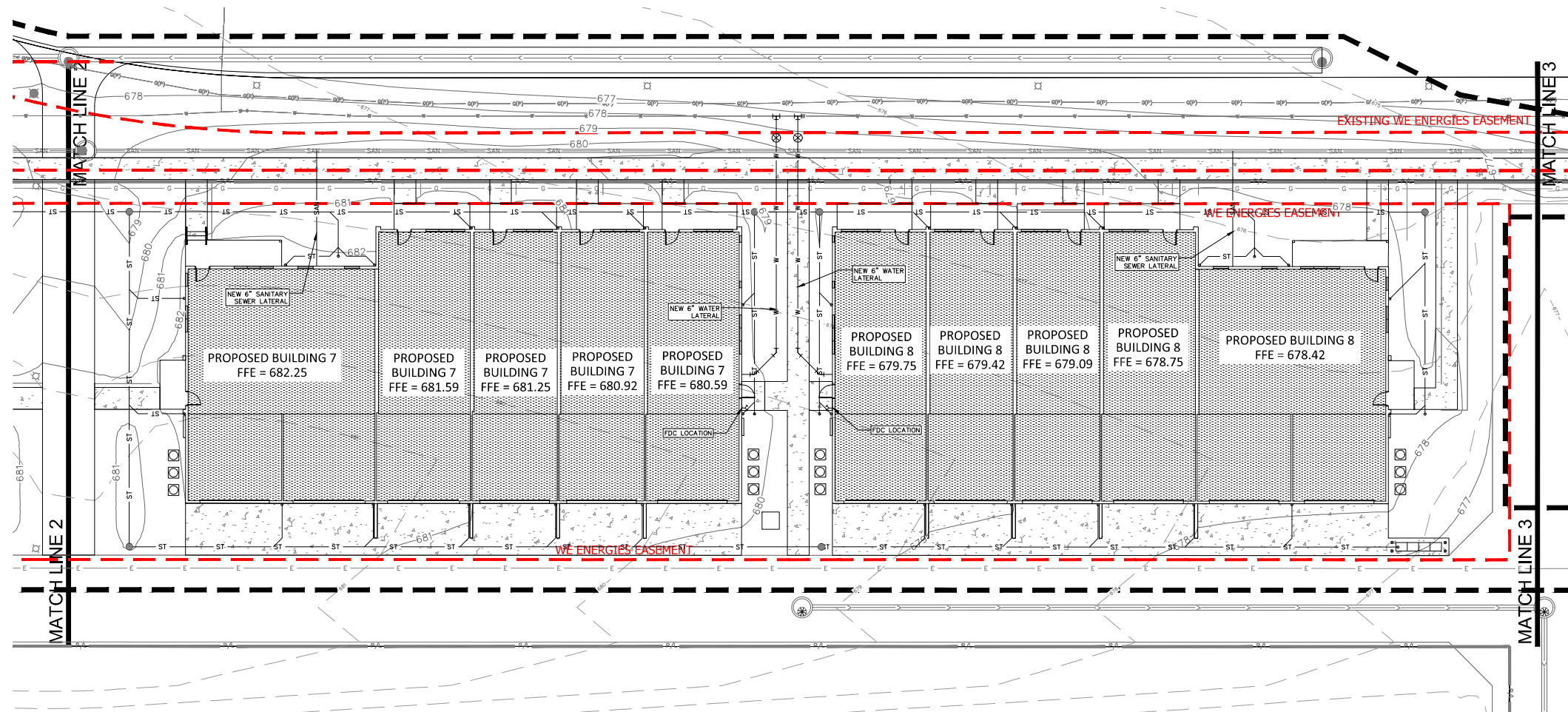
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PARCEL —
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 Date Issued: 03/14/2023
 BRINKA project #: 201022
 Sheet Title
**SITE UTILITY
 PLAN**

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Sheet # **C105A**



Scale: 1" = 10'

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10' F
 12" F

KEY INDEX

---	PROJECT LIMITS
○	STORM MANHOLE
●	NYLOPLAST DRAIN
⊥	WATER MAIN TEE
⊗	WATER MAIN VALVE
---	STORM SEWER
---	SANITARY SEWER
---	WATER MAIN

KEY PLAN
 NTS

△ Revisions

PLAN COMMISSION
 LAKESHORE
 COMMONS
 NORTH
 TOWNHOMES

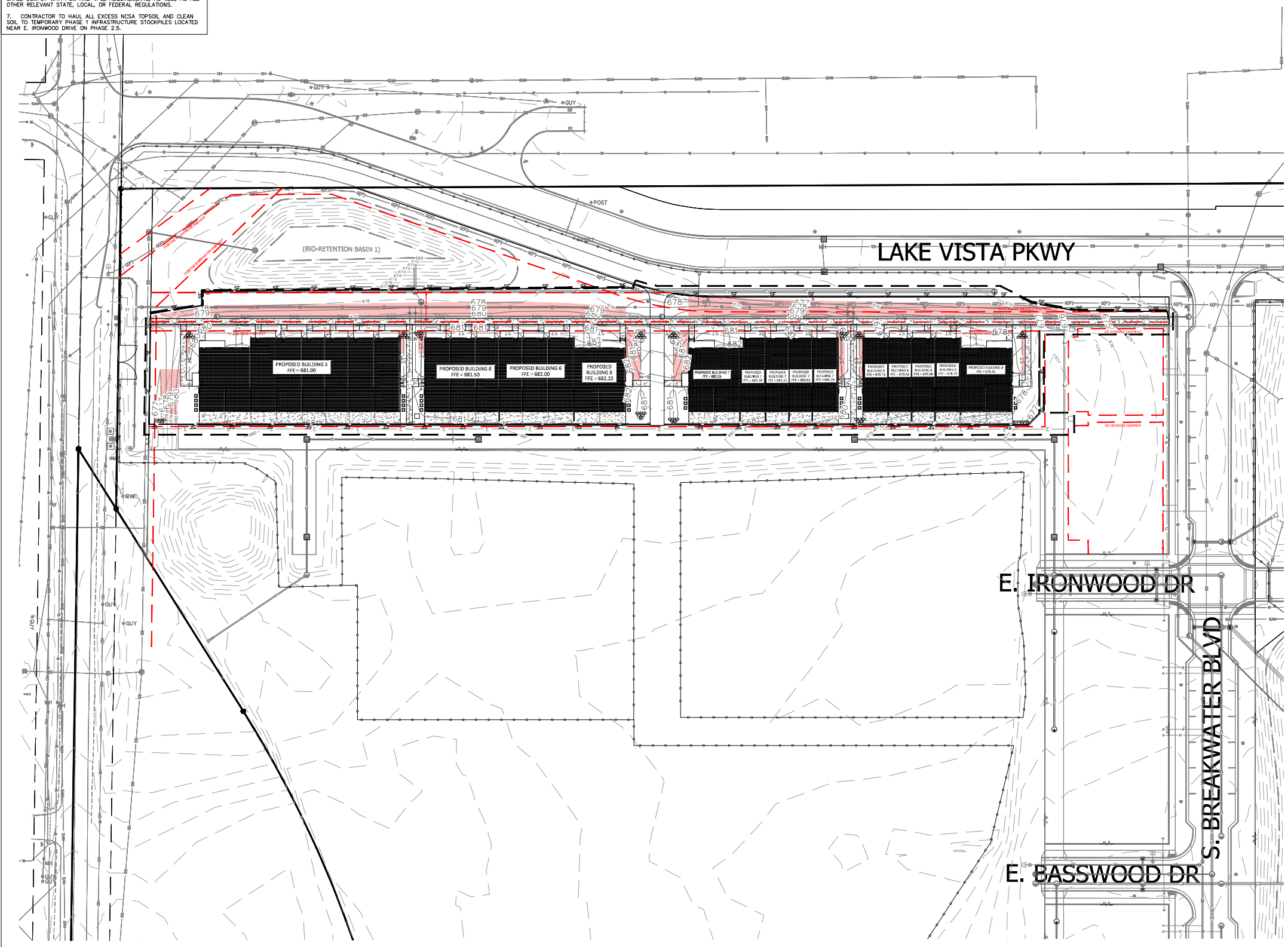
PARCEL —
 OAK CREEK WI 53134
 Date Issued: 03/14/2023
 ORINKA project #: 201022
 Sheet Title
**SITE UTILITY
 PLAN**

Sheet # **C105B**

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GENERAL NOTES

1. THE CONTRACTOR SHALL PLACE AN ORANGE FABRIC BARRIER LAYER ON TOP OF THE EXISTING CAP PRIOR TO ANY STOCKPILING ACTIVITY COMMENCES. PLACEMENT OF THIS ORANGE BARRIER SHALL BE SURVEYED IN THREE DIMENSIONS, AND WRITTEN AND PHOTOGRAPHIC DOCUMENTATION PROVIDED BY GEP IN THE FIELD, USING VISUAL METHODS IN ADDITION TO THE SURVEY DOCUMENTATION.
2. MEASURES TO ENSURE PROPER SEPARATION AND HANDLING OF MATERIAL SHALL BE OBSERVED BY VISUAL INSPECTION IN THE FIELD TO AN EXTERNAL PERSON WHO DOES NOT HAVE ACCESS TO SURVEY OR GPS, AND INCLUDE DOCUMENTATION MEASURES THAT WILL:
 - A. THE CONSTRUCTION WILL NOT VIOLATE THE VPLE BY ENLARGING THE AREA OF CONTAMINATION (EG, THE IMPACTED MATERIAL CANNOT BE PUSHED OR DEPOSITED OVER THE BOUNDARY INTO THE CLEAN MATERIAL.)
 - B. OBSERVATION AND WRITTEN/PHOTO DOCUMENTATION BY A CERTIFIED GEP IS MAINTAINED AND PROVIDED SO THAT THE CLEAN MATERIAL REMAINS CERTIFIED AND DOCUMENTED AS CLEAN, IN A MANNER THAT ENSURES THIS MATERIAL CAN BE BOTH USED IN THE FUTURE AS CLEAN FILL AND STOCKPILED ABOVE THE EXISTING CAP AS "CLEAN", WHICH IS REQUIRED FOR CONTINUED COMPLIANCE WITH THE VPLE REQUIREMENTS, ESPECIALLY FOR ANY USE OR STOCKPILE ON THE PHASE 2.5 CAP.
4. ALL IMPORTED FILL SHALL BE EVALUATED WITH RESPECT TO ORIGIN AND POTENTIAL SOURCES OF CONTAMINATION AND TESTED IN ACCORDANCE WITH NR 718, BY THE DEVELOPER'S GEP PER THE SMP, BMP, AND PCM. THE CITY OF OAK CREEK GEP WILL REVIEW THE SAMPLING AND PROPOSED IMPORT AND WILL SUBMIT TO WORK FOR APPROVAL OF SOIL IMPORT. NO SOIL WILL BE TRANSPORTED TO OR PLACED ON THE SITE WITHOUT PRIOR APPROVAL BY MONR.
5. THE CONTRACTOR SHALL USE CHAIN OF CUSTODY TICKETS FOR IMPORTS OF ANY MATERIALS THAT WILL BE USED ON THE SITE.
6. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL WORK SHALL COMPLY WITH PCM AND VPLE REQUIREMENTS, AS WELL AS ALL OTHER RELEVANT STATE, LOCAL, OR FEDERAL REGULATIONS.
7. CONTRACTOR TO HAUL ALL EXCESS NCSA TOPSOIL AND CLEAN SOIL TO TEMPORARY PHASE 1 INFRASTRUCTURE STOCKPILES LOCATED NEAR E. IRONWOOD DRIVE ON PHASE 2.5.



Scale: 1" = 30'

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 www.DiggersHotline.com

EROSION NOTES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, UNLOADING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION, THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT AND REPORT DAMAGE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WRITES FORMS SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

LAND OWNER:
 E.L. HERR DEVELOPMENT GROUP
 124 N. 5TH STREET, SUITE 200
 MILWAUKEE, WI 53203
 414-477-6334

PROJECT ENGINEER:
 KEVIN BRONKHORST, P.E.
 KAPUR & ASSOCIATES, INC.
 400 E. WISCONSIN AVENUE, SUITE 400
 MILWAUKEE, WI 53202
 (414) 758-7426

CONSTRUCTION MANAGER:
 TBO

KEY INDEX

- PROJECT LIMITS
- INSTALL EROSION MAT ON ALL SLOPES GREATER THAN 4:1 AND ALL DRAINAGE SWELLS
- USE CLASS I, TYPE A FROM BRIDOT PRODUCT APPROVED LIST FOR ALL SIDE SLOPES
- USE CLASS II, TYPE B FOR ALL DRAINAGE SWELLS. INSTALL EROSION MAT ON THE BOTTOM OF AND A MINIMUM OF 2 FEET VERTICALLY UP THE SIDE SLOPES OF ALL DRAINAGE SWELLS. CLASS I, TYPE A MAY BE USED FOR THE REMAINDER OF THE SIDE SLOPES IF DRAINAGE SWELLS EXCEEDING 2 FEET VERTICALLY.
- EXISTING CHAIN LINK CONSTRUCTION FENCE PER SITE INFRASTRUCTURE CONTRACTOR. CONTRACTOR TO COORDINATE ANY FENCE ADJUSTMENTS WITH SITE INFRASTRUCTURE CONTRACTOR. IF FENCE IS REMOVED CONTRACTOR TO INSTALL NEW FENCE IN SAME LOCATION.
- NEW FILTER FABRIC FENCE
- TRIANGULAR SILT DRES
- DESIGNATES PROPOSED INLETS THAT MUST BE PROTECTED AFTER THEY HAVE BEEN CONSTRUCTED.
- DESIGNATES EXISTING INLETS THAT MUST BE PROTECTED

KAPUR
 400 E. Wisconsin Ave.
 Milwaukee, Wisconsin 53202
 kapurinc.com

KEY PLAN
 NTS

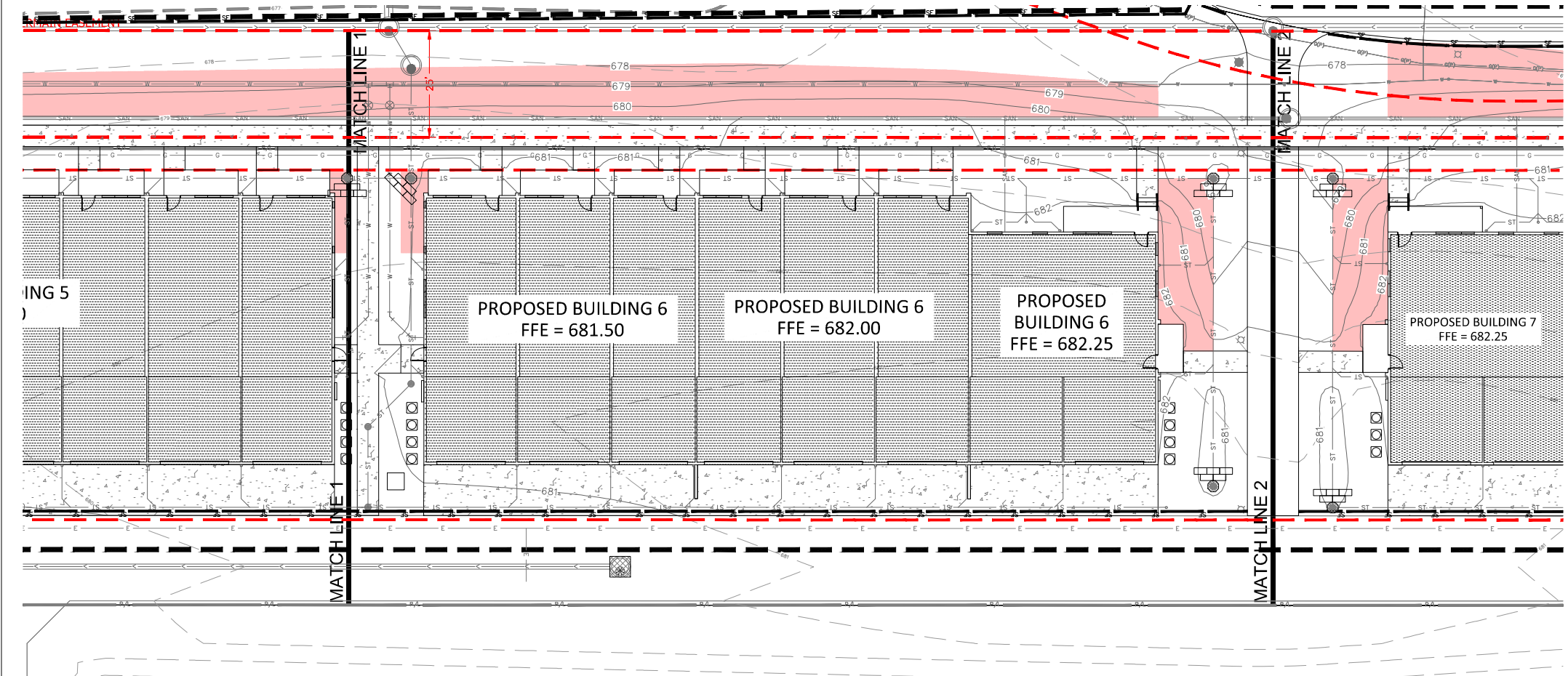
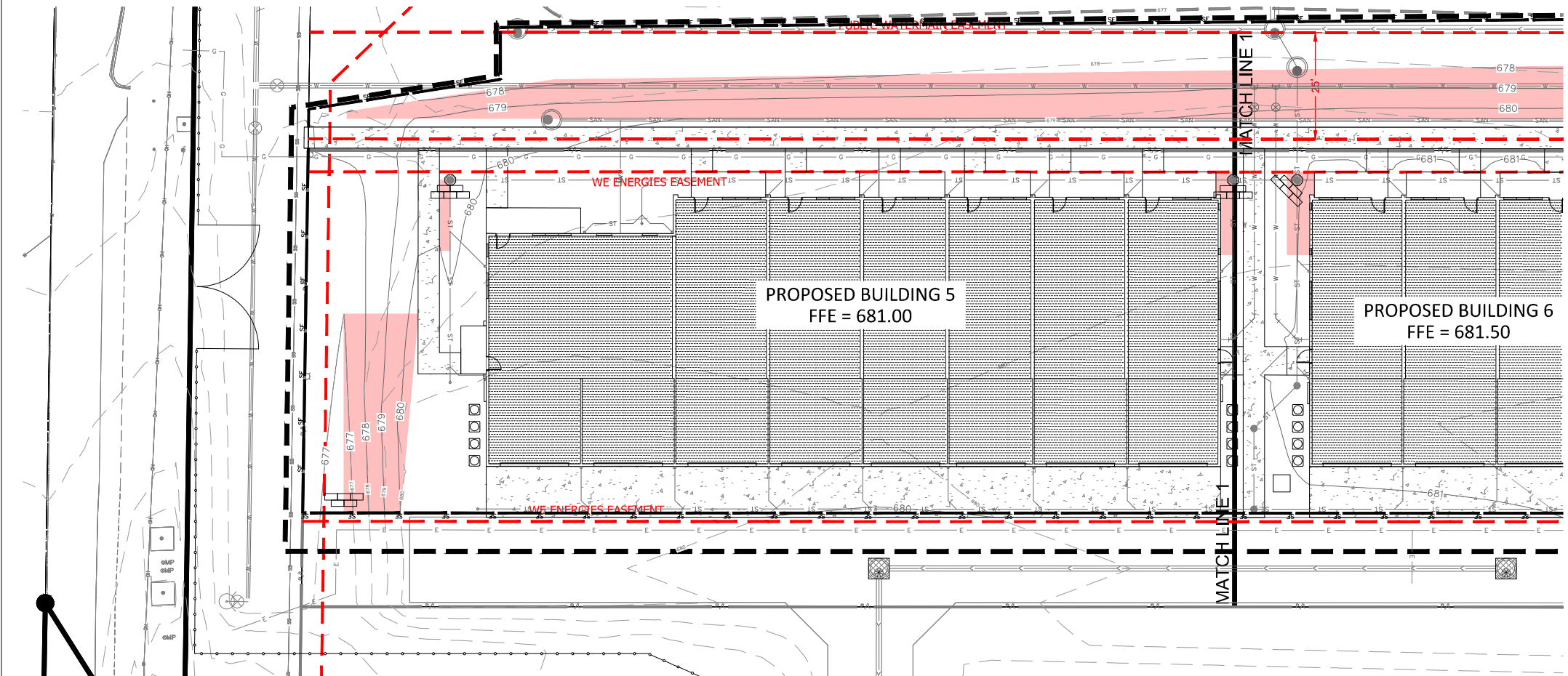
△ Revisions

PLAN COMMISSION
 LAKESHORE COMMONS NORTH TOWNHOMES

PARCEL —
 OAK CREEK WI 53134
 Date Issued: 03/14/2023

RINKA project #: 201022
 Sheet Title
OVERALL SITE EROSION CONTROL PLAN
 Sheet # **C106**

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Scale: 1" = 10'

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EROSION NOTES

RESPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, UNLOADING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND REPAIRS IMMEDIATELY UPON OCCURRENCE AND REPAIRS SHALL BE COMPLETED WITHIN 24 HOURS OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND NOTES FORMS SHALL BE KEPT IN AN ACCESSIBLE LOCATION, LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

LAND OWNER:
E.L. HERB DEVELOPMENT GROUP
124 N. 5TH STREET, SUITE 200
MILWAUKEE, WI 53203
414-477-6348

PROJECT ENGINEER:
RYAN HENNINGER, INC.
KAPUR & ASSOCIATES, INC.
400 E. WISCONSIN AVENUE, SUITE 400
MILWAUKEE, WI 53202
414-278-7476

CONSTRUCTION MANAGER:
TBO

KEY INDEX

PROJECT LIMITS
INSTALL EROSION MAT ON ALL SLOPES GREATER THAN 4:1 AND ALL DRAINAGE SWALES
USE CLASS I, TYPE A FROM WIDEST PRODUCT APPROVED LIST FOR ALL SIDE SLOPES
USE CLASS II, TYPE B FOR ALL DRAINAGE SWALES. INSTALL EROSION MAT ON THE BOTTOM OF AND A MINIMUM OF 2 FEET VERTICALLY UP THE SIDE SLOPES OF ALL DRAINAGE SWALES. CLASS I, TYPE A MAY BE USED FOR THE REMAINDER OF THE SIDE SLOPES IF DRAINAGE SWALES EXCEEDING 2 FEET VERTICALLY.

EXISTING CHAIN LINK CONSTRUCTION FENCE PER SITE INFRASTRUCTURE CONTRACTOR TO COORDINATE ANY FENCE ADJUSTMENTS WITH SITE INFRASTRUCTURE CONTRACTOR. IF FENCE IS REMOVED CONTRACTOR TO INSTALL NEW FENCE IN SAME LOCATION.

NEW FILTER FABRIC FENCE

TRIANGULAR SILT DRES

DESIGNATED PROPOSED INLETS THAT MUST BE PROTECTED AFTER THEY HAVE BEEN CONSTRUCTED.

DESIGNATED EXISTING INLETS THAT MUST BE PROTECTED.

KEY PLAN
NTS

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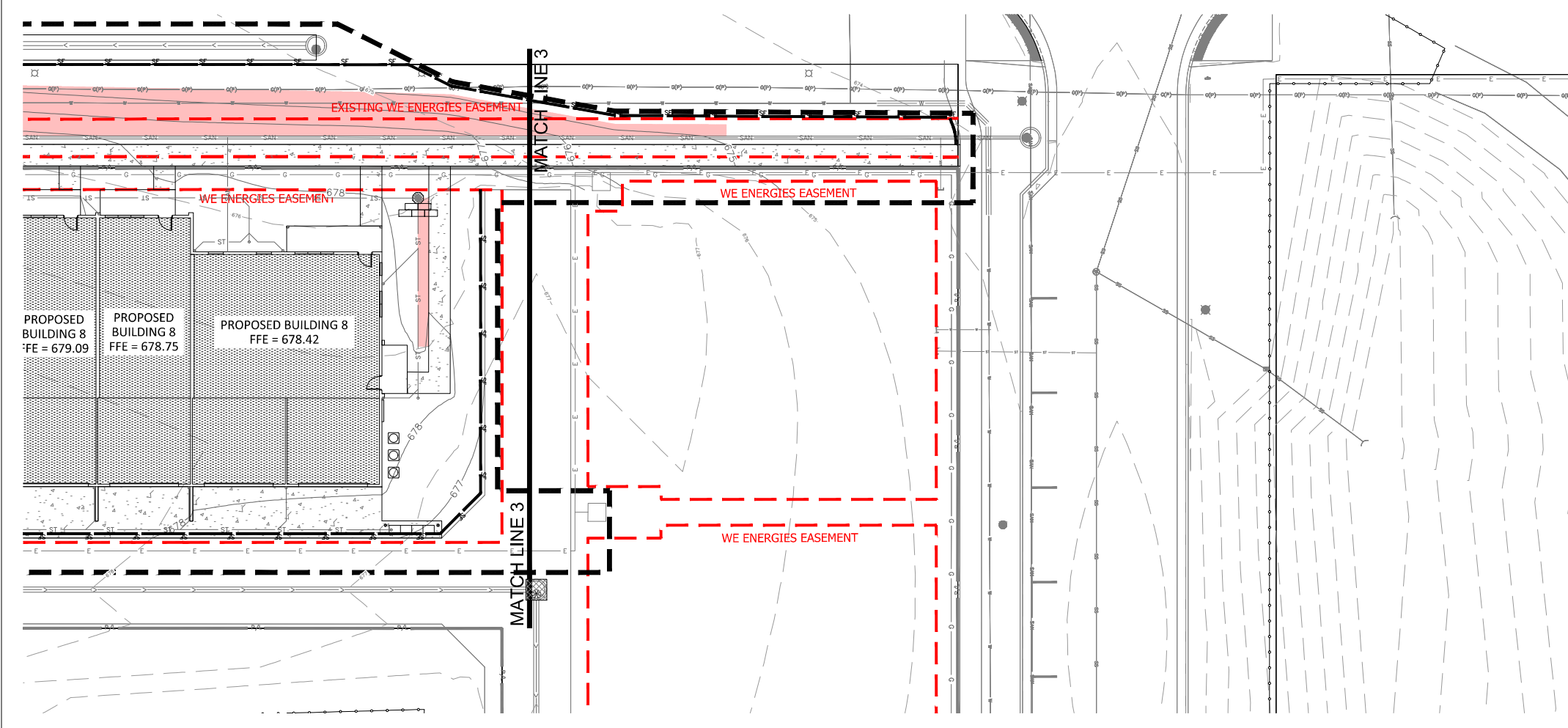
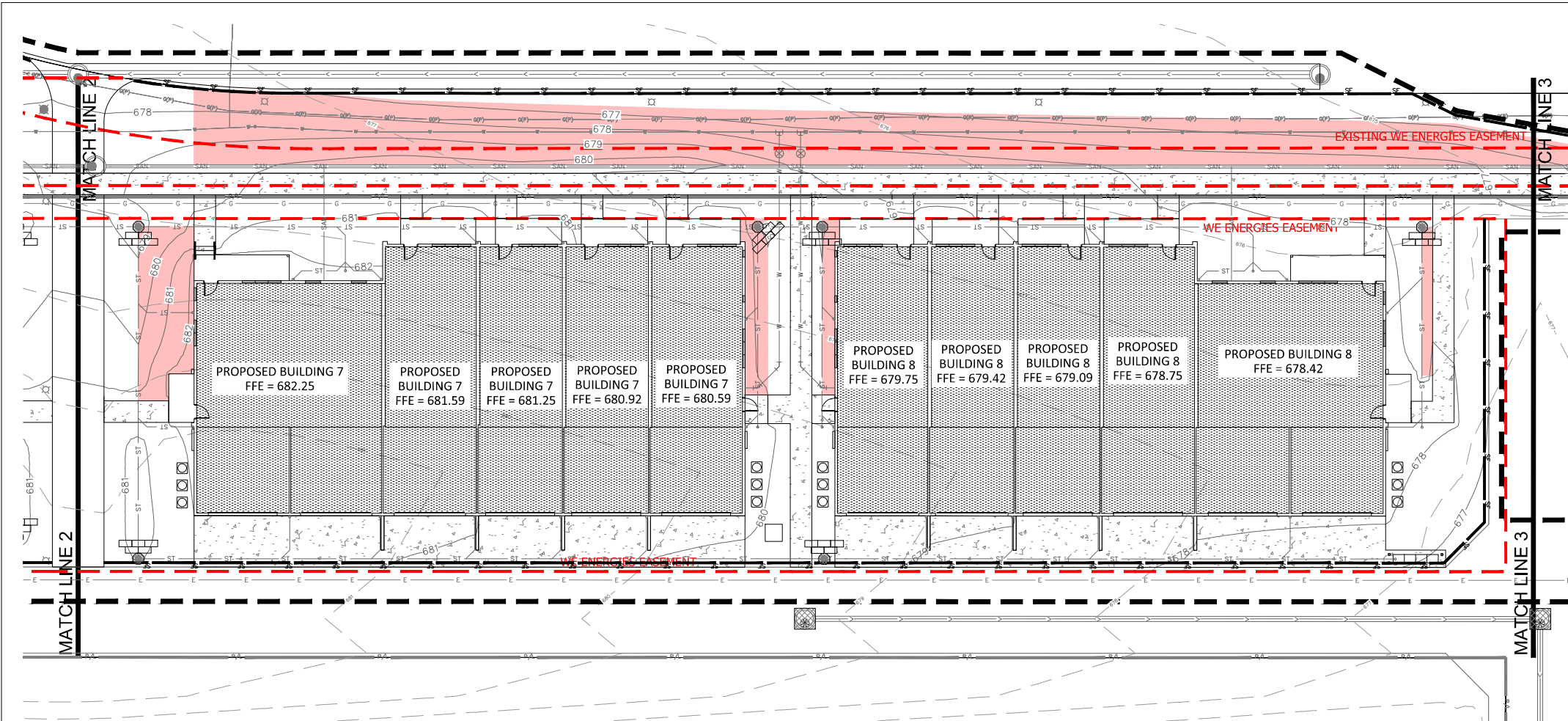
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LAKESHORE COMMONS NORTH TOWNHOMES

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Date Issued: 03/14/2023

GRINKA project #: 201022
Sheet Title:
SITE EROSION CONTROL PLAN

Sheet # **C106A**

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Scale: 1" = 10'

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EROSION NOTES

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, UNLOADING OF OTHER LOADS, DISTURBING ACTIVITIES, EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND REPAIRS SHALL BE MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS AND NOTES FORMS SHALL BE KEPT IN AN ACCESSIBLE LOCATION LIKE A MAILBOX, WITHIN THE STAGING AREA.

AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLAINS UNLESS IDENTIFIED IN THE PLANS.

POINTS OF CONTACT

LAND OWNER:
 E.L. HERTZ DEVELOPMENT GROUP
 124 N 5TH STREET SUITE 200
 MILWAUKEE, WI 53203
 414-477-6344

PROJECT ENGINEER:
 RYAN BRONKHORST, INC.
 KAPUR & ASSOCIATES, INC.
 400 E. WISCONSIN AVENUE SUITE 400
 MILWAUKEE, WI 53202
 (414) 757-8476

CONSTRUCTION MANAGER:
 TBD

KEY INDEX

- PROJECT LIMITS
- INSTALL EROSION MAT ON ALL SLOPES GREATER THAN 4:1 AND ALL DRAINAGE SWALES
- USE CLASS I, TYPE A FROM BRIDOT PRODUCT APPROVED LIST FOR ALL SIDE SLOPES
- USE CLASS II, TYPE B FOR ALL DRAINAGE SWALES. INSTALL EROSION MAT ON THE BOTTOM OF AND A MINIMUM OF 2 FEET VERTICALLY UP THE SIDE SLOPES OF ALL DRAINAGE SWALES. CLASS I, TYPE A MAY BE USED FOR THE REMAINDER OF THE SIDE SLOPES IF DRAINAGE SWALES EXCEEDING 2 FEET VERTICALLY.
- EXISTING CHAIN LINK CONSTRUCTION FENCE PER SITE INFRASTRUCTURE CONTRACTOR. CONTRACTOR TO COORDINATE ANY FENCE ADJUSTMENTS WITH SITE INFRASTRUCTURE CONTRACTOR. IF FENCE IS REMOVED CONTRACTOR TO INSTALL NEW FENCE IN SAME LOCATION.
- NEW FILTER FABRIC FENCE
- TRIANGULAR SILT DRES
- DESIGNATES PROPOSED INLETS THAT MUST BE PROTECTED AFTER THEY HAVE BEEN CONSTRUCTED.
- DESIGNATES EXISTING INLETS THAT MUST BE PROTECTED.

KEY PLAN
 NTS

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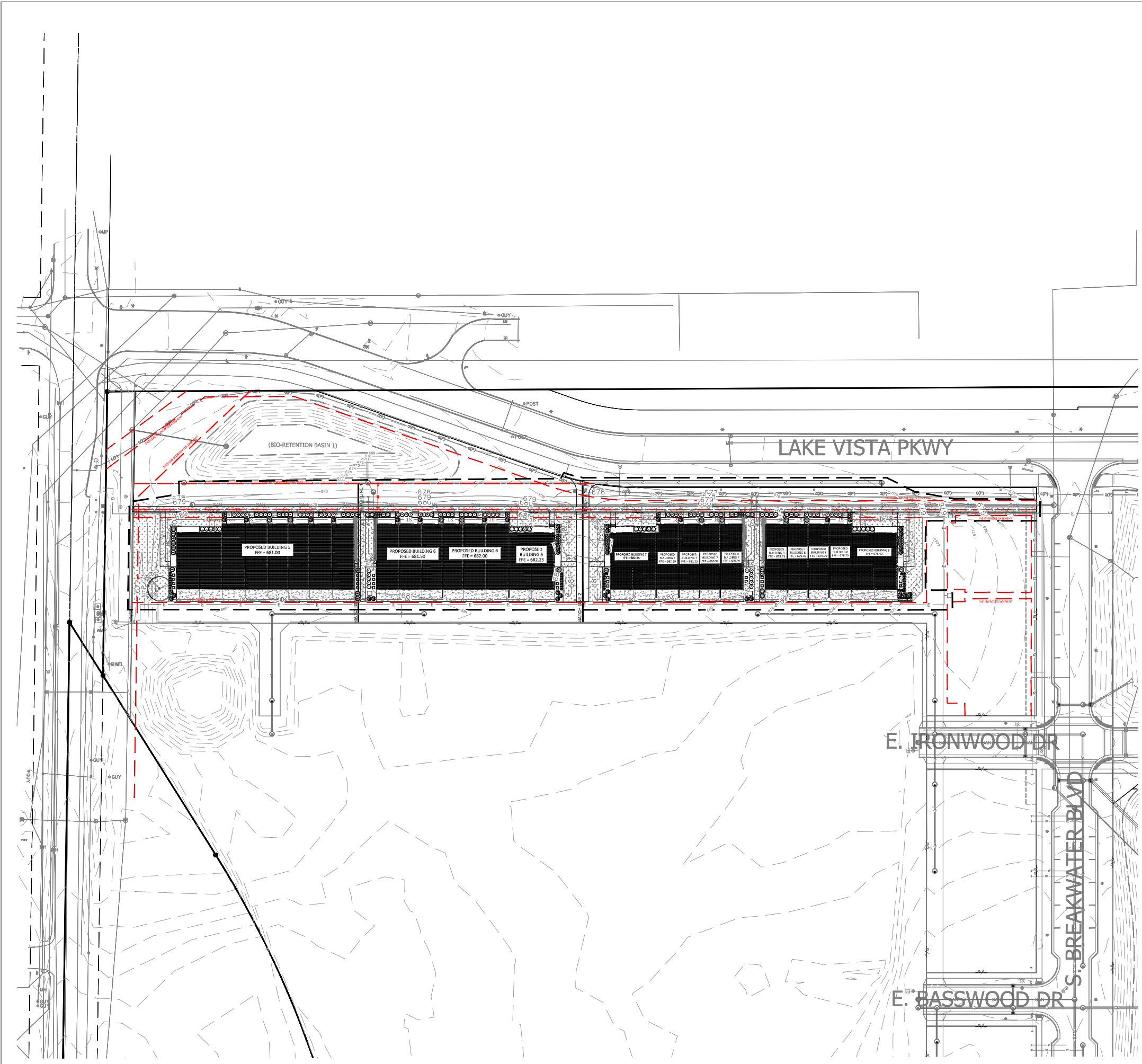
PLAN COMMISSION
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RINKA project #: 201022
 Sheet Title
SITE EROSION CONTROL PLAN

Sheet # **C106B**

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PARCEL —
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 RBKA project #: 201022
 Sheet Title

**OVERALL SITE
 LANDSCAPE
 PLAN**

Sheet # **L101**

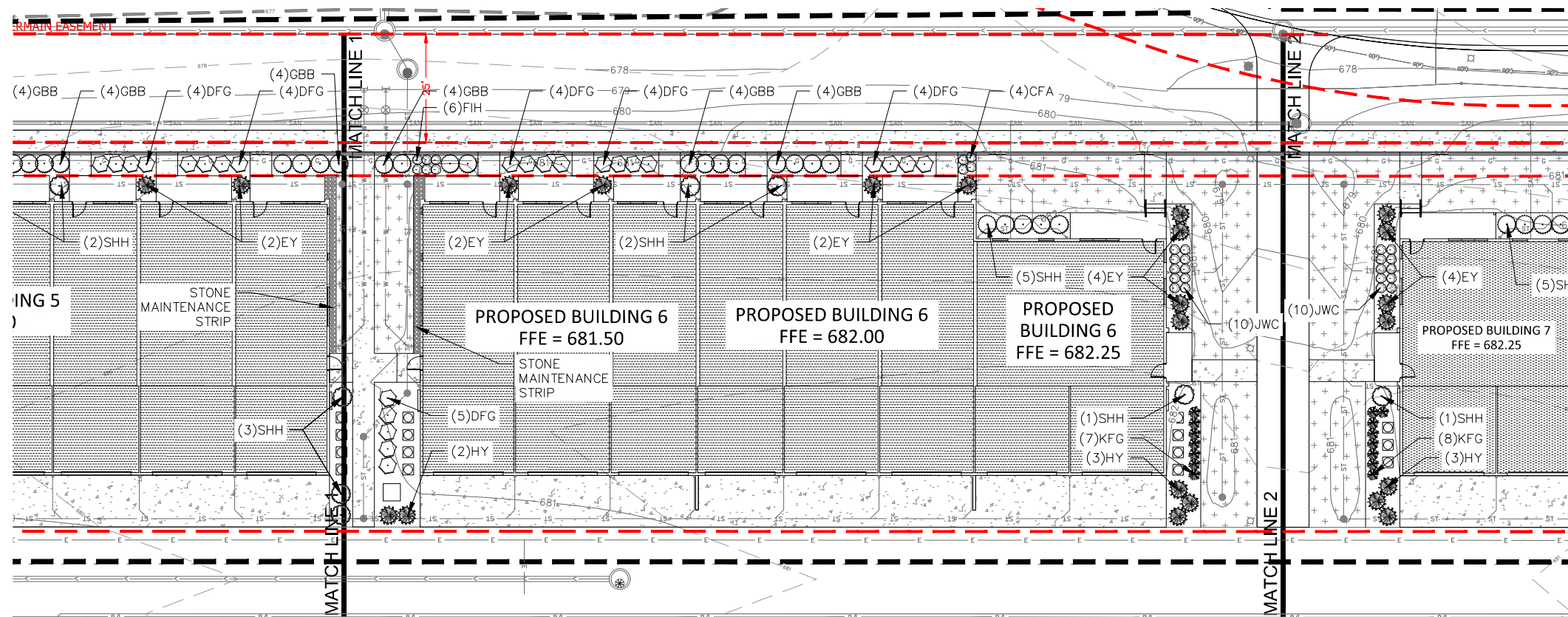
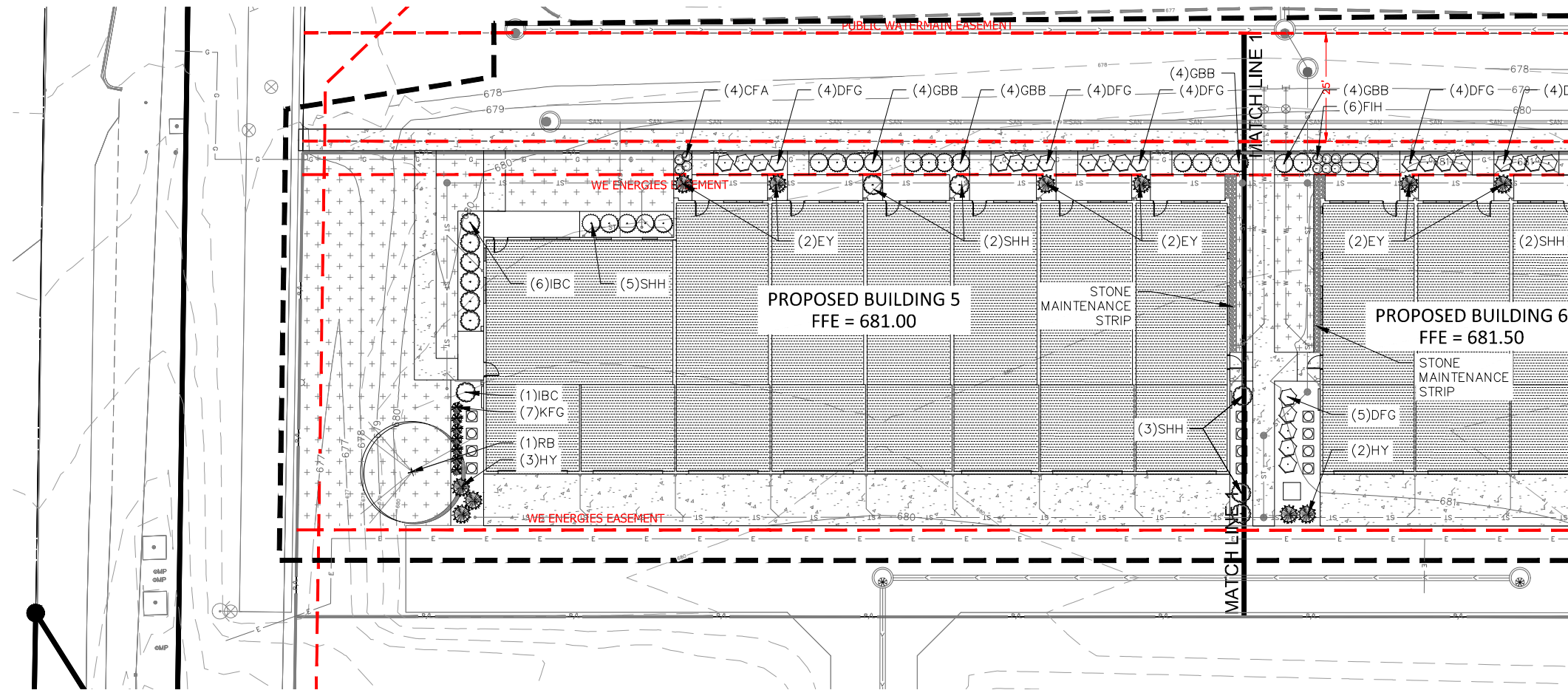
Scale: 1" = 30'

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HATCH LEGEND

	PROJECT LIMITS
	AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	PLUG PLANTINGS IN BIO-RETENTION AREA. REFER TO CIVIL AND LANDSCAPE DETAILS. PLUGS TO BE PLANTED 12-INCHES O.C.

NOT FOR CONSTRUCTION



Scale: 1" = 10'

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HATCH LEGEND

PROJECT LIMITS
AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, KENTUCKY BLUE GRASS SEED, FERTILIZER, AND MULCH (TOP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.

AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, KY BLUE GRASS SEED, FERTILIZER, AND MULCH (TOP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.

SEE 11. IF PLUG PLANTING IN RESTORATION AREA, REFER TO DWG AND LANDSCAPE DETAILS. PLUGS TO BE PLANTED 12-INCHES O.C.

KEY PLAN
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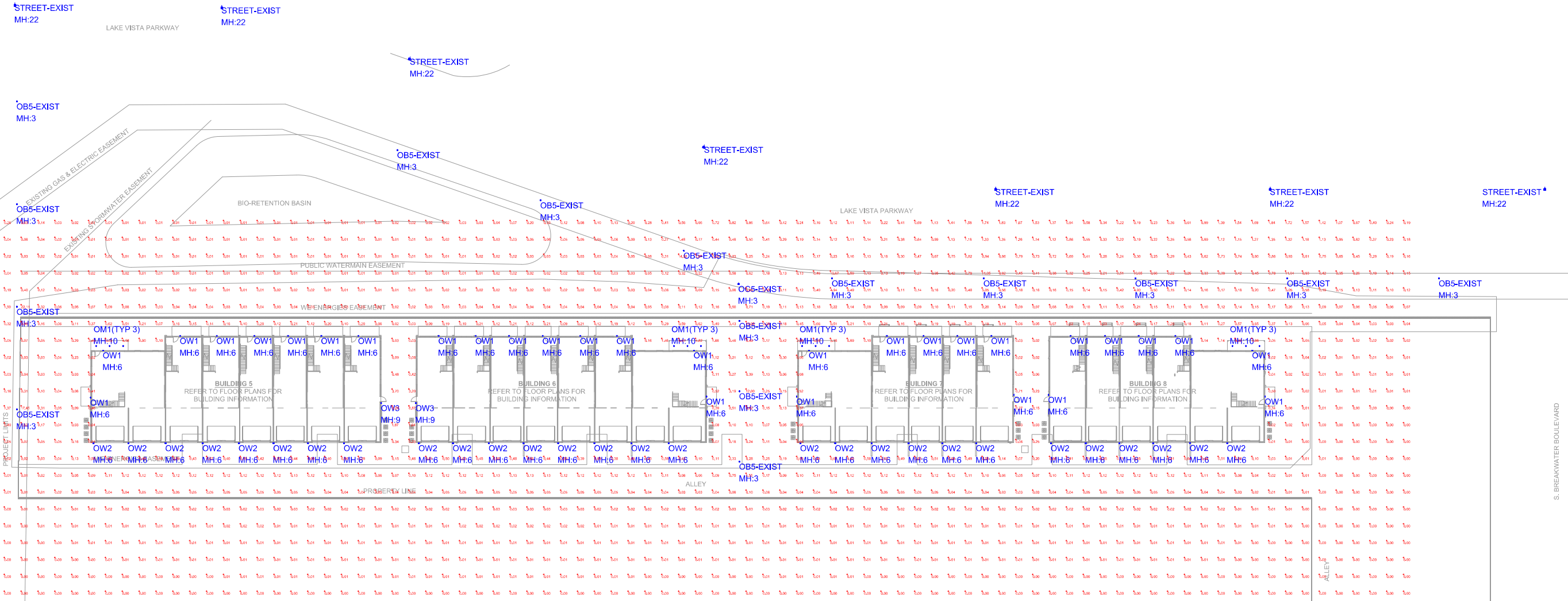
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LAKESHORE COMMONS NORTH TOWNHOMES

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Date Issued: 03/14/2023

RBNA project #: 201022
Sheet Title
SITE LANDSCAPE PLAN

Sheet # **L101A**

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Luminaire Schedule						
QTY	TYPE	MFR	PART NUMBER	LLF	Lum. Watts	Total Watts
	OB5-EXIST	Truly Green	RBL-26W-xxK-U-D-D	0.950	26	390
	OC5-EXIST	Cyclone	CBM1701C-FGF-5-25W-xK-(voltage)-(base)-(options)-(color)-(texture)	0.950	25	25
12	OM1	Lithonia	65BEMW SWW5 90CRI + HOUSING	0.950	10.5	126
30	OW1	Kuzco	AT6606-xx	0.950	14.2	426
28	OW2	WAC Lighting	WS-W190109-30-545-BK	0.950	12.5	350
2	OW3	Lithonia	WDGE1 LED P2 40K 80CRI VF	0.950	15	30
	STREET-EXIST	EXISTING	APPROXIMATION ONLY	0.950		



#	DATE	COMMENTS
REVISIONS		

DRAWN BY: JS
 DATE: 3 / 10 / 2023
 SCALE: 1" = 30'-0"

LAKESHORE COMMONS
 OAK CREEK, WI
 NORTH TOWNHOMES
 SITE LIGHTING CALCULATIONS