



PLAN COMMISSION

July 14, 2020

6:00 P.M.

Common Council Chambers

8040 S. 6TH Street
Oak Creek, WI 53154
(414) 766-7000

Daniel Bukiewicz - Chair
Dawn Carrillo
Chauncey Chandler
Donald Oldani
Chris Guzikowski
Matt Sullivan
Gregory Loreck
Fred Siepert
Christine Hanna
Vacant - ex-officio
Doug Seymour - ex-officio

The City's Vision

Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.

IMPORTANT NOTICE

This meeting will be held by video/phone conference only. Persons wishing to participate in the video conference, including applicants and their representatives, must register via <http://ocwi.org/register> prior to the meeting. The video conference will begin at 5:55 PM to allow participants to log in.

Attendees who wish to participate by phone may do so by calling the City Hall, (414) 766-7000, before 4:00 PM on the day of the meeting (July 14, 2020) to obtain a meeting call-in number. To make a public comment, press *9 on your phone. The conference moderator will state when your line has been unmuted.

Persons who wish to view the meeting live without participating may visit the City of Oak Creek YouTube page at <http://ocwi.org/livestream>.

Persons requiring other reasonable accommodations may contact the City at 414-766-7000. Requests should be made as far in advance as possible, preferably a minimum of 48 hours.

Find more information on agenda items at oakcreek.zoninghub.com.

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – June 23, 2020
4. Significant Common Council Actions
5. New Business
 - a. CONDITIONS AND RESTRICTIONS – Review conditions and restrictions for a request submitted by Doctors Brad and Brett Osgood, Brentwood Animal Hospital, for a Conditional Use Permit for an animal hospital with kennel and boarding facilities on the property at 318 W. Ryan Rd. (Tax Key No. 875-9994-001).

Visit our website at www.oakcreekwi.org for the agenda and accompanying Plan Commission reports.

ZoningHub: <https://s.zoninghub.com/N5F28YR15S>; Twitter @OakCreekPC#OCPCBrentwood

- b. CONDITIONS AND RESTRICTIONS – Review conditions and restrictions for a request submitted by Eric Ogden, Oak Creek Industrial, LLC, for a Conditional Use Permit for freight yard / freight terminal / trans-shipment depot facilities on the property at 102 W. Oakview Parkway. (Tax Key No. 955-1040-000).

ZoningHub: <https://s.zoninghub.com/UR5GP4MMA3>; Twitter @OakCreekPC#OCPCOIndustrial

- c. TEMPORARY USE PERMIT - Review a request for a temporary use permit submitted by MegaMarts, LLC, for the temporary outdoor display of retail merchandise located at 6462 S. 27th St. (Tax Key No. 715-9019-000).

ZoningHub: <https://s.zoninghub.com/JS6V2C3YZV>; Twitter @OakCreekPC#OCPC27PicknSave

- d. TEMPORARY USE PERMIT - Review a request for a temporary use permit submitted by MegaMarts, LLC, for the temporary outdoor display of retail merchandise located at 2320 W. Ryan Rd. (Tax Key No. 878-9037-001).

ZoningHub: <https://s.zoninghub.com/UWC9D4CMUJ>; Twitter @OakCreekPC#OCPCRyanPicknSave

- e. TEMPORARY USE PERMIT - Review a request for a temporary use permit submitted by MegaMarts, LLC, for the temporary outdoor display of retail merchandise located at 8770 S. Howell Ave. (Tax Key No. 860-9041-000).

ZoningHub: <https://s.zoninghub.com/3GQEBNFZRM>; Twitter @OakCreekPC#OCPCHowellPicknSave

- f. PLAN REVIEW – Review site, building, landscaping, and related plans submitted by Dave Kane, North Shore Bank, for a new financial institution on the property at 200 W. Drexel Ave. (Tax Key No. 782-9040-000).

ZoningHub: <https://s.zoninghub.com/72KIX18HG5>; Twitter @OakCreekPC#OCPCNoShoreBank

- g. REZONE – Review a request submitted by LaVerne Boers to rezone portions of the property at 3280 E. Oakwood Rd. from A-1, Limited Agricultural to Rs-3, Single Family Residential (Tax Key No. 919-9991-006).

ZoningHub: <https://s.zoninghub.com/4O96ODTSBB>; Twitter @OakCreekPC#OCPCBoersRezone

- h. CERTIFIED SURVEY MAP – Review a certified survey map submitted by LaVerne Boers dividing and reconfiguring the properties at 3280 and 3360 E. Oakwood Rd. & 3380 E. Oak Ln. (Tax Key Nos. 919-9991-006, 919-9005-000, & 919-9010-000).

ZoningHub: <https://s.zoninghub.com/Z7AX22PJ2X>; Twitter @OakCreekPC#OCPCBoersCSM

Adjournment.

Dated this 9th day of July, 2020

Posted 7/9/20 JF

Public Notice

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, June 23, 2020**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Sullivan, Commissioner Carrillo, Alderman Loreck, Mayor Bukiewicz, Commissioner Oldani, Commissioner Siepert, and Commissioner Chandler. Alderman Guzikowski, was excused. Also present: Kari Papelbon, Planner; Doug Seymour, Community Development Director; Laurie Miller, Zoning Administrator; and Mike Havey, Assistant Fire Chief. Kevin Koenig, IT Manager facilitated the video conference.

Planner Papelbon read the following into the record:

The City of Oak Creek is authorized to hold this public meeting remotely during the COVID-19 public health emergency under the March 16 and March 20 advisories from the Office of Open Government in the Wisconsin Department of Justice and subsequent Common Council approvals. Per the advisories and approvals, this meeting being conducted via Zoom video conference with telephone conferencing capabilities was duly noticed per the City of Oak Creek Municipal Code and Statutory notice requirements more than 24 hours in advance of the meeting. Members of the public have been advised of the options for participation via direct mailing to property owners within 300 feet of a proposal, via the COVID-19 information page on the City's website, via social media, and via the information contained on the meeting agenda. This meeting may also be viewed at the City's YouTube page, the link for which was contained in all aforementioned notice methods. The meeting recording will also be accessible on the City's YouTube page within 48 hours.

Plan Commissioners and participants are initially muted upon joining the meeting. Plan Commissioners and staff have the ability to mute and unmute their microphones throughout the meeting. Please mute at all times except for roll call, motions, voting, and when recognized by the Chair. Roll call and voting will occur per the usual and customary procedure, starting from Plan Commissioner seating positions south to north in the Common Council Chambers (e.g., Hanna, Sullivan, Carrillo, Loreck, Bukiewicz, Guzikowski, Oldani, Siepert, Chandler). The Chair will facilitate questions and comments by calling on each Plan Commissioner, or by requesting the use of the "raise hand" function in the Zoom webinar control panel. Only speak once you have been recognized by the Chair or moderator.

Applicants, their representatives, and all other participants who wish to speak will be unmuted

- When there is a direct request for information from the Plan Commission or staff;
- When the participant utilizes the "raise hand" function within the Zoom webinar control panel, and the moderator verbally indicates that they are unmuted;
- When a phone participant dials *9 to indicate they wish to speak, and the moderator verbally indicates that their line is open.

When unmuted, all participants must state their name and address for the record, then proceed with comments or questions.

Questions and comments may also be entered into the Q&A function within the Zoom webinar control panel. Staff and/or the moderator will monitor this function during the meeting, and provide the information requested. There shall be no private messages or side conversations during the

meeting utilizing the chat or Q&A functions. Chat and Q&A messages are part of the public record.

Minutes of the June 9, 2020 meeting

Commissioner Siepert moved to approve the minutes of the June 9, 2020 meeting. Alderman Loreck seconded. On roll call: all voted aye. Motion carried.

CONDITIONAL USE PERMIT BRENTWOOD ANIMAL HOSPITAL 318 W. RYAN RD TAX KEY NO. 875-9994-001

Planner Papelbon provided an overview of the Conditional Use Permit request for an animal hospital with kennel and boarding facilities at 318 W. Ryan Rd. (see staff report for details).

Brad Egan, Owner's representative, 6011 Artist Bay, West Bend, WI, stated that he hopes to get this approved.

Dr. Brad Osgood, Applicant, stated that he supports what Mr. Egan said. He would like to get the plans approved so that they can grow their business and improve the animal care in the City of Oak Creek.

Commissioner Carrillo asked about the residence to the west of the property.

Planner Papelbon responded that there is a residence in the M-1 district. She also disclosed that Brentwood Animal Hospital is her veterinary clinic.

Alderman Loreck stated that his dogs are seen there, and it is a great Oak Creek veterinary clinic. He is glad to see that they are expanding.

Commissioner Siepert questioned whether the wetland to the north of the expansion will interfere with the project.

Mr. Egan responded that they have a civil engineer working on stormwater management and will be handling the wetland conditions.

Commissioner Chandler stated that she had utilized the animal hospital last year. She would like to have more information on what the space will include in the expansion.

Dr. Brad Osgood responded that the main purpose is to expand is the hospital space. With the growing community and the pet population, additional exam rooms are needed. They currently have five exam rooms with five doctors, and it makes it difficult with having a one-to-one ratio. The building was first built in the 1960s as a one-to-two veterinary practice, and expanded in 1993 and now are limited on space. Dr. Osgood stated that the option now is to rebuild on this property with updated facility and to satisfy the growing community. The new facility will also include luxury indoor boarding to meet the increased demand for this type of boarding.

Mayor Bukiewicz stated that he is thrilled to see that they are expanding and staying in Oak Creek as they have been an asset to the community.

Commission Siefert moved that the Plan Commission recommends that the Common Council approves a Conditional Use Permit for an animal hospital with kennel and boarding facilities on the property at 318 W. Ryan Rd. after a public hearing and subject to Conditions and Restrictions that will be prepared for the Plan Commission's review at the next meeting (July 14, 2020). Alderman Loreck seconded. On roll call: all voted aye. Motion carried.

**CONDITIONAL USE PERMIT
OAK CREEK INDUSTRIAL, LLC
102 W. OAKVIEW PKWY
TAX KEY NO. 955-1040-000**

Planner Papelbon provided an overview of the request for a Conditional Use Permit to for a freight yard/freight terminal/trans-shipment depot facility at 102 W. Oakview Pkwy. (see staff report for details).

Brian Randall, 111 E. Kilburn Ave, Milwaukee, WI, stated that that Applicant is trying to obtain tenants for this building, and have a potential tenant that may take over a third of the building and the Conditional Use will suit them. Mr. Randall mentioned that it is similar to the building at 610 W. Rawson Ave.

Commissioner Chandler asked if any future tenants would need to obtain a Conditional Use Permit if they are not doing this type of business.

Planner Papelbon responded that the M-1 district allows a wide variety of options that would be allowed as permitted uses, but if they were to request an indoor recreation facility, for example, then they would have to amend the Conditional Use Permit.

Commissioner Siefert asked what would be the daily truck traffic to the building.

Mr. Randall responded that the building is not fully occupied. He said there are currently twelve loading docks, which is less than what was proposed in 2016, and the overall number of truck trips will be dependent on the potential tenants. Mr. Randall mentioned that he had worked on the FedEx Freight building, and the extensive trucking business, and stated that this property is not designed to be at that level. Mr. Randall hopes that having the Conditional Use Permit will attract potential tenants.

Commissioner Siefert stated his concern about the traffic coming off from Elm Rd., onto Howell Ave., and going north and south.

Planner Papelbon stated that the preferred truck routes would be going north or south on Howell Avenue, and that route will be part of the Conditions and Restrictions if this Conditional Use is approved.

Commissioner Hanna asked about the type of tenant.

Mr. Randall stated that while this is an M-1 district, and it has a variety of Permitted Uses, the Conditional Use will cover the potential clients as this type of trucking business has been successful in this business park. Mr. Randall stated that this is a shell building, and they have been working with brokers to find the best tenant who can take advantage of the build-out. Often times, they are finding out that the potential tenant has a trucking component that includes a

freight yard or freight terminal type. Mr. Randall stated they want to be sure that having Conditional Use Permit will be covered for any potential tenants and with the City. The Conditional Use Permit will also help accommodate the potential tenants that could have a piece of warehousing or a piece of manufacturing, and also include some delivery or transportation of some sort.

Commissioner Hanna stated her concern about a chemical company coming in and having some sort of storage and trucking. She asked if the M-1 district will cover this type of storage.

Planner Papelbon responded that the Applicant is not requesting any storage of inflammable liquids in excess of 5,000 gallons. Storage of inflammable liquids in excess of 5,000 gallons will require additional review and approval, especially by emergency services as the Fire Department has some restrictions. If there is a proposal, it will have to come back to Plan Commission for a Conditional Use Permit Amendment.

Commissioner Hanna asked to confirm that a public hearing will let the surrounding areas know.

Planner Papelbon confirmed that parcels within three hundred feet of the proposed use will be notified of the Plan Commission and the Common Council hearing.

Alderman Loreck moved that the Plan Commission recommends that the Common Council approves the Conditional Use Permit for freight yard/freight terminal/trans-shipment depot facilities on the property at 102 W. Oakview Pkwy, after a public hearing and subject to Conditions and Restrictions that will be prepared for the Plan Commission's review at the next meeting (July 14, 2020). Commissioner Hanna seconded. On roll call: all voted aye. Motion carried.

**LIGHTING PLAN REVIEW
MODHOME, LLC
10730 S. HOWELL AVE
TAX KEY NO. 973-9997-000**

Planner Papelbon provided an overview of the proposed lighting plan for the single-family condo development located at 10730 S Howell Ave. (see staff report for details).

Jeremy Samatas, 670 North Park Boulevard, Glen Ellyn, Illinois, stated that he is excited to continue with the project.

Since there were no questions, Mayor Bukiewicz commented that the plan has been reviewed by the Electrical Inspector for approval of the foot candles. Mayor Bukiewicz stated that he is glad the lighting fixtures will be consistent with the rest of the City.

Alderman Loreck moved that the Plan Commission approves the lighting plans submitted by David DiSanto, Modhome, LLC, for the property at 10730 S. Howell Ave with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all conditions of approval from the April 14, 2020 Plan Commission review are in effect.

3. That final lighting plans and photometrics are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Commissioner Siepert seconded. On roll call: all voted aye. Motion carried.

**TEMPORARY USE PERMIT
MARCUS THEATRES CORP./B&G REALTY
7241 & 7261 S. 13TH ST.
TAX KEY NO. 763-9018-000 & 763-9006-000**

Zoning Administrator Miller provided an overview of the request for a temporary use permit for the conversion of a portion of the parking lot at 7261 (7241) S. 13th St. into a drive-in theater. (see staff report for details).

Mark Gramz, 100 E. Wisconsin Ave, Suite 1900 is available for any questions.

Commissioner Hanna has no questions and appreciates the effort in accommodating during the COVID 19 condition.

Mr. Gramz commented they are anxious to try to get customers going to the movies in a safe environment.

Alderman Loreck said that he did visit one of these in a neighboring community and is excited that it is coming to Oak Creek. He did question if there were any concerns of Police and Fire Department about the screen facing 13th street. And if there were any concerns about the cars passing by might slow down or stop in the side of the road. Alderman Loreck asked if Marcus has any concerns with people stopping on the sidewalk to watch the movie.

Zoning Administrator Miller said that the Police Department have talked to the neighboring community regarding the stopping of cars and traffic flow. The neighboring community did not experience any issues with vehicles slowing down or stopping in the streets.

Alderman Loreck asked if Marcus have any plans to shield in any way or leave it wide open.

Mr. Gramz said it will be wide open. The screen is quite a way from 13th street and does not think there will be any issues or people will notice that it is playing.

Commissioner Oldani feels it is a great addition to bring back a drive-in theater and his kids are excited to have it back.

Commissioner Siepert questioned about staff being available at the end of the movie to help move the traffic.

Mr. Gramz mentioned that staff will be available for traffic at the end of the features and will also be handling the parking of the individual vehicles.

Commissioner Chandler asked about a plan in place for the parking.

Mr. Gramz replied that there is a plan and pinstripe with six-foot distances between each vehicle so the social distancing is maintained. Smaller vehicles will be up front with SUV types in the

middle while trucks or larger vehicles towards the back so that people have good visibility but ample space to meet the guidelines.

Commissioner Chandler asked about how the traffic flow before and after the movie.

Mr. Gramz explained the vehicles will enter the main entrance to the theater and once they get towards the building, the vehicles will kind of make a turn. The vehicles will meet up ticket attendant that will scan the phones or paper as costumers have to sign up for the movies. Other staff will be handing out menus and staff directing each vehicle to a specific parking space in the parking lot. At the end of the movie, vehicles will proceed to the two exits out of the parking lot. Mr. Gramz mentioned that the lanes between the parking spots will be two-way traffic.

Commissioner Chandler asked how the employees will be protected if tickets will be scanned from each car and people are only required to wear a mask if they are leaving the car.

Mr. Gramz said that employees will ear mask and each car will show their phone or paper ticket to the attendant which they will be able to see six feet away. Then the cars will be directed to a space by all of the employees while keeping ample distance from each other and the vehicles.

Commissioner Chandler asked how they will keep the public safe if the public are not wearing mask since there will be some interaction.

Mr. Gramz reiterated that the employee will be wearing mask and they are asking that the public wear a mask during interactions such as getting food, using the restrooms, and sitting outside in front of their vehicles. Mr. Gramz stated customers can choose to wear a mask while in the vehicles.

Commissioner Chandler was wondering what kind of movies will be playing.

Mr. Gramz said most movies will be family attractions. The opening attraction will be Fast and Furious and Fast Selling, a PG rated movie. Other examples Mr. Gramz provided will be ET, Jurassic Park, and Indiana Jones movies.

Commissioner Chandler asked if it could be verified that the large screen will not impact the drivers as Alderman Loreck was concerned about earlier.

Mr. Gramz stated that when the large screen is erected initially, they will test it in the evening.

Zoning Administrator Miller said the screen will be set on the building, which is very far from the road. The landscaping along 13th Street and the church just to the south, should help minimize the light emitted from the screen.

Mr. Gramz described the digital billboards, along the interstate, are running in a measurement of nits and these billboards are approximately five hundred nits. The movie screens are running at about 34 nits. Mr. Gramz said that because of this very low light, the movies will start at ducks since the screen cannot be seen during the day.

Commissioner Chandler was wondering if any test were conducted to verify the lighting will not impact the drivers passing by. She would like to make sure that it is safe and not causing distraction.

Zoning Administrator Miller noted that it has not been addressed. She shared that she travels by the Brookfield's Majestic Theatre, which is next to the interstate and operating an outdoor theater. Zoning Administrator Miller noted that the pictures can be barely seen as you are driving along the interstate due to the low light they are admitting. Since the Oak Creek theater is far away from 13th street, it should not impact the drivers.

Mr. Gramz mentioned that when he was working on the approval process in the Town of Brookfield, he spoke with the Southeast Regional Director of Department of Transportation. When Mr. Gramz described to the Director of the terms of nits as he described earlier, the Director knew the screen would not impact the traffic at that distance. Mr. Gramz said no test was needed.

Mayor Bukiewicz asked Assistant Fire Chief Mike if there would be any issue with fire access in the parking lot.

Assistant Fire Chief Mike Havey said they dealt with it before with the traffic coming in and out of the parking lot. The FTC connections is not obstructed so they don't have any issues with what they normally access.

Mayor Bukiewicz commented that Commissioner Oldani brought up that this pandemic is bring the outdoor theater back. Mayor Bukiewicz used to go to Twin 41 before they were shut down. This is bringing it back for generations that have not experience anything like this. Mayor Bukiewicz is acknowledging Marcus for being creative and conducting business as normal as possible. Mayor Bukiewicz is looking forward to seeing people get out and do some family bonding as this is a family event.

Alderman Loreck is wondering, since this will expire September 30th, if there is any plan to become a year to year permanent summer activity after this year for Marcus.

Mr. Gramz is hoping this will not be the case as they would like to utilize the indoor theaters and try to get people back in the building. The sound and picture quality are not the same outdoor as it is indoor. Mr. Gramz said that doing the outdoor theater was a compromise to provide entertainment to people in a safer environment. Mr. Gramz said that should we still be living under this current situation next year or people still don't feel safe in an indoor group environment, they will come back for the Temporary Use again.

Alderman Loreck was curious what the price will be per car load.

Mr. Gramz believed that it is \$25 Friday, Saturday and Sunday and \$20 during the weekdays.

Commissioner Hanna asked what is a car load as she has never experience this.

Mr. Gramz explained it is one admission price for a car load of people that legally sits in a vehicle.

Alderman Loreck moved that the Plan Commission approves the Temporary Use permit for the drive-in movie theater with the Marcus Theatres – South Shore Cinema park lot at 7261 (7241) S. 13th St. with the following conditions:

1. That all operations are conducted in accordance with applicable federal, state, county and local orders and polices regarding COVID-19.
2. That all operations adhere to the site plan submitted in the proposal.

3. That no more than 120 cars shall be permitted per showing.
4. That all operations shall comply with the noise ordinance.
5. That no outdoor speakers and PA systems will be permitted.
6. That no alcohol sales will be permitted.
7. That all food preparation shall occur within the theater building.
8. That there shall be no advertising or any other signage added to the premises.
9. That there shall be no additional lighting added to the site.
10. That fire hydrants shall remain readily accessible with an adequate clearance of 10' around the appliance and drive isles must remain clear.
11. That the operations shall occur seven days a week, between the hours of 7:30 PM and 1:00 AM (or as determined by the Plan Commission).
12. That the temporary use shall expire on September 30, 2020.

Commissioner Siepert seconded. On roll call: all voted aye. Motion carried.

ZONING CODE UPDATE DISCUSSION ITEM

Planner Papelbon provided an update on the status of the Zoning Code Update project. Planner Papelbon is asking the Commission to provide any input based on their reviews, of issues that are missing or should be included in the Code, and on things that could be done better. Staff is working with representatives from Houseal Lavigne Associates and making good progress with the first three Articles. Planner Papelbon mentioned that there will be a table of the individual Districts showing particular uses as permitted, conditional, or not allowed. There will also be illustrations. Planner Papelbon said that a presentation of a draft to the Plan Commission will occur later this summer or early fall.

Mayor Bukiewicz mentioned that it has been a very long time since the Zoning Code has been updated.

Planner Papelbon said that the last major update was in 1995, with several case-by-case updates since then.

Mayor Bukiewicz encouraged the Plan Commission to come up with questions and/or concerns from their experience, and from neighbors and friends. He also encouraged Commissioners to talk with staff to get an understanding of the struggles with preparation of reports. Mayor Bukiewicz would like the articles to keep in line with City standards, and make it streamlined and clear for the residents and builders.

Director Seymour stated that the Zoning Code is difficult to interpret. He pointed out how things were in 1995, and stated the Commission should think about what they would like the community

to be in the next 10-20 years. Director Seymour said the update would make the Zoning Code easy to interpret, clear, and concise so that the City continues to have great developments. Planner Papelbon said that staff have started a database of issues they have been struggling with, or questions they have when applying the Code to plans and building permit reviews. Planner Papelbon said that the goal is to make the Code user-friendly to prevent searching and cross-referencing in other parts of the Code. She let the Commissioners know that when they pass along any issues, staff can add them to the database as they may not catch everything.

Commissioner Hanna was wondering if the Code revision would include the percentage of green space in an industrial or commercial development.

Planner Papelbon said that was part of the recently updated Comprehensive Plan. The preservation of green space, parkland, wetlands, floodplains, etc. were considered in the Comprehensive Plan, and will translate into the Zoning Code update. Planner Papelbon stated that the 30% green space requirement is still required for commercial and manufacturing, along with stormwater standards and setback requirements. Staff do want to preserve the agricultural and open areas, and try to maintain the quality of life that is connected with these types of land uses and assets to the City.

Mayor Bukiewicz reiterated the goal to keep the Zoning Code update clear and simple for the next generations.

Commissioner Carrillo moved to adjourn the meeting. Commissioner Siefert seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 7:21 p.m.

ATTEST:

Douglas Seymour, Plan Commission Secretary

7-6-20

Date



Significant Common Council Actions

ITEM: 4

DATE: July 14, 2020

Summary of Significant Common Council Actions

July 7, 2020

- **APPROVED** Ordinance No. 2977, authorizing a Conditional Use Permit for automotive sales and service on the property at 8041 S. 13th Street.
- **APPROVED** Ordinance No. 2978, rezoning the property at 200 W. Drexel Ave., from M-1, Manufacturing to B-2, Community Business.

A handwritten signature in black ink that reads "Kari Papelbon".

Kari Papelbon, CFM, AICP
Planner



PLAN COMMISSION REPORT

Proposal: Conditions and Restrictions – Animal Hospital with Kennel and Boarding Facilities

Description: Review draft Conditions and Restrictions for a Conditional Use Permit for an expanded animal hospital with kennel and boarding facilities on the property at 318 W. Ryan Rd.

Applicant(s): Drs. Brad and Brett Osgood, Brentwood Animal Hospital

Address(es): 318 W. Ryan Rd.

Suggested Motion: That the Plan Commission recommends that the Common Council adopts the Conditions and Restrictions as part of the Conditional Use Permit for an animal hospital with kennel and boarding facilities on the property at 318 W. Ryan Rd., after a public hearing.

Owner(s): BAH Ventures, LLC

Tax Key(s): 875-9994-001

Lot Size(s): 2.164 ac

Current Zoning District(s): B-4, Highway Business

Overlay District(s): CCU

Wetlands: Yes No Floodplain: Yes No

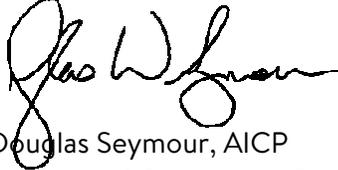
Comprehensive Plan: Commercial

Background:

At the June 23, 2020 meeting, the Plan Commission recommended approval of a Conditional Use Permit for an animal hospital with kennel and boarding facilities on the property at 318 W. Ryan Rd. Staff has prepared draft Conditions and Restrictions for the Commission’s review. If the Commission is comfortable with the Conditions and Restrictions, the appropriate action would be to recommend that the Common Council approve them as part of the Conditional Use Permit.

Options/Alternatives: The Plan Commission has the discretion to recommend Common Council approval of, or require modifications to, the draft Conditions and Restrictions.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



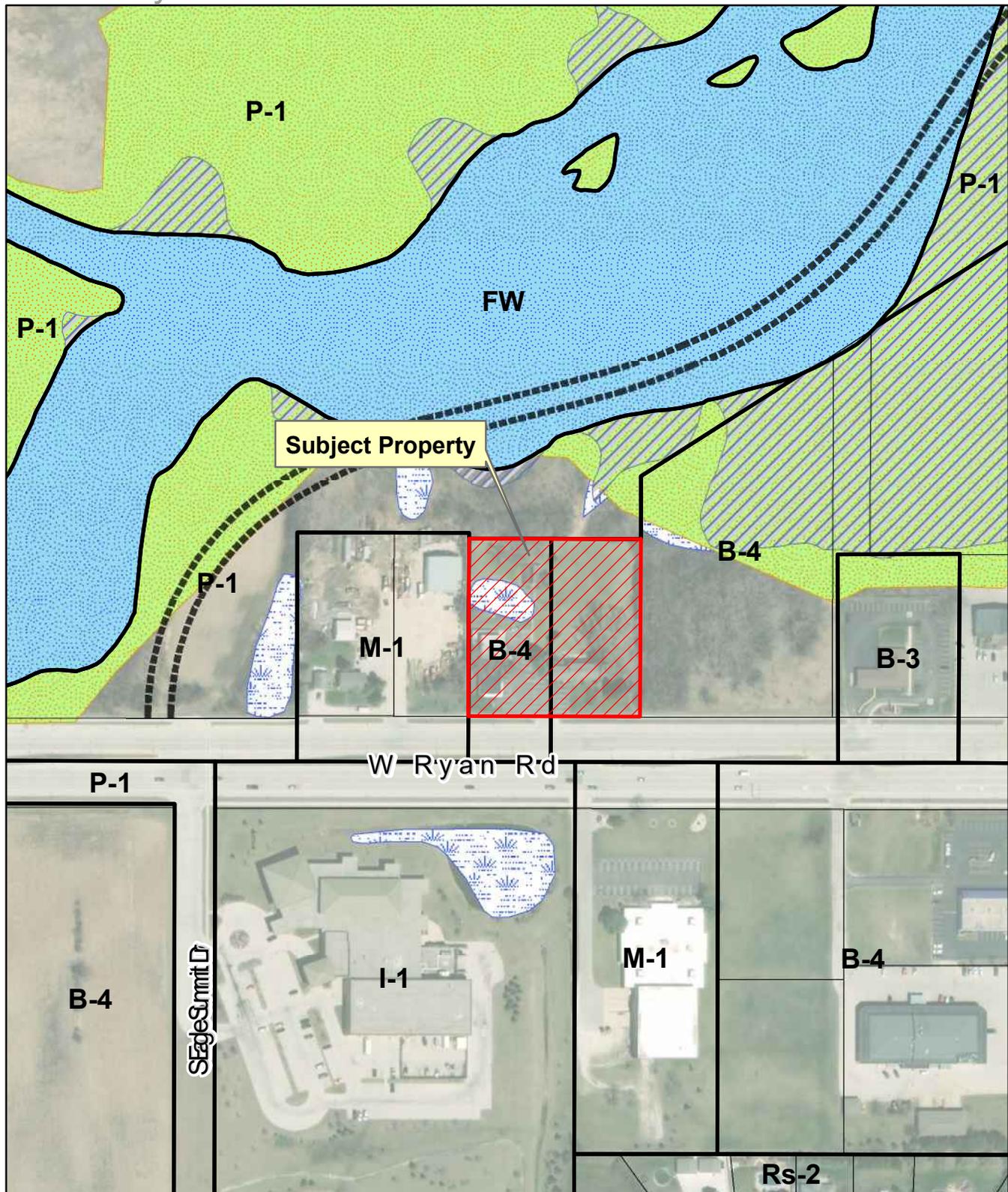
Kari Papelbon, CFM, AICP
Planner

Attachments:

- Location Map
 - Draft Conditions and Restrictions
-

Location Map

318 W. Ryan Rd



This map is not a survey of the actual boundary of any property this map depicts



OAKCREEK

— WISCONSIN —

Department of Community Development



Legend

- | | |
|--|---|
|  318 W. Ryan Rd |  Officially Mapped Streets |
|  Floodway (2008) |  Environmental Corridor |
|  Flood Plain (2008) |  DNR Wetlands Inventory |

**City of Oak Creek – Conditional Use Permit (CUP)
Conditions and Restrictions**

Applicant: Drs. Osgood, Brentwood Animal Hospital
Property Address: 318 W. Ryan Rd.
Tax Key Number: 878-9000-001
Conditional Use: **Animal hospital with kennel and boarding facilities**

Approved by Plan Commission: TBD
Approved by Common Council: TBD
(Ord. # TBD)

1. LEGAL DESCRIPTION

Part of the Southeast ¼ of the Southeast ¼ of Section 20, Township 5 North, Range 22 East, Commencing 986.73 ft of the Southeast corner of the Southeast ¼ Section; Thence North 390 ft, West 299.26 ft, South 390 ft, Thence East 299.30 ft back to the start. Excluding South 75 ft for State Access & also Excluding Additional South 5 ft converted to DOT in Doc. No. 10289799.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.
- B. A precise detailed site plan for the area affected by the Conditional Use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1. General Development Plan

- a. Detailed building/structure location(s) with setbacks
- b. Square footage of all buildings/structures
- c. Area(s) for future expansion
- d. Area(s) to be paved
- e. Access drive(s) (width and location)
- f. Sidewalk location(s)
- g. Parking layout and traffic circulation
 - i. Location(s) and future expansion
 - ii. Number of employees and/or patrons
 - iii. Number of parking spaces
 - iv. Dimensions
 - v. Setbacks
- h. Location(s) of loading berth(s)
- i. Sanitary sewer (existing & proposed)
- j. Water (existing & proposed)
- k. Storm sewer (existing & proposed)
- l. Wetland boundaries (field verified)
- m. Flood hazard area boundaries
- n. Location(s) & details of sign(s)
- o. Location(s) & details of proposed fences/gates/walls

2. Landscape Plan

- a. Screening plan, including parking lot & utilities screening/berming
- b. Planting number, sizes, types, & details
- c. Percentage open/green space

3. Building Plan

- a. Architectural elevations (w/dimensions)
- b. Building floor plans
- c. Construction materials, colors, percentages

4. Lighting Plan

- a. Types & color of fixtures, shields
- b. Mounting heights
- c. Type, height, and color of poles
- d. Photometrics of proposed fixtures

5. Grading, Drainage, & Stormwater Management Plan

- a. Contours (existing & proposed)
- b. Storm sewer (existing and proposed)
- c. Stormwater management structures and basins/green infrastructure (if required)

6. Fire Protection

- a. Locations of existing & proposed fire hydrants
- b. Interior floor plan(s)
- c. Materials of construction

- C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.

- D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.
- E. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. One (1) animal hospital with indoor kennel and boarding facilities and outdoor dog runs in accordance with these Conditions and Restrictions is allowed on the property.
- B. The facility is permitted to operate 24 hours per day, 7 days per week. **The use of the outdoor dog runs shall be limited to between 6:30 AM and 8:00 PM.**
- C. Animals must be kept on a leash when outside of the building unless the outdoor areas are completely fenced.
- D. There shall be no outdoor storage of materials, equipment, or supplies.
- E. There shall be no onsite cremations.
- F. Solid waste collection and recycling shall be the responsibility of the owner.
- G. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the landowner(s).

4. PARKING AND ACCESS

- A. Parking for this development shall be provided in accordance with Sections 17.0403 & 17.0404 of the Municipal Code (as amended).
- B. Landscaping shall be provided for all parking areas in accordance with Sections 17.0403(g),(h) and 17.1010 (as amended).

5. LIGHTING

All plans for new outdoor lighting shall be reviewed and approved by the Electrical Inspector in accordance with Section 17.0808 of the Municipal Code (as amended).

6. SETBACKS*

	Front and Street Setback	Rear (North) Setback	Side Setback
Principal Structure	25 ft	25 ft	15 ft
Accessory Structure*	25 ft	5 ft	5 ft
Parking	10 ft	5 ft	5 ft

*No accessory structures shall be permitted in the front yard or in required buffer yards.

7. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these conditions and restrictions for the Conditional Use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a Conditional Use Permit. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the ordinance if a building permit has not been issued for this use. The applicant shall re-apply for a Conditional Use approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

9. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the City shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 9 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other city ordinances.

10. REVOCAION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code (as amended).

11. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner / Authorized Representative Signature

Date

(please print name)

EXHIBIT A: ENLARGED CONCEPTUAL SITE PLAN

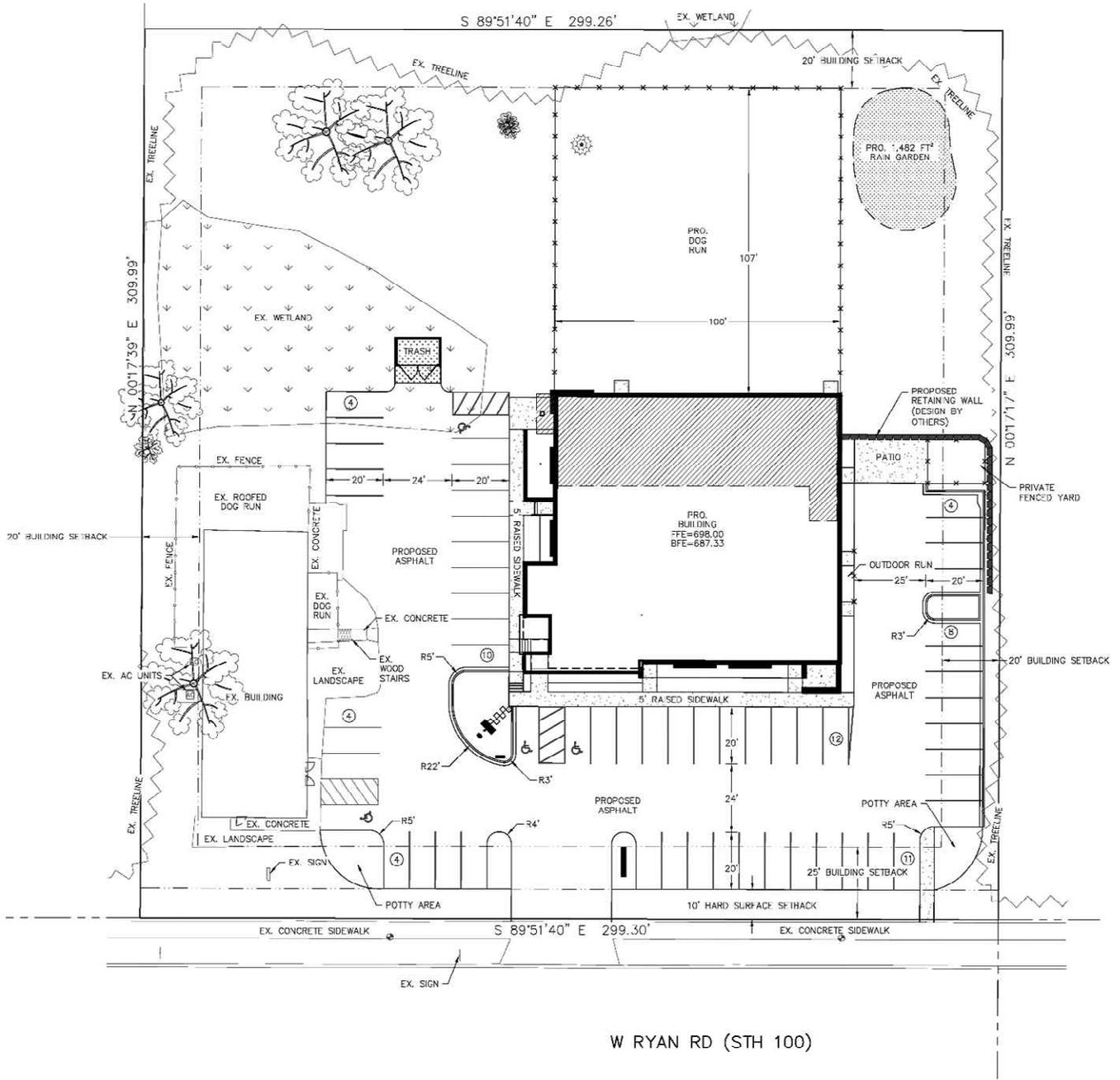


EXHIBIT B: CONCEPT BUILDING ELEVATIONS



Keller
PLANNERS - ARCHITECTS - ENGINEERS

1000 WEST
WISCONSIN AVENUE
MILWAUKEE, WI 53233
TEL: 414.224.2000
WWW.KELLERARCHITECTS.COM

1000 WEST
WISCONSIN AVENUE
MILWAUKEE, WI 53233
TEL: 414.224.2000
WWW.KELLERARCHITECTS.COM

BRENTWOOD ANIMAL HOSPITAL
WISCONSIN

PROPOSED NEW FACILITY FOR:
OAK CREEK

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THIS DOCUMENT IS THE PROPERTY OF KELLER ARCHITECTS AND ENGINEERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KELLER ARCHITECTS AND ENGINEERS.

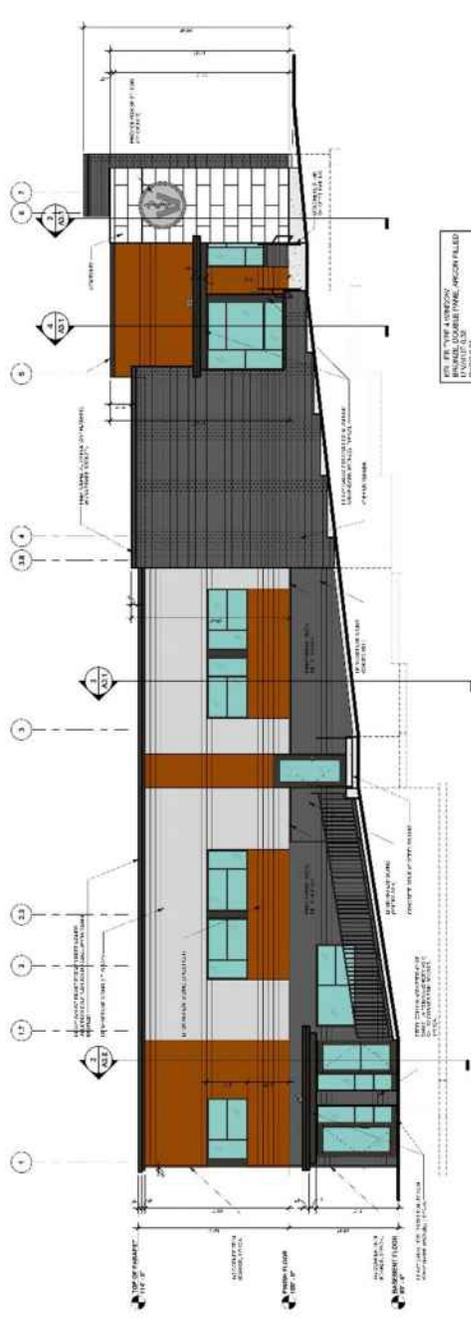
REVISIONS
R1 09.28.2019 ACM
R2 10.09.2019 ACM
R3 01.30.2020 ACM

PROJECT MANAGER: B. EGAN
DESIGNER: C. MANSOP
DRAWN BY: ACM
EXPEDITOR: ACM
SUPERVISOR: ACM

PRELIMINARY NO.: P19196
CONTRACT NO.:

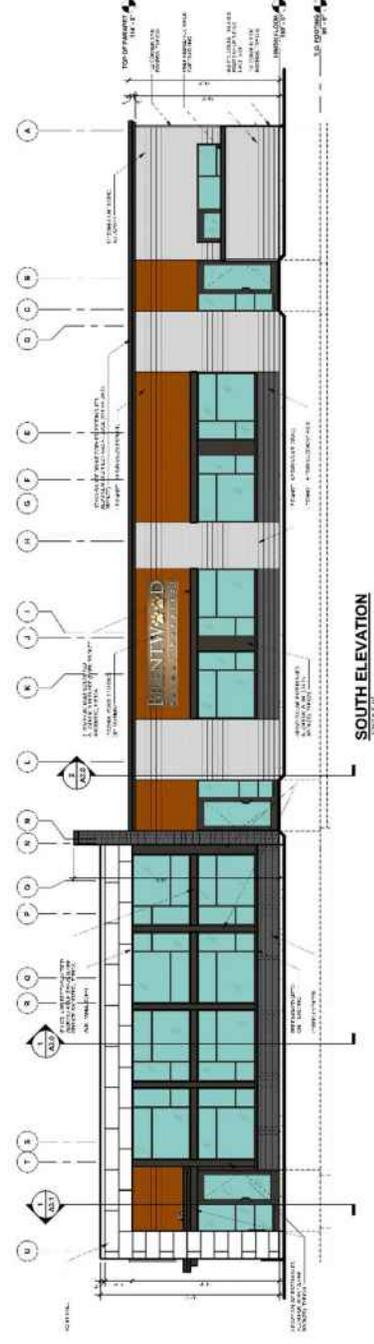
DATE: 07.19.2019
SHEET: **A2.0**

PRELIMINARY - NOT FOR CONSTRUCTION



WEST ELEVATION

FOR ALL OTHER FINISHES, REFER TO THE ATTACHED DRAWING SET FOR FINISH SCHEDULE.
FOR ALL OTHER FINISHES, REFER TO THE ATTACHED DRAWING SET FOR FINISH SCHEDULE.



SOUTH ELEVATION



PLAN COMMISSION REPORT

Proposal: Conditions and Restrictions – freight yard/freight terminal/trans-shipment depot facilities

Description: Review draft Conditions and Restrictions for a Conditional Use Permit for freight yard/freight terminal/trans-shipment depot facilities for the property at 102 W. Oakview Parkway.

Applicant(s): Eric Ogden, Oak Creek Industrial, LLC

Address(es): 102 W. Oakview Parkway

Suggested Motion: That the Plan Commission recommends that the Common Council adopts the Conditions and Restrictions as part of the Conditional Use Permit for freight yard/freight terminal/trans-shipment depot facilities on the property at 102 W. Oakview Parkway, after a public hearing.

Owner(s): Oak Creek Industrial, LLC

Tax Key(s): 955-1040-000

Lot Size(s): 8.7386 ac

Current Zoning District(s): M-1, Manufacturing

Overlay District(s): PUD

Wetlands: Yes No

Floodplain: Yes No

Comprehensive Plan: Business Park

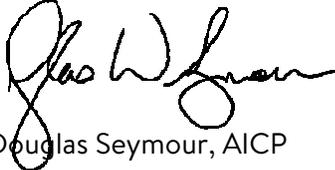
Background:

At the June 23, 2020 meeting, the Plan Commission recommended approval of a Conditional Use Permit for freight yard/freight terminal/trans-shipment depot facilities on the property at 102 W. Oakview Parkway. Staff has prepared draft Conditions and Restrictions for the Commission’s review. If the Commission is

comfortable with the Conditions and Restrictions, the appropriate action would be to recommend that the Common Council approve them as part of the Conditional Use Permit.

Options/Alternatives: The Plan Commission has the discretion to recommend Common Council approval of, or require modifications to, the draft Conditions and Restrictions.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

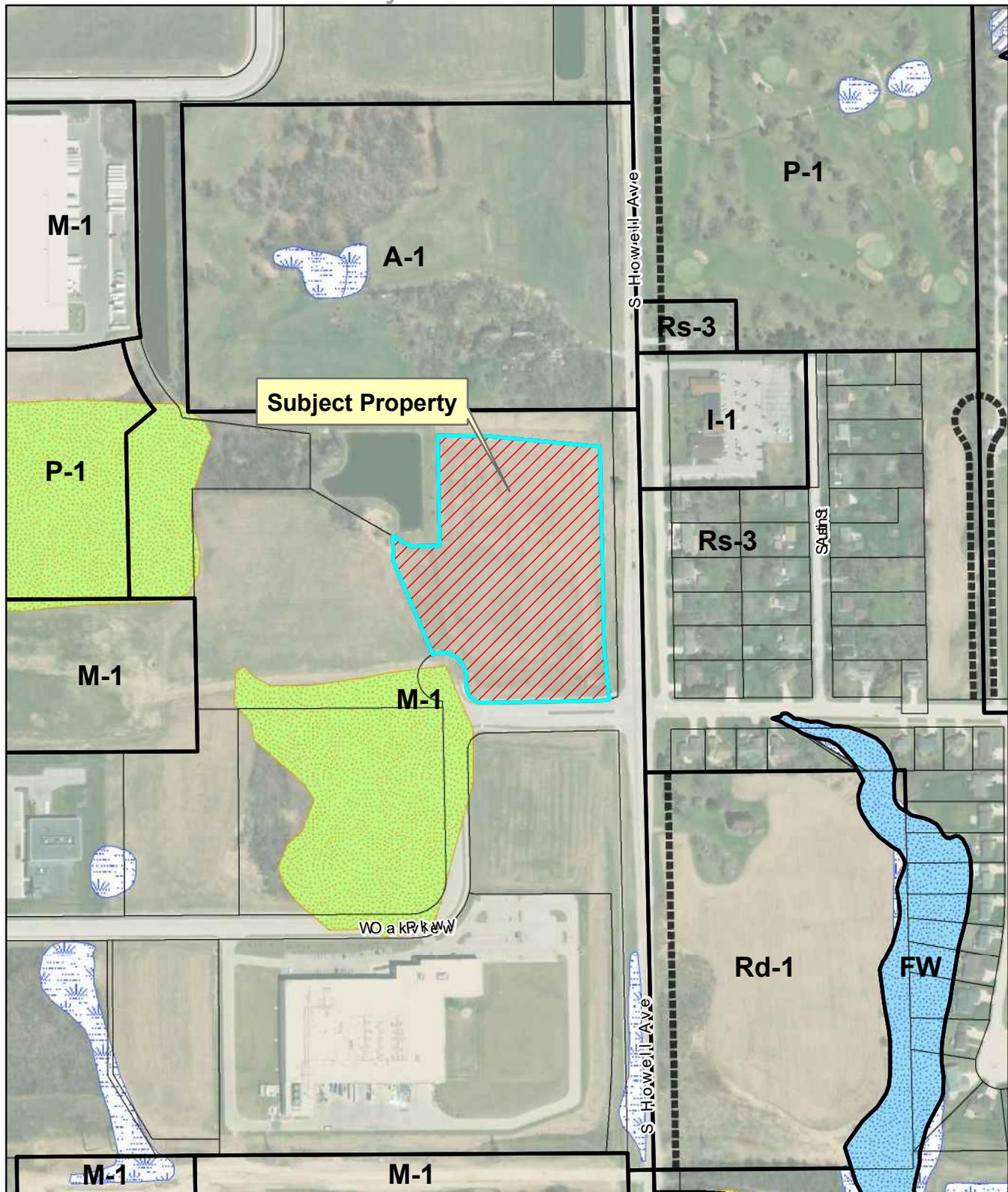
Attachments:

Location Map

Draft Conditions and Restrictions

Location Map

102 W Oakview Parkway



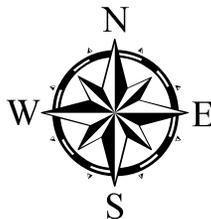
This map is not a survey of the actual boundary of any property this map depicts



OAKCREEK

— WISCONSIN —

Department of Community Development



Legend

-  102 W Oakview Parkway
-  DNR Wetlands Inventory
-  Environmental Corridor
-  Floodway (2008)
-  Officially Mapped Streets

**City of Oak Creek – Conditional Use Permit (CUP)
Conditions and Restrictions**

Applicant: Oak Creek Industrial, LLC	Approved by Plan Commission: TBD
Property Address: 102 W. Oakview Parkway	Approved by Common Council: TBD
Tax Key Number(s): 955-1040-000	(Ord. 2975)
Conditional Use: Freight yard/freight terminal/trans-shipment depot facilities	

1. LEGAL DESCRIPTION

Lot 1 of Certified Survey Map No. 9131, recorded on May 7, 2019 as Document No. 10868362, located in the Southwest 1/4 of the Northeast 1/4 and the Northwest 1/4 of the Southeast 1/4 of Section 32, Town 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.
- B. A precise detailed site plan for the area affected by the Conditional Use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) General Development Plan

- a) Detailed building/structure location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
 - i) Location(s) and future expansion
 - ii) Number of employees
 - iii) Number of all parking spaces
 - iv) Dimensions
 - v) Setbacks
- h) Location(s) of loading berth(s)
- i) Location of sanitary sewer (existing & proposed)
- j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- l) Location(s) of outdoor display area(s)
- m) Location(s) of wetlands (field verified)
- n) Location(s) and details of sign(s)
- n) Location(s) and details of proposed fences/gates

2) Landscape Plan

- a) Screening plan, including parking lot / truck parking screening/berming
- b) Number, initial & mature sizes, and types of plantings
- c) Percentage open/green space

3) Building Plan

- a) Architectural elevations (w/dimensions)
- b) Building floor plans (w/dimensions)
- c) Materials of construction (including colors)

4) Lighting Plan

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) Grading, Drainage and Stormwater Management Plan

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) Fire Protection

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction
- d) Materials to be stored (interior & exterior)

C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building or occupancy permit.

D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the City Engineer for

approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

- E. A landscaping plan must be submitted for review and approval by the Plan Commission prior to the issuance of a building or occupancy permit. Landscaping shall be installed in accordance with plans approved by the Plan Commission December 13, 2016 (last revised July 26, 2018), and all applicable Codes and policies.
- F. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements required in Item 2(B) above, and/or as specified by these Conditions and Restrictions.
- G. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. Uses allowed on this property shall be limited to those allowed by the M-1, Manufacturing zoning district, the OakView Business Park PUD, these Conditions and Restrictions, plans approved by the Plan Commission December 13, 2016 (final revision June 11, 2018), and all applicable sections of the Municipal Code (as amended).
- B. There shall be no parking or storage of vehicles, equipment, merchandise, parts, or supplies within designated public and employee parking areas. Outdoor storage shall be limited to the parking of trucks and trailers associated with the business, and shall be located in designated loading dock areas & striped stalls on the northwest and west portions of the property. There shall be no storage of unlicensed, non-operational vehicles, equipment, merchandise, parts, supplies, or any other materials.
- C. All parking areas shall be striped and landscaped in accordance with approved site plans and applicable Codes.
- D. No box/cabinet signs other than logos with accompanying channel letters in conformance with all applicable Code Sections shall be allowed on the building.
- E. Any change to the occupancy of the site or building shall conform to all Building, Fire, and Municipal Code requirements (as amended).
- F. Solid waste collection and recycling shall be the responsibility of the owner.
- G. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the landowner(s).

4. PARKING AND ACCESS

- A. Parking for this development shall be provided in accordance with Sections 17.0403 & 17.0404 of the Municipal Code (as amended), these Conditions and Restrictions (see Section 3 above), and plans approved by the Plan Commission December 13, 2016 (final revision June 11, 2018).
- B. Trucks utilizing this facility shall adhere to all posted traffic signs and regulations. Trucks entering and exiting this site shall not utilize West Oakwood Road west of its intersection with S. Oakview Parkway.

5. LIGHTING

All plans for new outdoor lighting shall be reviewed and approved by the Electrical Inspector in accordance with Section 17.0808 of the Municipal Code (as amended).

6. BUILDING AND PARKING SETBACKS*

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure(s)	40 ft	20 ft	20 ft
Accessory Structure(s)*	40 ft	20 ft	20 ft
Off-street Parking	30 ft	5 ft	5 ft

**No accessory structures shall be permitted in the front yard nor shall any structures be permitted in required buffer yards. See plans approved by the Plan Commission December 13, 2016 (final revision June 11, 2018).*

7. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these Conditions and Restrictions within twelve (12) months from the date of adoption of the ordinance authorizing this Conditional Use Permit. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the ordinance if building or occupancy permits have not been issued for this use.

8. DURATION OF CONDITIONAL USE PERMIT

This Conditional Use Permit is limited in duration to ten (10) years from the date of issuance of the Conditional Use Permit. The owner may apply for an extension of this Conditional Use Permit. The process for extension of the Conditional Use Permit shall follow the procedures for approving Conditional Use Permit as set forth in Section 17.1007 of the Municipal Code (as amended).

9. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

10. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Conditional Use Permit is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the City shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 10 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other City ordinances.

11. REVOCATION

Should an applicant, their heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use Permit approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving Conditional Use Permit as set forth in Section 17.1007 of the Municipal Code (as amended).

12. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

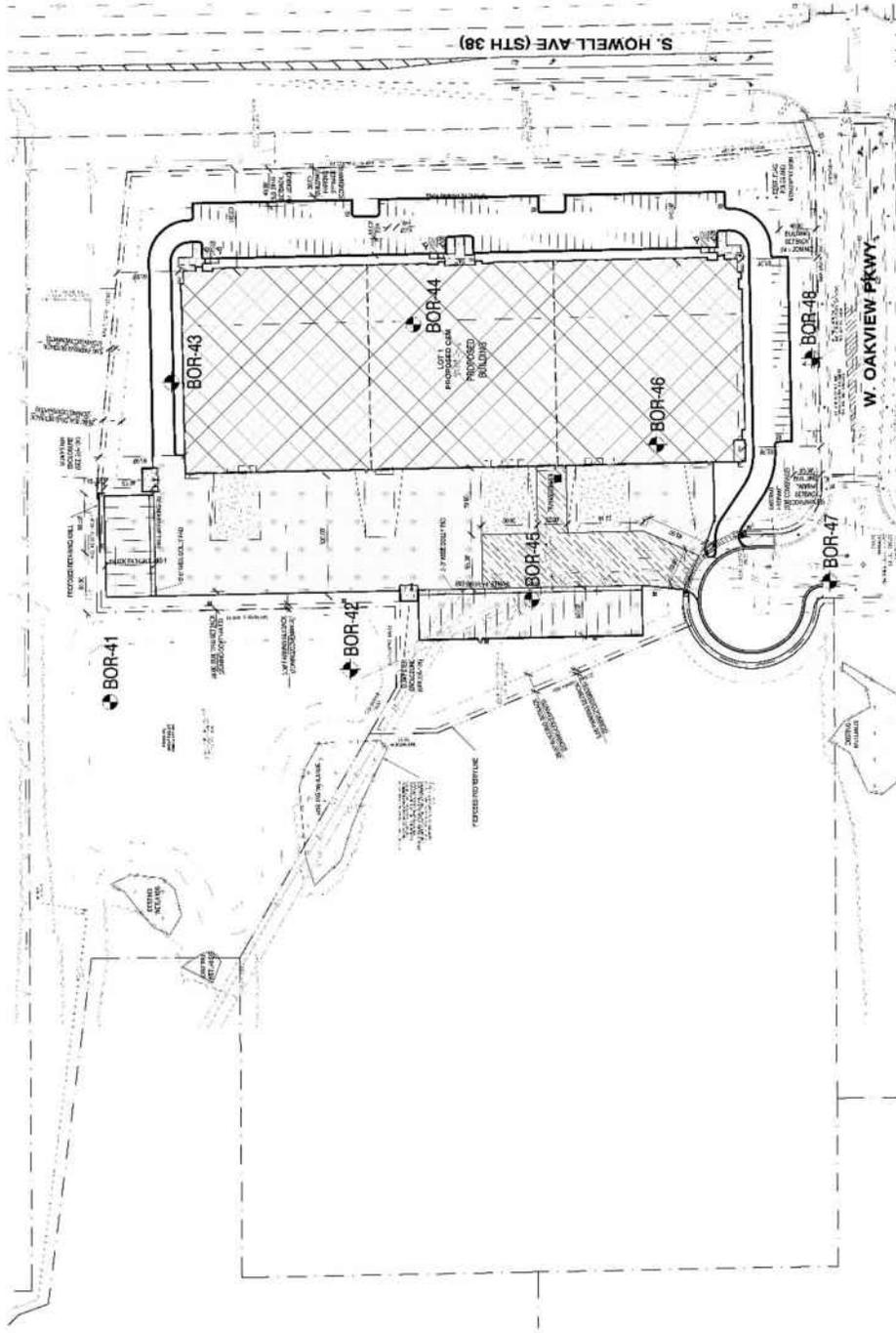
Owner / Authorized Representative Signature

Date

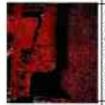
(please print name)

EXHIBIT A: SITE PLAN APPROVED DECEMBER 13, 2016 (FINAL REVISION JUNE 11, 2018)

	1000 S. 2nd Street, Suite 100 Fort Lauderdale, FL 33316 Phone: (954) 571-1111 Fax: (954) 571-1112 www.msjgeneral.com	PROJECT ADDRESS: One Oakview Parkway, LLC One Oakview Parkway Fort Lauderdale, FL 33304	ARCHITECTS HSA 1000 S. 2nd Street, Suite 100 Fort Lauderdale, FL 33316
	CONTRACTORS ENGINEERS MANAGERS	PROJECT ADDRESS: One Oakview Parkway, LLC One Oakview Parkway Fort Lauderdale, FL 33304	SITE PLAN C-101 4451



DATE	10/11/18
BY	J. J. JONES
DESCRIPTION	REVISION 1: AS SHOWN
DATE	10/11/18
BY	J. J. JONES
DESCRIPTION	REVISION 2: AS SHOWN
DATE	10/11/18
BY	J. J. JONES
DESCRIPTION	REVISION 3: AS SHOWN



PLAN COMMISSION REPORT

Proposal:	Temporary Use Permit Review – Pick n’ Save #348
Description:	Review a request for a temporary use permit for the sale of remaining spring and summer merchandise inventory on the store’s sidewalk at 6462 S. 27th Street.
Applicant(s):	Mega Marts, LLC DBA Pick n’ Save #348
Address(es):	6462 S. 27th Street
Suggested Motion:	Staff does not support approval as stated in the report below. Please see the staff report below for decision procedure when considering the following motion.

That the Plan commission approves the Temporary Use permit for Pick n’ Save #348 at 6462 S. 27th Street with the following conditions:

1. The displays must be confined to the walkway and against the front façade of the building.
2. That no fire lanes or building entrances be blocked at any time by the outdoor display of merchandise.
3. Displays of merchandise be limited to the items listed in the narrative.
4. Non-seasonal merchandise, including the Redbox kiosk, be relocated into the interior of the building.
5. No sales will occur in the parking lot.
6. All signs shall comply with Section 17.0709 Temporary Banners and Construction Signs and be issued a temporary sign permit.
7. That sales shall occur between the hours of 6:00 AM and 11:00 PM (or as determined by the Plan Commission).
8. The Temporary Use Permit for the outdoor sale of merchandise shall expire July 31, 2020. No extensions of the Temporary Use Permit will be issued.

Owner(s):	NDC, LLC
Tax Key(s):	715-9019-000
Lot Size(s):	5.960 ac
Current Zoning District(s):	B-4, Highway Business
Overlay District(s):	RRO, Regional Retail

Wetlands: Yes No

Floodplain: Yes No

Comprehensive Plan: Commercial

Background: The Applicant, Mega Marts, LLC, is requesting a 14-day extension of the Temporary Use Permit issued by the Zoning Administrator to allow for the outdoor display of remaining spring and summer merchandise on the walkway near the entrance to Pick n’ Save #348 at 6462 S. 27th Street. Included with this report is a narrative request and site plan. The attached site plan indicates a general location of the outdoor displays but lacks details such as the dimensions of the display and walkway.

On May 20, 2020, City staff sent a Notice of Violation letter for the outdoor display of merchandise without the approval of a Conditional Use Permit at Pick n’ Save #348. Any outdoor display of merchandise is prohibited in the B-4 zoning district without the approval of a Conditional Use Permit. Staff observed displays of merchandise that included seasonal plants, pallets of mulch, planting pots, and a Redbox kiosk. Additionally, some of the outdoor merchandise was blocking entry paths and fire lanes to the building (Please see Exhibit A).

In response to the Notice of Violation, the applicant requested a 14-day Temporary Use Permit issued by the Zoning Administrator to allow for the outdoor displays to continue. This permit was issued to allow the applicant to sell their remaining spring and summer merchandise inventory only and does not extend to the display of the Redbox kiosk. The 14-day Temporary Use Permit was granted and will expire on July 14, 2020.

Over the last few holiday seasons, the applicant has received a Temporary Use Permit from the Zoning Administrator for the outdoor display of Christmas trees in front of their store. No complaints were received by staff during the operation of the Christmas tree sale season for this property.

Staff has consistently expressed concerns about the outdoor display of merchandise in front of businesses as they can detract from the character of the community. Therefore, staff has recommended against similar requests for Temporary Use and Conditional Use Permits for other properties in the past. Should the Plan Commission determine that the extension of the Temporary Use Permit for this applicant and location is acceptable, staff recommends the merchandise be limited to the remaining spring and summer inventory listed in the narrative and that no additional extensions shall be granted.

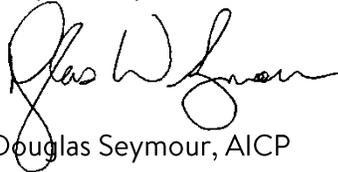
Below are two options for Plan Commission consideration:

- Concurrence with Staff - Should the Plan Commission concur with staff and not support the proposal, the suggested motion should be made in the affirmative, with dissenting votes and specific Code Sections upon which the disapproval was based.
- Recommendation of Approval - Should the Plan Commission determine that the proposed temporary use permit request is acceptable, the suggested motion would proceed as with other

recommendations for approval. In the event that the proposal is recommended for approval, staff has included conditions of approval for the permit.

Options/Alternatives: See above. The Plan Commission has the authority to deny the request for this type of use as the B-4 zoning district does not permit outdoor display of merchandise. If denied, the site would remain in its current condition. The applicant could possibly display the remaining outdoor seasonal merchandise inside were the existing indoor seasonal merchandise are displayed.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Laurie Miller
Zoning Administrator/Planner

Attachments:

Location Map

Narrative letter (1 page)

Plan with proposed location (2 pages)

Exhibit A: Code enforcement photos (1 page)

Notification Map

6462 S 27th St.

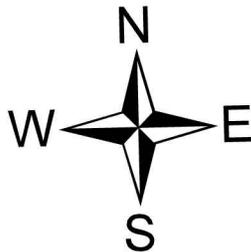


This map is not a survey of the actual boundary of any property this map depicts



OAKCREEK
— WISCONSIN —

Department of Community Development



Legend	
	6462 S 27th St
	Parcel
	Official Street Pattern
	Environmental Corridor
	OCCGIS.GIS.Lake_Polygon
	Flood Plain (2008)
	Floodway (2008)

Description of Proposal: We are requesting a temporary use permit from 7/14/2020 – 7/31/2020 to sell our remaining spring & summer inventory. All sales will occur during normal store hours. All of the product will be displayed on the store's sidewalk; no sales will occur in the parking lot and the store will assure that the fire lanes remain clear at all times.

Spring Outdoor

- Flowering Baskets and Planters
- Hydrangeas
- Hibiscus
- Gardenias
- Mandevilla
- Foliage Hanging Baskets
- Kiddie Pools

Summer Outdoor

- 10" Tropical Plants
- Blooming Plants
- Sunflowers

CITY OF OAK CREEK

JUN 03 2020

RECEIVED



Exhibit A: 6462 S. 27th Street





PLAN COMMISSION REPORT

Proposal: Temporary Use Permit Review – Pick n’ Save #387

Description: Review a request for a temporary use permit for the sale of remaining spring and summer merchandise inventory on the store’s sidewalk at 2320 W Ryan Rd.

Applicant(s): Mega Marts, LLC DBA Pick n’ Save #387

Address(es): 2320 W Ryan Rd.

Suggested Motion: Staff does not support approval as stated in the report below. Please see the staff report below for decision procedure when considering the following motion.

That the Plan commission approves the Temporary Use permit for Pick n’ Save #387 at 2320 W Ryan Rd with the following conditions:

1. The displays must be confined to the walkway and against the front façade of the building.
2. That no fire lanes or building entrances be blocked at any time by the outdoor display of merchandise.
3. Displays of merchandise be limited to the items listed in the narrative.
4. Non-seasonal merchandise displays, including the propane tank display, be removed from the exterior of the building.
5. No sales will occur in the parking lot.
6. All signs shall comply with Section 17.0709 Temporary Banners and Construction Signs and be issued a temporary sign permit.
7. That sales shall occur between the hours of 6:00 AM and 11:00 PM (or as determined by the Plan Commission).
8. The Temporary Use Permit for the outdoor sale of merchandise shall expire July 31, 2020. No extensions of the Temporary Use Permit will be issued.

Owner(s): Atout Real Estate, LLC

Tax Key(s): 878-9037-001

Lot Size(s): 11.189 ac

Current Zoning District(s): B-4, Highway Business

Overlay District(s): PUD

Wetlands: Yes No

Floodplain: Yes No

Comprehensive Plan: Commercial

Background: The Applicant, Mega Marts, LLC, is requesting a 14-day extension of the Temporary Use Permit issued by the Zoning Administrator to allow for the outdoor display of remaining spring and summer merchandise on the walkway near the entrance to Pick n’ Save #387 at 2320 W Ryan Road. Included with this report is a narrative request and site plan. The attached site plan indicates a general location of the outdoor displays but lacks details such as the dimensions of the display and walkway.

On May 20, 2020, City staff sent a Notice of Violation letter for the outdoor display of merchandise without the approval of a Conditional Use Permit at Pick n’ Save #387. Any outdoor display of merchandise is prohibited in the B-4 zoning district without the approval of a Conditional Use Permit. Staff observed displays of merchandise that included seasonal plants, pallets of mulch, planting pots, and a propane tank display. Additionally, some of the outdoor merchandise were partially blocking entry paths to the building (Please see Exhibit A).

In response to the Notice of Violation, the applicant requested a 14-day Temporary Use Permit issued by the Zoning Administrator to allow for the outdoor displays to continue. This permit was issued to allow the applicant to sell their remaining spring and summer merchandise inventory only and does not extend to the display of propane tanks. The 14-day Temporary Use Permit was granted and will expire on July 14, 2020.

Over the last few holiday seasons, the applicant has received a Temporary Use Permit from the Zoning Administrator for the outdoor display of Christmas trees in front of their store. No complaints were received by staff during the operation of the Christmas tree sale season for this property.

Staff has consistently expressed concerns about the outdoor display of merchandise in front of businesses as they can detract from the character of the community. Therefore, staff has recommended against similar requests for Temporary Use and Conditional Use Permits for other properties in the past. Should the Plan Commission determine that the extension of the Temporary Use Permit for this applicant and location is acceptable, staff recommends the merchandise be limited to the remaining spring and summer inventory listed in the narrative and that no additional extensions shall be granted.

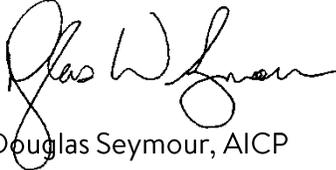
Below are two options for Plan Commission consideration:

- Concurrence with Staff - Should the Plan Commission concur with staff and not support the proposal, the suggested motion should be made in the affirmative, with dissenting votes and specific Code Sections upon which the disapproval was based.
- Recommendation of Approval - Should the Plan Commission determine that the proposed temporary use permit request is acceptable, the suggested motion would proceed as with other

recommendations for approval. In the event that the proposal is recommended for approval, staff has included conditions of approval for the permit.

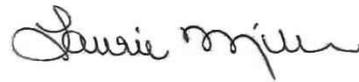
Options/Alternatives: See above. The Plan Commission has the authority to deny the request for this type of use as the B-4 zoning district does not permit outdoor display of merchandise. If denied, the site would remain in its current condition. The applicant could possibly display the remaining outdoor seasonal merchandise inside were the existing indoor seasonal merchandise are displayed.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Laurie Miller
Zoning Administrator/Planner

Attachments:

Location Map

Narrative letter (1 page)

Plan with proposed location (2 pages)

Exhibit A: Code enforcement photos (1 page)

Location Map

2320 W Ryan Rd



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

This map is not a survey of the actual boundary of any property this map depicts



Legend	
	2320 W Ryan Rd.
	Official Street Pattern
	Environmental Corridor
	Flood Plain (2008)

Description of Proposal: We are requesting a temporary use permit from 7/14/2020 – 7/31/2020 to sell our remaining spring & summer inventory. All sales will occur during normal store hours. All of the product will be displayed on the store's sidewalk; no sales will occur in the parking lot and the store will assure that the fire lanes remain clear at all times.

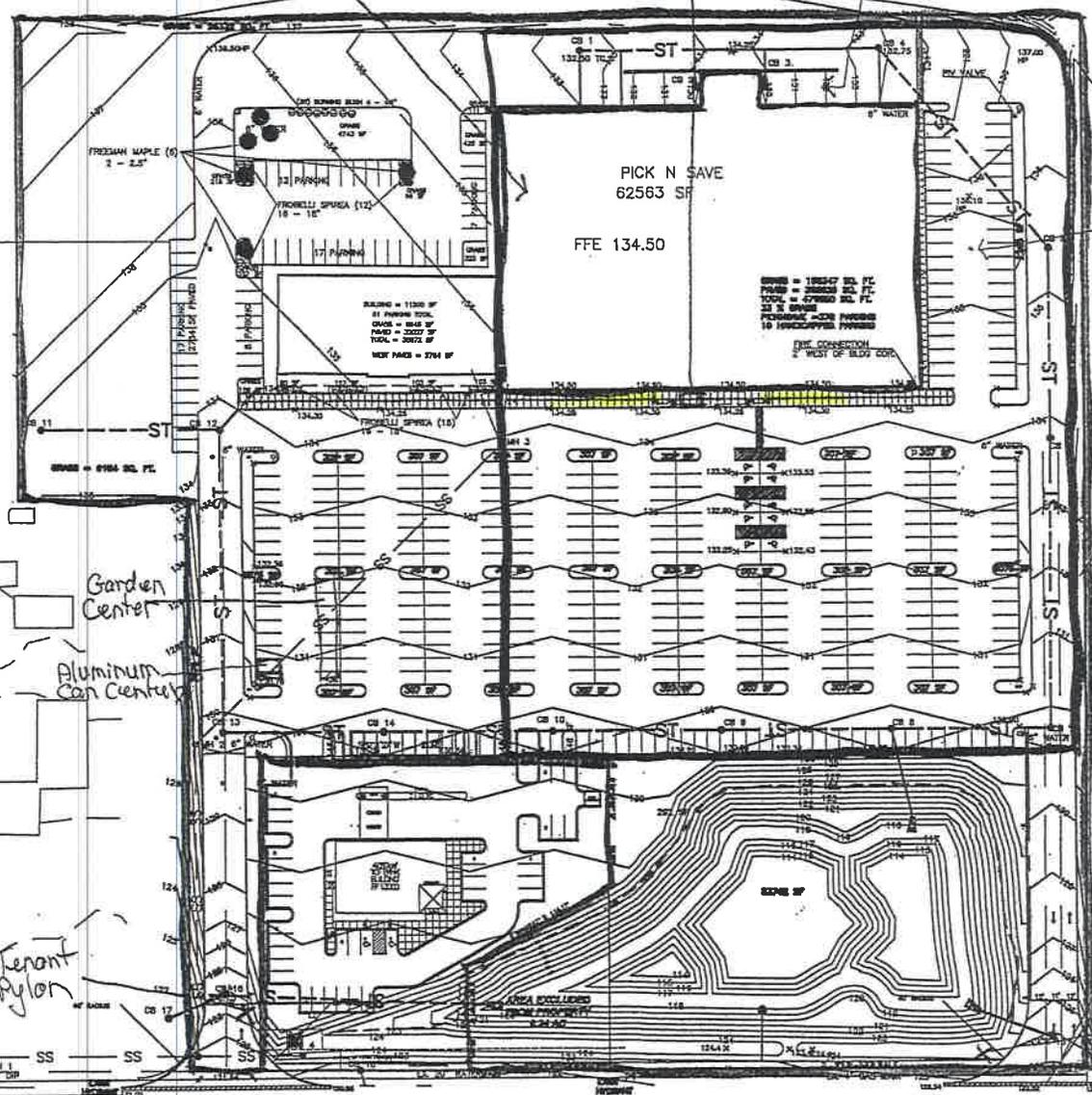
Spring Outdoor

- Flowering Baskets and Planters
- Hydrangeas
- Hibiscus
- Gardenias
- Mandevilla
- Foliage Hanging Baskets
- Kiddie Pools

Summer Outdoor

- 10" Tropical Plants
- Blooming Plants
- Sunflowers

SCALE: 1" = 40'



Expansion Area

Garden Center

Aluminum Can Center

Tenant Pylon

Landlord Pylon

SITE PLAN

NATURE'S NOOK
1690 WEST NATIONAL AVENUE
NEW BERLIN, WI 53151

NEW RETAIL BUILDING FOR
MR. ERIC ATOUT
27TH STREET AND RYAN ROAD
OAK CREEK WI

A3

CITY OF OAK CREEK

JUN 03 2020

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See attached picture for display area

JUN 03 2020

RECEIVED



Exhibit A: 2320 W. Ryan Road





PLAN COMMISSION REPORT

Proposal: Temporary Use Permit Review – Pick n’ Save #862

Description: Review a request for a temporary use permit for the sale of remaining spring and summer merchandise inventory on the store’s sidewalk at 8770 S. Howell Avenue.

Applicant(s): Mega Marts, LLC DBA Pick n’ Save #862

Address(es): 8770 S. Howell Avenue

Suggested Motion: Staff does not support approval as stated in the report below. Please see the staff report below for decision procedure when considering the following motion.

That the Plan commission approves the Temporary Use permit for Pick n’ Save #862 at 8770 S. Howell Avenue with the following conditions:

1. The displays must be confined to the walkway and against the front façade of the building.
2. That no fire lanes or building entrances be blocked at any time by the outdoor display of merchandise.
3. Displays of merchandise be limited to the items listed in the narrative.
4. Non-seasonal merchandise displays, including the propane tank display, be removed from the exterior of the building.
5. No sales will occur in the parking lot.
6. All signs shall comply with Section 17.0709 Temporary Banners and Construction Signs and be issued a temporary sign permit.
7. That sales shall occur between the hours of 6:00 AM and 11:00 PM (or as determined by the Plan Commission).
8. The Temporary Use Permit for the outdoor sale of merchandise shall expire July 31, 2020. No extensions of the Temporary Use Permit will be issued.

Owner(s): NDC, LLC

Tax Key(s): 860-9041-000

Lot Size(s): 10.200 ac

Current Zoning District(s): B-4, Highway Business

Overlay District(s): CU

Wetlands: Yes No

Floodplain: Yes No

Comprehensive Plan: Commercial

Background: The Applicant, Mega Marts, LLC, is requesting a 14-day extension of the Temporary Use Permit issued by the Zoning Administrator to allow for the outdoor display of remaining spring and summer merchandise on the walkway near the entrance to Pick n’ Save #862 at 8770 S. Howell Avenue. Included with this report is a narrative request and site plan. The attached site plan indicates a general location of the outdoor displays but lacks details such as the dimensions of the display and walkway.

On May 20, 2020, City staff sent a Notice of Violation letter for the outdoor display of merchandise without the approval of a Conditional Use Permit at Pick n’ Save #862. Any outdoor display of merchandise is prohibited in the B-4 zoning district without the approval of a Conditional Use Permit. Staff observed displays of merchandise that included seasonal plants, pallets of mulch, planting pots, and a propane tank display. Additionally, some of the outdoor merchandise were partially blocking paths and entryways into to the building (Please see Exhibit A).

In response to the Notice of Violation, the applicant requested a 14-day Temporary Use Permit issued by the Zoning Administrator to allow for the outdoor displays to continue. This permit was issued to allow the applicant to sell their remaining spring and summer merchandise inventory only and does not extend to the display of propane tanks. The 14-day Temporary Use Permit was granted and will expire on July 14, 2020.

Over the last few holiday seasons, the applicant has received a Temporary Use Permit from the Zoning Administrator for the outdoor display of Christmas trees in front of their store. No complaints were received by staff during the operation of the Christmas tree sale season for this property.

Staff has consistently expressed concerns about the outdoor display of merchandise in front of businesses as they can detract from the character of the community. Therefore, staff has recommended against similar requests for Temporary Use and Conditional Use Permits for other properties in the past. Should the Plan Commission determine that the extension of the Temporary Use Permit for this applicant and location is acceptable, staff recommends the merchandise be limited to the remaining spring and summer inventory listed in the narrative and that no additional extensions shall be granted.

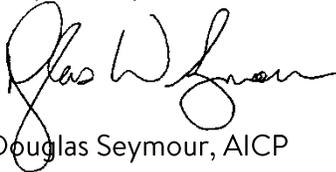
Below are two options for Plan Commission consideration:

- Concurrence with Staff - Should the Plan Commission concur with staff and not support the proposal, the suggested motion should be made in the affirmative, with dissenting votes and specific Code Sections upon which the disapproval was based.
- Recommendation of Approval - Should the Plan Commission determine that the proposed temporary use permit request is acceptable, the suggested motion would proceed as with other

recommendations for approval. In the event that the proposal is recommended for approval, staff has included conditions of approval for the permit.

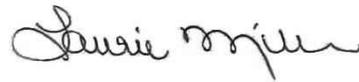
Options/Alternatives: See above. The Plan Commission has the authority to deny the request for this type of use as the B-4 zoning district does not permit outdoor display of merchandise. If denied, the site would remain in its current condition. The applicant could possibly display the remaining outdoor seasonal merchandise inside were the existing indoor seasonal merchandise are displayed.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Laurie Miller
Zoning Administrator/Planner

Attachments:

Location Map

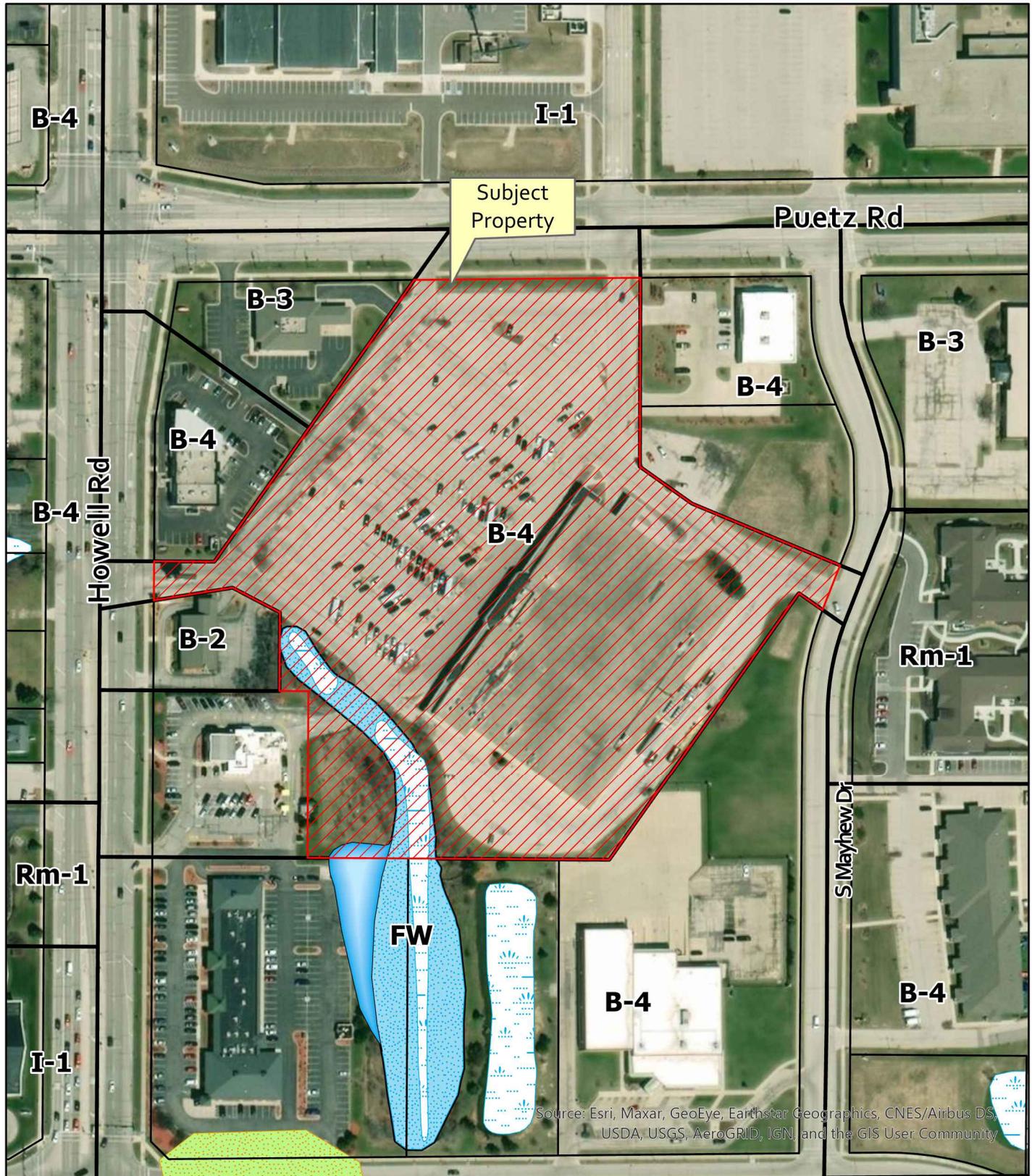
Narrative letter (1 page)

Plan with proposed location (2 pages)

Exhibit A: Code enforcement photos (1 page)

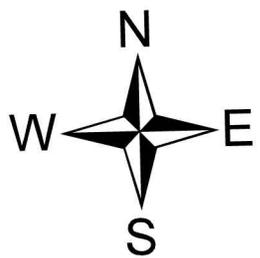
Location Map

8770 S Howell Ave



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

This map is not a survey of the actual boundary of any property this map depicts



Legend

-  Parcel selection
-  DNR Wetlands Inventory
-  Environmental Corridor
-  Flood Plain (2008)
-  Floodway (2008)

Description of Proposal: We are requesting a temporary use permit from 7/14/2020 – 7/31/2020 to sell our remaining spring & summer inventory. All sales will occur during normal store hours. All of the product will be displayed on the store's sidewalk; no sales will occur in the parking lot and the store will assure that the fire lanes remain clear at all times.

Spring Outdoor

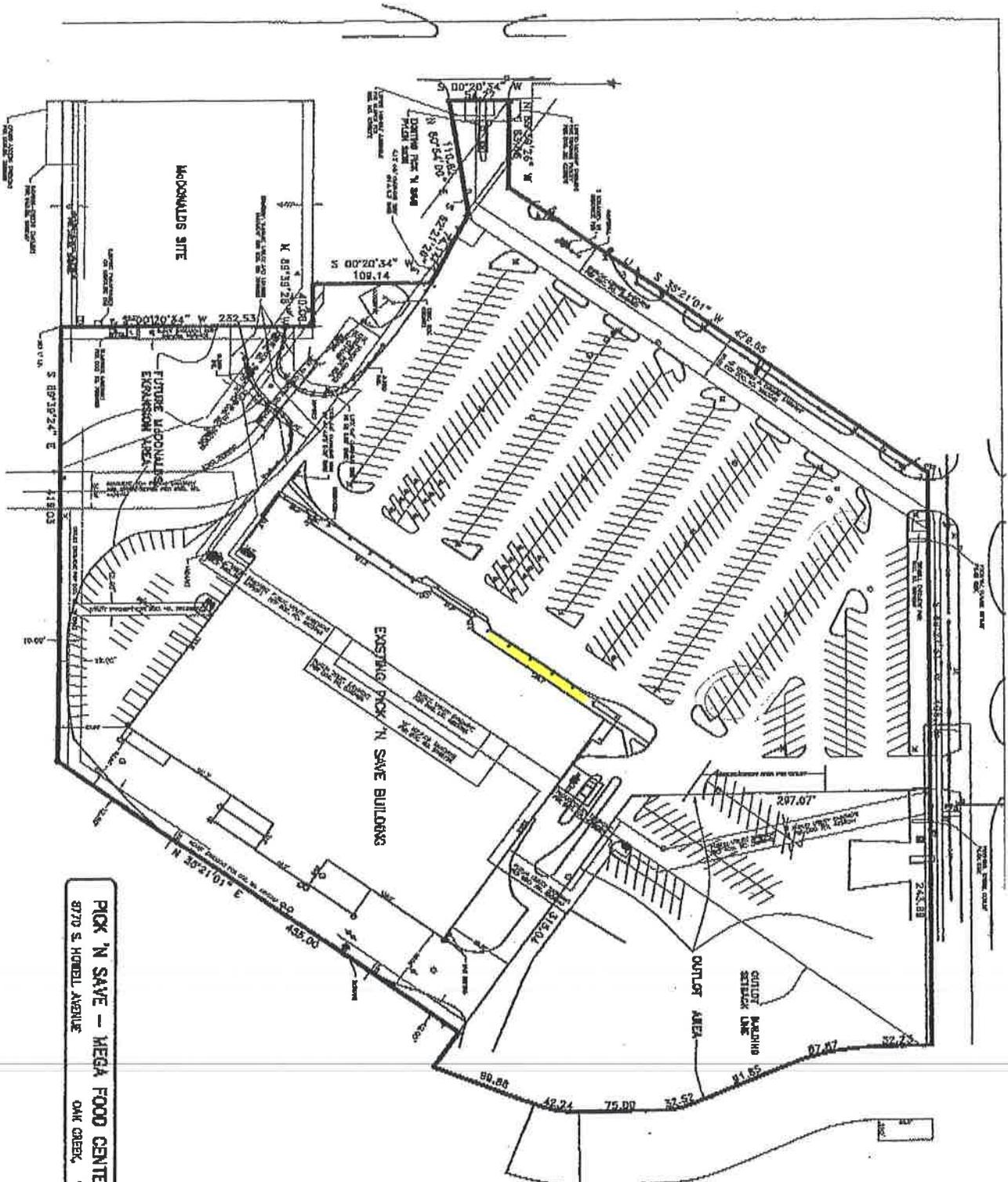
- Flowering Baskets and Planters
- Hydrangeas
- Hibiscus
- Gardenias
- Mandevilla
- Foliage Hanging Baskets
- Kiddie Pools

Summer Outdoor

- 10" Tropical Plants
- Blooming Plants
- Sunflowers

6862

SOUTH HOWELL AVENUE



PICK 'N SAVE - MEGA FOOD CENTER SITE
 8770 S. HOWELL AVENUE
 OAK CREEK, WISCONSIN

= See Attached picture for display area

CITY OF OAK CREEK

JUN 03 2020

RECEIVED

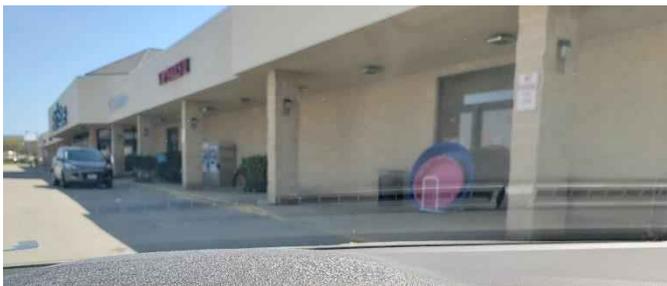


CITY OF OAK CREEK

JUN 03 2022

RECEIVED

Exhibit A: 8770 S. Howell Avenue





PLAN COMMISSION REPORT

Proposal: Plan Review – North Shore Bank

Description: Site, building, landscaping, and related review for a proposed financial institution with virtual teller and ATM facility.

Applicant(s): Dave Kane, North Shore Bank

Address(es): 200 W. Drexel Ave.

Suggested Motion: That the Plan Commission approves the site and building plans submitted by Dave Kane, North Shore Bank, for the property at 200 W. Drexel Ave., with the following conditions:

1. That all relevant Code requirements are in effect.
2. That all mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) are screened from view.
3. That all required floodplain and green infrastructure approvals are provided to the Engineering Department prior to the submission of building permit applications.
4. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review and approval by the **Plan Commission OR Department of Community Development** prior to the submission of building permit applications.

Owner(s): DREXEL 200 LLC A WI LLC

Tax Key(s): 782-9040-000

Lot Size(s): 1.530 ac

Current Zoning District(s): B-2, Community Business FW, Floodway

Overlay District(s): FF, Flood Fringe C-1, Shoreland Wetland

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Commercial

Background:

The Applicant is requesting site, building, landscaping, and lighting plan approval for a proposed 2,429 square-foot financial institution with two (2) video teller/ATMs on the property at 200 W. Drexel Ave. Plan Commissioners will recall that this property was recently rezoned to B-2, Community Business in anticipation of development with a financial institution.

It appears from the submitted site plans that all setbacks and dimensional requirements for the building and parking areas are met. Plan Commissioners will note that the existing garage building on the northern portion of the parcel will be removed. No change to the existing access is proposed, and the existing cross-access easement area will not change. A pedestrian walkway along the east side of the building will connect to the public sidewalk along Drexel Ave.

Hours of operation have been provided for both the interior building services and the video teller/ATM lanes.

	Monday-Friday	Saturday	Sunday
Lobby / Building	9:00 AM – 5:00 PM	9:00 AM – 2:00 PM	Closed
ITM (Video Teller)	8:00 AM – 7:00 PM	8:00 AM – 5:00 PM	10:00 AM – 4:00 PM
ATM	24 hours	24 hours	24 hours

Minimum parking requirements for financial institutions are calculated at one (1) stall for every 150 square feet of gross floor of customer service, plus one (1) stall for each employee onsite during the largest shift. Floor plans indicate that approximately half of the total building square footage will be dedicated to customer service space readily accessible to the public (e.g., lobby, tellers, etc.), and the submitted plan of operation states that a maximum of eight (8) employees could be onsite during any shift. With the above information, a minimum of 16 parking stalls would be required. Plans show a total of 17-18 parking stalls east of the building, and north of the video teller/ATM lanes. Therefore, the minimum number of parking stalls in the proposed plans appears to be exceeded.

The building is proposed to be constructed with 4-inch stone veneer, 4 x 8 x 24 decorative concrete brick masonry units at the base, glass curtainwall for the lobby section, and aluminum storefront system (glass) as the primary exterior building materials. Silver metallic prefinished metal flashing, fascia, and soffit panels are proposed along the standing seam metal rooflines and as accents comprising less than 25% of the façade. Signs on the building are shown in potential locations and are not part of this review. The proposed monument sign location appears to meet the minimum 10-foot setback to the south property line.

Both of the proposed canopies over the video teller/ATM lanes will match the same materials as the building (stone and metal roof). One (1) trash receptacle enclosure has been identified on the northeast portion of the parking area, materials for which will match the building (stone). Painted steel will be used for the gate.

Landscape plans have been provided for the site; however, details required for Code compliance are missing (planting height, mature height, etc.). As a reminder, all ground, building, and rooftop mechanical units (shown screened), utility boxes, and transformers must be screened per Code. Final approval of landscape plans must be approved by the Plan Commission or the Department of Community Development as recommended in the conditions of approval above.

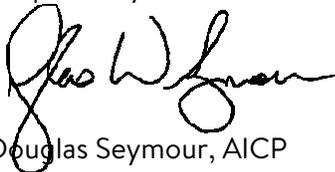
Lastly, but critical to the development of the property as proposed, are several requirements regarding the impacts to flood hazard areas on the property. Plan Commissioners will recall that this property was subject to a rezone that included modifications to the flood hazard areas as approved by FEMA. Essentially, FEMA made a determination as to what existing structures/areas on the property were considered to be outside of the Special Flood Hazard Area. The proposal includes additional modifications to the Special Flood Hazard Area ("flood fringe"), necessitating the following:

1. A minimum of 15 feet from the proposed structure is required to be 1 foot above the regional flood elevation per NR116 and Oak Creek's floodplain zoning code.
2. A LOMR-F from FEMA is required prior to the issuance of a building permit.
3. Green Infrastructure (GI) is required, and the location may need to be modified as it is proposed within the floodplain.
4. Curb is required along the east edge of the pavement to direct drainage to GI.

The requirements above are currently being addressed in revised plans, and City staff will continue to work with the Applicant's consultants for compliance. Therefore, staff has provided a suggested motion for approval with conditions above for Plan Commission consideration.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary). However, disapproval would likely result in the existing vacant condition of the property to remain.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

Attachments:

Location Map

Plan of Operation (2 pages)

Plans

 Cover Sheet, G-001 (1 page)

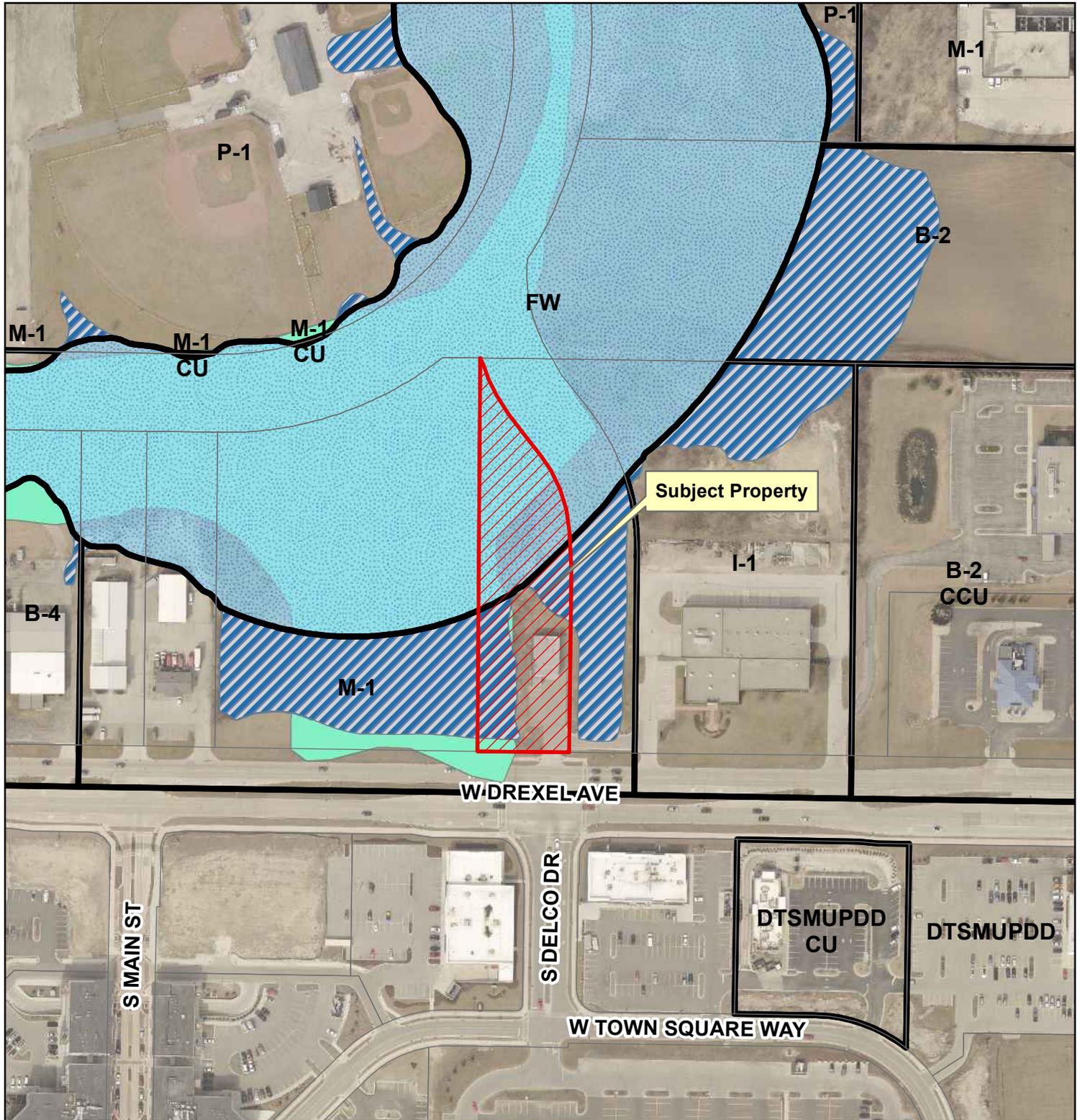
 Civil Plans, C-100 – C501 (6 pages)

 Photometrics, E-100 (1 page)

 Landscape Plan (1 page)

 Floor Plan, Elevations, Renderings, A-101 – A202 (3 pages)

Location Map 200 W. Drexel Ave.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

- | | |
|--------------------|----------------------------|
| 200 W. Drexel Ave. | Zoning Overlays |
| Flood Fringe 2008 | C-1, Shoreland Wetland |
| Floodway 2008 | FF, Flood Fringe |
| | Lakefront Overlay |
| | NO, Mixed Use Neighborhood |
| | OO, Mixed Use Office |
| | RR, Regional Retail |



NORTH SHORE BANK

Corporate Office: 15700 W Bluemound Rd-Brookfield, WI 53005
262.785.1600 | northshorebank.com

June 15, 2020

Kari Papelbon, Planner
City of Oak Creek
8040 S 6th Street
Oak Creek, WI 53154

Subject: **Plan of Operation for North Shore Bank Branch 200 W Drexel Ave,
Oak Creek, WI.**

Ms. Papelbon,

Please share the outline of the following applicable items with the Plan Commissioners:

1. Name of business and address:
North Shore Bank
200 W Drexel Ave
Oak Creek, WI 53154
2. Name of the owner and address:
North Shore Bank
15700 W. Bluemound Road
Brookfield, WI. 53005
3. Name of applicant:(if different from owner)
David Kane, Vice President
4. Specific use of the entire property and buildings:
Building use is for conducting banking business
Site use is for drive up teller service and parking
5. Minimum and maximum number of employees:
Minimum; 2 persons
Maximum; 8 persons
6. Days of operation:
Sunday through Saturday
7. Hours of operation:
ATM – 24/7; Video Tellers (ITM) 7 days/week M-F 8:00am to 7pm,
Saturday 8:00am to 5:00pm, Sunday 10:00am to 4:00pm, Branch hours
Monday to Thursday 9:00am to 5:00pm and Saturday, 9:00am to 2:00pm

8. Security fencing:
None

9. What provisions are you making for fire protection and human safety:
Fire extinguishers located within the building
Smoke / heat / security detectors monitored off site with closed circuit
video surveillance

10. What are your rules and regulations for the property?
No unauthorized use of the site by others during or after-hours including
parking.

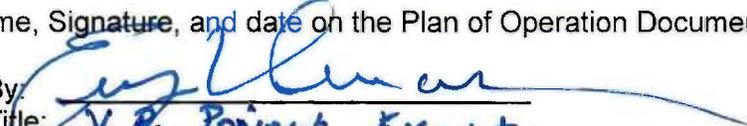
11. Proposed on site security, measures:
Smoke / heat / security detectors monitored off site with closed circuit
video surveillance

12. Anticipated maximum number of facility users and viewers at one time (Including
special events):
8 Persons

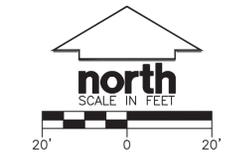
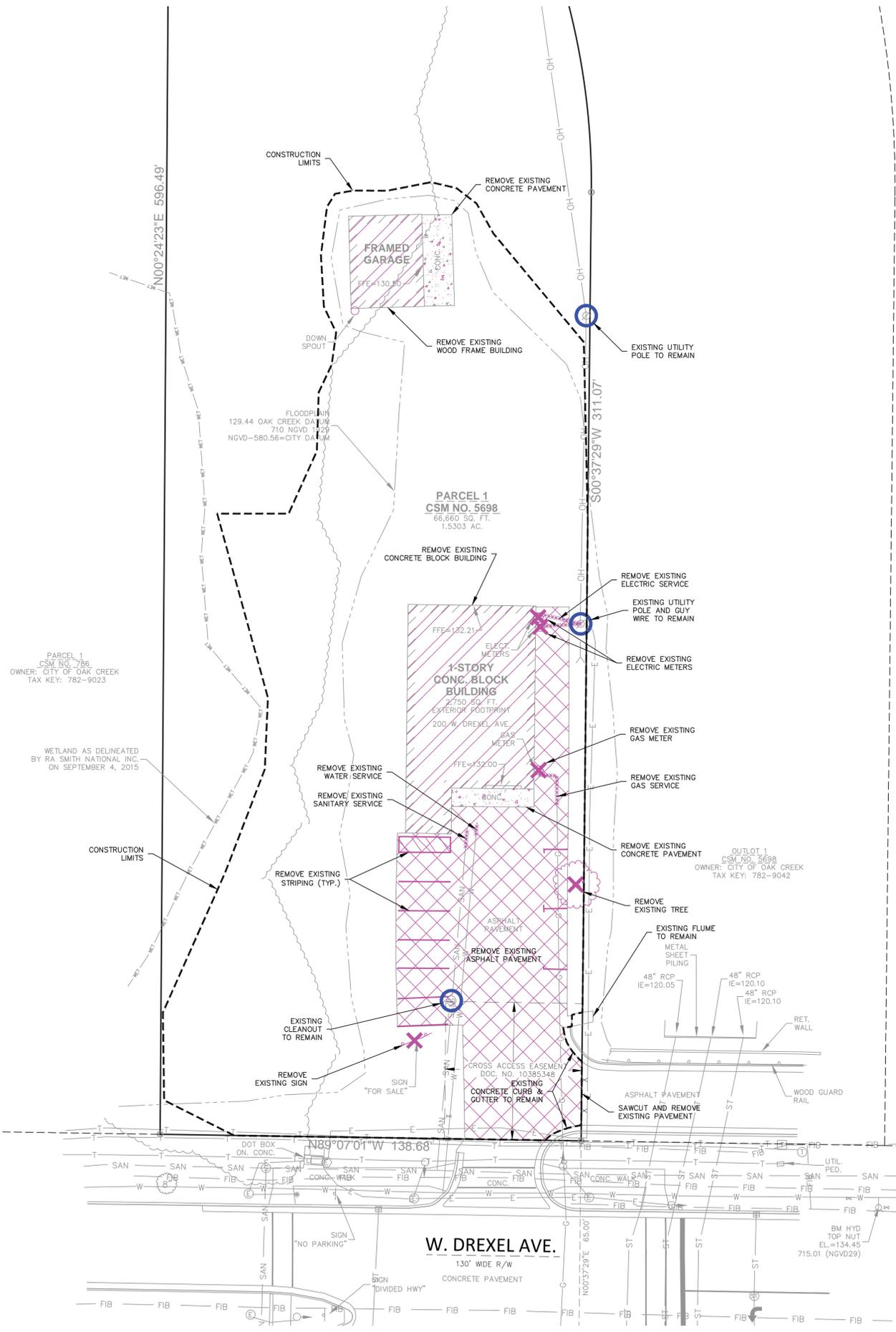
13. Any other information you or the Plan Commission feels is pertinent:
Dumpster enclosure.

14. Business plan:
Provide North Shore Bank customers in the local Oak Creek area with
lobby, ITM and drive up banking services

15. Your name, Signature, and date on the Plan of Operation Document:

By: 
Title: V.P. Project Exec
Date: 6-16-2020

David Kane, V.P.
North Shore Bank
15700 W. Bluemound Rd.
Brookfield WI. 53005
262-787-6816
dkane@northshorebank.com



CONTACT INFORMATION

OWNER:
NORTH SHORE BANK
15700 W. BLUEMOUND RD.
BROOKFIELD, WI 53005

ENGINEER:
JSD PROFESSIONAL SERVICES
W238 N1610 BUSSE ROAD - SUITE 100
WAUKESHA, WISCONSIN 53188
262-513-0666

SHEET INDEX

C-100	DEMOLITION PLAN
C-200	SITE DIMENSION & UTILITY PLAN
C-300	GRADING & DRAINAGE PLAN
C-400	EROSION CONTROL PLAN
C-500	NOTES & DETAILS
C-501	NOTES & DETAILS

DEMOLITION NOTES

- THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE. "DIGGERS' HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE" THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
- ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY AND STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
- REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - VERIFYING UTILITY SIZES AND ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - NOTIFYING ALL UTILITY OWNERS PRIOR TO THE REMOVAL OF ANY UTILITIES.
 - NOTIFYING THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
- CONTRACTOR TO COORDINATE PRIVATE UTILITY REMOVAL/ABANDONMENT AND NECESSARY RELOCATION WITH RESPECTIVE UTILITY COMPANIES AND OWNER PRIOR TO DEMOLITION.
- ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED MUNICIPALITY RECYCLING PLAN.
- SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24, OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF OAK CREEK SPECIFICATIONS.
- WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN WISCONSIN, LATEST ADDITION, AND CITY OF OAK CREEK SPECIFICATIONS.
- ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENT FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
- BUILDING REMOVALS SHALL BE BY A QUALIFIED CONTRACTOR. CONTRACTOR TO FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURIED ON SITE. IF ENCOUNTERED, ANY CONTAMINATED SOILS SHALL BE REMOVED TO A LANDFILL IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.

LEGEND

⊕	GAS VALVE	---	EASEMENT LINE
⊙	SANITARY MANHOLE	---	SETBACKLINE
⊕	STORM MANHOLE	---	EXTERIOR PROPERTY LINE
⊕	CATCH BASIN ROUND	---	EXISTING WATER MAIN
⊕	CATCH BASIN SQUARE	---	EXISTING GAS
⊕	PARKING METER	---	EXISTING COMBINED SEWER
⊕	LIGHT POLE	---	EXISTING SANITARY SEWER
⊕	POWER POLE	---	EXISTING STORM SEWER
⊕	TELEPHONE PEDESTAL	---	EXISTING STEAM TUNNEL
⊕	SIGN	---	EXISTING OVERHEAD UTILITIES
⊕	ELECTRICAL PEDESTAL/TRANSFORMER	---	EXISTING UNDERGROUND TEECP.
⊕	CONIFEROUS TREE	---	EXISTING UNDERGROUND ELEC.
⊕	DECIDUOUS TREE	---	FEATURE TO BE DEMOLISHED
⊕	BUSH	---	ASPHALT TO BE DEMOLISHED
⊕	FEATURE TO BE DEMOLISHED	---	CONCRETE TO BE DEMOLISHED
⊕	FEATURE TO BE PROTECTED	---	BUILDING TO BE DEMOLISHED



DIGGERS HOTLINE
Call 811 or (800) 242-8511
Milwaukee Area (262) 432-7910
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

JSD Professional Services, Inc.
Engineers • Surveyors • Planners
MILWAUKEE REGIONAL OFFICE
W238 N1610 BUSSE RD., STE 100
WAUKESHA, WISCONSIN 53188
262.513.0666 PHONE | 262.513.1232 FAX
www.jsdinc.com
JSD JOB NO.: 19-9380
JSD PROJ. MGR.: RWI

DEMOLITION PLAN 1" = 20'-0"



MSI GENERAL CORPORATION
P.O. BOX. 7
OCONOMOWOC, WI 53066
PHONE: 262-367-3661

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SINGLE SOURCE RESPONSIBILITY™

ISSUE DATES:

Proposal:	
Bid:	
Contract:	
State Submittal / Permit:	
As-Built:	
Plan Commission:	06/16/20
Plan Commission Revision:	07/08/20

REVISIONS:

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PROJECT ADDRESS:
PROJECT NAME
NORTH SHORE BANK - OAK CREEK
STREET ADDRESS
200 W. DREXEL AVE.
CITY/ STATE / ZIP
OAK CREEK, WI

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect:	Engineer:	Reviewed By:
XXX	XXX	XXX
Sheet Title: DEMOLITION PLAN		
Sheet Number: C-100		
Project Number: P12751		

MANAGERS
ENGINEERS
CONTRACTORS
ARCHITECTS



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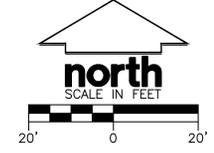
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Architect: XXX Engineer: XXX Reviewed By: XXX
Sheet Title:
SITE DIMENSION & UTILITY PLAN
Sheet Number:
C-200
Project Number: P
P12751

SITE PARKING STATISTICS

18 TOTAL PARKING STALLS
2 VAN ACCESSIBLE ADA PARKING STALLS



PAVING NOTES

- GENERAL**
 - ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION, AND APPLICABLE CITY OF OAK CREEK ORDINANCES.
 - ALL PAVING DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE.
 - SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - CONTRACTOR TO REPLACE ALL SIDEWALK AND CURB AND GUTTER ABUTTING THE PROPERTY, WHICH IS DAMAGED BY THE CONSTRUCTION, OR ANY SIDEWALK AND CURB AND GUTTER THAT THE CITY ENGINEER DETERMINES NEEDS TO BE REPLACED BECAUSE IT IS NOT AT A DESIRABLE GRADE REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION. ANY REQUIRED REPLACEMENT OF PUBLIC CURB AND GUTTER SHALL MATCH EXISTING AND MEET MUNICIPALITY REQUIREMENTS.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS**
 - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (-1° C).
 - GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460 AND 315, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465, STATE HIGHWAY SPECIFICATIONS.
 - ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVING SPECIFICATIONS**
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVEMENT SHALL BE REINFORCED WITH NOVOMESH 950 (OR EQUAL) FIBER REINFORCEMENT AT A RATE OF 5 LBS/CUBIC YARD.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- PAVEMENT MARKING SPECIFICATIONS**
 - USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
 - MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
 - ALL PAVEMENT MARKINGS INCLUDING: STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS.
 - 2' x 4' TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS.

UTILITY NOTES

- ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
 - COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN - AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF OAK CREEK SPECIAL PROVISIONS.
- LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
- CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS.
- CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS AFFECTED BY THE CONSTRUCTION.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE CONNECTION OF THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- WATER MAIN SPECIFICATIONS -
 - PIPE - DUCTILE IRON PIPE SHALL BE CLASS 52 CONFORMING TO AWWA C151 AND CHAPTER 8.18.0 OF THE "STANDARD SPECIFICATIONS". POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON O.D. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. NON-METALLIC WATER MAINS SHALL BE INSTALLED WITH BLUE INSULATION TRACER WIRE AND CONFORM WITH SPS 382.30(11)(h).
 - VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATE VALVES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.27.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
 - HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE CITY OF OAK CREEK. THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES (SEE DETAIL).
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS".
- SANITARY SEWER SPECIFICATIONS -
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE "STANDARD SPECIFICATIONS."
 - WATERMAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND INSTALLATION OF INSULATION SHALL BE CONFORMING WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).

SITE DATA TABLE

EXISTING SITE DATA:	
LOT AREA	66,660 SF (1.53 ACRES)
BUILDING AREA	3,480 SF (5%)
PAVEMENT AREA	6,464 SF (10%)
PERVIOUS AREA	56,716 SF (85%)
PROPOSED SITE DATA:	
LOT AREA	66,660 SF (1.53 ACRES)
BUILDING AREA	2,429 SF (4%)
PAVEMENT AREA	12,636 SF (19%)
PERVIOUS AREA	51,595 SF (77%)

PAVEMENT STRUCTURE

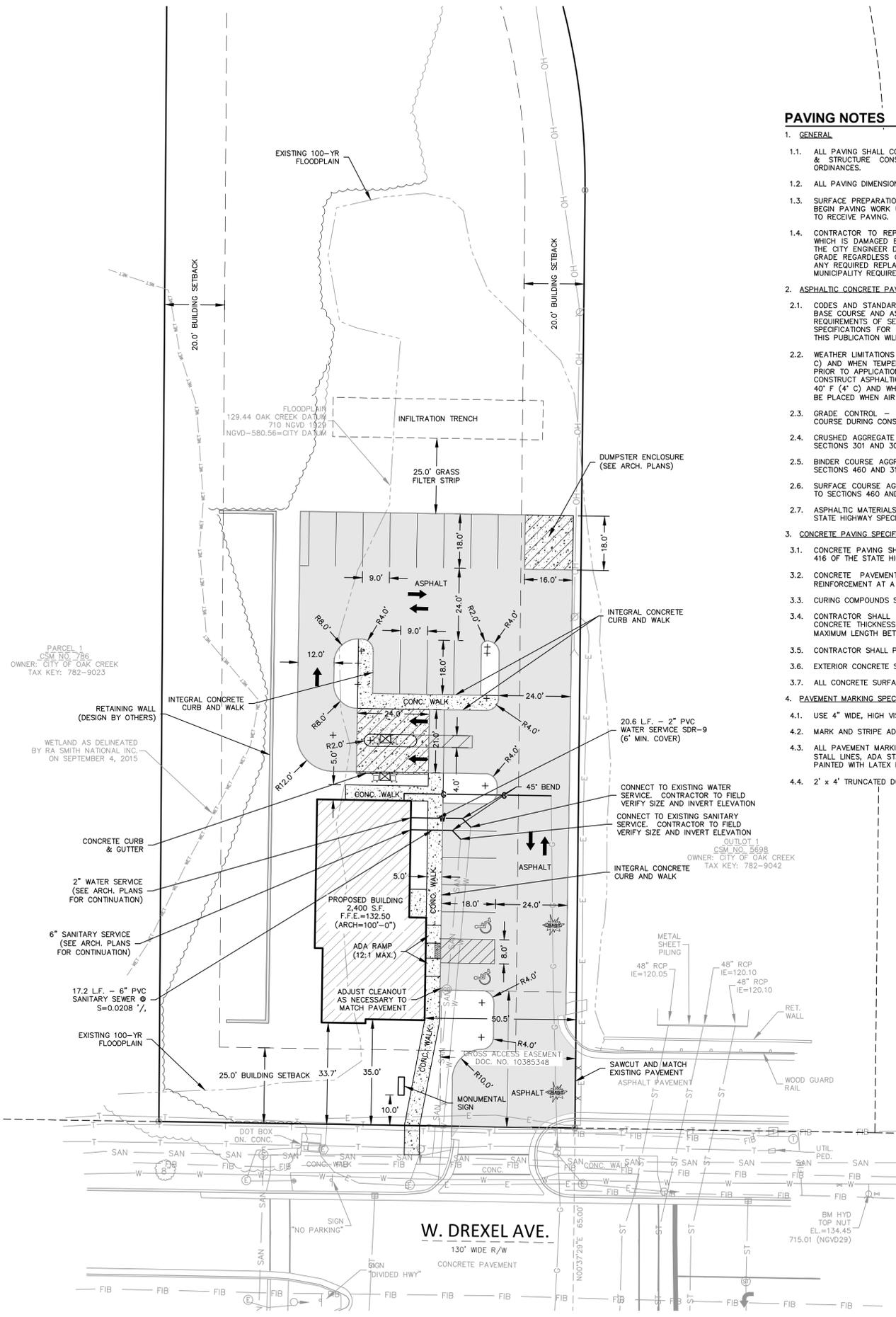
- LIGHT DUTY ASPHALT PAVEMENT
- 8" CRUSHED AGGREGATE BASE COURSE
- 2.5" HMA BINDER COURSE (3 LT 58-28 S)
- 1.5" HMA SURFACE COURSE (4 LT 58-28 S)
- CONCRETE PAVEMENT
- 4" CRUSHED AGGREGATE BASE COURSE
- 6" CONCRETE
- CONCRETE SIDEWALK
- 6" CRUSHED AGGREGATE BASE COURSE (1-14" DENSE GRADED LIMESTONE)
- 5" CONCRETE

LEGEND (SITE PLAN)

- PROPERTY LINE
- BUILDING SETBACK LINE
- BUILDING OUTLINE
- EDGE OF PAVEMENT
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER

DIGGERS HOTLINE
Call 811 or (800) 242-8511
Milwaukee Area (262) 432-7910
Hearing Impaired TDD (800) 942-2289
www.DiggersHotline.com

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Engineers • Surveyors • Planners
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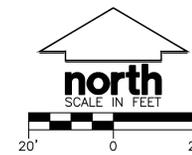
SITE DIMENSION & UTILITY PLAN 1" = 20'-0"

MANAGERS

ENGINEERS

CONTRACTORS

ARCHITECTS



CONSTRUCTION SEQUENCING

1. INSTALL PERIMETER EROSION CONTROL MEASURES SUCH AS SILT FENCE, SILT SOCK, EXISTING INLET PROTECTION, AND CONSTRUCTION ENTRANCE PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. CONDUCT SITE DEMOLITION
3. CONDUCT ROUGH GRADING EFFORTS
4. EXCAVATE BUILDING FOUNDATIONS.
5. INSTALL UTILITY PIPING AND STRUCTURES.
6. COMPLETE FINAL GRADING, INSTALLATION OF AGGREGATE BASE COURSE, PLACEMENT OF CURBS, PAVEMENT, AND SIDEWALKS.
7. PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
8. EXCAVATE FOR INFILTRATION TRENCH AND CONSTRUCT IN ACCORDANCE WITH DNR TECHNICAL STANDARD 1007.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEED TO COMPLETE CONSTRUCTION IF CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

GRADING AND SEEDING NOTES

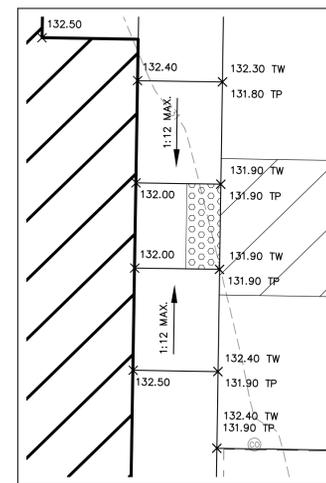
1. REFER TO THE TOPOGRAPHIC MAP PREPARED BY R.A. SMITH NATIONAL, INC. FOR EXISTING CONDITIONS NOTES AND LEGENDS.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN AND THE MUNICIPAL REQUIREMENTS.
3. ANY WORK WITHIN RIGHT-OF-WAY SHALL BE PROPERLY PERMITTED AND COORDINATED WITH THE APPROPRIATE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS.
4. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
6. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
7. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.
8. NO SITE GRADING SHALL OCCUR OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION.
9. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL PROVIDE NOTICE TO THE MUNICIPALITY IN ADVANCE OF ANY SOIL DISTURBING ACTIVITIES, IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
11. CONTRACTOR SHALL DEEP TILL ALL COMPACTED PVIOUS SURFACES PRIOR TO SODDING AND/OR SEEDING AND MULCHING.
12. ALL DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING GRADING ACTIVITIES. SOD/SEED MIX TO BE IN ACCORDANCE WITH LANDSCAPE PLAN.
13. CONTRACTOR SHALL CHISEL-PLow OR DEEP TILL WITH DOUBLE TINES ALL STORMWATER MANAGEMENT FACILITIES JUST PRIOR TO SODDING AND/OR SEEDING AND MULCHING TO PROMOTE INFILTRATION.
14. CONTRACTOR SHALL WATER ALL NEWLY SODDED/SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
15. ALL SLOPES 20% OR GREATER SHALL BE TEMPORARY SEEDED, MULCHED, OR OTHER MEANS OF COVER PLACED ON THEM WITHIN 2 WEEKS OF DISTURBANCE.
16. ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 30 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF OAK CREEK ORDINANCE.
17. CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED AND NOTICE OF TERMINATION FILED.
18. IF GRADING ACTIVITIES STOP ON ANY PORTION OF LAND FOR 14 OR MORE CALENDAR DAYS, THE AREA IN QUESTION MUST BE TEMPORARILY STABILIZED.

STORMWATER FACILITIES CONSTRUCTION NOTES

1. STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AFTER SUBSTANTIAL COMPLETION OF FINAL SITE GRADING AND SOILS HAVE BEEN STABILIZED.
2. AREAS USED FOR TEMPORARY SEDIMENT BASINS SHALL BE REMOVED IN THEIR ENTIRETY AFTER CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES.
3. CONSTRUCTION TRAFFIC, HEAVY EQUIPMENT AND SOIL STOCKPILES SHALL NOT BE PLACED IN AREAS WHERE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE LOCATED.
4. NATIVE SOIL INFILTRATION RATES BELOW STORMWATER FACILITIES SHALL BE VERIFIED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION OF FACILITIES. NATIVE SOIL INFILTRATION RATES SHALL BE EQUAL TO OR GREATER THAN DESIGN INFILTRATION RATES.
5. NATIVE SOILS SHALL BE BLENDED A MINIMUM OF TWO FEET PRIOR TO INSTALLATION OF STORMWATER INFILTRATION FACILITIES TO BREAK UP ANY LOWER PERMEABILITY SEAMS THAT MAY BE PRESENT.
6. THICKER SILT OR CLAY LAYERS SHALL BE OVER-EXCAVATED AND BACKFILLED WITH GRANULAR MATERIALS CONFORMING TO SPECIFICATIONS PER WDNR TECH STANDARD 1004.

DEWATERING NOTES

1. DEWATERING SHALL BE PUMPED THROUGH A TYPE II GEOTEXTILE FILTER BAG IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061. INSTALL BAGS PER WDNR TECHNICAL STANDARD 1061.
2. MAXIMUM PUMPING RATE ALLOWED FOR DEWATERING IS 250 GPM FROM A 3-INCH PUMP. HIGHER RATES REQUIRE LARGER AND/OR MULTIPLE GEOTEXTILE FILTER BAGS. CONTACT ENGINEER IF ADDITIONAL PUMP RATE IS REQUIRED.
3. CONTRACTOR TO INSPECT DEVICES AT START AND END OF WORKING DAY AND REPAIR DEVICES AS NEEDED TO MAINTAIN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPS SHOULD BE PROACTIVE, NOT REACTIVE.
4. SEDIMENT SHALL BE REMOVED FROM DEVICES TO MAINTAIN EFFECTIVENESS. ALL SEDIMENT COLLECTED IN DEWATERING DEVICES SHALL BE PROPERLY DISPOSED OF TO PREVENT SEDIMENT DISCHARGE TO WETLANDS/WATERS OF THE STATE OF WISCONSIN.
5. ALL DEWATERING PRACTICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF WDNR TECHNICAL STANDARD 1061.



GRADING INSET

SCALE: 1"=5'
TW = TOP OF SIDEWALK
TP = TOP OF PAVEMENT

LEGEND (GRADING & DRAINAGE)

	PROPERTY LINE		PROPOSED 1 FOOT CONTOUR
	BUILDING OUTLINE		PROPOSED 5 FOOT CONTOUR
	EDGE OF PAVEMENT		SPOT ELEVATION
	STANDARD CURB AND GUTTER		GRADE BREAK
	REJECT CURB AND GUTTER		

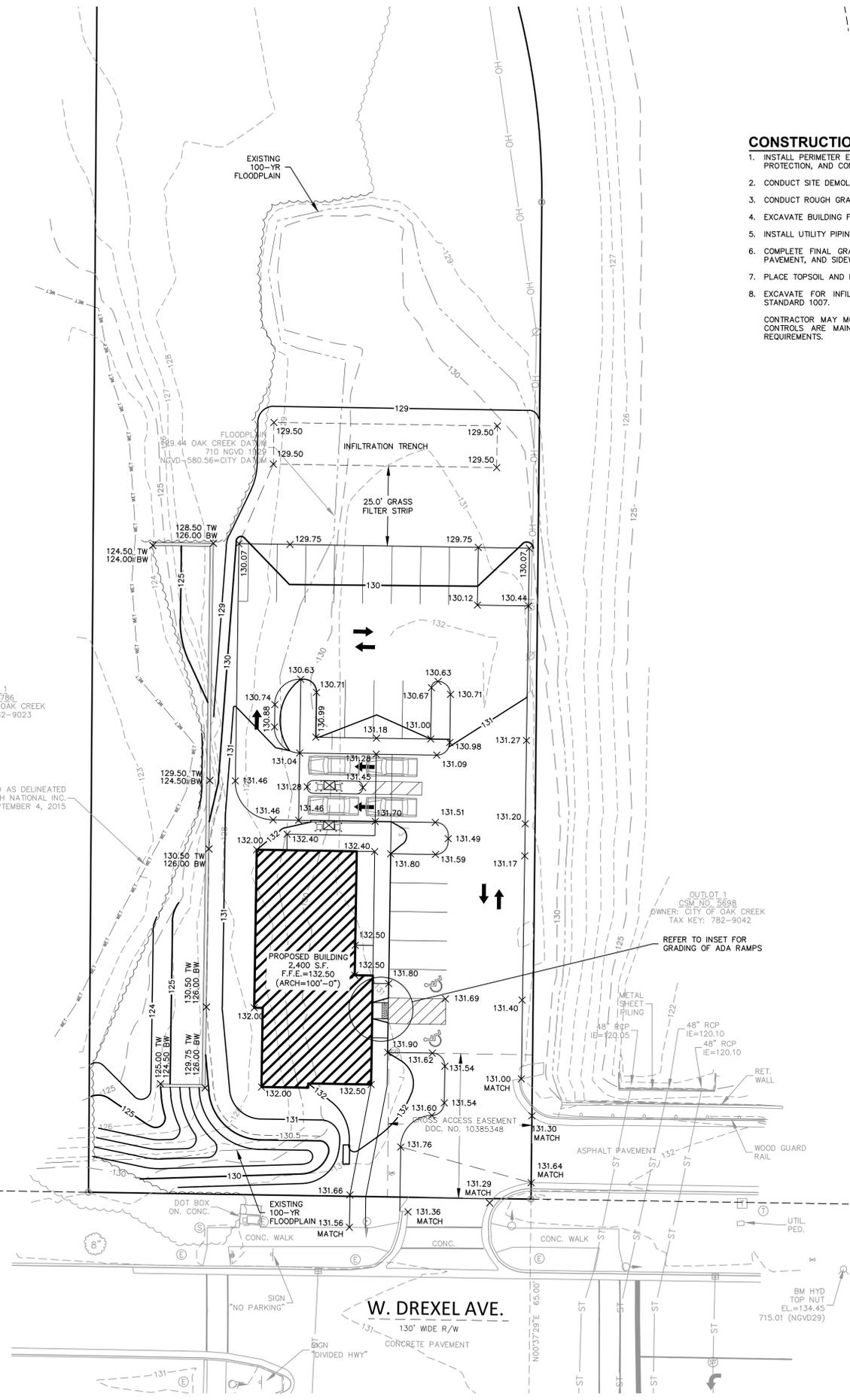
PARCEL 1
CSM NO. 786
OWNER: CITY OF OAK CREEK
TAX KEY: 782-9023

WETLAND AS DELINEATED
BY RA SMITH NATIONAL INC.
ON SEPTEMBER 4, 2015

OUTLOT 1
CSM NO. 5698
OWNER: CITY OF OAK CREEK
TAX KEY: 782-9042

REFER TO INSET FOR
GRADING OF ADA RAMP

PROPOSED BUILDING
2,400 S.F.
F.F.E.=132.50
(ARCH=100'-0")



GRADING & DRAINAGE PLAN 1" = 20'-0"



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CITY/ STATE / ZIP
OAK CREEK, WI

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Architect:	Engineer:	Reviewed By:
XXX	XXX	XXX

Sheet Title:
GRADING & DRAINAGE PLAN
Sheet Number:
C-300
Project Number:
P12751



Call 811 or (800) 242-8511
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Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

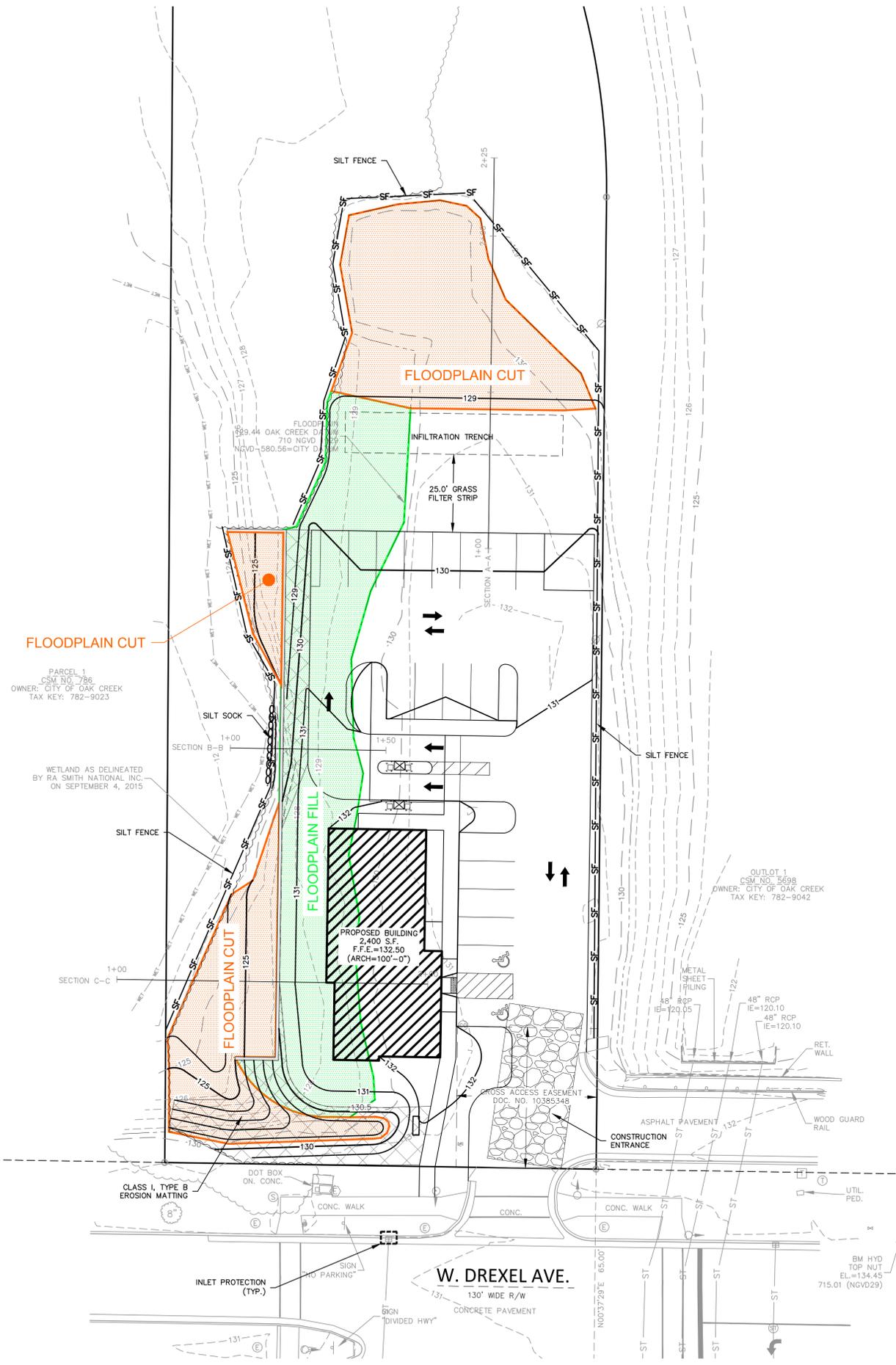
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JSD JOB NO.: 19-9380
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ENGINEERS

CONTRACTORS

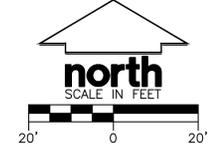
ARCHITECTS



FLOODPLAIN DATA

EXISTING VOLUME	6,887 C.Y.
FILL VOLUME	260 C.Y.
CUT VOLUME	312 C.Y.
PROPOSED VOLUME	6,939 C.Y.

REFER TO SHEET C-501 FOR FLOODPLAIN SECTIONS



EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. ENGINEER OF RECORD AND APPROPRIATE CITY OF OAK CREEK OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF OAK CREEK ORDINANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BMP'S. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF OAK CREEK PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, COUNTY INSPECTORS AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE MUNICIPALITY. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF OAK CREEK.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER."
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATting SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (SANITARY SEWER, WATER MAIN, ETC.):
 - PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 - BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WDOT) APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN 7 DAYS OF REACHING FINAL GRADE AND/OR AS SOON AS CONDITIONS ALLOW. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1065.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR PROPERTY SALE IN ACCORDANCE WITH WDNR REQUIREMENTS.
- STABILIZATION PRACTICES:
 - *STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
 - *THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - *CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED, (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAYS). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
 - *STABILIZATION MEASURES SHALL BE DETERMINED BASED ON SITE CONDITIONS AT THE TIME OF CONSTRUCTION ACTIVITY HAS CEASED, INCLUDING BUT NOT LIMITED TO WEATHER CONDITIONS AND LENGTH OF TIME MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
 - * PERMANENT SEEDING; IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION
 - * TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS./ACRE) AND/OR WHEAT OR CEREAL RYE (150LB./ACRE)
 - * HYDRO-MULCHING WITH A TACKIFIER
 - * GEOTEXTILE EROSION MATTING
 - * SODDING

LEGEND (EROSION CONTROL PLAN)

---	PROPERTY LINE
---	BUILDING OUTLINE
---	BUILDING OVERHANG
---	EDGE OF PAVEMENT
---	709 PROPOSED 1 FOOT CONTOUR
---	710 PROPOSED 5 FOOT CONTOUR
---	GRADE BREAK
SF-SF	SILT FENCE
○-○-○	SILT SOCK



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EROSION CONTROL PLAN 1" = 20'-0"



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Plan Commission Revision:	07/08/20

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PROJECT ADDRESS:
 PROJECT NAME
 NORTH SHORE BANK - OAK CREEK
 STREET ADDRESS
 200 W. DREXEL AVE.
 CITY/ STATE / ZIP
 OAK CREEK, WI

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

Architect: XXX
 Engineer: XXX
 Reviewed By: XXX
 Sheet Title:
 EROSION CONTROL PLAN

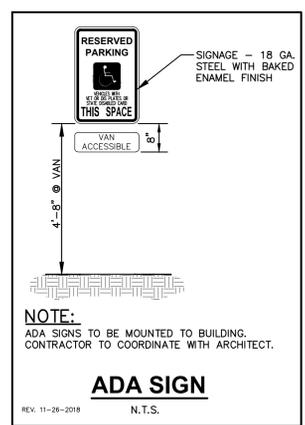
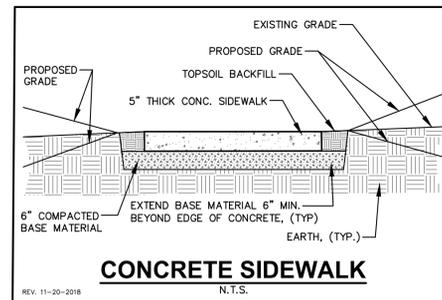
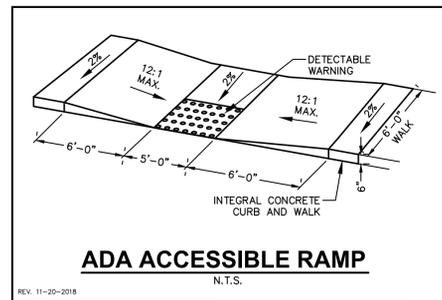
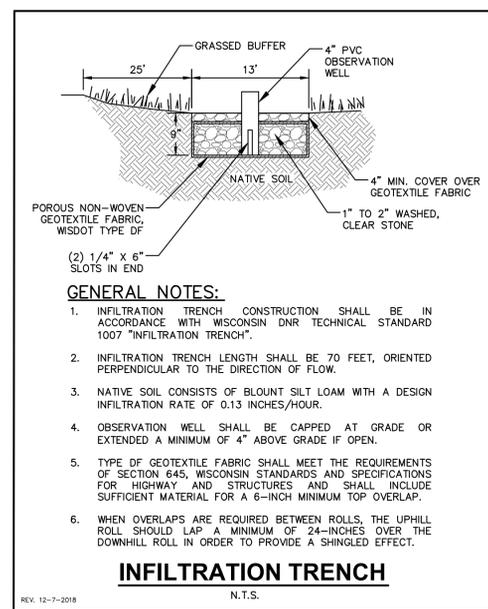
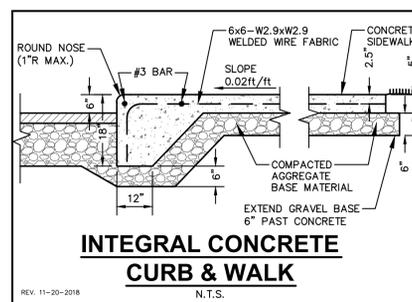
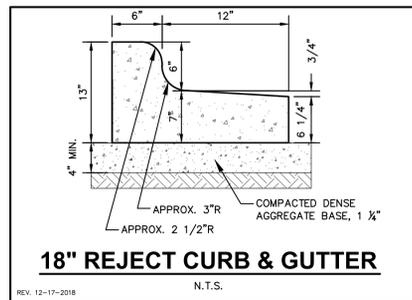
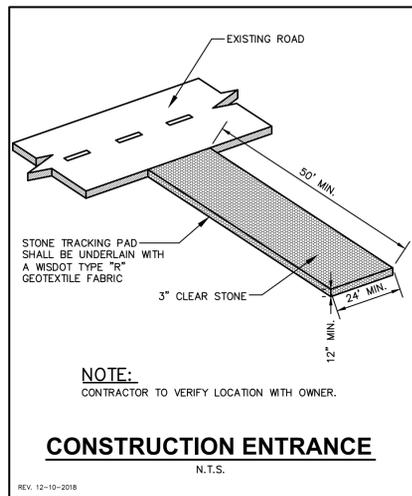
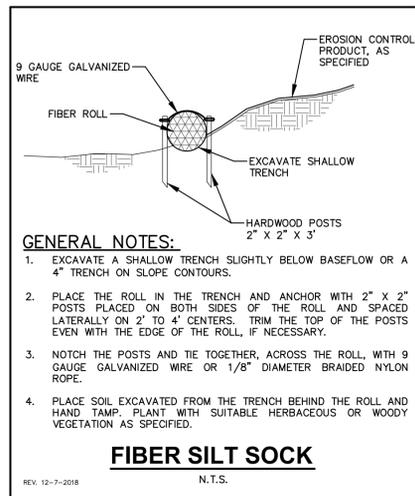
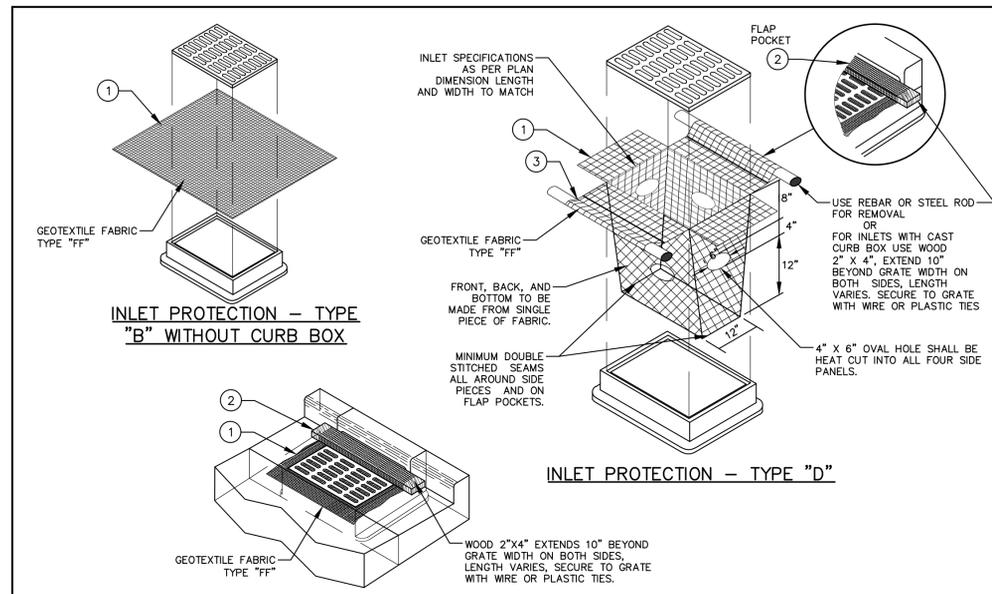
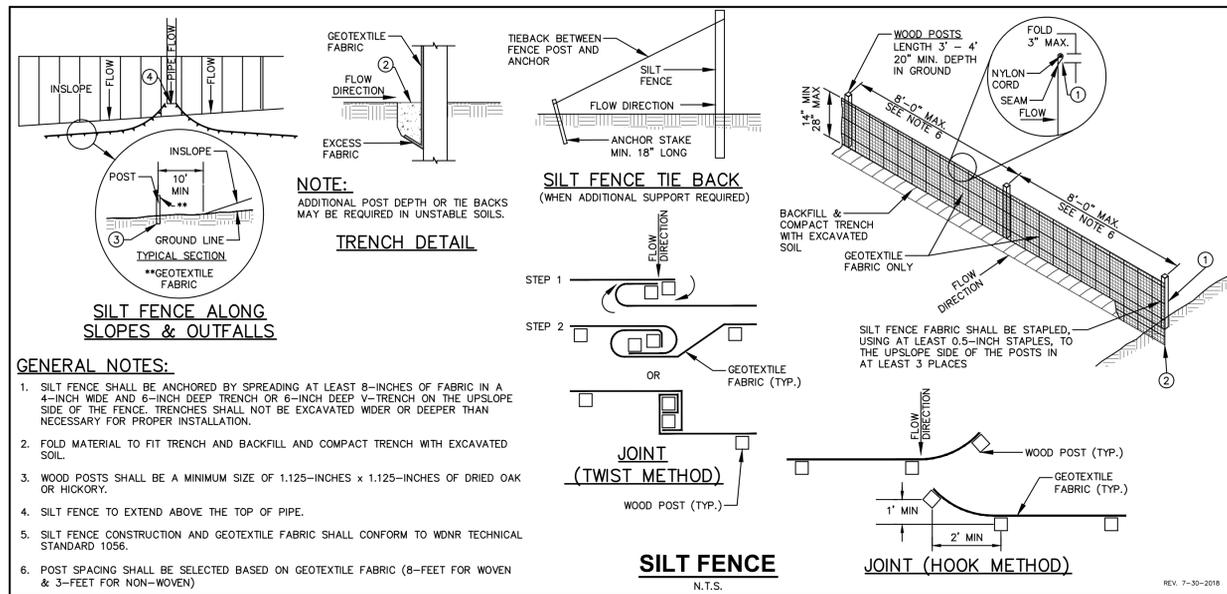
Sheet Number:
C-400
 Project Number: P
P12751

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Architect:	Engineer:	Reviewed By:
XXX	XXX	XXX
Sheet Title: NOTES & DETAILS		

Sheet Number:
C-500
Project Number:
P12751

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Architect: XXX
 Engineer: XXX
 Reviewed By: XXX

Sheet Title:
NOTES & DETAILS

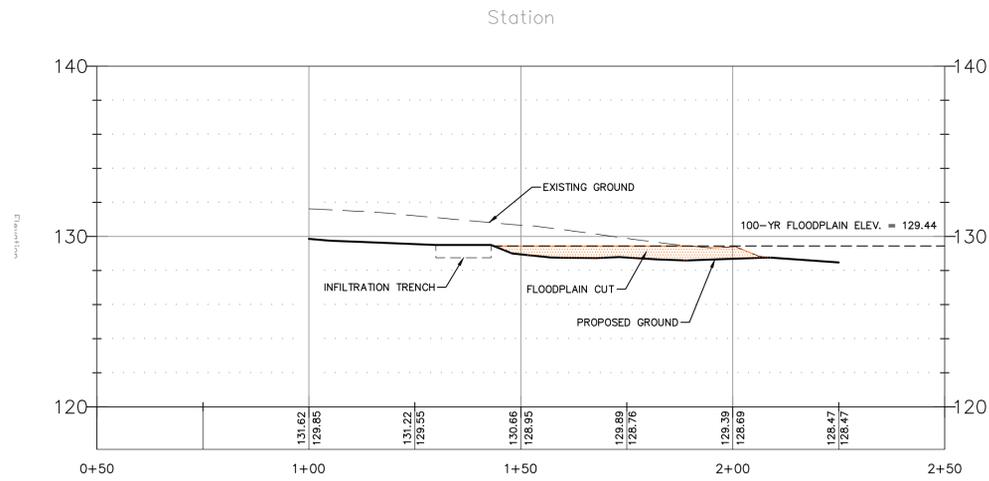
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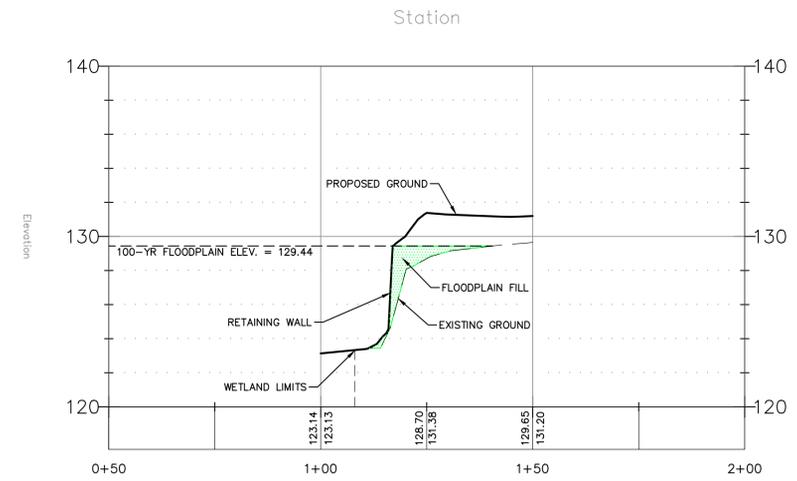
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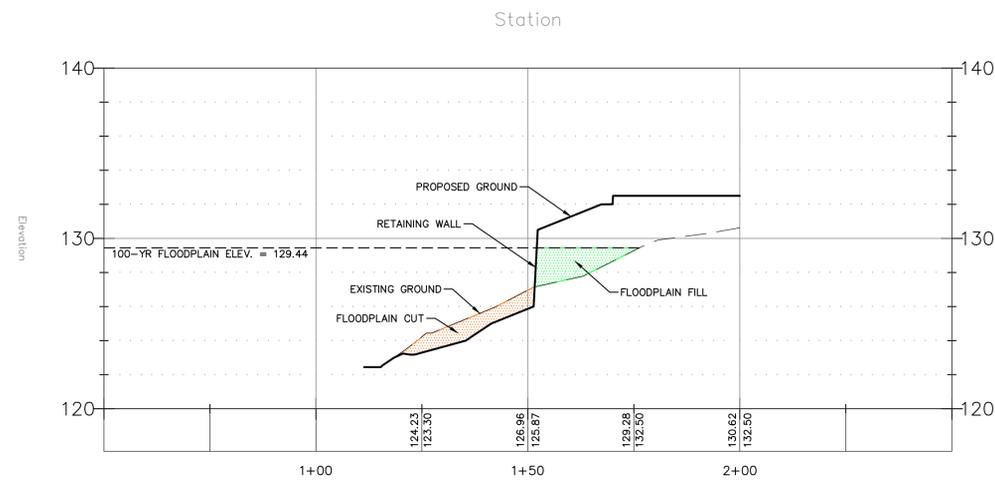
Alignment – A-A PROFILE



Alignment – B-B PROFILE



Alignment – C-C PROFILE



NOTES & DETAILS

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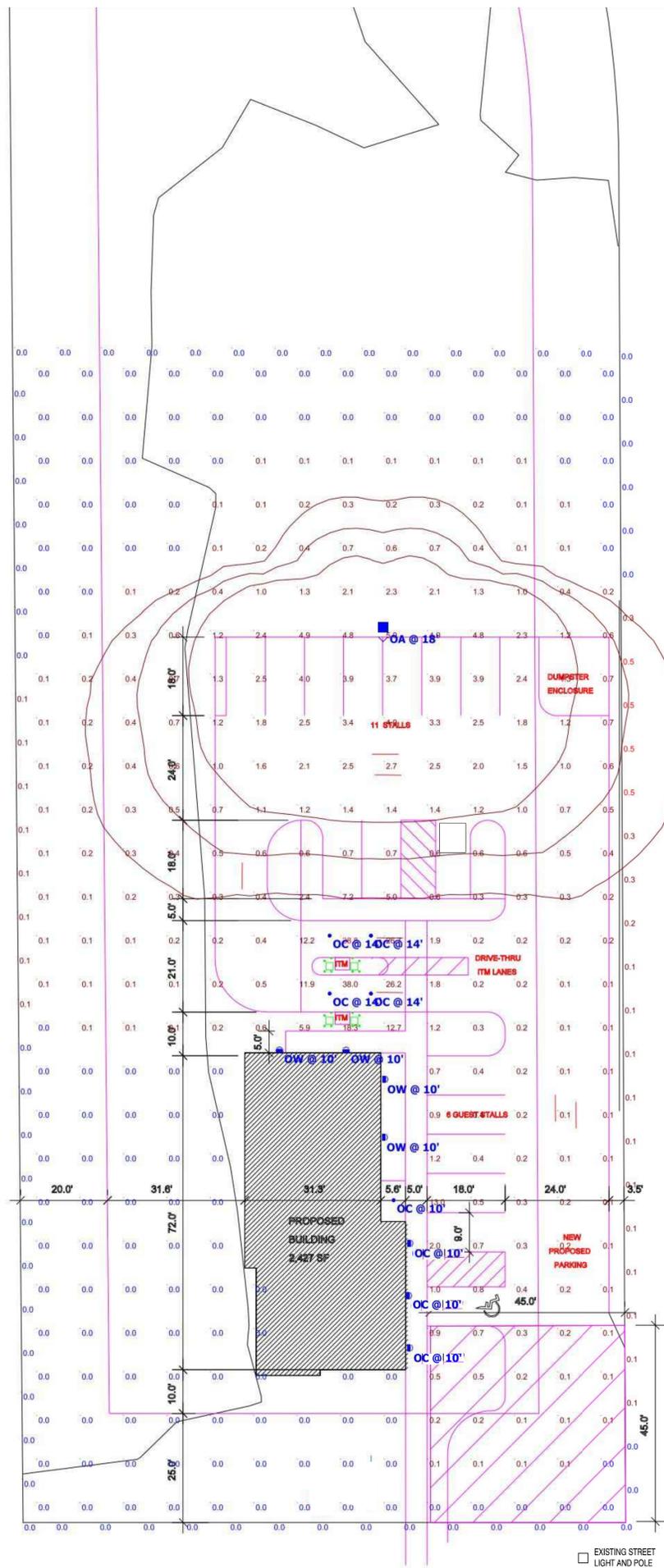
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Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
OA	OA	1	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	PRV-C40-D-UNV-T4-BZ	PREVAL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K LEADS AND TYPE IV OPTICS, BRONZE PAINTED FINISH		2	8544	0.95	131
OW	OW	7	TERON LIGHTING INC - FAIRFIELD, OH	GRW-CNL-L18.0 110/277	2-22LED 11"ARRAYS 16"GUARDIAN WALLMOUNT LUMINAIRE		1	949	1	19
OC	OC	5	Lithonia Lighting	LDN8 40/50 LOBAR LSS	BIN LDN, 4000K, 5000LM, CLEAR, SEMI-SPECULAR REFLECTOR	LED 4000K	1	5129	1	61.08

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A
SITE	+	1.1 fc	38.8 fc	0.0 fc	N/A	N/A

Note
Pole Mounting Height = 18' AFG
(15' Pole + 3' Base)
FC Measured at 0' AFG

GUARDIAN W CNL LED 26"
Architectural Outdoor

FEATURES
• 150V - 277V, Plus 347V For Selected Wattages
• ADA Compliant
• Aluminum Fascia w/ Matte Silver Polyester Powder Coat Finish
• Aluminum Reflector w/ Hi-Reflectance White Powder Coat Finish
• CMA Listed W/L Location
• Die Cast Aluminum End Caps w/ Matte Silver Polyester Powder Coat Finish
• Emergency Battery Available
• Extruded Aluminum Housing w/ Matte Silver Polyester Powder Coat Finish
• Fixture Mounts Directly to Surface w/ Two Weld Anchors (Not Included)
• LED Light Fixture
• Over-Voltage, Over-Current, and Short Circuit Protection w/ Auto Recovery
• Recessed Steel Screws
• Surge Protector
• Vandal Resistant

FINISHES
Antique Copper, Antique Silver, Bronze, Matte Silver, Sand, Sandblasted Steel, Textured Bronze, Textured Silver, White

TECHNICAL DRAWINGS
LINE DRAWING, POLE AND FIXTURE COMBO

CONTACTS
TERON LIGHTING, LITHONIA LIGHTING, S&S AMERICAN

Lumark

DESCRIPTION
The PPRV LED pole and fixture combination makes selection and installation of poles and fixtures simple. Included in the kit are: Pole, luminaire, and mounting hardware. The luminaire is pre-wired and ready to install. The pole is pre-wired and ready to install. The luminaire is pre-wired and ready to install. The pole is pre-wired and ready to install.

PPRRV PREVAL AREA AND FIXTURE COMBO

DETAILS
Pole Mounting, Luminaire Mounting, Pole and Fixture Assembly

CONTACTS
LUMARK, S&S AMERICAN

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS
• 150V - 277V, Plus 347V For Selected Wattages
• ADA Compliant
• Aluminum Fascia w/ Matte Silver Polyester Powder Coat Finish
• Aluminum Reflector w/ Hi-Reflectance White Powder Coat Finish
• CMA Listed W/L Location
• Die Cast Aluminum End Caps w/ Matte Silver Polyester Powder Coat Finish
• Emergency Battery Available
• Extruded Aluminum Housing w/ Matte Silver Polyester Powder Coat Finish
• Fixture Mounts Directly to Surface w/ Two Weld Anchors (Not Included)
• LED Light Fixture
• Over-Voltage, Over-Current, and Short Circuit Protection w/ Auto Recovery
• Recessed Steel Screws
• Surge Protector
• Vandal Resistant

LDN8

CONTACTS
LITHONIA LIGHTING, S&S AMERICAN

Steel Poles

SSS SQUARE STRAIGHT STEEL

DETAILS
Pole Mounting, Luminaire Mounting, Pole and Fixture Assembly

CONTACTS
S&S AMERICAN

EXAMPLE: LDN8 40/50 LOBAR LSS (4000K, 5000LM)

Code	Color Temperature	Lumens	Beam Angle	Beam Diameter @ 10m	Beam Diameter @ 30m	Beam Diameter @ 50m	Beam Diameter @ 100m	Beam Diameter @ 150m	Beam Diameter @ 200m	Beam Diameter @ 300m	Beam Diameter @ 400m	Beam Diameter @ 500m	Beam Diameter @ 600m	Beam Diameter @ 700m	Beam Diameter @ 800m	Beam Diameter @ 900m	Beam Diameter @ 1000m
LDN8	4000K	5000LM	110°	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m

REVISIONS

Rev	Description	Date
1	Initial Issue	07/16/20
2	Revised	07/16/20
3	Revised	07/16/20
4	Revised	07/16/20
5	Revised	07/16/20
6	Revised	07/16/20
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19	Revised	07/16/20
20	Revised	07/16/20
21	Revised	07/16/20
22	Revised	07/16/20



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OAK CREEK, WI

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Architect: XXX
Engineer: XXX
Reviewed By: XXX
Sheet Title:
SITE PHOTOMETRICS
Sheet Number:
E-100
Project Number: P
P12751

MANAGERS ENGINEERS CONTRACTORS ARCHITECTS



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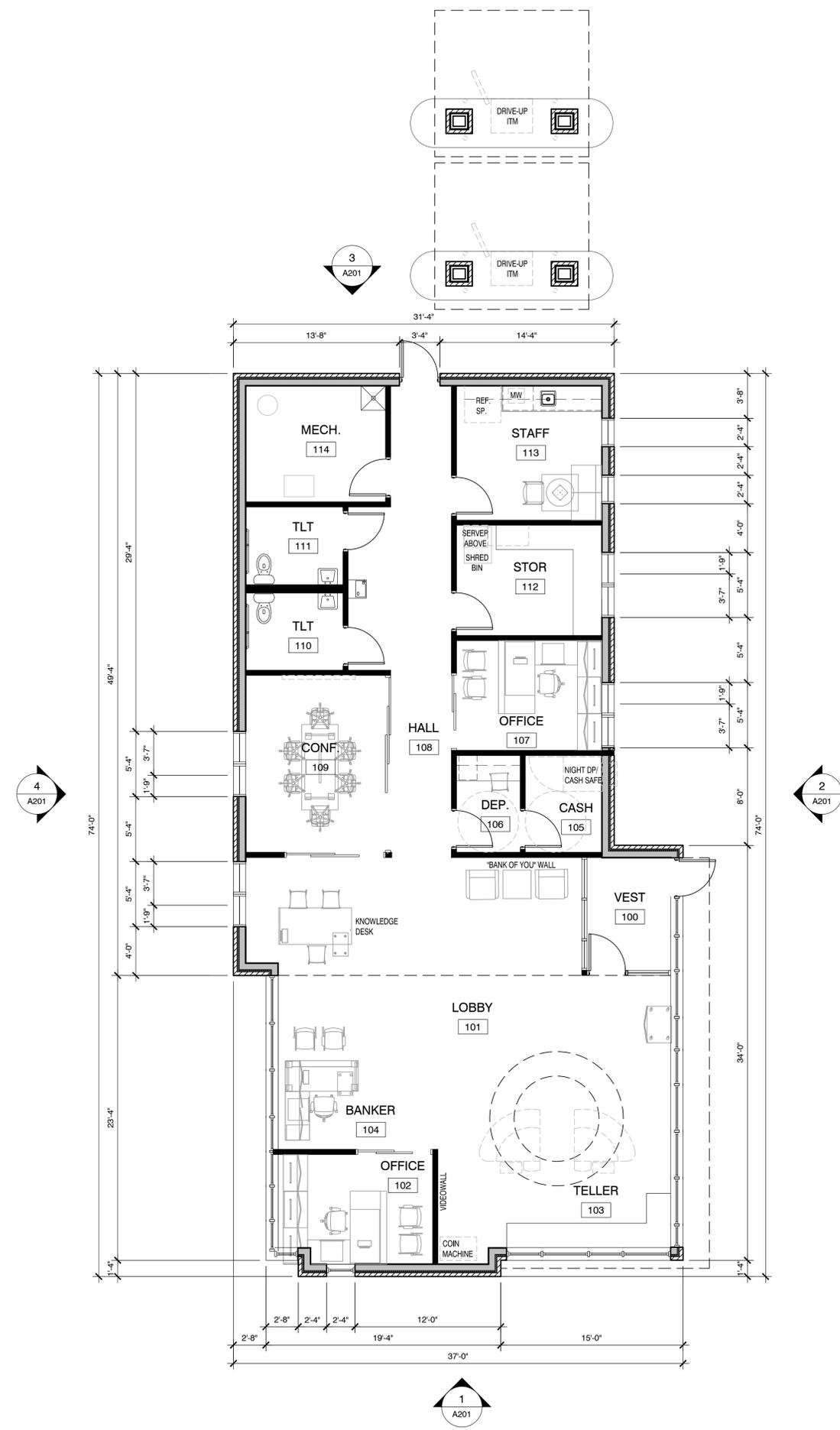
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Architect:	Engineer:	Reviewed By:
xxx	xxx	xxx
Sheet Title:		
FLOOR PLAN		
Sheet Number:		
A-101		
Project Number:		
P12751		



FLOOR PLAN 3/16" = 1'-0"

MANAGERS

ENGINEERS

CONTRACTORS

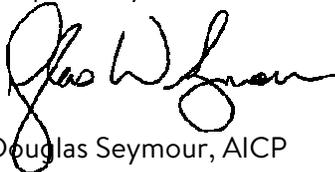
ARCHITECTS

adjustments. That proposed CSM will be reviewed by the Plan Commission in the next agenda item. No new development is included in the proposal.

Should the Plan Commission agree that rezoning portions of the parcel at 3280 E. Oakwood Rd. from A-1, Limited Agricultural to Rs-3, Single Family Residential (NO CHANGE to the FW, Floodway, FF, Flood Fringe, or C-1, Shoreland Wetland Conservancy Districts), a motion recommending Council approval is provided above.

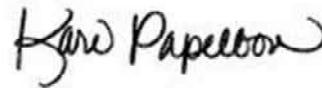
Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed rezone, or that the Common Council not approve of the proposed rezone. Disapproval of the rezone would directly affect the proposed CSM to be reviewed in the next agenda item, and would potentially prevent the sale of property.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

Attachments:

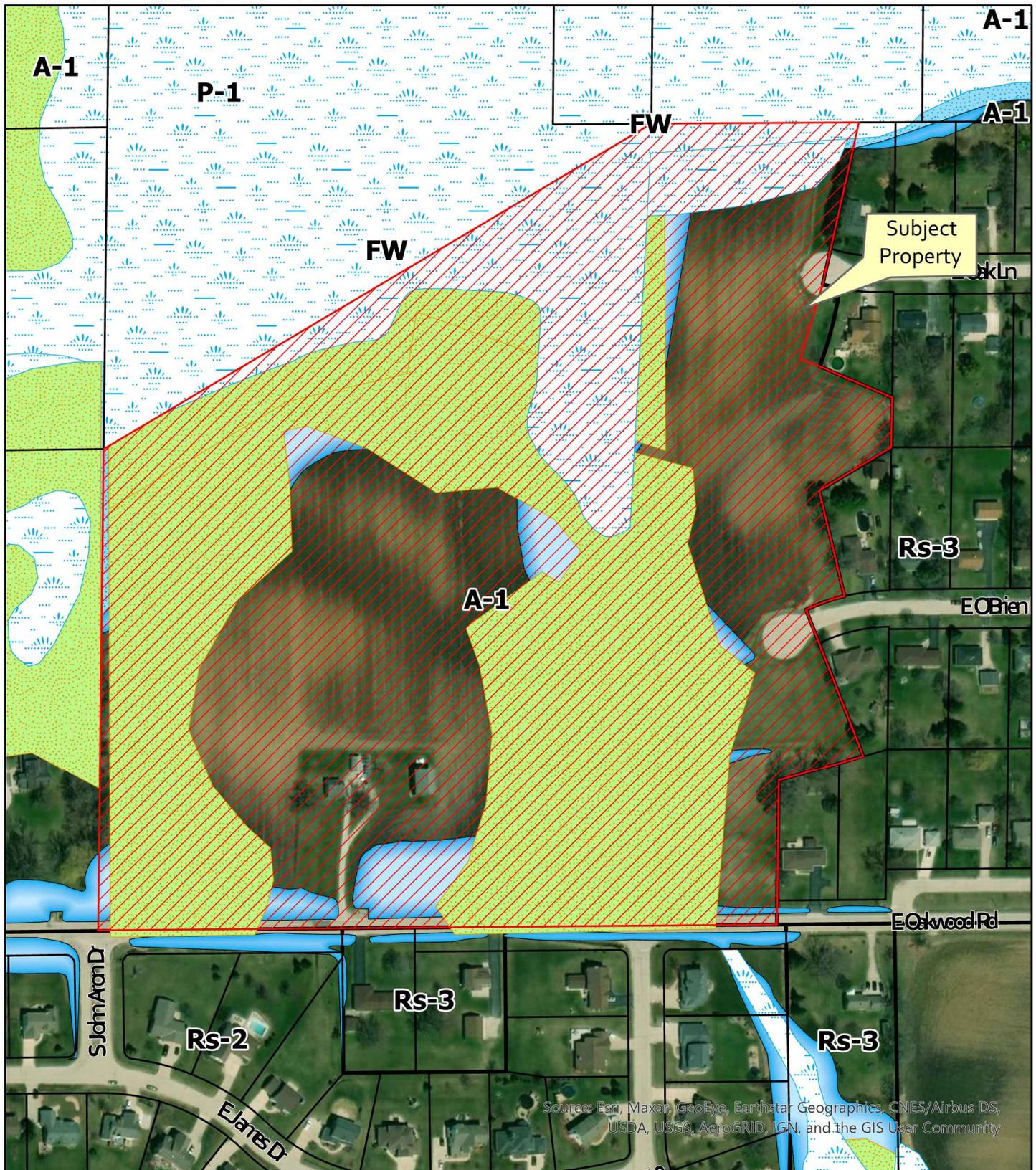
Location Map

Narrative (1 page)

Rezone Exhibits (3 pages)

Location Map

3280 E Oakwood Rd



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

This map is not a survey of the actual boundary of any property this map depicts



Legend

-  3280 E Oakwood Rd
-  DNR Wetlands Inventory
-  Environmental Corridor
-  Flood Plain (2008)
-  Floodway (2008)

JUN 16 2020

RECEIVED

Zoning Change Request Description

In regards to a proposed 2 acre lot from parcel # 9199991006 and
2 minor land divisions of adjacent properties

The Zoning Change Request is to change the proposed lot and 2 minor land divisions from A-1, Limited Agricultural to Rs-3, Single Family Residential. The adjacent subdivision is currently zoned Rs-3. The 2 acre lot currently has a house, detached garage, and a barn located on proposed lot, and is surrounded by farm land. This change to Rs-3 zoning is in preparation to sell the proposed lot and buildings. We currently have an accepted offer on the proposed lot and buildings.

EXHIBIT

CLIENT

Dale Dewitt

SITE ADDRESS

3380 E OAK Lane, City of Oak Creek, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION

That part of the Southwest 1/4 of the Southwest 1/4, Section 26, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin bounded and described hereinafter;

Beginning at the Northwest corner of Parcel 1 of Certified Survey Map No. 2625; thence South 12°38'15" West along the West line of said Parcel 1 a distance of 216.40 feet to a point in the Southwest corner of said Parcel 1; thence North 72°46'27" West 31.30 feet to a point; North 00°41'32" East 201.34 feet to a point in the North line of South 1/2 of said Southwest 1/4; thence North 89°34'00" East 74.81 feet to the point of beginning.

Said Lands Contains 10,905 square foot or 0.2503 Acres.

BASIS OF BEARINGS

Bearings are referenced to the Wisconsin State Plane Coordinate System (South zone) dated Feb., 2018 in which the South line of the SW1/4, Sec. 26 bears N89°30'47"E.

UNPLATTED LANDS

(N89°34'09"E)

N89°34'00"E 74.81'

NORTH LINE OF SOUTH 1/2 OF THE SW 1/4.

P.O.B.
NW COR.
PARCEL 1
C.S.M. NO. 2625

PART OF TAX KEY:
9199991006

AREA
10,905 S.F.
0.2503 Acres

PARCEL 1
C.S.M. NO. 2625

TAX KEY: 9199010000
OWNER 1
DALE DE WITT
OWNER 2
SHARON DEWITT

UNPLATTED LANDS
PART OF TAX KEY:
9199991006

N00°41'32"E 201.34'

S12°38'15"W 216.40'
(N12°35'52"E)

N72°46'27"W 31.30'



E. OAK LN.
60' PUBLIC R.O.W.

60.00'

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LAND SURVEYS

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DATE

June 11, 2020

Drawing No. 3396-far

EXHIBIT

CLIENT

Dale Dewitt

SITE ADDRESS

3380 E OAK Lane, City of Oak Creek, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION

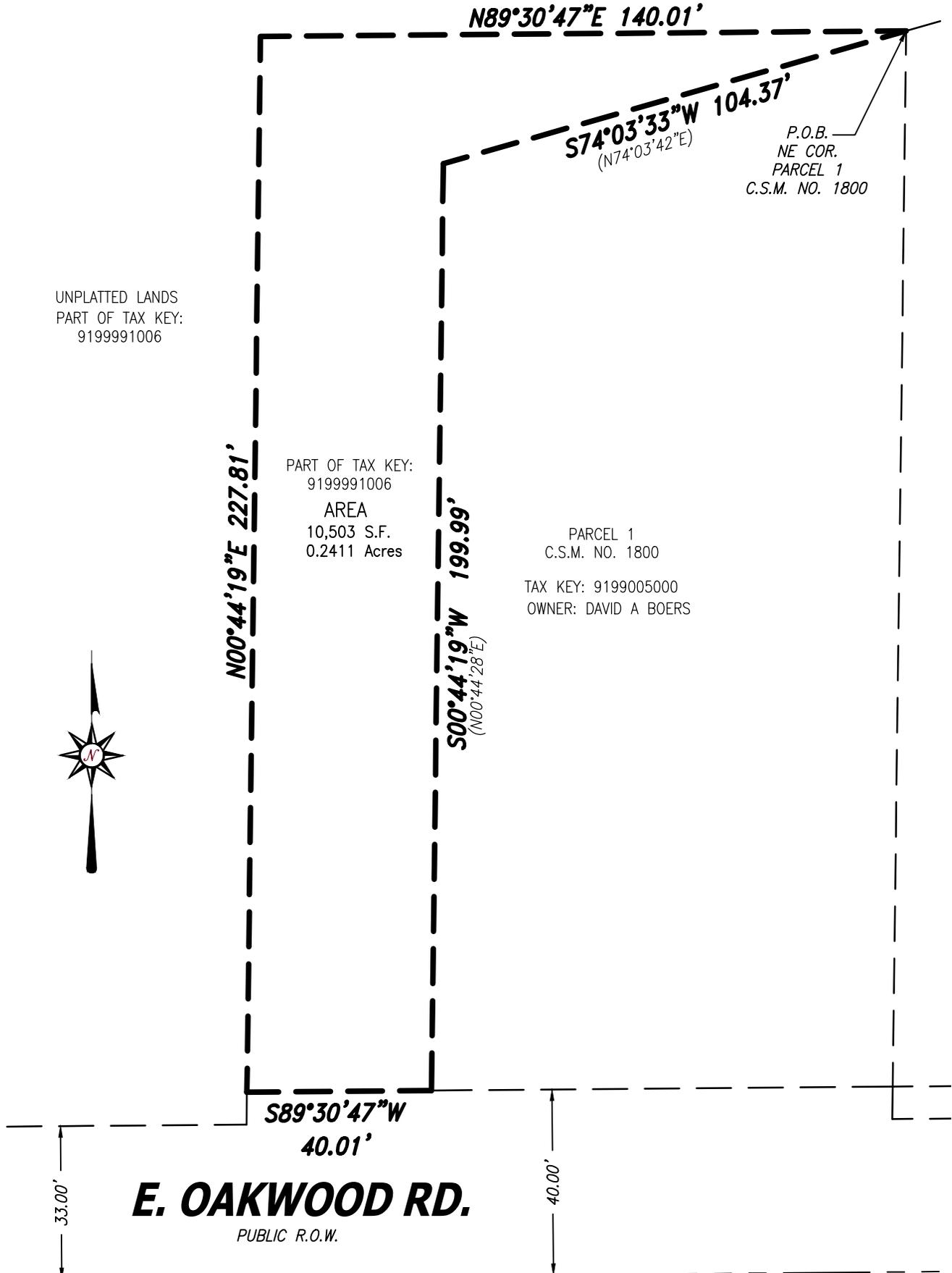
That part of the Southwest 1/4 of the Southwest 1/4, Section 26, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin bounded and described hereinafter;

Beginning at the Northeast corner of Parcel 1 of Certified Survey Map No. 1800; thence South 74°03'33" West along the North line of said Parcel 1 a distance of 104.37 feet to a point in the West line of said Parcel 1; thence South 00°44'19" West along said West line 199.99 feet to a point in the Southwest corner of said Parcel 1; thence South 89°30'47" West 40.01 feet to a point; thence North 00°44'19" East 227.81 feet to a point; thence North 89°30'47" East 140.01 feet to the point of beginning.

Said Lands Contains 10,503 square foot or 0.2411 Acres.

BASIS OF BEARINGS

Bearings are referenced to the Wisconsin State Plane Coordinate System (South zone) dated Feb., 2018 in which the South line of the SW1/4, Sec. 26 bears N89°30'47"E.



EXHIBIT

CLIENT

SITE ADDRESS

Dale Dewitt 3380 E OAK Lane, City of Oak Creek, Milwaukee County, Wisconsin.

LEGAL DESCRIPTION

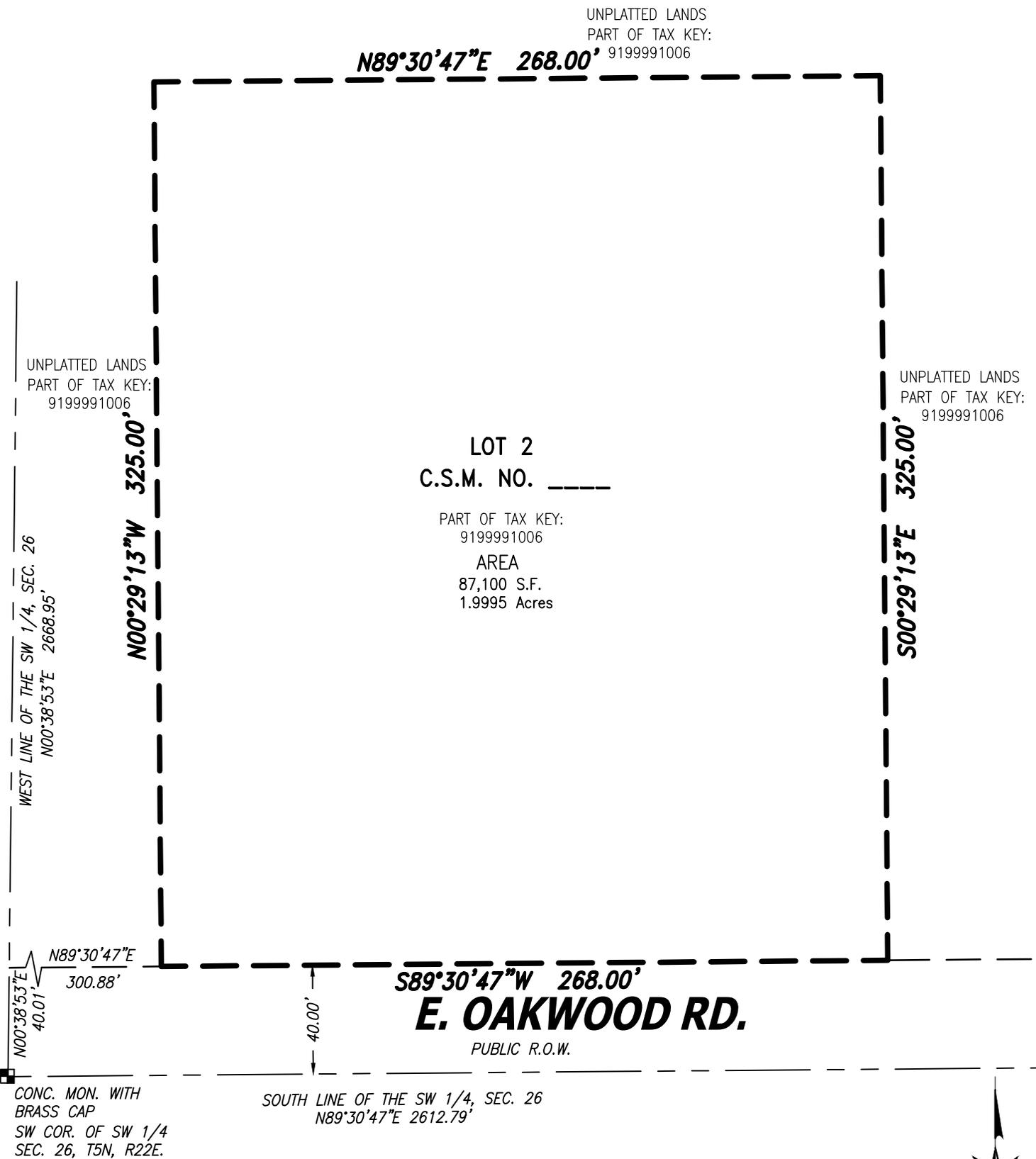
That part of the Southwest 1/4 of the Southwest 1/4, Section 26, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin bounded and described hereinafter;

Commencing at the Southwest corner of said Southwest 1/4 Section; thence North 00°38'53" East along the West line of said 1/4 Section 40.01 feet to a point; thence North 89°30'47" East along the North line of Oakwood Road 300.88 feet to the point of beginning of lands described hereinafter; thence North 00°29'13" West 325.00 feet to a point; thence North 89°30'47" East 268.00 feet to a point; thence South 00°29'13" East 325.00 feet to a point; thence South 89°30'47" West 268.00 feet to the point of beginning.

Said Lands Contains 87,100 square foot or 1.9995 Acres.

BASIS OF BEARINGS

Bearings are referenced to the Wisconsin State Plane Coordinate System (South zone) dated Feb., 2018 in which the South line of the SW1/4, Sec. 26 bears N89°30'47"E.



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DATE
June 15, 2020



Drawing No. 3396-far



PLAN COMMISSION REPORT

Proposal: Certified Survey Map

Description: Review of a Certified Survey Map request to divide and reconfigure the properties at 3280 and 3360 E. Oakwood Rd. & 3380 E. Oak Ln.

Applicant(s): LaVerne Boers, et al

Address(es): 3280 and 3360 E. Oakwood Rd., & 3380 E. Oak Ln.

Suggested Motion: That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by LaVerne Boers, et al, for the properties at 3280 and 3360 E. Oakwood Rd., & 3380 E. Oak Ln. be approved with the following conditions:

1. That all relevant Code requirements are in effect.
2. All floodplain areas shall be included on the CSM prior to recording.
3. That a note stating that wetland and floodplain delineations appear on subsequent pages of the CSM shall be included on Sheet 1 of the CSM prior to recording.
4. That public rights-of-way around the cul-de-sacs at the west ends of E. Oak Ln. and E. O'Brien Rd. shall be dedicated to the City as part of the CSM. The Common Council signature block on the last page shall be updated to include the dedication and acceptance of the rights-of-way.
5. The existing 60-foot sanitary and watermain easement shall be included on the CSM prior to recording.
6. A 25-foot drainage easement centered on the swale between Oak Ln. and Oakwood Rd. shall be included on the CSM prior to recording.
7. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Owner(s): LaVerne Boers, David Boers, Dale & Sharon DeWitt

Tax Key(s): 919-9991-006, 919-9005-000, & 919-9010-000

Lot Size(s): See CSM

A-1, Limited Agricultural

Rs-3, Single Family Residential

Current Zoning

District(s): FW, Floodway

Overlay District(s): FF, Flood Fringe C-1, Shoreland Wetland

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Single Family Detached, Floodway

Background:

The Applicant is requesting approval of a Certified Survey Map for the properties at 3280 and 3360 E. Oakwood Rd., & 3380 E. Oak Ln. This request is directly related to and dependent upon the rezone request in the previous agenda item. One (1) new compliant lot of just under 2 acres is proposed around the existing buildings (Lot 2). Two (2) existing lots would be slightly increased in size to 0.73 acres (Lot 3) and 0.68 acres (Lot 4), both of which are compliant with the requirements of the Rs-3, Single Family Residential District. Lot 1 will contain the remaining 27.89 acres, and no development is proposed at this time. Due the presence of extensive wetlands and floodplain areas on Lot 1, the Applicant is working with MMSD to acquire the land for conservation purposes. While there is no local requirement for the land to be conserved, staff are fully in support.

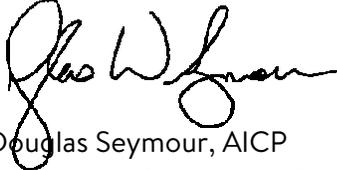
Prior to recording the CSM, there are several minor corrections that must be made, and the Applicant is currently working with staff and their surveyor on these corrections:

1. Floodplain areas must be shown on the CSM.
2. A note must appear on Sheet 1 stating that wetland and floodplain delineations appear on subsequent pages of the CSM.
3. ROW dedication around the cul-de-sacs at the west ends of E. Oak Ln. and E. O'Brien Rd. is required. The Common Council signature block on the last page must be updated to include the dedication and acceptance of the rights-of-way.
4. The existing 60-foot sanitary and watermain easement must be shown on the CSM.
5. A 25-foot drainage easement is required centered on the swale between Oak Ln. and Oakwood Rd. This easement is required to connect the drainage network between the adjacent public streets over the farm field and ultimately to Oakwood Rd.
6. A directional typo on Sheet 4 must be corrected (technical correction).

The above have been included as conditions of approval for clarity. Should the corrections be incorporated into a revised map prior to the Common Council's review, these conditions may be eliminated.

Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed Certified Survey Map with specified conditions, or that the Common Council not approve of the proposed CSM. Disapproval will affect the anticipated sale and development of the lots.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

Attachments:

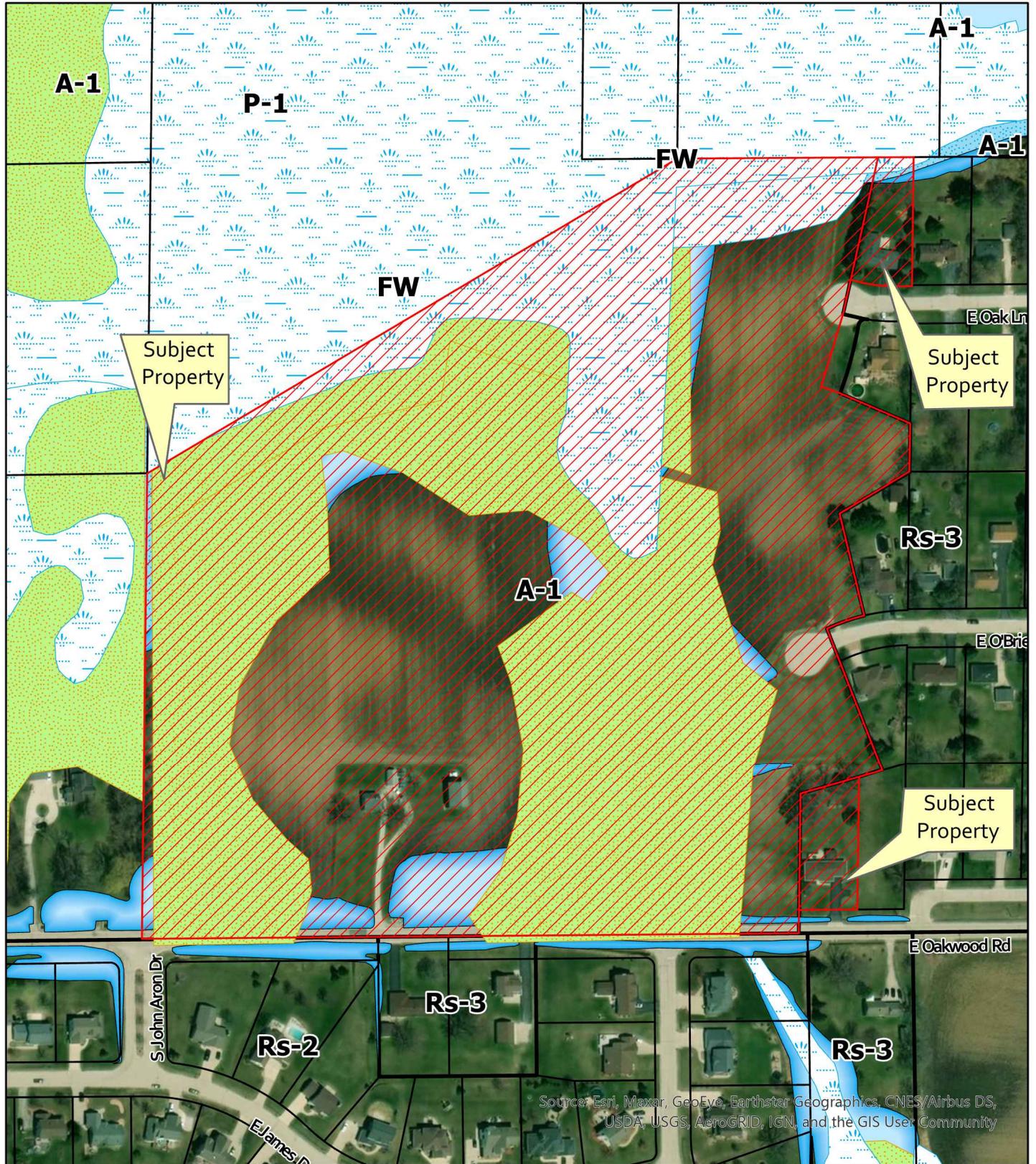
Location Map

Proposed CSM (6 pages)

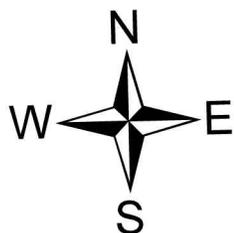
Requested Easement Exhibit (1 page)

Location Map

3280 & 3360 Oakwood Rd, 3380 Oak Ln



This map is not a survey of the actual boundary of any property this map depicts



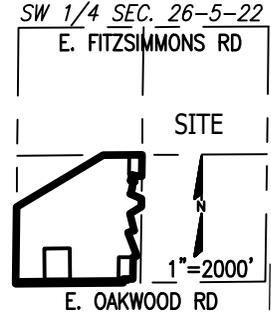
Legend	
	3280 & 3360 Oakwood Rd, 3380 Oak Ln
	DNR Wetlands Inventory
	Environmental Corridor
	Flood Plain (2008)
	Floodway (2008)

CERTIFIED SURVEY MAP NO. _____

A revision of all of Parcel 1 of Certified Survey Map No. 1800, Parcel 1 of Certified Owner: Survey Map No. 2625 and part of the Southwest 1/4 of the Southwest 1/4, Section 26, LaVerne Boers Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin. 3280 E. OAKWOOD RD, WI 53154

All bearings are referenced to the Wisconsin State Plane Coordinate System (South zone) dated Feb., 2018 in which the South line of the SW1/4, Sec. 26 bears N89°30'47"E.

VICINITY MAP

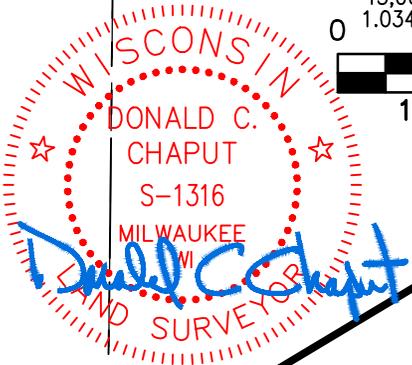
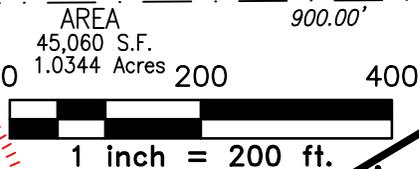


Owner: David Boers
3360 E. OAKWOOD RD,
WI 53154
Owner:
Dale DeWitt
Sharon DeWitt
3380 E. OAK LN,
WI 53154

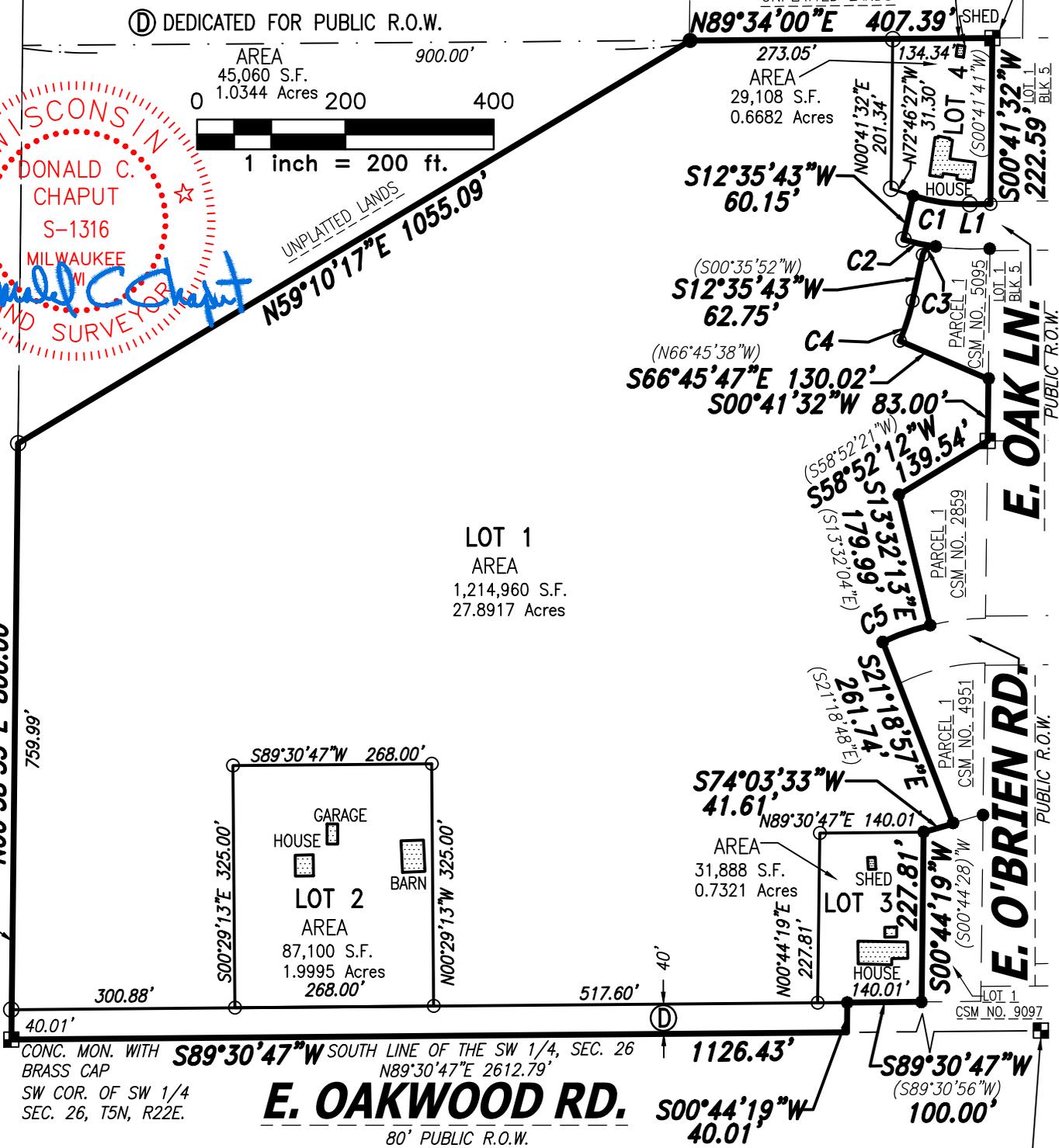
CONC. MON. WITH BRASS CAP
NW COR. OF SW 1/4
SEC. 26, T5N, R22E.

LEGEND

- INDICATES FOUND 1" IRON PIPE
- Indicates set 1.315" iron pipe, 18" in length, 1.68 lbs. per lineal foot.
- INDICATES FOUND CONC. MONUMENT
- Ⓧ DEDICATED FOR PUBLIC R.O.W.



N00°38'53"E 2668.95'
WEST LINE OF THE SW 1/4, SEC. 26
UNPLATTED LANDS
N00°38'53"E 800.00'
759.99'



LOT 1
AREA
1,214,960 S.F.
27.8917 Acres

GARAGE
HOUSE
BARN
LOT 2
AREA
87,100 S.F.
1.9995 Acres
268.00'

AREA
31,888 S.F.
0.7321 Acres
LOT 3
SHED
HOUSE
140.01'

LINE	BEARING	DISTANCE
L1	S89°30'47"W	28.00'
REC AS	S89°30'56"W	

CURVE	ARC	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD
C1	77.31'	250.00'	17°43'06"	N81°38'00"W	77.00'
C2	43.89'	310.00'	8°06'45"	S77°43'22"E	43.86'
C3	22.42'	15.00'	85°37'24"	S55°24'29"W	20.39'
C4	56.65'	305.00'	10°38'30"	S17°54'58"W	56.57'
C5	67.87'	330.00'	11°47'02"	S70°33'28"W	67.75'

CONC. MON. WITH BRASS CAP
SE COR. OF SW 1/4
SEC. 26, T5N, R22E.

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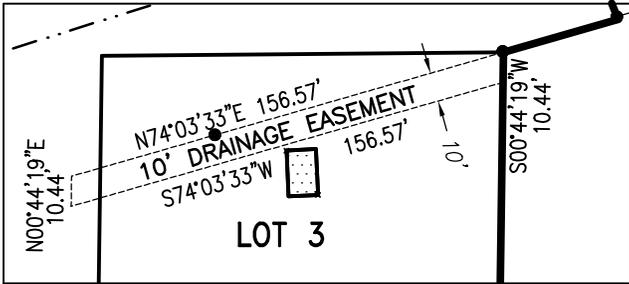
This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Date: June 11, 2020
Dwg. No. 3396-far
Sheet 1 of 6 Sheets

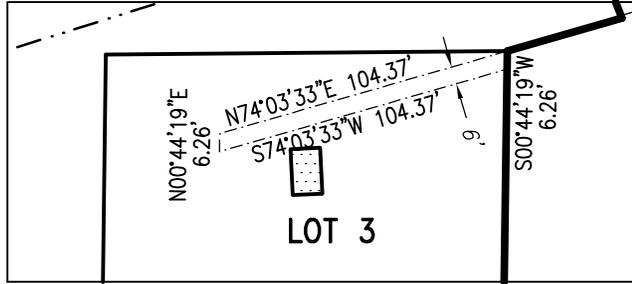
CERTIFIED SURVEY MAP NO. _____

A redivision of all of Parcel 1 of Certified Survey Map No. 1800, Parcel 1 of Certified Survey Map No. 2625 and part of the Southwest 1/4 of the Southwest 1/4, Section 26, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

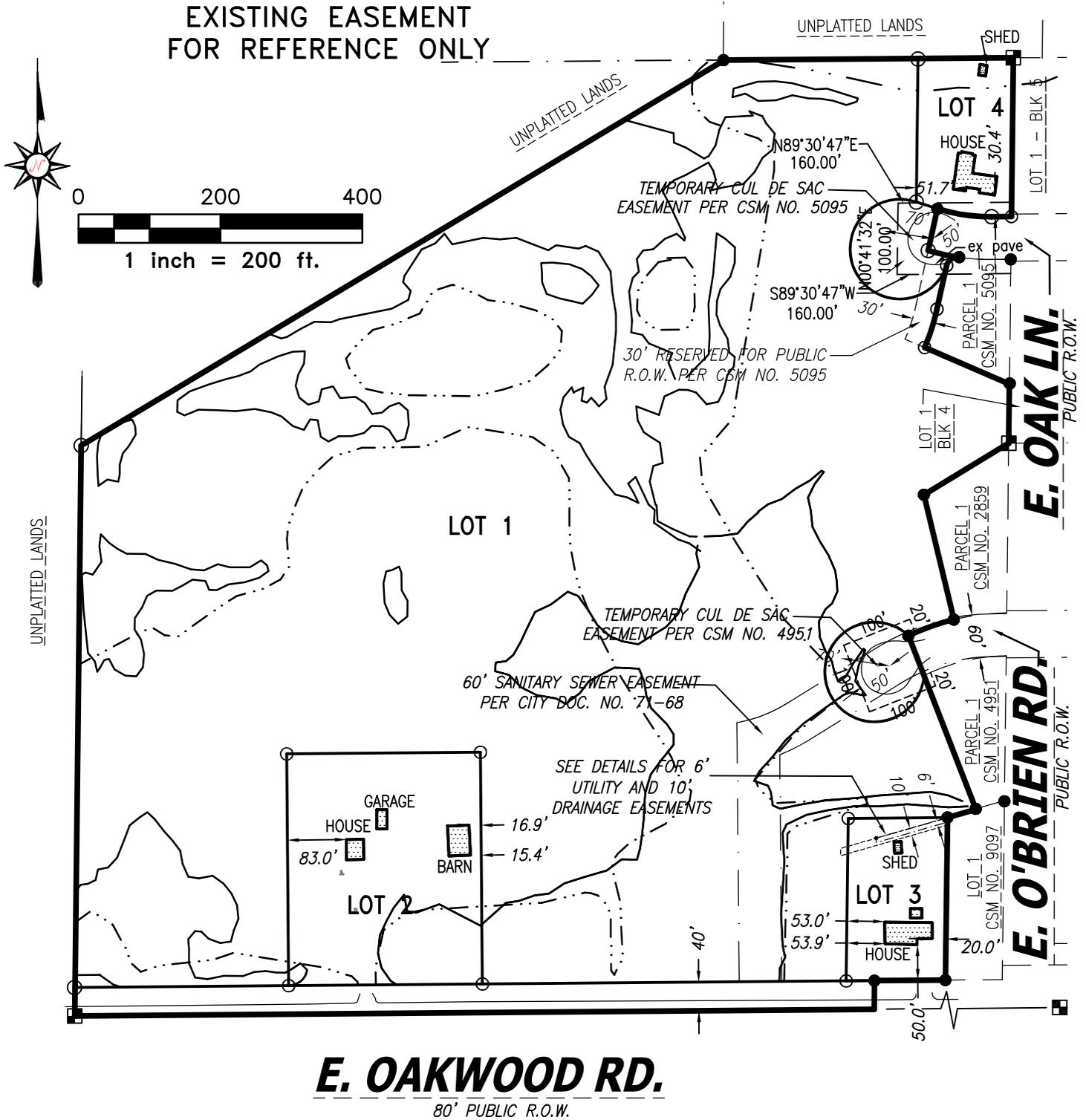
DETAIL A



DETAIL B



EXISTING EASEMENT FOR REFERENCE ONLY



CERTIFIED SURVEY MAP NO. _____

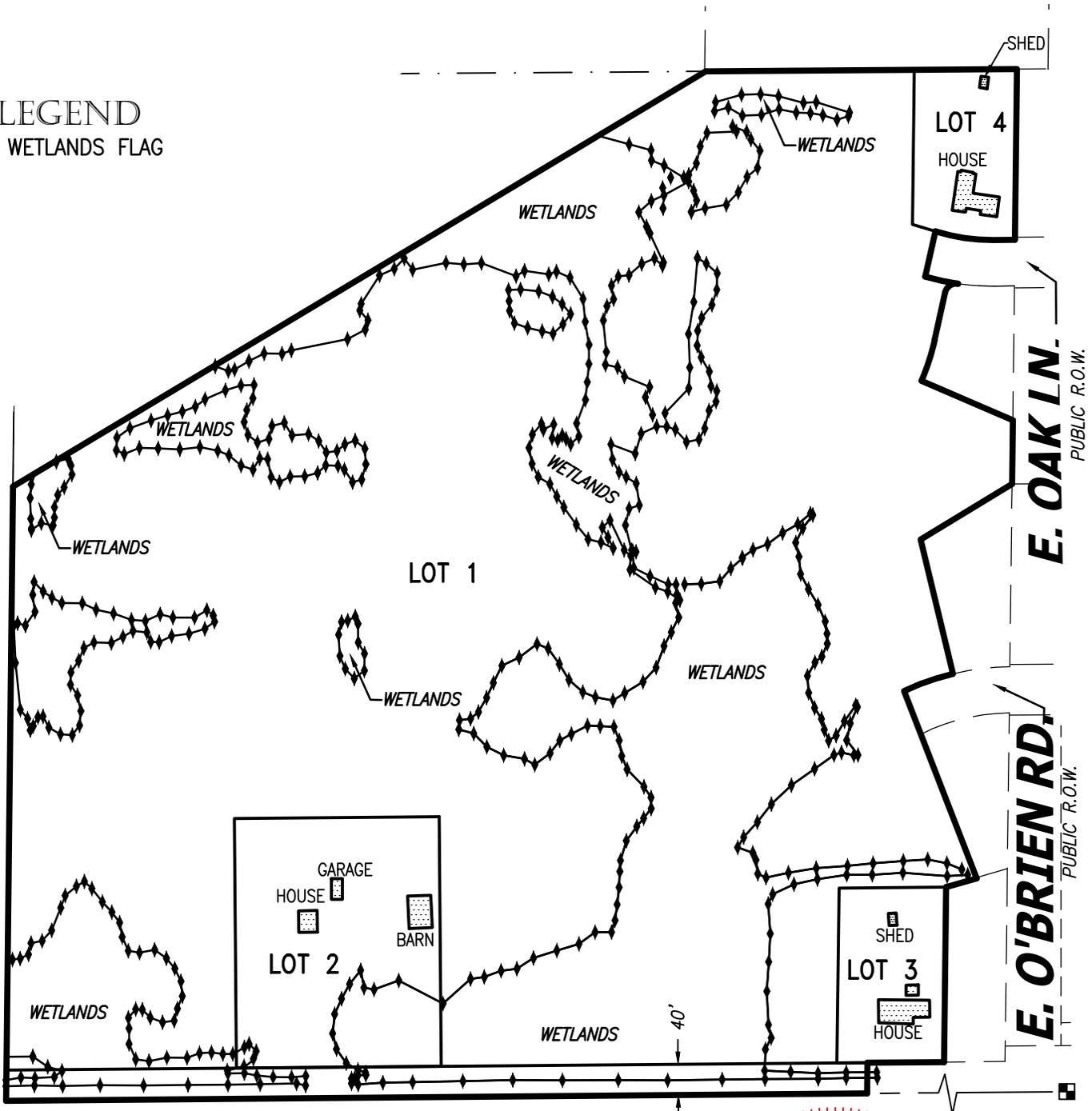
A redivision of all of Parcel 1 of Certified Survey Map No. 1800, Parcel 1 of Certified Survey Map No. 2625 and part of the Southwest 1/4 of the Southwest 1/4, Section 26, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

NOTE

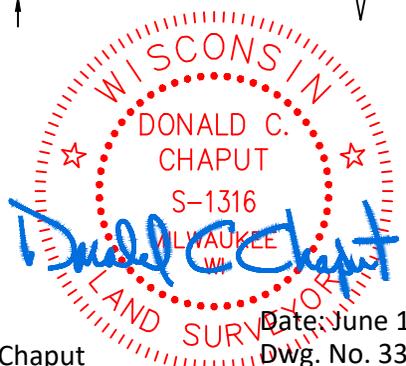
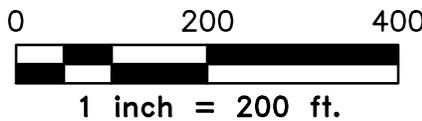
Wetlands are delineated by Southeastern Wisconsin Regional Planning Commission (SEWRPC) dated June 1 and 2, 2020.

LEGEND

◆ WETLANDS FLAG



E. OAKWOOD RD.
80' PUBLIC R.O.W.



CHAPUT
LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

Date: June 11, 2020
Dwg. No. 3396-far
Sheet 3 of 6 Sheets

CERTIFIED SURVEY MAP NO. _____

A redivision of all of Parcel 1 of Certified Survey Map No. 1800, Parcel 1 of Certified Survey Map No. 2625 and part of the Southwest 1/4 of the Southwest 1/4, Section 26, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

OWNER'S CERTIFICATE

LaVerne Boers, as owner, I hereby certify that I caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 14 of the Oak Creek Municipal Code.

WITNESS, the hand Seal of LaVerne Boers, this _____ day of _____, 2020.

LaVerne Boers

STATE OF WISCONSIN)
): SS
MILWAUKEE COUNTY)

Personally came before me this ____ day of, _____ 2020, the above named LaVerne Boers, trustee to me known as the person who executed the foregoing instrument and acknowledged the same.

(Notary Seal)

Notary Public State of Wisconsin
My commission expires,
My commission is permanent.

OWNER'S CERTIFICATE

Dale DeWitt and Sharon DeWitt, as owner, We hereby certify that we caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 14 of the Oak Creek Municipal Code.

WITNESS, the hand Seal of Dale DeWitt, this _____ day of _____, 2020.

WITNESS, the hand Seal of Sharon DeWitt, this _____ day of _____, 2020.

Dale DeWitt

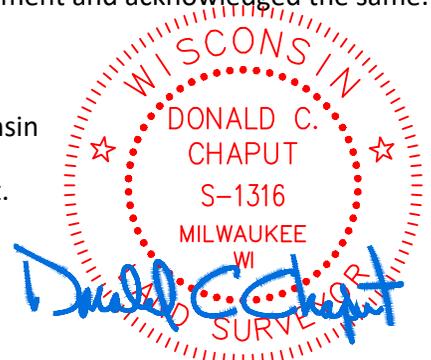
Sharon DeWitt

STATE OF WISCONSIN)
): SS
MILWAUKEE COUNTY)

Personally came before me this ____ day of, _____ 2020, the above named Dale DeWitt and Sharon DeWitt, trustee to me known as the persons who executed the foregoing instrument and acknowledged the same.

(Notary Seal)

Notary Public State of Wisconsin
My commission expires,
My commission is permanent.



CERTIFIED SURVEY MAP NO. _____

A redivision of all of Parcel 1 of Certified Survey Map No. 1800, Parcel 1 of Certified Survey Map No. 2625 and part of the Southwest 1/4 of the Southwest 1/4, Section 26, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

OWNER'S CERTIFICATE

David Boers, as owner, I hereby certify that I caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 14 of the Oak Creek Municipal Code.

WITNESS, the hand Seal of David Boers, this ____ day of _____, 2020.

David Boers

STATE OF WISCONSIN)
): SS
MILWAUKEE COUNTY)

Personally came before me this ____ day of, _____ 2020, the above named David Boers, trustee to me known as the person who executed the foregoing instrument and acknowledged the same.

(Notary Seal)

Notary Public State of Wisconsin
My commission expires,
My commission is permanent.

PLANNING COMMISSION CERTIFICATE OF APPROVAL

APPROVED by the Planning Commission of the City of Oak Creek on this ____ day of _____, 2020.

Date

Daniel Bukiewicz, Chairman

Date

Douglas W Seymour, Secretary

COMMON COUNCIL CERTIFICATE OF APPROVAL

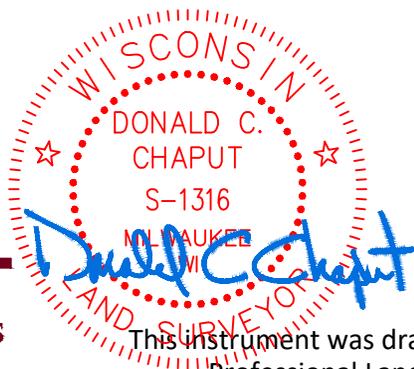
APPROVED and accepted by the Common Council of the City of Oak Creek, per Plan Commission recommendation on this ____ day of _____, 2018 by Resolution No. _____.

Date

Daniel Bukiewicz, Mayor

Date

Catherine A Roeske, City Clerk



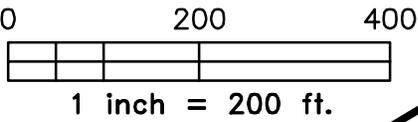
CHAPUT
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Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

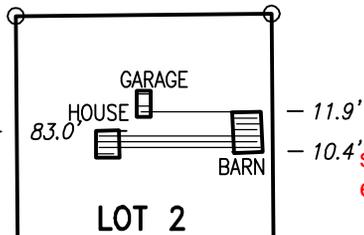
Date: June 11, 2020
Dwg. No. 3396-far
Sheet 6 of 6 Sheets

EXISTING EASEMENT
FOR REFERENCE ONLY



UNPLATTED LANDS

LOT 1



show existing sanitary
easement

TEMPORARY CUL DE SAC
EASEMENT PER CSM NO. 4951

SEE DETAILS FOR 6'
UTILITY AND 10'
DRAINAGE EASEMENTS

show new 25'
drainage easement

TEMPORARY CUL DE SAC
EASEMENT PER CSM NO. 5095

30' RESERVED FOR PUBLIC
R.O.W. PER CSM NO. 5095

UNPLATTED LANDS

N89°30'47"E
160.00'

S89°30'47"W
160.00'

N00°41'32"E
100.00'

LOT 4

HOUSE

30.4'

E. OAK LN.
PUBLIC R.O.W.

E. O'BRIEN RD.
PUBLIC R.O.W.

PARCEL 1
CSM NO. 2859

PARCEL 1
CSM NO. 4951

PARCEL 1
CSM NO. 9097

LOT 1
BLK 4

LOT 1 - BLK 5

FND CONC. MON.

SHED

SHED

HOUSE