



PLAN COMMISSION

April 28, 2020
6:00 P.M.

Common Council Chambers
8040 S. 6TH Street
Oak Creek, WI 53154
(414) 766-7000

Daniel Bukiewicz - Chair
Dawn Carrillo
Chaucey Chandler
Donald Oldani
Chris Guzikowski
Matt Sullivan
Gregory Loreck
Fred Siepert
Christine Hanna
Vacant - ex-officio
Doug Seymour - ex-officio

The City's Vision

Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.

IMPORTANT NOTICE

This meeting will be held by video conference only. The City Hall remains **CLOSED** to the public. Persons wishing to participate, including applicants and their representatives, must register via <http://ocwi.org/register> prior to the meeting. The video conference will begin at 5:55 PM to allow participants to log in.

Persons who wish to view the meeting live without participating may visit the City of Oak Creek YouTube page at <http://ocwi.org/livestream>.

Persons requiring other reasonable accommodations may contact the City at 414-766-7000. Requests should be made as far in advance as possible, preferably a minimum of 48 hours.

Find more information on agenda items at oakcreek.zoninghub.com.

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – April 14, 2020
4. Significant Common Council Actions
5. New Business
 - a. CONDITIONS AND RESTRICTIONS – Review conditions and restrictions for a request submitted by Sam Dickman, Dickman Co., for a Conditional Use Permit for freight yard / freight terminal / trans-shipment depot facilities within the proposed multitenant industrial building on the property at 10650 S. Oakview Parkway (Tax Key No. 955-1043-000).
ZoningHub: <https://s.zoninghub.com/U8JWPX1YN8>; Twitter @OakCreekPC#OCPCDickmanCU
 - b. PLAN REVIEW – Review site, building, landscaping, sign, and related plans submitted by Andrew Chromy, Oak Creek Franklin Joint School District, for site and building modifications,

Visit our website at www.oakcreekwi.org for the agenda and accompanying Plan Commission reports.

and additions to the existing Cedar Hills Elementary School at 2225 W. Sycamore Ave. (Tax Key No. 715-0111-000).

ZoningHub: <https://s.zoninghub.com/9UDO1R22W0>; Twitter @OakCreekPC#OCPCedarHills

Adjournment.

Dated this 20 day of April, 2020

Posted 4-20-2020

Public Notice

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

**MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, April 14, 2020**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Sullivan, Commissioner Carrillo, Alderman Loreck, Mayor Bukiewicz, Alderman Guzikowski, Commissioner Oldani, and Commissioner Chandler. Commissioner Siepert was excused. Also present: Kari Papelbon, Planner; Doug Seymour, Director of Community Development; Laurie Miller, Zoning Administrator; Assistant Fire Chief Mike Havey. IT Manager, Kevin Koenig, facilitated the video conference.

Mayor Bukiewicz pointed out that this is the first video conference for the Plan Commission and explained ways residents can participate in the meeting.

Minutes of the March 10, 2020 meeting

Commissioner Loreck moved to approve the minutes of the March 10, 2020 meeting. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**REZONE
MILWAUKEE COUNTY PARKS
7475R S. CHAPEL DR.
TAX KEY NO. 768-9000-010**

Planner Papelbon provided an overview of the request to rezone the property at 7475R S. Chapel Dr. from Rs-4, Single Family Residential to P-1, Park District (see staff report for details).

Sarah Toomsen, Milwaukee County Parks Department Manager, stated that the County has just recently acquired this parcel through foreclosure. The Parks Department was given an opportunity along with other departments to review all foreclosed properties. This parcel has been evaluated and found to have a high resource value, and a no cost transfer from the Treasurer to the Parks Department. It is under the direction of the Milwaukee County Board policy that any property within the Parks Department should be rezoned to the Parks District. This requires that any action the Parks Department may take goes through the Milwaukee County Parks, Energy, and Environment Committee, in addition to the local protections that Oak Creek provides through park zoning.

Barbara Prodzinski, 7534 S. Lynhaven Dr.:

"I think we should rezone the property to the Park District. We have one way in, one way out of our subdivision, and that also includes the condos to the north. And I think if we would not put it into the Park District, and it would be rezoned for building new property, it would add to the traffic that goes in and out of our subdivision. And also, I think it would take away from the look of the park and from the wild animals that actually reside in this park. There's not many places left for them to go and I, that's my statement."

Richard Herman, 7455 S. Chapel Dr.:

"Okay. Just a general comment on in favor of rezoning this to P-1. I've lived at this address for, this will be 40 years come June, and it's almost like every five or ten years we have some form of rezoning or designation on the property here. The two questions that I do

have. One is we'll probably be going on as long as I live here, but the trees were part of the original noise abatement program back in the early 80s with the airport, and I think that's what led towards these properties, a lot of it being abandoned or non-developed. And I just wanted to ensure now that the County having had formal ownership that will be some level of restriction or awareness of the trees themselves being part of this noise abatement. And I'm assuming at some point all there's three other properties that, I believe, are down at the end of Chapel Drive around that circle that was built as part of the formal park development. I assume this property will be part of that grouping and will be merged in. And the reason I'm concerned of that is there's access down there into the park, and if this becomes part of the park, is the construction level circle at the end of Lynnhaven going to be upgraded to a formal circle meeting all the codes and the design. Or what's going to be done with that circle. In my notes that I had registered, the question is how's this property going to be accessed since it's basically landlocked. So, those are the two questions and comments. I'm glad the County is taking this and I'm hoping it's just going to be annexed onto the rest of the park. That's all I've got. Thank you, appreciate the videoconferencing. Keeps things moving."

Danita Gretzon, 7505 S. Lynnhaven Drive:

"I live on 7505 S. Lynnhaven Drive, immediately by the cul-de-sac, and I'm glad my neighbor Richard Herman addressed this from Chapel because is this gonna be open? How is this going to be accessed, this property? Then there and what you're planning would yeah basically how is it going to be accessed and how it's going to affect us with more traffic? Or yeah anyway I can't think of them another question more appropriate, but that would be basically the one and talking about the wild animals. Oh yeah, a lot of them deer and all that and they try to make my property they're their domain now too. So, when there are too many what can we do about it? If they become too friendly and do they become a threat to the children and smaller animals, dogs around here because I've seen coyotes. Deer, they come really freely now they're not afraid really anymore. So, what's going to happen with that? Are there any plans?"

Commissioner Chandler asked the applicant to provide more details on what the land will be used for.

Ms. Toomsen responded that they want to manage it for natural resource protection. It will be overseen by the Natural Areas Coordinator who really studies and has an ecological focus. No development of any kind is proposed at this time. The activities the City and residents may see will be managing the ash trees that were impacted by the emerald ash borer. The land would be considered part of the environmental corridor. If the County needs to access the park they would likely use Lynnhaven's cul-de-sac.

Mayor Bukiewicz asked Ms. Toomsen if there would be any plans to improve the Lynnhaven cul-de-sac, per a resident's question.

Ms. Toomsen responded that there will be no changes to the roadway. This park is actually owned by the County, but Camelot Park to the west is owned by the airport and developed by the City. This parcel will stand alone, but will be connected through the woodlands to be presumed as one constant park.

Mayor Bukiewicz reiterated the question from Mr. Herman about the access point at the end of Chapel Drive. Mayor Bukiewicz asked if the parking lot off the cul-de-sac and the walking path would still be there.

Ms. Toomsen explained that the County's request and ownership only extends to this parcel, and does not know the status of the parcels that were asked about.

Mayor Bukiewicz directed the question to Planner Papelbon.

Planner Papelbon has no information on the properties, and believes there is no proposal for the 3 lots at this time. She has to do some research on the properties.

Director Seymour stated that the 3 parcels are zoned P-1.

Mayor Bukiewicz brought back the question about the trees as part of the airport noise abatement, which he is unfamiliar with. He asked Ms. Toomsen about replacing the trees.

Ms. Toomsen responded that when possible, the County is replacing the ash trees as the affected trees are removed. She is not certain of the species of trees at this site. The County will infrequently visit this site unless there is a science-based reason or a hazard tree reason to visit site. The County does not have any plans to remove anything that would not be a hazard.

Commissioner Hanna referenced a resident's question regarding the wild animals. Commissioner Hanna asked if there is any plan on animal control to protect both sides.

Ms. Toomsen replied that there are no resources to fund a fence of any kind. They have staff in the Natural Areas Division that can provide resources for citizens who have concerns about coyotes and other nuisance animals. The County has a toolkit in case wild animals become an issue.

Commissioner Hanna brought up that the DNR has funding to help fund if applicable. She wants to make sure both sides are protected.

Mayor Bukiewicz mentioned that the City is using Milwaukee Area Domestic Animal Control (MADACC) to handle nuisance animals if residents were to contact them. They will come and relocate the animals.

Danita Gretzon, 7505 S. Lynhaven Drive:

"I my property really is going, is bordering is on the west side of the street of Lynhaven and the other side that's rented out is going to be Park marked out. So, in my area is definitely going to be is where the wildlife is. So, if they, I have actually pictures of it where last summer or spring the deer came right into my yard laid down and was very comfortable there. And it was good to see them and, but anyway. I also have raccoons through the years didn't bother me, but seeing them. So, it's if they become a problem and I heard Christine mention MADACC, an agency, that could have, is there a phone number?"

Mayor Bukiewicz said he does not have the number handy, but residents can call City Hall and city staff can provide the number.

Danita Gretzon, 7505 S. Lynhaven Drive:

“Ok. Thank you. That would be my question for now”.

Alderman Loreck moved that the Plan Commission recommends to the Common Council that the property at 7475R S. Chapel Dr. be rezoned from Rs-4, Single Family Residential to P-1, Park District after a public hearing.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**REZONE
MILWAUKEE COUNTY PARKS
2121 W. DREXEL AVE.
TAX KEY NO. 810-9993-001**

Planner Papelbon provided an overview of the request to rezone the property at 2121 W. Drexel Ave. from Rs-2, Single Family Residential to P-1, Park District (NO CHANGE to FW, Floodway or FF, Flood Fringe districts) (see staff report for details).

Sarah Toomsen, Milwaukee County Parks Department Manager, stated that the parcel was acquired through foreclosure. The Parks Department completed an analysis, and based on natural resource protection, the County would like to make this parcel part of Falk Park and would manage it the same way as natural resource protection. The parcel just south of Falk park is referred as Barloga Woods, and it is a very high-quality area of woodlands and has some interesting wildlife characteristics. The County would like to protect it with the P-1 zoning and manage it for natural resources.

Alderman Guzikowski commented that this a good thing for Oak Creek.

Mayor Bukiewicz stated that it is another extension to the County Parks. The County did a land swap a few years ago to acquire these lands because of the value of natural resources.

Alderman Loreck moved that the Plan Commission recommends to the Common Council that the property at 2121 W. Drexel Ave. be rezoned from Rs-2, Single Family Residential to P-1, Park District (NO CHANGE to FW, Floodway or FF, Flood Fringe districts) after a public hearing.

Commissioner Hanna seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW
RESIDENCES AT OAK VIEW, LLC
10730 S. HOWELL AVE
TAX KEY NO. 973-9997-000**

Planner Papelbon provided an overview of the site, building, and related plan review for a proposed clubhouse with outdoor pool and monument sign for the Residences at Oak View single-family residential condo development (see staff report for details).

Jeremy Samatas, 670 N. Park Blvd., Glen Ellyn, IL, stated that they looked at the landscape plan to possibly include several different perennials and typical species that are within the Midwest. They're also looked at trees that have rapid growth to round out the property and to help give a balance with seasonal color throughout the year.

Commissioner Chandler asked if the clubhouse and pool just for residents, or will it also be available to outside users.

Mr. Samatas answered the clubhouse and pool will only be for the residences.

Commissioner Chandler asked if there is a gate outside around the pool.

Mr. Samatas confirmed.

Commissioner Chandler asked how the pool will be accessed.

Mayor Bukiewicz stated it will probably have some sort of combination or card reader. Mayor Bukiewicz asked Mr. Samatas for his thoughts on how the gate would be secured.

Mr. Samatas explained that they are talking about some sort of smart technology. They have not finalized it yet, but are looking into some sort of safety that only the residences would have access to.

Mayor Bukiewicz asked if there is access to the pool from the building.

Mr. Samatas confirmed there will be access to the pool from the building.

Commissioner Chandler asked about where the mechanicals will be located.

Scott Lausten of Keller Inc. said the mechanicals for the pool will be in an enclosed room in the southeast corner of the clubhouse. The other mechanical will be the transformer and the location has not been determined yet.

Commissioner Carrillo asked if 12 parking spots is going to be enough for a clubhouse with a fitness center and a pool.

Mayor Bukiewicz hoped that the residents would walk or bike to the clubhouse since it would only be for the residents. He is directed the question to Commissioner Sullivan.

Commissioner Sullivan replied that Engineering does not have an opinion about this. Engineering usually does not focus too much on the parking restrictions or requirements. He mentioned that this is a unique development, and is not sure how it compares to other apartments with similar facilities.

Mayor Bukiewicz asked Mr. Samatas about the hours of the clubhouse.

Mr. Samatas assumed that it would be standard hours, yet to be determined, as the leasing office including the gym will be within the clubhouse. The plan is to install walking path and sidewalks, hopefully the residences will walk or bike and/ or use other access means to the clubhouse. The fitness center will not be very large and will only be housing a few pieces of equipment and some dumbbells.

Commissioner Sullivan stated that Drexel Ridge Apartments has roughly 18 parking spaces plus 2 handicap spaces and some street parking with roughly 200 apartments.

Mayor Bukiewicz mentioned they (Residences at Oak View) would have the use of the streets for parking.

Commissioner Sullivan said yes, if they want to.

Commissioner Hanna agrees with Commissioner Carrillo that the number of parking stalls seems inadequate or insufficient for this type of clubhouse. Commissioner Hanna questioned about rental of the space for special events. She stated that usually for special events there would be at least 20-30 people on average, especially around the pool area and the plans include only one handicapped stall.

Mr. Samatas stated that about 20% of the residents in their multifamily developments use the amenities. The intent is not really to rent out the space for additional gatherings, although it has a full kitchen. It could possibly be used for small birthday parties.

Alderman Guzikowski mentioned that when he lived in an apartment, most of the time he walked to the pool and 12 spaces seems adequate.

Mayor Bukiewicz believes people will park on the street because it is closer to the door. A few spaces could be added on the road because the houses start about a ½ a block away, and the road is not a thoroughfare as the entrance is to the north. He asked if anyone had any objections on the parking spaces. No one commented. He suggested the applicant speak with the City Forester regarding the landscape plan about what would be a good fit in the area.

Planner Papelbon mentioned that the City Forester Rebecca Lane has looked at the plans and has some comments, but asked for an extension to review the plans. Her comments will be provided to the applicant.

Commissioner Oldani moved that the Plan Commission approves the site, building, and monument sign plans submitted by Jeremy Samatas, Residences at Oak View, LLC, for the property at 10730 S. Howell Ave. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That the plans are revised to include locations for all new and relocated mechanicals, transformers, and utilities. All mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) shall be screened from view.
3. That the landscape plans are revised to include all requirements per Code.
4. That detailed wayfinding sign plans and common area and street landscape plans be submitted for review and approval by the Director of Community Development prior to submission of occupancy permit applications for the clubhouse.
5. That all detailed, revised plans are submitted in digital format to the Department of Community Development prior to submission of permit applications.

Commissioner Hanna seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW
DICKMAN CO.
10650 S. OAKVIEW PARKWAY**

TAX KEY NO. 955-1043-000

Planner Papelbon provided an overview of the proposed site, building, and related plan review for a proposed multitenant industrial building at 10650 S. Oakview Parkway (see staff report for details).

Commissioner Hanna questioned if the traffic signal and the capacity of Oakwood Road would be adequate with the increase in employees for the tenant spaces, and if this would affect the safety and concerns for the area.

Commissioner Sullivan stated that there was a Traffic Impact Analysis (TIA) done when FedEx went into the industrial park north of Oakwood Road. This included a full build-out of Oakview Parkway and the signal on Oakwood Road. He notes that trucks are not allowed to go west on Oakwood Road. Engineering is satisfied with the type of traffic, hours, and the number of employees at this point.

Commissioner Chandler asked the applicant about the tenants that would be in these three locations.

Sam Dickman, Jr., 2224 S. Kensington Blvd, Shorewood, WI, replied that they are working with some of their existing tenants that occupy their other buildings in the Park who may need to expand. The applicant is also talking to some new tenants with light assembly, manufacturing, or distribution.

Commissioner Chandler asked to have a review on the entrances of the building, as she thought she saw quite a few entrances, but some may have been windows.

Planner Papelbon stated that the north elevation has 5 entrances: 3 are the main entrances at the far corners and center of the building that lead into the offices, and 2 secondary entrances in between.

Mayor Bukiewicz commented that this is a very nice-looking building out of all the multitenant buildings the Plan Commission has seen thus far.

Commissioner Hanna moved that the Plan Commission approves the site and building plans submitted by Samuel Dickman, Central Land Co. III, LLC, for the property at 10650 S. Oakview Pkwy. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That the plans are revised to include locations for all mechanicals, transformers, and utilities. All mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) shall be screened from view.
3. That a detailed Master Sign Plan is reviewed and approved by the Plan Commission prior to submission of sign permit applications.
4. That all detailed, revised plans are submitted in digital format to the Department of Community Development prior to submission of permit applications.

Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

**CONDITIONAL USE PERMIT
DICKMAN CO.
10650 S. OAKVIEW PARKWAY
TAX KEY NO. 955-1043-000**

Planner Papelbon provided an overview of the conditional use permit for a proposed freight yard / freight terminal / trans-shipment depot facility for the property at 10650 S. Oakview Parkway (see staff report for details).

Alderman Guzikowski wondered if the Fire Department would have any concerns with the docks.

Assistant Fire Chief Mike Havey stated the Fire Department has no concerns.

Commissioner Hannah moved that the Plan Commission recommends that the Common Council approves a Conditional Use Permit for freight yard/freight terminal/trans-shipment depot facilities within the multitenant building on the property at 10650 S. Oakview Parkway, after a public hearing and subject to Conditions and Restrictions that will be prepared for the Plan Commission's review at the next meeting (April 24, 2020) *NOTE: this was an error as the next scheduled meeting is April 28, 2020.*

Alderman Loreck seconded. On roll call: all voted aye. Motion carried.

**CERTIFIED SURVEY MAP
FRONTLINE COMMERCIAL REAL ESTATE
9315 S. 13TH ST.
TAX KEY NO. 877-9995-005**

Planner Papelbon provided an overview of the request to divide the property at 9315 S. 13th St. into two (2) development lots (see staff report for details).

Aaron Koch, Pinnacle Engineering Group LLC, 20275 Watertown Rd., Brookfield, WI, mentioned the concern related to the Water and Sewer Utility's requirements for lateral location, and stated that they are continuing to work with staff. The applicants really do not want to move the property line because it moves the divide to the east about forty feet, which the property for the hotel does not need, but would be beneficial for the east property to have for future development.

Commissioner Chandler asked the applicant to provide more information on the purpose of creating the two lots.

Planner Papelbon responded that the proposed Lot 1 parcel will be for the hotel, which is the next item of the agenda.

Commissioner Chandler questioned what the second parcel will be used for.

Mr. Koch replied that it could be some sort of commercial or another hotel.

Mayor Bukiewicz encouraged the applicants to continue to work with the staff on the lateral. Mayor Bukiewicz asked Commissioner Sullivan for any concerns with the laterals on behalf of the Engineering Department.

Commissioner Sullivan responded that this is a Water & Sewer Utility Department request or

requirement.

Alderman Loreck moved that the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by John Schleuter, Frontline Commercial Real Estate, for the property at 9315 S 13th St be approved with the following conditions:

1. That the CSM is revised to ensure that sanitary laterals do not cross property lines.
2. That the CSM is revised to incorporate all required easements prior to recording.
3. That the CSM is revised to incorporate the proposed sizes of the lots on all sheets prior to recording.
4. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW
OAK CREEK HOTEL ASSOCIATES, LLC
9315 S. 13TH ST.
TAX KEY NO. 877-9995-005**

Planner Papelbon provided an overview of the proposed site, building, and related plan review for a proposed hotel (see staff report for details).

Commissioner Chandler questioned about the exit and entrance locations.

Aaron Koch, Pinnacle Engineering Group LLC, 20275 Watertown Rd., Brookfield, WI, responded that they will be utilizing one of the Steinhafel's existing driveways off of 13th Street, more specifically the southern drive. No new driveway will be installed.

Commissioner Chandler asked if a traffic study has been conducted in this area since more individuals will be utilizing this driveway.

Mr. Koch replied that a traffic study has been done by the company TADI a few months ago, and has been approved by Milwaukee County recently. The study did not recommend any new improvements be done. The existing driveway is acceptable, and there is also a secondary driveway for Steinhafel's.

Commissioner Chandler said the lighting is different from other areas, and asked if the lighting should be similar to Ikea or Drexel Town Square to show some consistency.

Planner Papelbon stated that is something that the Plan Commission can certainly recommend to have similarity. However, when Planner Papelbon reviewed the proposed light/pole fixture, it did not look dissimilar to what has been seen in other recent developments.

Alderman Guzikowski stated his appreciation for the collaboration in trying to make this parcel work in regard to the laterals and the driveway. He pointed out that a TIA was done in the area as Amazon was going in. There are already improvements and changes going on for the intersection.

Commissioner Carrillo questioned whether having just one monument sign on the east property for the two parcels would be beneficial since the lot is on the smaller side.

Planner Papelbon explained that one monument sign would be ideal for a development, but indicated that the developers are not sure what will go on Lot 2 or when it would occur. Staff would encourage future development to have a singular sign, but it's likely when a new building would go on Lot 2 that it would have the monument sign in a different location. Staff had reviewed the proposal and it meets the requirements per Code.

Commissioner Sullivan requested that the TIA be submitted to the Engineering Department for their records.

Mayor Bukiewicz asked if that the study was on the existing road conditions or if any expansion is considered.

Commissioner Sullivan hoped that the study was based on the existing conditions. The location already has 4 lanes. He does not suspect that it would expanded nor reduced at that location.

Mayor Bukiewicz commented on the loss of the parking stalls, and, based on the study and occupancy, having the pool would be much appreciated. Mayor Bukiewicz brought up the building materials and the vision triangle greatly changes as the setback is further away from the road.

Commissioner Sullivan stated that motorists would most likely see the building from the Interstate or ramp. Commissioner Sullivan also commented that similar exterior building materials have been used on buildings in Drexel Town Square.

Alderman Loreck brought up the possibility of another hotel on the other parcel, and asked how that would affect the parking stalls on this lot.

Planner Papelbon said the Conditional Use Permit applies to both properties, and only allows for one hotel. Planner Papelbon said that Lot 2 would have to be a different commercial use, unless they were to apply for a Conditional Use Amendment.

Alderman Guzikowski expressed concerned about the one-way road, and wondered if the Fire Department has any concerns of this situation.

Assistant Fire Chief Mike Havey said there is a bi-directional traffic lane on both the north and south driveways, and the Fire Department has no issues with access.

Director Seymour reiterated that even though it is not a public street, there is another access on the north part of the property.

Alderman Loreck moved that the Plan Commission approves the site, building, and sign plans submitted by Bruce Kinseth, Oak Creek Hotel Associates LLC, for a portion of the property at 9315 S. 13th St. (Lot 1 of CSM to be recorded) with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That a Certified Survey Map approved by the Common Council creating the subject parcel shall be submitted for recording prior to the submission of building permit applications.

3. That a copy of the signed Conditions and Restrictions approved by the Common Council as part of the Conditional Use Permit shall be submitted prior to submission of building permit applications.
4. That copies of any permits/approvals from Milwaukee County shall be submitted to the City prior to or concurrent with submission of building permit applications.
5. That the exterior brick veneer meets the minimum 4-inch requirement per Code.
6. That the plans are revised to include locations and screening for all mechanical equipment, transformers, and utilities (conference center, ground, building, etc.).
7. That copies of wetland permits or an exemption approved by the Wisconsin Department of Natural Resources must be submitted to the City prior to submission of building permit applications
8. That the plans are revised to address all Oak Creek Water and Sewer Utility concerns and requirements.
9. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**CERTIFIED SURVEY MAP
LYLE AND ELAYNE BOLENDER, ET AL.
3510 & 3566 E. FITZSIMMONS RD
TAX KEY NO. 911-9972-004 & 911-9000-000**

Planner Papelbon provided an overview of the request to divide and reconfigure the properties at 3510 and 3566 E. Fitzsimmons Rd. (see staff report for details).

Commissioner Hanna inquired about adding any DNR wetland delineation into the suggested motion.

Planner Papelbon responded that it is noted on the CSM as a requirement for any future developments of Outlot 1.

Commissioner Oldani moved that the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by Lyle and Elayne Bolender, et al, for the properties at 3510 and 3566 E. Fitzsimmons Rd. be approved with the following conditions:

1. That the Common Council approval and signature block is updated to include acceptance of the dedication of public right-of-way.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

**REZONE
LYLE AND ELAYNE BOLENDER**

**3566 E. FITZSIMMONS RD
TAX KEY NO. 911-9000-000**

Planner Papelbon provided an overview of the request to rezone the property at 3566 E. Fitzsimmons Rd. from Rs-3, Single Family Residential to A-1, Limited Agricultural district. (see staff report for details).

Mayor Bukiewicz, seeing no questions, asked for a motion.

Commissioner Hanna moved that the Plan Commission recommends to the Common Council that the property at 3566 E. Fitzsimmons Rd. be rezoned from Rs-3, Single Family Residential to A-1, Limited Agricultural after a public hearing.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**REZONE
JOHN & LISA MARSHALL
10308 S CHICAGO RD
962-9995-001**

Zoning Administrator Miller provided an overview of the request to rezone the property at 10308 S. Chicago Rd from A-1, Limited Agricultural to Rs-1, Single family Residential District (see staff report for details).

Linda Roessl, 4104 E Barton Rd:

*"My questions are on the leaflet we were mailed, what happened to the front pond?
Do Jack and Lisa plan to fill it in?"*

Mayor Bukiewicz believes you cannot fill in a pond.

Lisa Marshall, 10308 S. Chicago Road, stated that she was not sure what pond is being referenced.

Linda Roessl, 4104 E. Barton Rd.:

"The front pond that goes out to Highway 32. It is not on the public meeting notice that we received. So, I'm wondering: what happened to it?"

Ms. Marshall states that there is no intention to fill in the pond and to leave it as is.

Linda Roessl, 4104 E. Barton Rd.:

"Okay and how about-- thank you so much for reassuring me that it is not going to change. But how about the recreational trail that was anticipated when Jim Keane owned the lot? It was an anticipated recreational trail from Barton Road to Oakwood Road. Do you folks still plan to move that forward in your development?"

Ms. Marshall replied she was not aware of any stipulation and the closing did not require any recreational trail. Ms. Marshall asked the City if there was any such thing.

Linda Roessl, 4104 E. Barton Rd.:

“If you look at the lots on Barton Road, there is a space wider between two houses for this anticipated sidewalk or recreation trail that should go out to Oakwood Road. Is that still on the plan?”

John Marshall, 10308 S. Chicago Rd., clarified that when the property was purchased, there was no indication or requirement that this was going to happen nor do they plan to do so.

Director Seymour explained that there may have been an Official Street pattern along Barton Road for a potential future access road to Oakwood Road, but it has not carried through to this property. The County is working, and has worked, to extend the connection between the Bender Park, Racine County trail, and the WE Energies trail. Director Seymour stated those would occur within the existing right-of-way.

Linda Roessl, 4104 E. Barton Rd.:

“Okay, so that fell off the radar. How many lots are gonna be developed back there, Lisa. Are you going to go all the way to the wetlands there?”

Ms. Marshall replied that there will be three lots, lots two through four.

Linda Roessl, 4104 E. Barton Rd.:

“Okay, and will there be any improvements as far as tree clean up or anything in the development?”

Ms. Marshall responded that they started to remove some fencing and clean up around the pond, but it is a long-term process.

Linda Roessl, 4104 E. Barton Rd.:

“Alright. I have no further questions.”

Commissioner Hanna commented that the applicant should try to maintain the wetland within the area for landscaping purposes and environmentally-friendly development.

Ms. Marshall asked if that was required per the wetland delineation.

Commissioner Hanna explained that is part of the coordination, and dependent on your development of the lots. She recommended that the applicants work with the Engineering Department.

Ms. Marshall said that she has been working with Phil Beiermeister on the green infrastructure requirement.

Commissioner Sullivan stated that it is his understanding that the applicants have been working closely with Phil to iron out all the details.

Alderman Loreck moved that the Plan Commission recommends to the Common Council that the property at 10308 S. Chicago Road. be rezoned from A-1, Limited Agricultural to Rs-1, Single

Family Residential after a public hearing.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**CERTIFIED SURVEY MAP
JOHN & LISA MARSHALL
10308 S CHICAGO RD
962-9995-001**

Zoning Administrator Miller provided an overview of the request to divide the property at 10308 S. Chicago Road into four parcels (see staff report for details).

Commissioner Hanna questioned how many lots are being developed.

Zoning Administrator Miller responded that Lot 1 is already developed, and three additional lots are proposed. No development has been proposed yet.

Commissioner Hanna moved that the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by John P. Marshall and Lisa Damiani Marshall for the property at 10308 S. Chicago Road be approved with the following conditions:

1. That all green infrastructure and/or stormwater management requirements are submitted for review and approval to the Engineering Department prior to submission of building permit applications for Lots 2-4.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Commissioner Oldani seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn the meeting. Commissioner Hanna seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 8:09 p.m.

ATTEST:

Douglas Seymour, Plan Commission Secretary

4-23-20

Date

Summary of Significant Common Council Actions

April 21, 2020

- **APPROVED** Resolution No. 12154-042120, approving a Certified Survey Map submitted by John Schleuter, Frontline Commercial Real Estate, for the property at 9315 S. 13th Street.



Kari Papelbon, CFM, AICP
Planner



PLAN COMMISSION REPORT

Proposal: Conditions and Restrictions – freight yard/freight terminal/trans-shipment depot facilities

Description: Review draft Conditions and Restrictions for a Conditional Use Permit for freight yard/freight terminal/trans-shipment depot facilities for the property at 10650 S. Oakview Parkway.

Applicant(s): Samuel Dickman, Central Land Co. III, LLC

Address(es): 10650 S. Oakview Parkway

Suggested Motion: That the Plan Commission recommends that the Common Council adopts the Conditions and Restrictions as part of the Conditional Use Permit for freight yard/freight terminal/trans-shipment depot facilities within the multitenant building on the property at 10650 S. Oakview Parkway, after a public hearing.

Owner(s): Central Land Co. III, LLC

Tax Key(s): 955-1043-000

Lot Size(s): 6.9267 ac

Current Zoning District(s): M-1, Manufacturing

Overlay District(s): PUD

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Planned Industrial (2002); Business Park (2020)

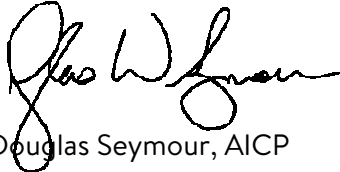
Background:

At the April 14, 2020 meeting, the Plan Commission recommended approval of a Conditional Use Permit for freight yard/freight terminal/trans-shipment depot facilities within the proposed multitenant industrial building on the property at 10650 S. Oakview Parkway. Staff has prepared draft Conditions and Restrictions for the Commission’s review. If the Commission is comfortable with the Conditions and Restrictions, the

appropriate action would be to recommend that the Common Council approve them as part of the Conditional Use Permit.

Options/Alternatives: The Plan Commission has the discretion to recommend Common Council approval of, or require modifications to, the draft Conditions and Restrictions.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

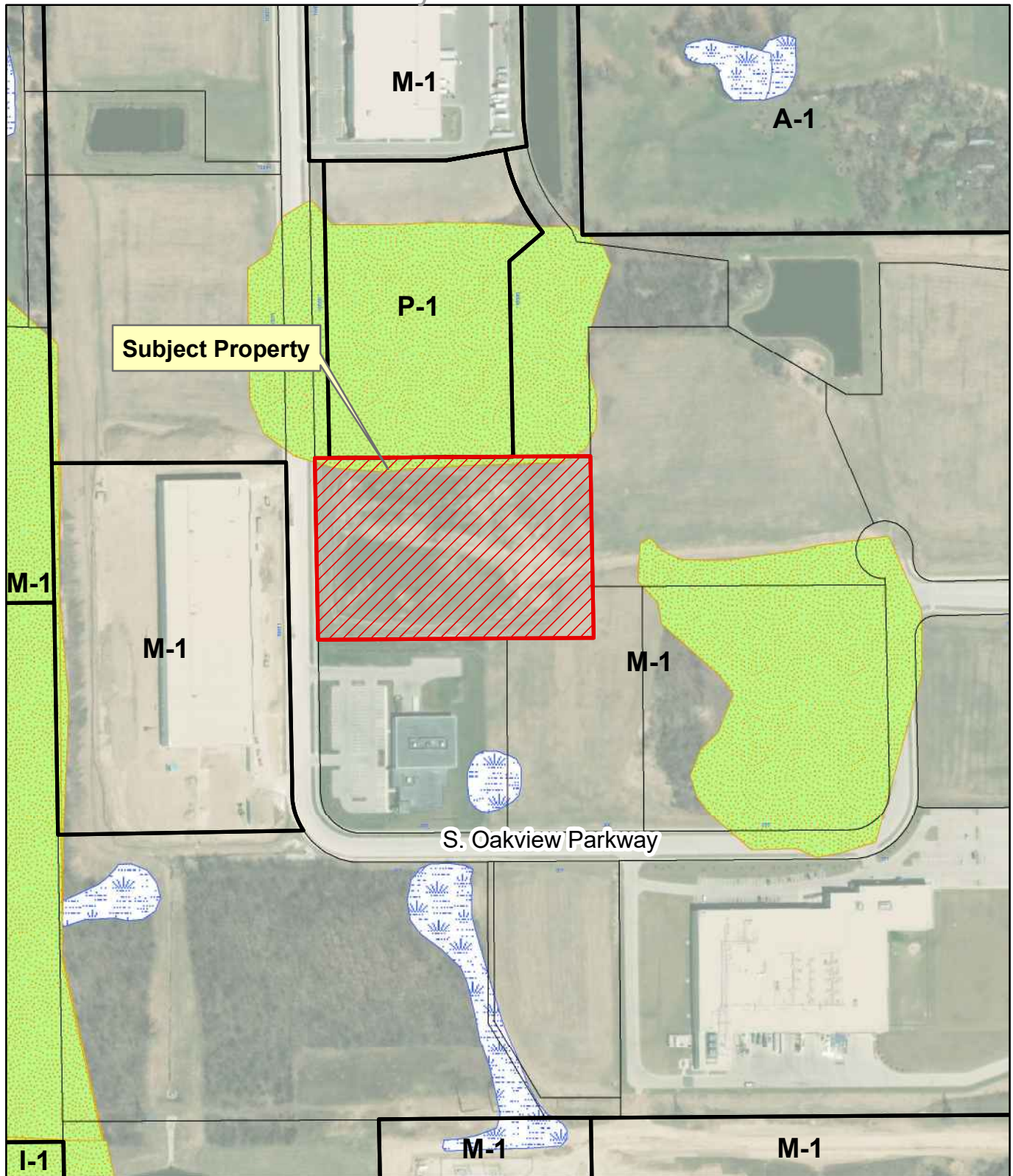
Attachments:

Location Map

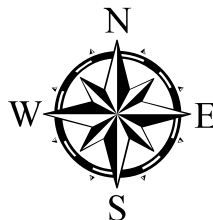
Draft Conditions and Restrictions (6 pages)

Location Map




10650 S. Oakview Parkway



This map is not a survey of the actual boundary of any property this map depicts



Legend

-  10650 S. Oakview Parkway
-  DNR Wetlands Inventory
-  Environmental Corridor

**City of Oak Creek – Conditional Use Permit (CUP)
Conditions and Restrictions**

Applicant: Sam Dickman, Central Land Co. III, LLC

Property Address: 10650 S. Oakview Parkway

Tax Key Number(s): 955-1043-000

Conditional Use: Freight yard/freight terminal/trans-shipment depot facilities

Approved by Plan Commission: TBD

Approved by Common Council: TBD
(Ord. TBD)

1. LEGAL DESCRIPTION

Lot 1 of Certified Survey Map No. 9131, recorded on May 7, 2019 as Document No. 10868362, located in the Southwest 1/4 of the Northeast 1/4 and the Northwest 1/4 of the Southeast 1/4 of Section 32, Town 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.

B. A precise detailed site plan for the area affected by the Conditional Use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) General Development Plan

- a) Detailed building/structure location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
 - i) Location(s) and future expansion
 - ii) Number of employees
 - iii) Number of all parking spaces
 - iv) Dimensions
 - v) Setbacks
- h) Location(s) of loading berth(s)
 - i) Location of sanitary sewer (existing & proposed)
 - j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed)
- l) Location(s) of outdoor display area(s)
- m) Location(s) of wetlands (field verified)
- n) Location(s) and details of sign(s)
- n) Location(s) and details of proposed fences/gates

2) Landscape Plan

- a) Screening plan, including parking lot / truck parking screening/berming
- b) Number, initial & mature sizes, and types of plantings
- c) Percentage open/green space

3) Building Plan

- a) Architectural elevations (w/dimensions)
- b) Building floor plans (w/dimensions)
- c) Materials of construction (including colors)

4) Lighting Plan

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) Grading, Drainage and Stormwater Management Plan

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) Fire Protection

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction
- d) Materials to be stored (interior & exterior)

C. All plans for new buildings, additions, exterior remodeling, site modifications, and landscaping shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building or occupancy permit.

D. For any new buildings, additions, structures, and site modifications, site grading and drainage, stormwater management, and erosion control plans shall be submitted to the City Engineer for

approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.

- E. A landscaping plan must be submitted for review and approval by the Plan Commission prior to the issuance of a building or occupancy permit. Landscaping shall be installed in accordance with plans approved by the Plan Commission April 14, 2020, and all applicable Codes and policies.
- F. A Development Agreement shall be completed between the owner(s) and the City if deemed necessary by the City Engineer so as to ensure the construction or installation of public or other improvements required in Item 2(B) above, and/or as specified by these Conditions and Restrictions.
- G. All new electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. Uses allowed on this property shall be limited to those allowed by the M-1, Manufacturing zoning district, the OakView Business Park PUD, these Conditions and Restrictions, plans approved by the Plan Commission April 14, 2020, and all applicable sections of the Municipal Code (as amended).
- B. There shall be no parking or storage of vehicles, equipment, merchandise, parts, or supplies within designated public and employee parking areas. Outdoor storage shall be limited to the parking of trucks and trailers associated with the business, and shall be located in designated loading dock areas & striped stalls on the south portion of the property. There shall be no storage of unlicensed, non-operational vehicles, equipment, merchandise, parts, supplies, or any other materials.
- C. All parking areas shall be striped and landscaped in accordance with approved site plans and applicable Codes.
- D. Any change to the occupancy of the site or building shall conform to all Building, Fire, and Municipal Code requirements (as amended).
- E. Solid waste collection and recycling shall be the responsibility of the owner.
- F. Removal of snow from off-street parking areas, walks, public sidewalks, private roads and access drives shall be the responsibility of the landowner(s).

4. PARKING AND ACCESS

Parking for this development shall be provided in accordance with Sections 17.0403 & 17.0404 of the Municipal Code (as amended), these Conditions and Restrictions (see Section 3 above), and plans approved by the Plan Commission April 14, 2020.

5. LIGHTING

All plans for new outdoor lighting shall be reviewed and approved by the Electrical Inspector in accordance with Section 17.0808 of the Municipal Code (as amended).

6. BUILDING AND PARKING SETBACKS*

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure(s)	40 ft	20 ft	20 ft / 15 ft (W)
Accessory Structure(s)*	40 ft	20 ft	20 ft
Off-street Parking	30 ft	5 ft	5 ft

**No accessory structures shall be permitted in the front yard nor shall any structures be permitted in required buffer yards. See plans approved by the Plan Commission November 27, 2018.*

7. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these Conditions and Restrictions within twelve (12) months from the date of adoption of the ordinance authorizing this Conditional Use Permit. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the ordinance if building or occupancy permits have not been issued for this use.

8. DURATION OF CONDITIONAL USE PERMIT

This Conditional Use Permit is limited in duration to ten (10) years from the date of issuance of the Conditional Use Permit. The owner may apply for an extension of this Conditional Use Permit. The process for extension of the Conditional Use Permit shall follow the procedures for approving Conditional Use Permit as set forth in Section 17.1007 of the Municipal Code (as amended).

9. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

10. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Conditional Use Permit is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the City shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 10 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other City ordinances.

11. REVOCAION

Should an applicant, their heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use Permit approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving Conditional Use Permit as set forth in Section 17.1007 of the Municipal Code (as amended).

12. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Owner / Authorized Representative Signature

Date

(please print name)

DRAFT

EXHIBIT A: SITE PLAN APPROVED APRIL 14, 2020

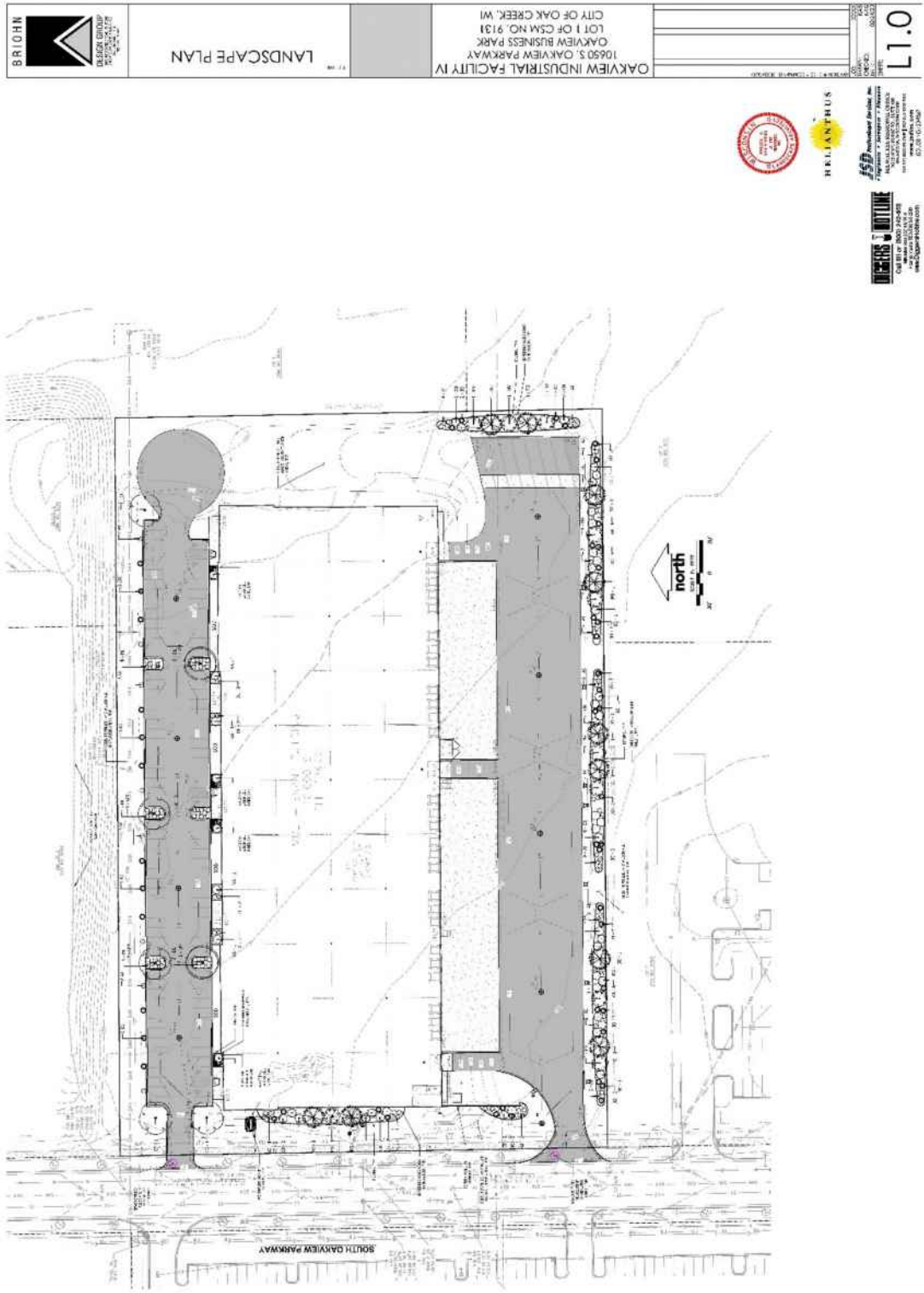
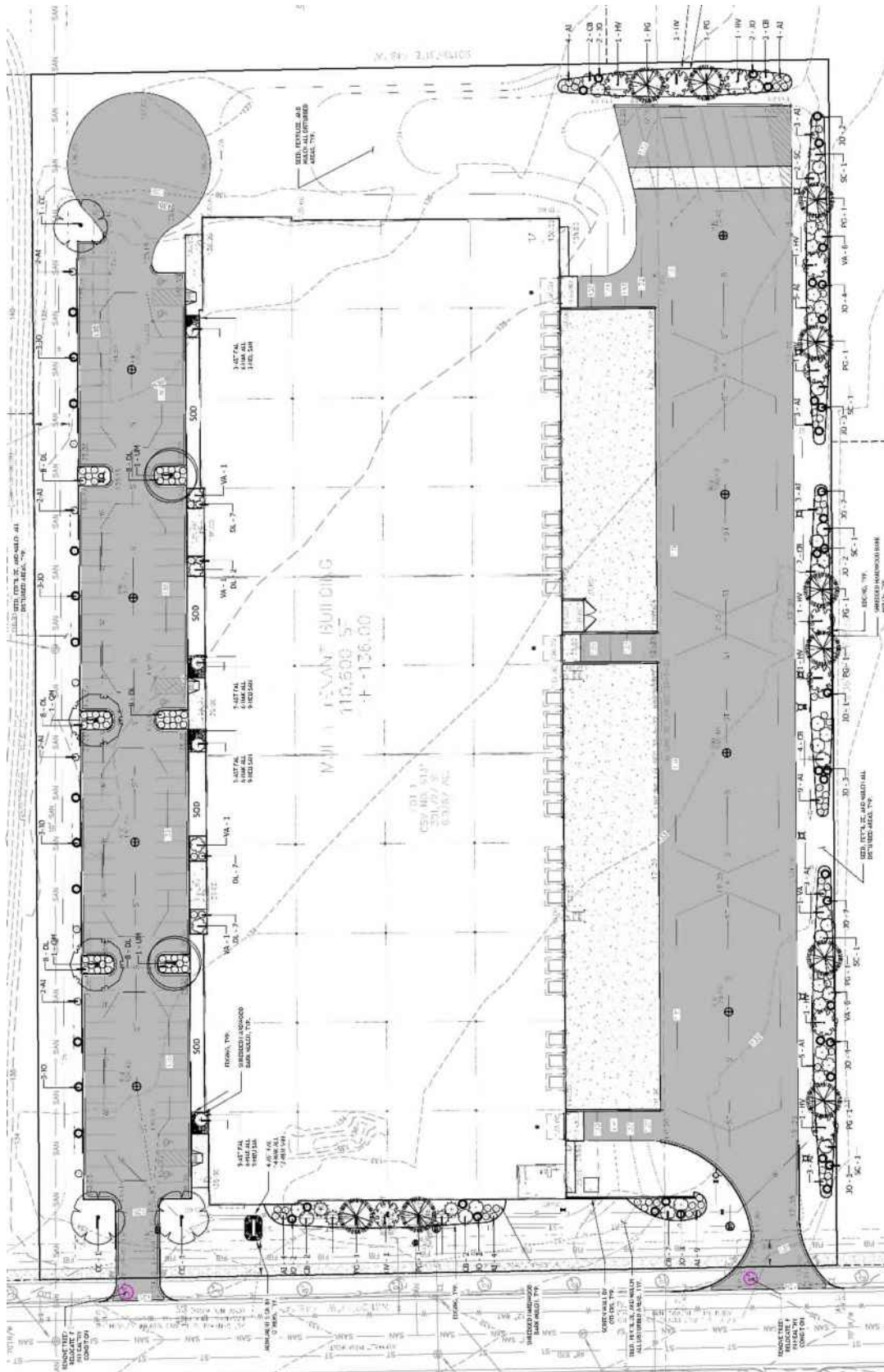


EXHIBIT A CONT'D: APPROVED SITE PLAN (ENLARGED)





PLAN COMMISSION REPORT

Proposal: Plan Review – Site Modifications and Addition for Cedar Hills Elementary School

Description: Site, building, landscaping, and related plan review for proposed site and building modifications, and an addition to the existing building for a gymnasium, offices, and storage.

Applicant(s): Andrew Chromy, Oak Creek-Franklin Joint School District

Address(es): 2225 W. Sycamore Ave.

Suggested Motion: That the Plan Commission approves the site plans submitted by Andrew Chromy, Oak Creek-Franklin Joint School District, for the property at 2225 W. Sycamore Ave. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That the exterior brick veneer meets the minimum 4-inch requirement per Code.
3. That the plans are revised to include locations and screening for all mechanical equipment, transformers, and utilities (conference center, ground, building, etc.).
4. That permits are obtained for new wall signs.
5. That all detailed, revised plans are submitted in digital format to the Department of Community Development prior to submission of permit applications.

Owner(s): Oak Creek-Franklin Joint School District

Tax Key(s): 715-0111-000

Lot Size(s): 5.000 ac

Current Zoning District(s): I-1, Institutional

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Public/Semi-Public

Background:

The Oak Creek-Franklin Joint School District is requesting site, building, landscaping, and related plan approval for an addition to the existing building, site modifications, and a new access drive for Cedar Hills Elementary School at 2225 W. Sycamore Ave. Modifications to the existing building are proposed in the form of replacement windows and patching building materials; modifications to the site include a new access drive off of S. 24th St. connecting through the south part of the property to the existing access on S. 21st St., new asphalt on existing paved areas, reconfigured internal walkways between the proposed building addition and the existing northeast parking area, and relocation of play and mechanical/storage equipment. The relocation of the mechanical/storage equipment includes the installation of 8-foot-tall, black vinyl-coated chain link fence enclosures with privacy slats. A wetland fill permit has been obtained for the impacts from the proposed new access drive.

Plan Commissioners will note that the plans include replacement of a significant portion of the existing asphalt on the property as mentioned above. This does not include the parking lot on the northeast portion, which is situated up to the sidewalk along W. Sycamore Ave. Parking areas in the I-1, Institutional District are required to be a minimum of 15 feet from the right-of-way and property line. While staff recognize that this parking area was installed prior to this requirement (although it appears the original parking lot was set back from the street/sidewalk), we encourage the applicant to consider adjusting the portion of the parking lot that is immediately adjacent to the public sidewalk to create a landscape barrier between the parking stalls and sidewalk. This achieves goals of separating vehicular and pedestrian traffic to increase safety, and adds landscaping “to prevent adjacent parking lots from becoming one large expanse of paving” as mentioned in Sec. 17.1010(c). Based on existing striping, it appears that this area has sufficient space to incorporate additional landscaping without loss of parking stalls, or with a loss of 1-2 stalls without added asphalt to the east.

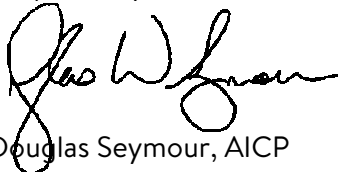
The proposed ±9,900 square-foot addition on the northeastern portion of the existing building meets setback requirements, and will include space for a gymnasium, restrooms, offices (principal, health, speech, counselor), conference/meeting rooms, a waiting/reception area, and various storage areas. While the gym portion of the addition appears to be 2 stories, the only functional second-story space is for the mechanical mezzanine. As with other elementary school modifications reviewed by the Plan Commission, this addition will include the new main entrance for the school. Proposed exterior materials include modular brick in colors to match the existing building as well as a contrasting color for the new entrance, precast concrete, composite metal panel canopy (blue) in front of the new entrance, and metal panel areas around doors and windows. Windows will incorporate dark bronze spandrel and clear glass. While metal panels are not listed as approved primary building materials in the Municipal Code, materials percentages provided indicate that they comprise less than 25% of the materials per elevation.

Mechanical units for the building, with the exception of the aforementioned relocations, have not been identified. Should there be any ground, building, or rooftop-mounted mechanicals required, they must be screened per Code. This is included in the suggested conditions of approval above.

Landscape plans submitted for the site include new planting beds around the addition (with the exception of the east elevation of the gym portion, and three (3) new trees along the south side of the new access drive off S. 24th St. Minor modifications to the landscape plans may be required, and staff will coordinate with the applicant's consultants for such requirements (if needed). Signs on the existing building are proposed to be removed, with a new sign on the canopy for the new entrance. It appears from the plans that the proposed sign meets Code requirements.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

Attachments:

Location Map

Letter dated March 31, 2020 (1 page)

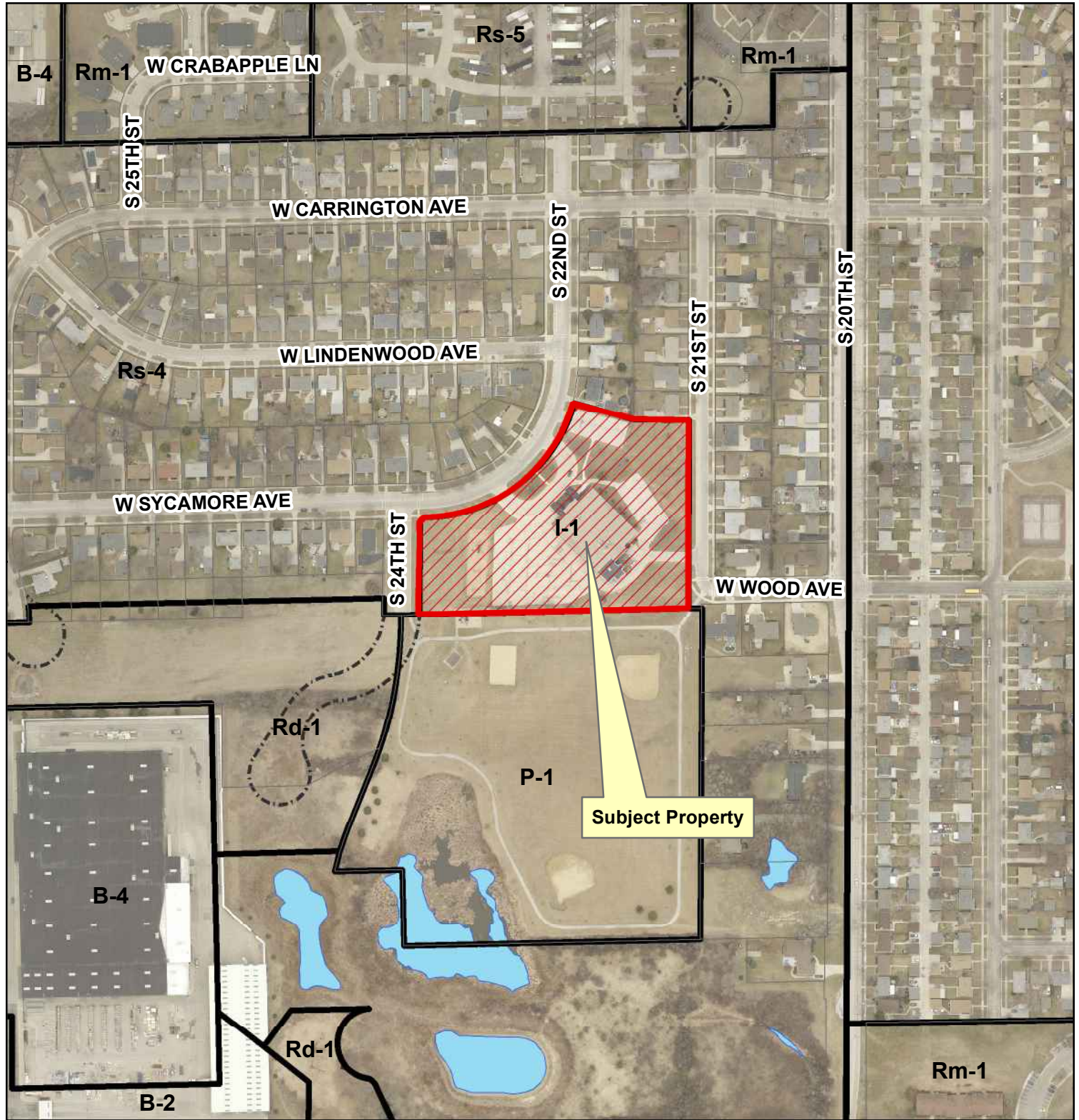
Plans

C100-C110 (12 pages)

Floor Plans A200-A 202, A211-A212 (5 pages)

Elevations A400 (1 page)

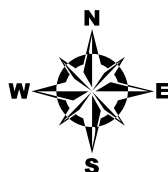
Location Map 2225 W. Sycamore Ave.






This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

-  2225 W. Sycamore Ave.
-  Zoning District
-  Official Street Pattern

March 31, 2020

Sharon Gould
Program Manager
322 North Broadway Street
Milwaukee, WI 53202

RE: Oak Creek Franklin Joint School District
Cedar Hills Building Addition & Renovations
Plan Commission Site Plan Review Narrative
Tax Key Number: 8649000000

DESCRIPTION OF PROPOSAL:

In November 2018, the Oak Creek – Franklin voters approved a referendum for \$60.9 Million to address needs put forth by the Oak Creek – Franklin Joint School District to address the needs in the district's 10 year facility study.

The project includes a building addition, traffic circulation improvements, storm water management facilities, ADA access to the main entrance and related site improvements. The traffic circulation improvements will reduce the congestion on the adjacent public roadways as well as improve student safety. An underground detention system is proposed to satisfy the DNR and MMSD's storm water management requirements.

The approximate 9,900 GSF single-story addition with mechanical mezzanine will provide a new on grade main entry, gymnasium, storage areas and support spaces. The addition will expand the existing school's footprint to the north. The new additions design looks to draw from the aesthetic of the building's original construction and 2011 addition with: matching brick in both gray and an orange brick blend, window frames and exterior doors in dark bronze, silver coping and overall proportion of the building elements. Working directly with the materials used in the 2011 addition the gray brick decreases the scale of the gym volume with vertical and horizontal bands and sections of the brick blend. Windows have been placed along the north elevation providing natural daylight with hints of metal panel above and below to match the verticality of the window opening on the existing building. Where mechanical louvers are required on this elevation, they too take on the same vertical look. The single-story admin suite acts as a gasket to bridge the two taller volumes of the gym and existing school. This section of building is comprised mostly of gray brick, a few windows with integral spandrel panels and minimal sections of metal panel to help further reinforce the design approach. A generous blue entry canopy graciously announces the new main entry of the school while a brick wing wall screens the north facing storage room doors from view.



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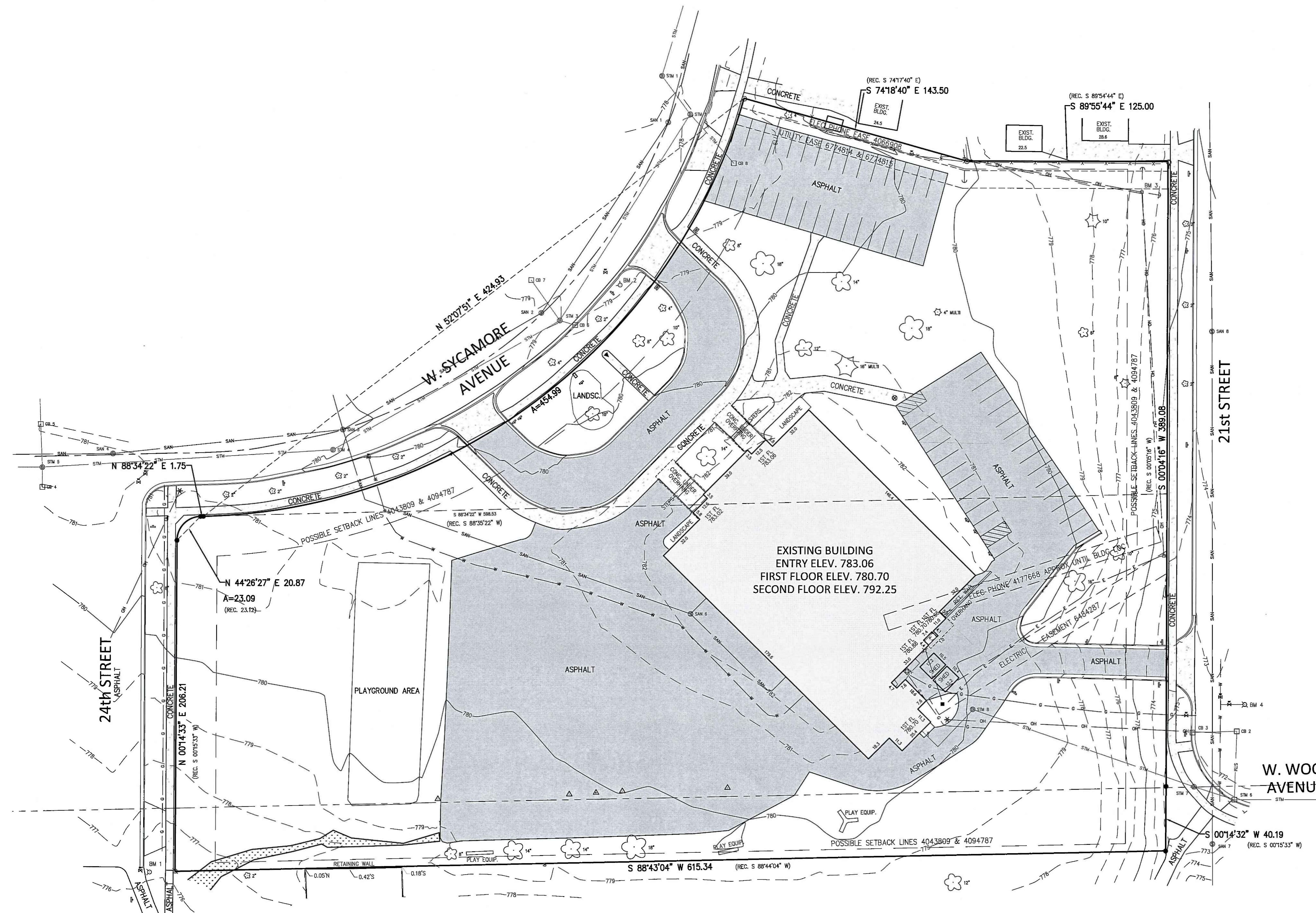
MADISON, WI
MILWAUKEE, WI
MAPLE GROVE, MN

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mb

Nielsen Madsen + Barber

CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd, Suite 200, Racine, WI, 53406
Tele: (262)634-5588 Website: www.nmbisc.net



BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE, BASED UPON NAD 1983. ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929. FIELD WORK: 11-27-18 BY: JWR / CRL 01-04-19, 01-17-19, 03-26-19, 03-27-19 BY: JWP / CRL 09-16-2019 BY: STM

LEGEND:

DIGGERS HOTLINE
Call 811 or (800) 242-8511
www.DiggersHotline.com

NOTE
WETLANDS DELINEATED BY MR. DAVE MEYER OF WETLAND & WATERWAY CONSULTING, LLC. ON SEPTEMBER 14, 2019. WETLANDS FIELD LOCATED FOR MAPPING BY MR. ETHAN MADSEN OF NIELSEN MADSEN & BARBER, S.C. ON SEPTEMBER 16, 2019.

UTILITY NOTE
EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO, CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.

BENCH MARKS

1. TOP NUT ON HYDRANT LOCATED AT THE SOUTH END OF 24TH STREET. ELEVATION: 779.07
2. TOP NUT ON HYDRANT LOCATED ON THE SOUTHERLY SIDE OF 24TH AVENUE AT EASTERLY ENTRANCE DRIVE TO SCHOOL. ELEVATION: 782.07
3. 7" SPIKE IN SOUTH FACE OF POWER POLE #91-06756 LOCATED 25' SOUTHWEST OF THE NORTHEAST PROPERTY CORNER. ELEVATION: 777.87
4. TOP NUT ON HYDRANT LOCATED AT THE NORTHEAST CORNER OF WOOD AVENUE AND 21ST STREET. ELEVATION: 775.88

EXISTING UTILITY DATA

STM 1 RIM 777.67 IE. 24" SE 777.87 IE. 24" N 771.57	CB 2 RIM 772.05 IE. 10" S 768.25 IE. 8" W 768.40	SAN 1 RIM 778.22 IE. 8" N 767.92 IE. 8" SW 767.97
STM 2 RIM 778.08 IE. 24" NW 771.93 IE. 24" SW 772.23 IE. 6" E 773.08	CB 3 RIM 772.09 IE. 8" DROP 768.89 AT BEND IE. 8" S 768.79 IE. 6" S 769.19	SAN 2 RIM 779.14 IE. 8" SW 768.79 IE. 8" NE 768.79 IE. 6" S 769.19
STM 3 RIM 779.02 IE. 24" NE 775.12 IE. 18" SW 773.32 IE. 8" SE 774.27 IE. 8" NW 774.77	CB 4 RIM 780.96 (FILLED WITH DEBRIS) IE. 8" NE 769.69 IE. 8" W 769.74 IE. 6" S 769.84 IE. 4" N 770.19	SAN 3 RIM 780.14 IE. 8" NE 769.69 IE. 8" W 769.74 IE. 6" S 769.84 IE. 4" N 770.19
STM 4 RIM 780.14 IE. 18" W 774.49 IE. 18" NE 774.39	CB 6 RIM 778.56 IE. 8" SW 773.96 IE. 6" SE 774.21 IE. 4" SW 775.76	SAN 4 RIM 781.16 IE. 8" E 770.66 IE. 8" W 770.71
STM 5 RIM 781.22 IE. 18" E/NW 775.57 IE. 8" N 777.12 IE. 8" S 777.17	CB 7 RIM 778.49 8" DROP 775.24 AT BEND	SAN 6 RIM 782.42 (BOLTED SHUT)
STM 6 RIM 771.61 IE. 15" E 766.46 IE. 12" NW 776.81 IE. 10" N 767.81	CB 8 RIM 778.22 IE. 6" N 774.12 IE. 4" NW 774.77 IE. 4" SW 774.72	SAN 8 RIM 774.69 IE. 8" N 761.19 IE. 8" S 761.29
STM 7 RIM 772.43 IE. 12" SE 767.43 IE. 8" NW 767.58 IE. 6" NW 769.68 IE. 4" SE 769.13		



OAK CREEK FRANKLIN
JOINT SCHOOL DISTRICT
CEDAR HILLS ELEMENTARY SCHOOL
BUILDING ADDITIONS AND RENOVATIONS
BID PACKAGE 14
2225 W SYCAMORE AVE
OAK CREEK, WI 53154

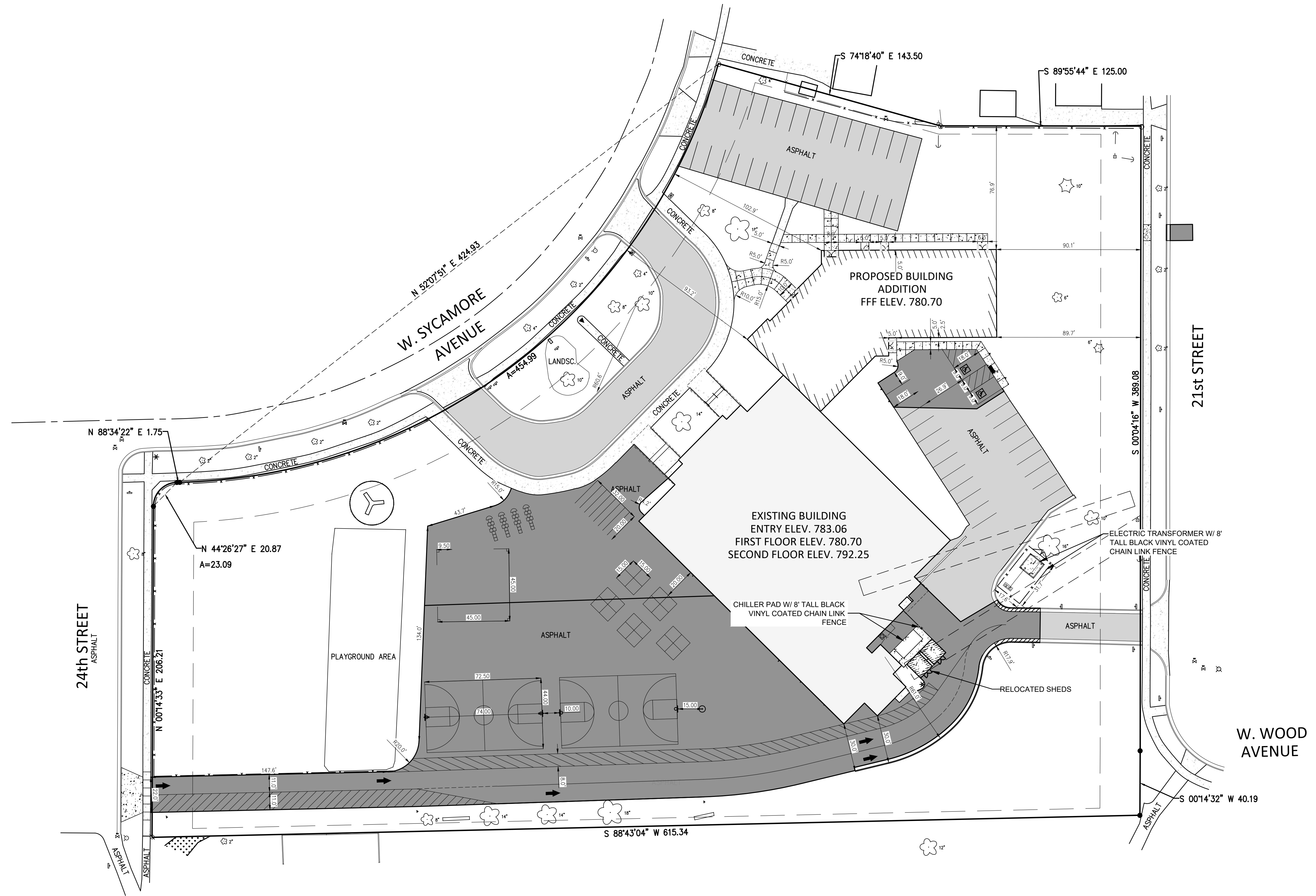
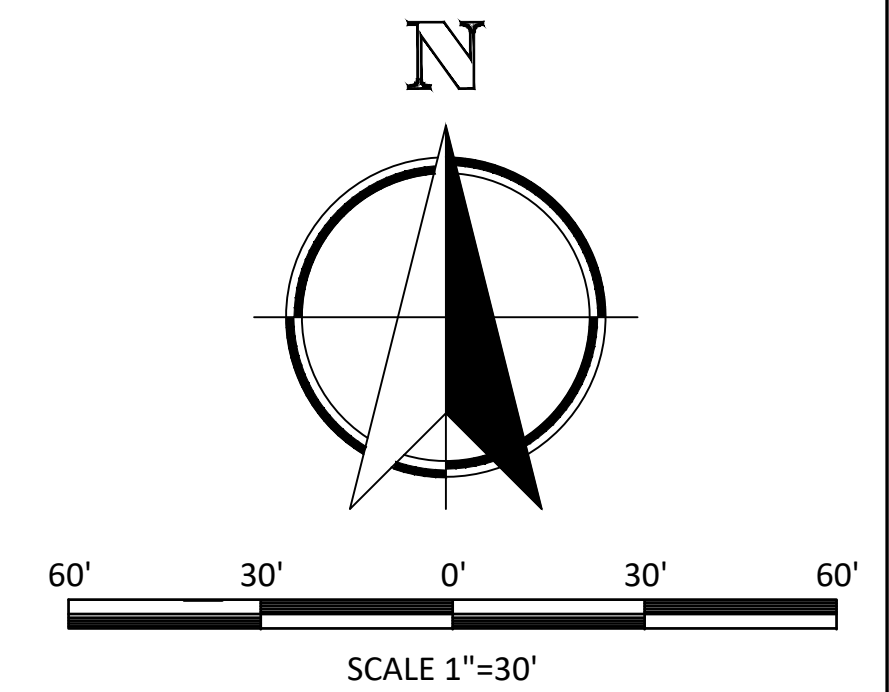
Date	Revision Description

CITY REVIEW SET

DATE	3-31-2020	PROJECT #	WS2-PM3
DRAWN BY	FTH	CHECKED BY	JJC

DRAWING TITLE
EXISTING CONDITIONS

DRAWING NUMBER
C100
CHES
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**OAK CREEK FRANKLIN
 JOINT SCHOOL DISTRICT
 CEDAR HILLS ELEMENTARY SCHOOL
 BUILDING ADDITIONS AND RENOVATIONS
 BID PACKAGE 14
 2225 W SYCAMORE AVE
 OAK CREEK, WI 53154**

SITE DATA

PARCEL NUMBER:	7150111000
PERVIOUS SURFACE CALCULATIONS	
TOTAL PARCEL:	216,299 S.F.
EXISTING IMPERVIOUS SURFACE AREA:	99,196 S.F. (45.9%)
EXISTING GREEN SPACE AREA:	117,103 S.F. (54.1%)
PROPOSED IMPERVIOUS SURFACE AREA:	114,936 S.F. (53.1%)
PROPOSED GREEN SPACE AREA:	101,363 S.F. (46.9%)

Date	Revision Description

CITY REVIEW SET

DATE	3-31-2020	PROJECT #	W52-PM3
DRAWN BY	TRV	CHECKED BY	JJC



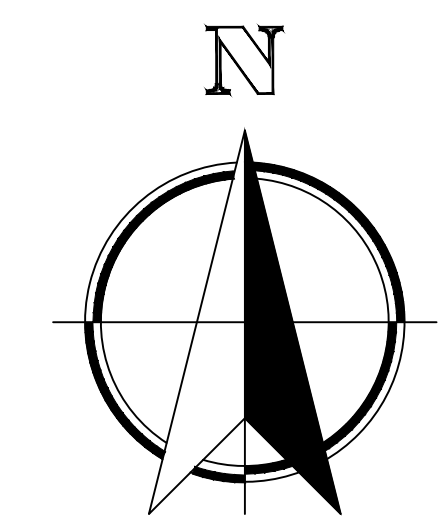
NOTE
 WETLANDS DELINEATED BY MR. DAVE MEYER OF WETLAND & WATERWAY CONSULTING, LLC. ON SEPTEMBER 14, 2019. WETLANDS FIELD LOCATED FOR MAPPING BY MR. ETHAN MADSEN OF NIELSEN MADSEN & BARBER, S.C. ON SEPTEMBER 16, 2019.

UTILITY NOTE

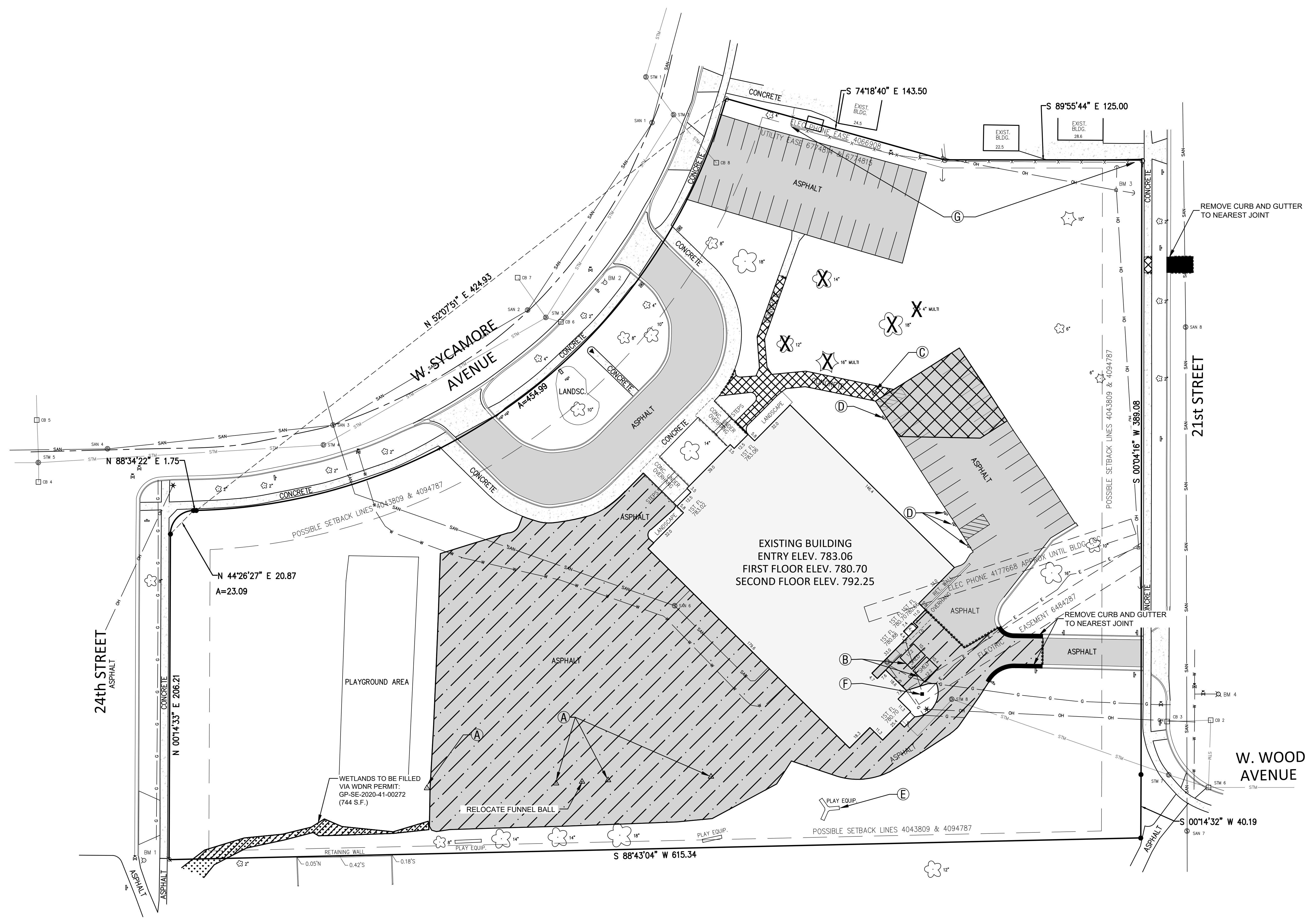
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**DRAWING TITLE
 DIMENSIONED
 SITE PLAN**

DRAWING NUMBER
C101
 CHES
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SCALE 1"=30'



DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL AT A LOCATION APPROVED (BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED STRUCTURAL FILL MATERIAL PER THE SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER AND OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION (OR MODIFICATION) OF THE BUILDINGS.
- ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE DISTRICT.
- PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE DISTRICT.
- CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. CONCRETE SIDEWALK AND CURB & GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE DISTRICT.
- IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.
- AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPILL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- SEE ELECTRICAL PLANS FOR SITE LIGHTING DEMOLITION.

SITE DEMOLITION LEGEND

- REMOVE ASPHALT PAVEMENT & BASE
- PULVERIZE & RELAY ASPHALT PAVEMENT
- REMOVE CONCRETE PAVEMENT & BASE
- SAW CUT PAVEMENT (FULL DEPTH)
- REMOVE CONCRETE CURB & GUTTER (TO THE NEAREST JOINT)
- CLEAR & GRUB ISOLATED TREES
- (A)** RELOCATE EXISTING BASKETBALL HOOP
- (B)** RELOCATE EXISTING SHED DURING CONSTRUCTION
- (C)** REMOVE BOLLARD
- (D)** REMOVE SIGN
- (E)** RELOCATE PLAYGROUND EQUIPMENT
- (F)** RELOCATE ELECTRICAL TRANSFORMER (BY OTHERS)
- (G)** REMOVE CHAIN LINK FENCE DEBRUSH AS NECESSARY TO INSTALL NEW FENCE

DIGGERS HOTLINE
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 www.DiggersHotline.com

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OAK CREEK FRANKLIN JOINT SCHOOL DISTRICT CEDAR HILLS ELEMENTARY SCHOOL BUILDING ADDITIONS AND RENOVATIONS
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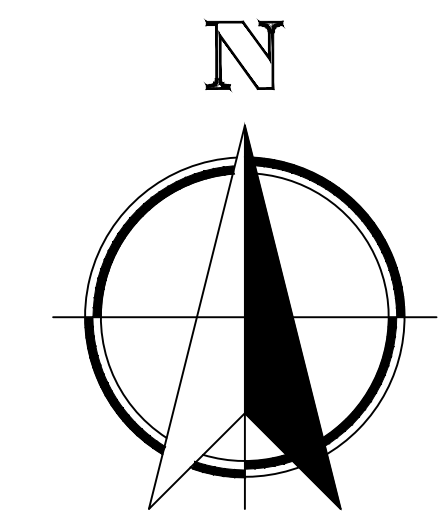
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CITY REVIEW SET

DATE	3-31-2020	PROJECT #	W52-PMJ
DRAWN BY	TRV	CHECKED BY	JJC

DRAWING TITLE
SITE DEMOLITION PLAN

DRAWING NUMBER
C102
 CHES
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EROSION & SEDIMENT CONTROL NOTES

THE EROSION AND SEDIMENT CONTROL PROVISIONS DETAILED ON THE DRAWINGS AND SPECIFIED HEREIN ARE THE MINIMUM REQUIREMENTS FOR EROSION CONTROL.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE ANY REVISIONS, ADJUSTMENTS OR PROPOSED ALTERATIONS TO THE CONSTRUCTION SEQUENCE AND/OR EROSION AND SEDIMENT CONTROL PLANS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY DESIGN ENGINEER OF RECORD AND REGULATORY OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO BEST MANAGEMENT PRACTICES (BMP'S). ALL SIGNIFICANT DEVIATIONS FROM THE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF OAK CREEK.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE, REPAIR AND REMOVAL OF ALL EROSION CONTROL DEVICES REQUIRED FOR THE PROJECT WHICH SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF OAK CREEK ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. SEE CITY OF OAK CREEK AND WDNR EROSION CONTROL PERMITS FOR ADDITIONAL DETAILS OR REQUIREMENTS.

ALL EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AS REQUIRED IN THE WISCONSIN ADMINISTRATIVE CODE (SPS 380.21) AND MAINTAINED PER SPS 380.22.

INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. THE CONTRACTOR SHALL CHECK THE EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS AT ALL THE FOLLOWING INTERVALS UNTIL THE SITE IS STABILIZED.

- A. AT LEAST WEEKLY.
- B. WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES IMMEDIATELY REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.

THE CONTRACTOR SHALL MAINTAIN A MONITORING RECORD WHEN THE LAND DISTURBING CONSTRUCTION ACTIVITY INVOLVES ONE OR MORE ACRES. THE MONITORING RECORD SHALL CONTAIN AT LEAST THE FOLLOWING INFORMATION:

- A. THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED ABOVE.
- B. A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES. EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE CITY OF OAK CREEK OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT.

EROSION AND SEDIMENT CONTROL INSPECTIONS AND ENFORCEMENT ACTIONS MAY BE CONDUCTED BY WDNR, THE CITY OF OAK CREEK OR THEIR AUTHORIZED AGENTS DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE OR LOCAL INSPECTORS AND/OR THE ENGINEER OF RECORD, SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

ALL SEDIMENT AND EROSION CONTROL DEVICES, INCLUDING PERIMETER EROSION CONTROL MEASURES SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION SHALL BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES UNTIL THE SITE HAS ESTABLISHED A VEGETATIVE COVER AND IS STABILIZED.

INSTALL SILT FENCE PER SECTION 628 OF THE 'STATE SPECIFICATIONS' AND WDNR TECHNICAL STANDARD 1056 AT THE LOCATIONS SHOWN ON THE PLAN. ERECT SILT FENCE PRIOR TO STARTING A CONSTRUCTION OPERATION THAT MIGHT CAUSE SEDIMENTATION OR SILTATION AT THE SITE OF THE PROPOSED SILT FENCE. CONTRACTOR SHALL INSTALL SILT FENCING AT DOWNSLOPE SIDE OF STOCKPILES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL REQUIRED SILT FENCE MATERIAL.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE (WHEN NECESSARY OR AS REQUIRED BY LOCAL INSPECTORS AND/OR ENGINEER OF RECORD).

EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.):

- A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
- B. BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
- C. ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE DISCHARGED INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 AND BMP'S PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM OR DRAINAGE DITCH. PUMPED WATER CAN BE TREATED IN FILTER BAGS, STONE FILTERS OR SIMILAR DEVICES. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES, OTHER THAN SHOWN ON THE PLANS, MUST HAVE PRIOR APPROVAL BY THE CITY OF OAK CREEK.

DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.

ALL EXPOSED SOIL AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRE VEGETATIVE COVER FOR LESS THAN 1 YEAR, REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1059 AND CITY OF OAK CREEK ORDINANCE.

ALL DISTURBED SLOPES EXCEEDING 5:1, SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED (POLYMER) SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052.

PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AT THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF OAK CREEK.

EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.

RESTORATION NOTE

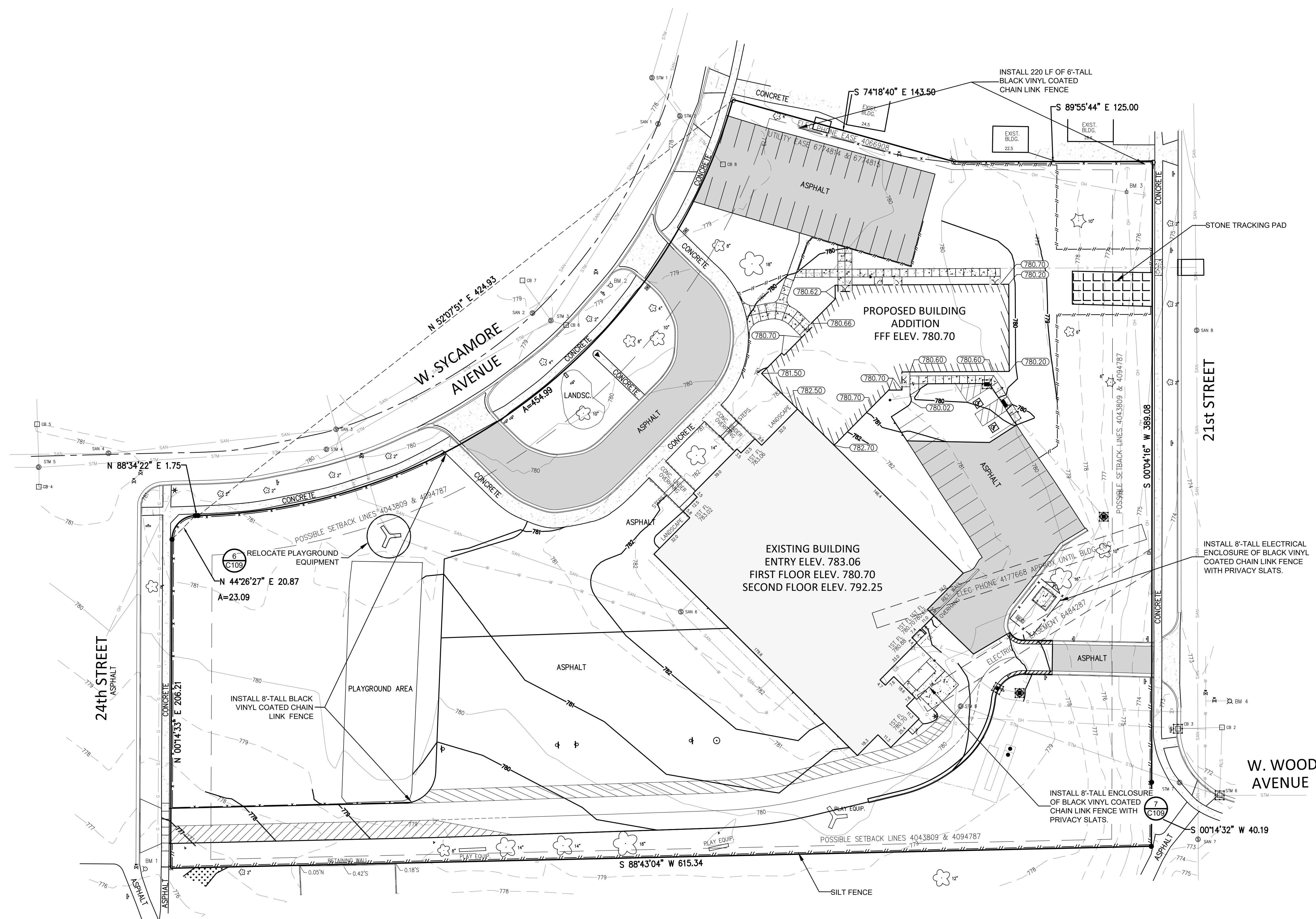
ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF SIX INCHES (6") OF TOPSOIL AND RESTORED WITH SEED FERTILIZER AND EROSION MAT, CLASS I, TYPE B.

DIGGERS HOTLINE
 Call 811 or (800) 242-8511
 www.DiggersHotline.com

NOTE
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SITE GRADING & EROSION CONTROL LEGEND

- 692 — EXISTING CONTOURS
- 702 — PROPOSED CONTOURS
- [Grid Pattern] STONE TRACKING PAD
- [Circle with '1'] STORM INLET PROTECTION
- SILT FENCE
- [Dashed Line] FINISHED YARD GRADE

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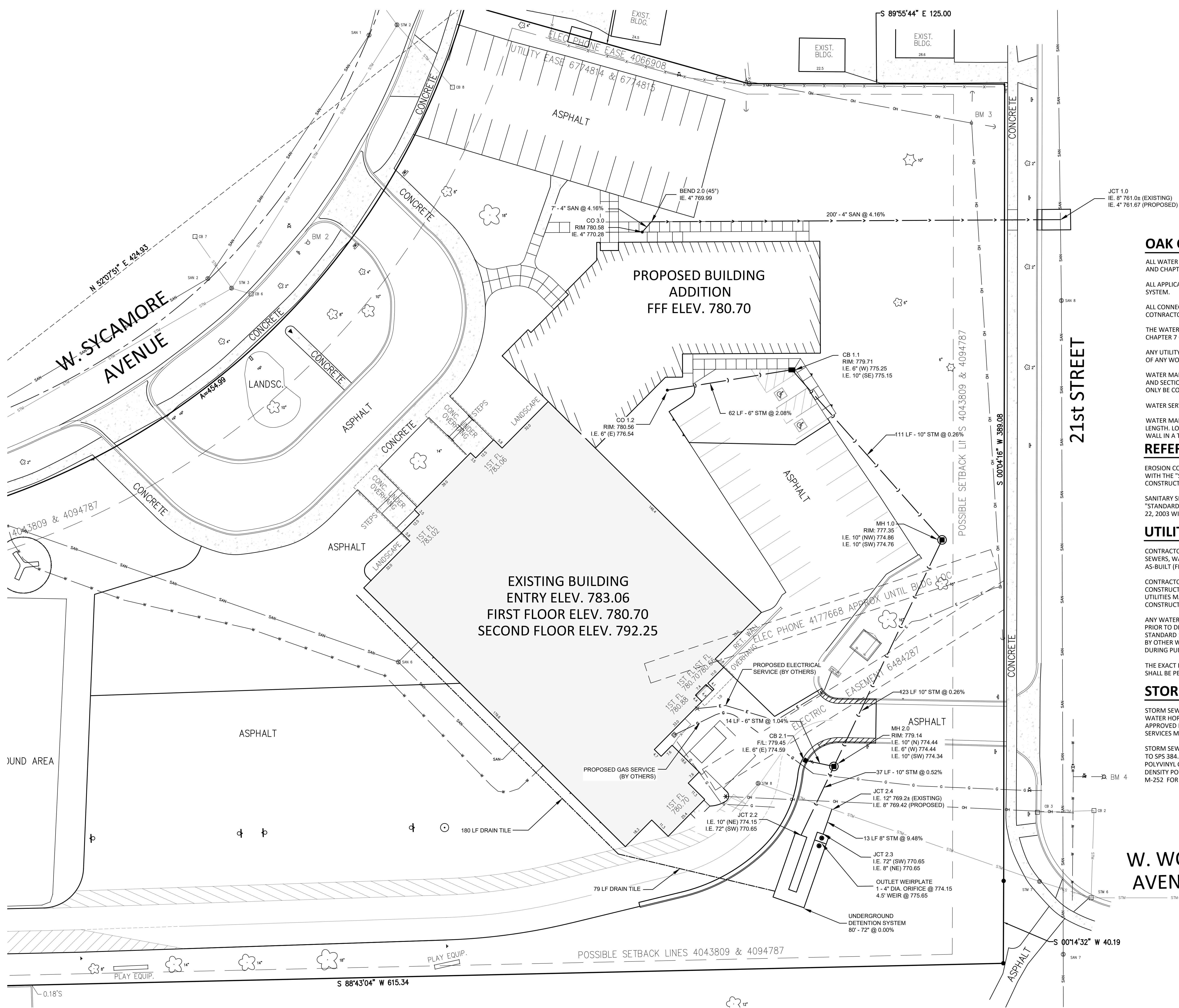
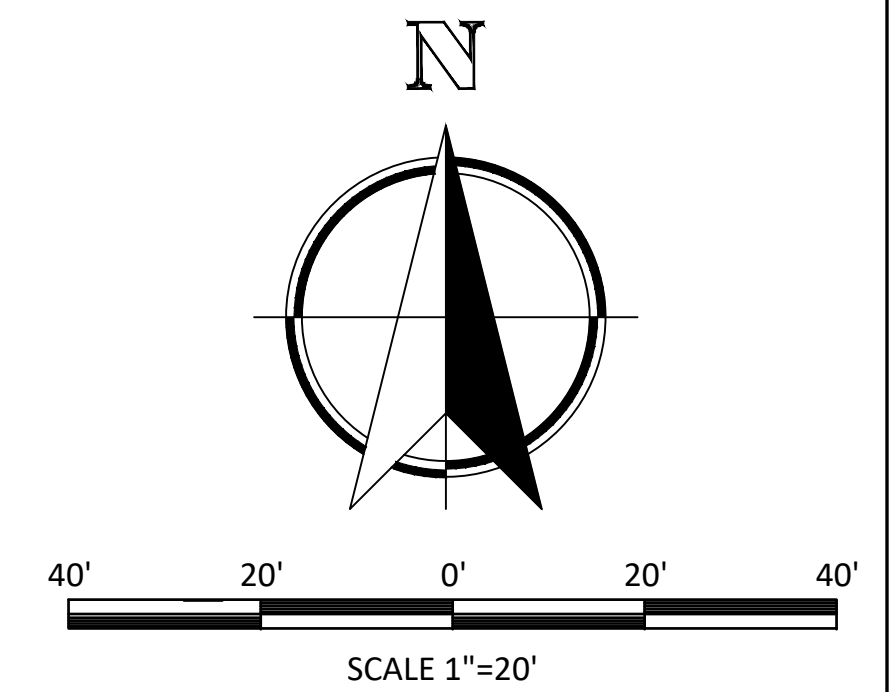
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DATE	3-31-2020	PROJECT #	W52-PM3
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DRAWING TITLE
SITE GRADING & EROSION CONTROL PLAN

DRAWING NUMBER
C103
 CHES
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OAK CREEK WATER & SEWER UTILITY NOTES

ALL WATER TO BE INSTALLED IN ACCORDANCE WITH OAK CREEK WATER & SEWER (OCWS) UTILITY STANDARDS AND CHAPTER 7 OF THE OAK CREEK DESIGN MANUAL.

ALL APPLICATIONS AND FEES FOR WATER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO WATER SYSTEM.

ALL CONNECTIONS TO EXISTING WATER MAINS SHALL BE COMPLETED UNDER THE SUPERVISION OF OCWS. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO OCWS WHEN CONNECTION IS TO BE MADE.

THE WATER SERVICE CONNECTIONS WILL EACH REQUIRE A TAPPING SLEEVE AND VALVE IN ACCORDANCE WITH CHAPTER 7 OF THE OAK CREEK DESIGN MANUAL.

ANY UTILITY WORK IN THE RIGHT-OF-WAY TO BE INSPECTED BY OCWS. NOTIFY OCWS 48 HOURS IN ADVANCE OF ANY WORK IN THE RIGHT-OF-WAY.

WATER MAIN AND SERVICES SHALL BE FLUSHED AND BACTERIA TESTED IN ACCORDANCE WITH CHAPTER 4.15.10 AND SECTION 5.5.18 OF THE STANDARD SPECIFICATIONS. THE PRESSURE TEST ON THE WATER MAIN SHALL ONLY BE CONDUCTED AFTER THE BACTERIOLOGICAL SAMPLING IS COMPLETE AND CERTIFIED SAFE BY OCWS.

WATER SERVICES SHALL HAVE A MINIMUM OF SIX FEET (6') OF COVER TO FINISHED GRADE.

WATER MAINS AND SERVICES SHALL HAVE A BLUE 10 GAUGE LOCATOR WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE BEHIND EACH HYDRANT AND AT THE BUILDING WALL IN A TRACER WIRE BOX AS WELL AS AT EACH VALVE BOX.

REFERENCES

EROSION CONTROL, EARTHWORK, SITE GRADING AND PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STATE OF WISCONSIN, STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", CURRENT EDITION, HEREIN REFERRED TO AS THE "STATE SPECIFICATIONS".

SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN", 6TH EDITION, DECEMBER 22, 2003 WITH ADDENDA NO. 1 AND NO. 2, HEREIN REFERRED TO AS THE "STANDARD SPECIFICATIONS".

UTILITY CONSTRUCTION GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF EXISTING SANITARY AND STORM SEWERS, WATER MAINS, GAS & ELECTRIC LINES OR OTHER UTILITIES PRIOR TO STARTING CONSTRUCTION. AS-BUILT (FIELD) DATA SHALL BE USED TO CHECK ALL PROPOSED UTILITY CROSSINGS FOR CONFLICTS.

CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION TO IDENTIFY ADJACENT UNDERGROUND UTILITIES. THE LOCATION OF EXISTING PRIVATE UTILITIES MAY NOT BE SHOWN ON THE PLANS AND SHOULD BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

ANY WATER PUMPED FROM PITS, TRENCHES, WELLS OR PONDS SHALL BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGE OFF-SITE. PUMPING OPERATIONS SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061. PUMPED WATER CAN BE TREATED IN RETENTION BASINS, FILTER BAGS, STONE FILTERS OR BY OTHER WDNR APPROVED METHODS. QUALITY OF PUMPED WATER SHALL BE CONTINUOUSLY MONITORED DURING PUMPING OPERATIONS.

THE EXACT LOCATION OF ALL BUILDING LATERALS, ROOF DRAIN RISERS AND DOWNSPOUTS (IF APPLICABLE) SHALL BE PER THE ARCHITECTURAL OR MECHANICAL DRAWINGS.

STORM SEWER NOTES

STORM SEWERS WERE SIZED IN ACCORDANCE WITH SPS TABLE 382.36-4 "MAXIMUM CAPACITY OF STORM WATER HORIZONTAL CONVEYANCE PIPING FOR CONCRETE, ASTM C76 AND ASTM C14". ANY MATERIAL APPROVED BY THE CITY OF OAK CREEK AND THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES MAY BE USED AT THE SLOPES AND SIZES DESIGNED.

STORM SEWER, ROOF DRAIN AND STORM BUILDING SEWER PIPE AND TUBING MATERIALS SHALL CONFORM TO SPS 384.30 OF THE WISCONSIN ADMINISTRATIVE CODE. REINFORCED CONCRETE PIPE (RCP) AND POLYVINYL CHLORIDE (PVC) MATERIALS SHALL BE SELECTED FROM TABLE 384.30-6. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE MATERIAL (IF SELECTED) SHALL MEET THE REQUIREMENTS OF AASHTO M-252 FOR 4"-10" DIAMETER SIZES AND AASHTO M294 FOR 12"-48" DIAMETER SIZES.

UNDERGROUND DETENTION NOTES

THE UNDERGROUND DETENTION / WATER QUALITY SYSTEM SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN ON THESE PLANS.

A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED WITH THE DETENTION SYSTEM MANUFACTURER AND THE CONTRACTOR PRIOR TO PIPE INSTALLATION. A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WISCONSIN EMPLOYED BY THE MANUFACTURER MUST BE PRESENT AT THE PRE-CONSTRUCTION MEETING.

ACCESS RISERS TO BE "ROUND OPTION" REINFORCED CONCRETE MANHOLE CAPS PER D4 ON SHEET C108 AND SHALL BE FURNISHED WITH A NEENAH R-2080 TYPE "D" BOLTED FRAME AND GRATE COVER (UNLESS OTHERWISE NOTED).

PROPOSED UTILITY LEGEND

- PROPOSED STORM SEWER
- PROPOSED UNDERDRAIN (0.26% MIN. SLOPE)
- PROPOSED ELECTRICAL SERVICE
- PROPOSED GAS SERVICE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING ELECTRICAL SERVICE
- EXISTING GAS SERVICE



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 JOINT SCHOOL DISTRICT
 CEDAR HILLS ELEMENTARY SCHOOL
 BUILDING ADDITIONS AND RENOVATIONS**
BID PACKAGE 14
 2225 W SYCAMORE AVE
 OAK CREEK, WI 53154

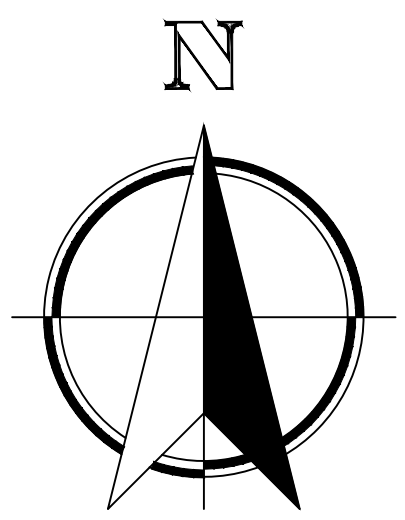
Date	Revision Description

CITY REVIEW SET

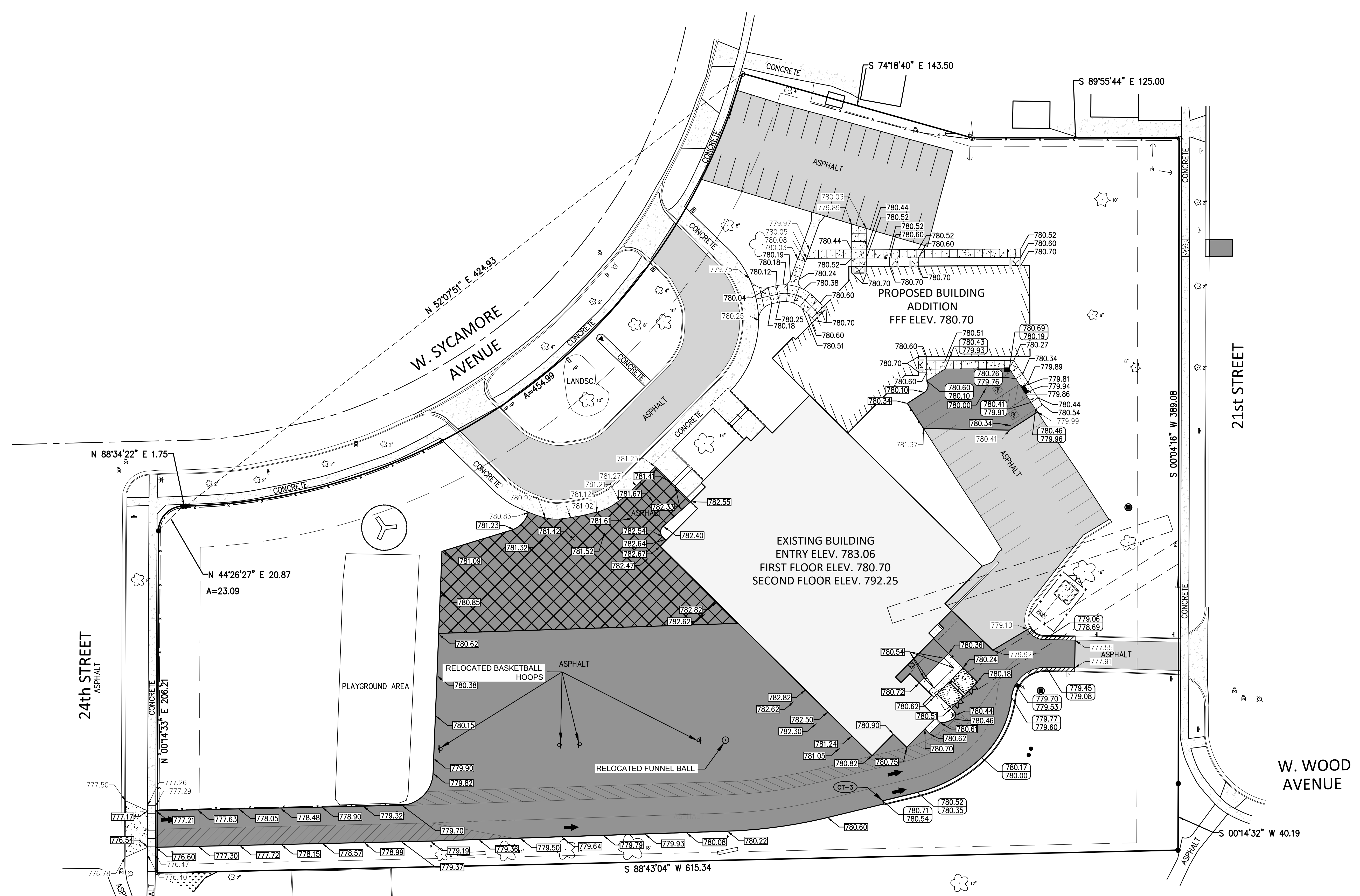
DATE	3-31-2020	PROJECT #	W52-PM3
DRAWN BY	TRV	CHECKED BY	JJC

DRAWING TITLE
SITE UTILITY PLAN

DRAWING NUMBER
C104
 CHES
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60' 30' 0' 30' 60'
SCALE 1"=30'



PAVEMENT GRADING LEGEND

- 804.85 EXISTING SPOT GRADES
- 804.85 FINISHED PAVEMENT GRADES
- 804.85 FINISHED SIDEWALK/GRAVEL GRADES
- 804.85 TOP OF CURB/FINISHED SIDEWALK GRADE
- 804.85 FINISHED PAVEMENT GRADE
- 8&10 C106 LIGHT-DUTY ASPHALT PAVEMENT
- 6&9 C106 MEDIUM-DUTY ASPHALT PAVEMENT
- 7 C106 LIGHT-DUTY CONCRETE PAVEMENT
- 11 C106 HEAVY-DUTY CONCRETE PAVEMENT
- 3 C106 30" VERTICAL FACE CONCRETE CURB & GUTTER
- 2 C106 3" MOUNTABLE-30" CONCRETE CURB & GUTTER

**OAK CREEK FRANKLIN
JOINT SCHOOL DISTRICT
CEDAR HILLS ELEMENTARY SCHOOL
BUILDING ADDITIONS AND RENOVATIONS**
BID PACKAGE 14
 2225 W SYCAMORE AVE
 OAK CREEK, WI 53154

Date	Revision Description

CITY REVIEW SET

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DRAWN BY	TRV	CHECKED BY	JJC

DRAWING TITLE
PAVEMENT GRADING PLAN

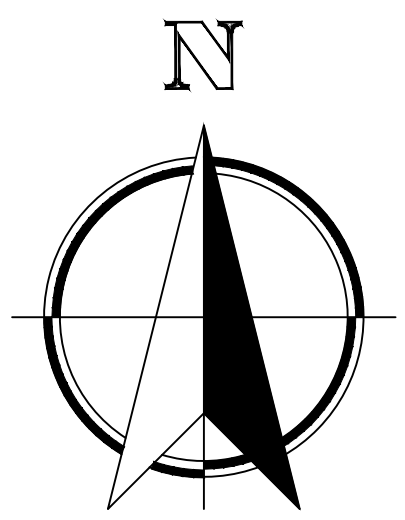
DRAWING NUMBER
C105
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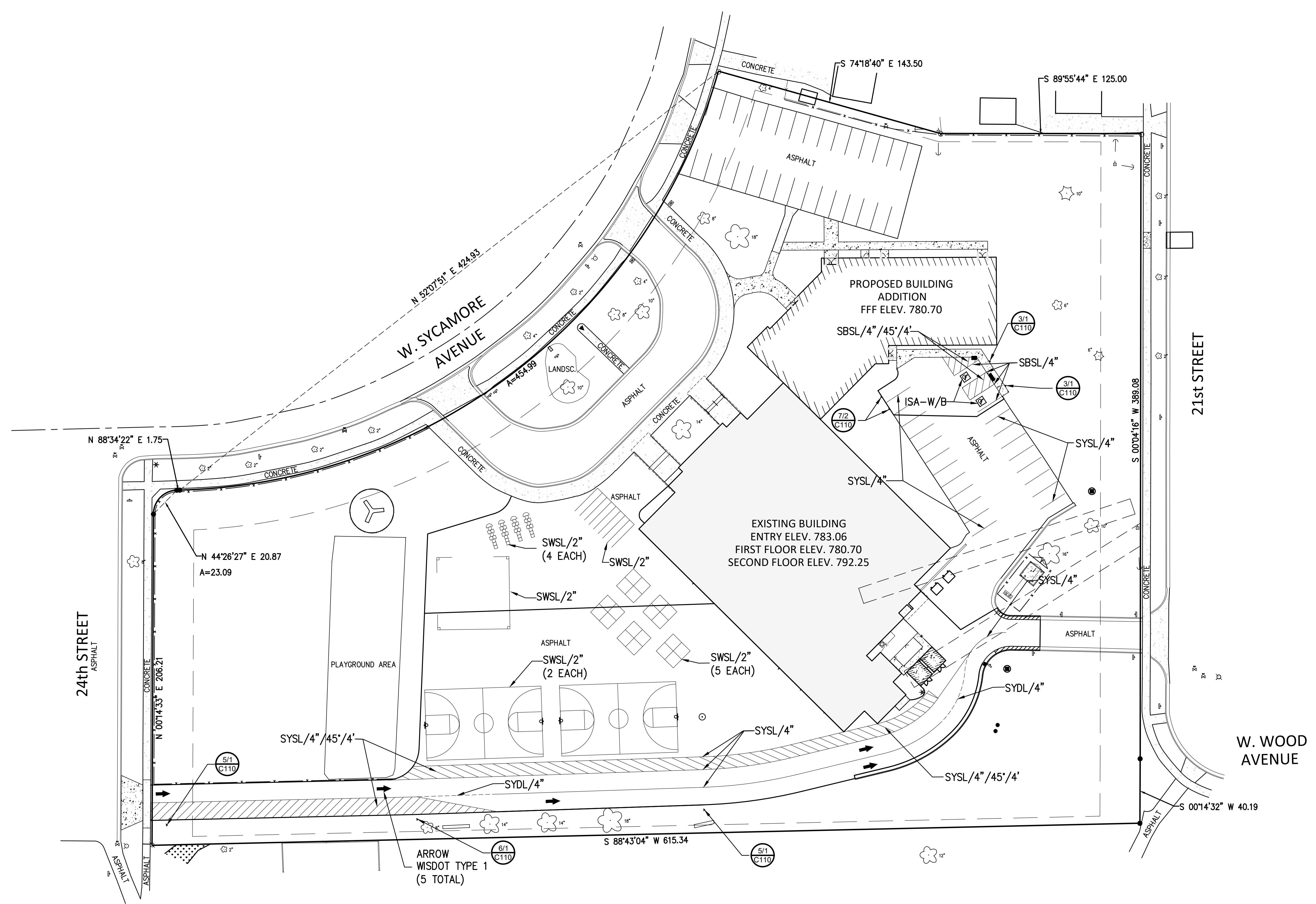
NOTE
WETLANDS DELINEATED BY MR. DAVE MEYER OF WETLAND & WATERWAY CONSULTING, LLC. ON SEPTEMBER 14, 2019. WETLANDS FIELD LOCATED FOR MAPPING BY MR. ETHAN MADSEN OF NIELSEN MADSEN & BARBER, S.C. ON SEPTEMBER 16, 2019.

UTILITY NOTE

EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND / OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.



60' 30' 0' 30' 60'
SCALE 1"=30'



PAVEMENT MARKING LEGEND

- SYSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- SYDL/4" - SINGLE YELLOW DASHED LINE / 4" WIDE EACH
- SYSL/4"/45'/4' - SINGLE YELLOW SOLID LINE / 4" WIDE EACH, 45', 4' O.C.
- SWSL/2" - SINGLE WHITE SOLID LINE / 2" WIDE EACH
- ISA-W/B - INTERNATIONAL SYMBOL FOR ACCESSIBILITY - WHITE ON BLUE BACKGROUND
- SBLSL/4" - SINGLE BLUE SOLID LINE / 4" WIDE EACH
- SBLSL/4"/45'/4' - SINGLE BLUE SOLID LINE / 4" WIDE EACH, 45', 4' O.C.
- SWSL/2'/6'/4' - SINGLE WHITE SOLID LINE / 2' WIDE EACH, 6' LONG, 4' O.C.

SIGN / POST LEGEND

- = SIGN (DETAIL 2) MOUNTED ON POST (DETAIL 1) AS SHOWN ON SHEET C107

**OAK CREEK FRANKLIN
JOINT SCHOOL DISTRICT
CEDAR HILLS ELEMENTARY SCHOOL
BUILDING ADDITIONS AND RENOVATIONS**
BID PACKAGE 14
 2225 W SYCAMORE AVE
 OAK CREEK, WI 53154

Date	Revision Description

CITY REVIEW SET

DATE	3-31-2020	PROJECT #	W52-PM3
DRAWN BY	TRV	CHECKED BY	JJC

DRAWING TITLE
PAVEMENT MARKING & SIGNAGE PLAN

DRAWING NUMBER
C106
CHES
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NOTE
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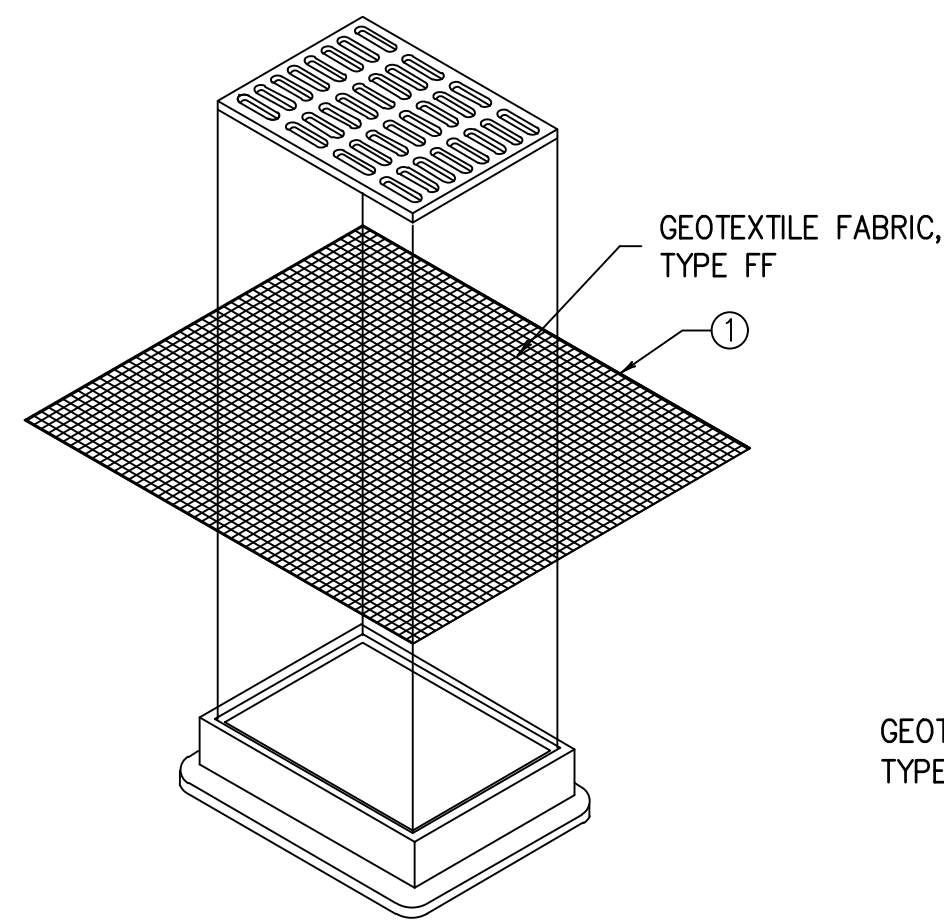
UTILITY NOTE

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INSTALLATION NOTES

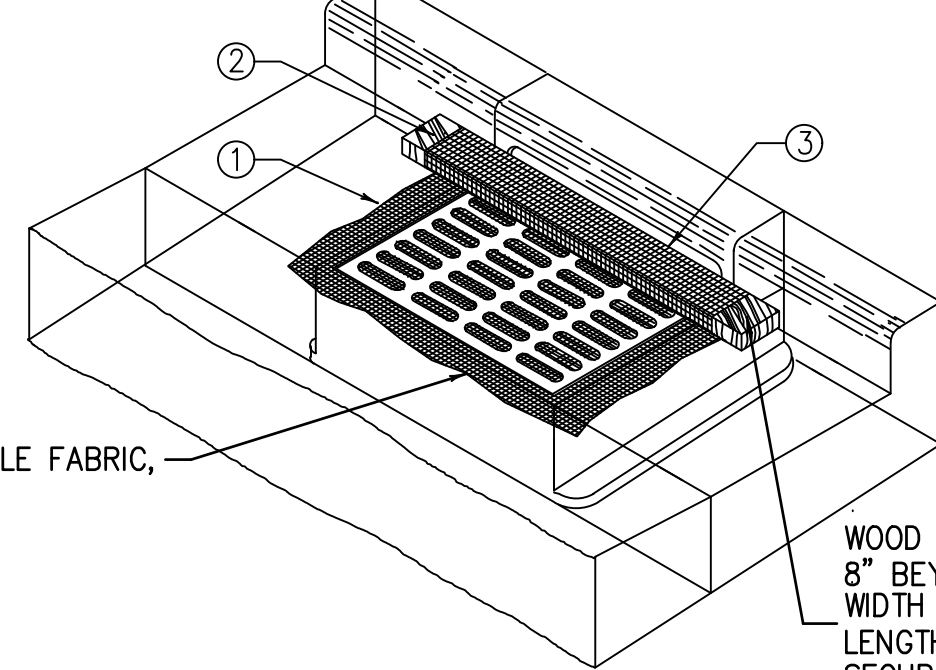
TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.



INLET PROTECTION, TYPE B (WITHOUT CURB BOX)

(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)

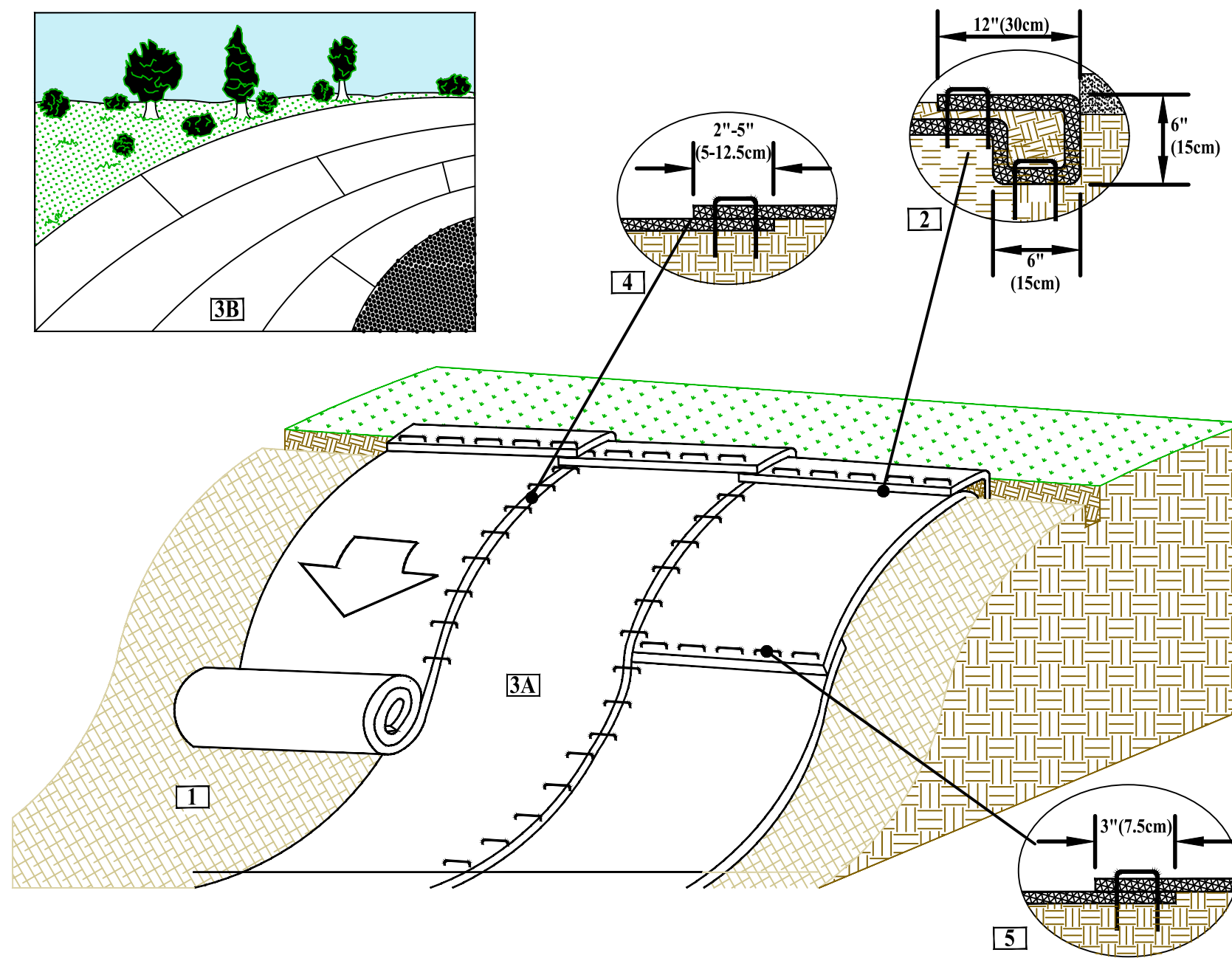
(CAN BE INSTALLED IN ANY INLET WITH A CURB BOX)

WOOD 2" x 4" EXTENDS 8" BEYOND GRATE WIDTH ON BOTH SIDES. LENGTH VARIES. SECURE TO GRATE WITH WIRE OR PLASTIC TIES

GENERAL NOTES

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE W DOTS EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES.
- 3 THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.



NOTE: In loose soil conditions, the use of staple or stake lengths greater than 6"(15cm) may be necessary to properly secure the RECP's.

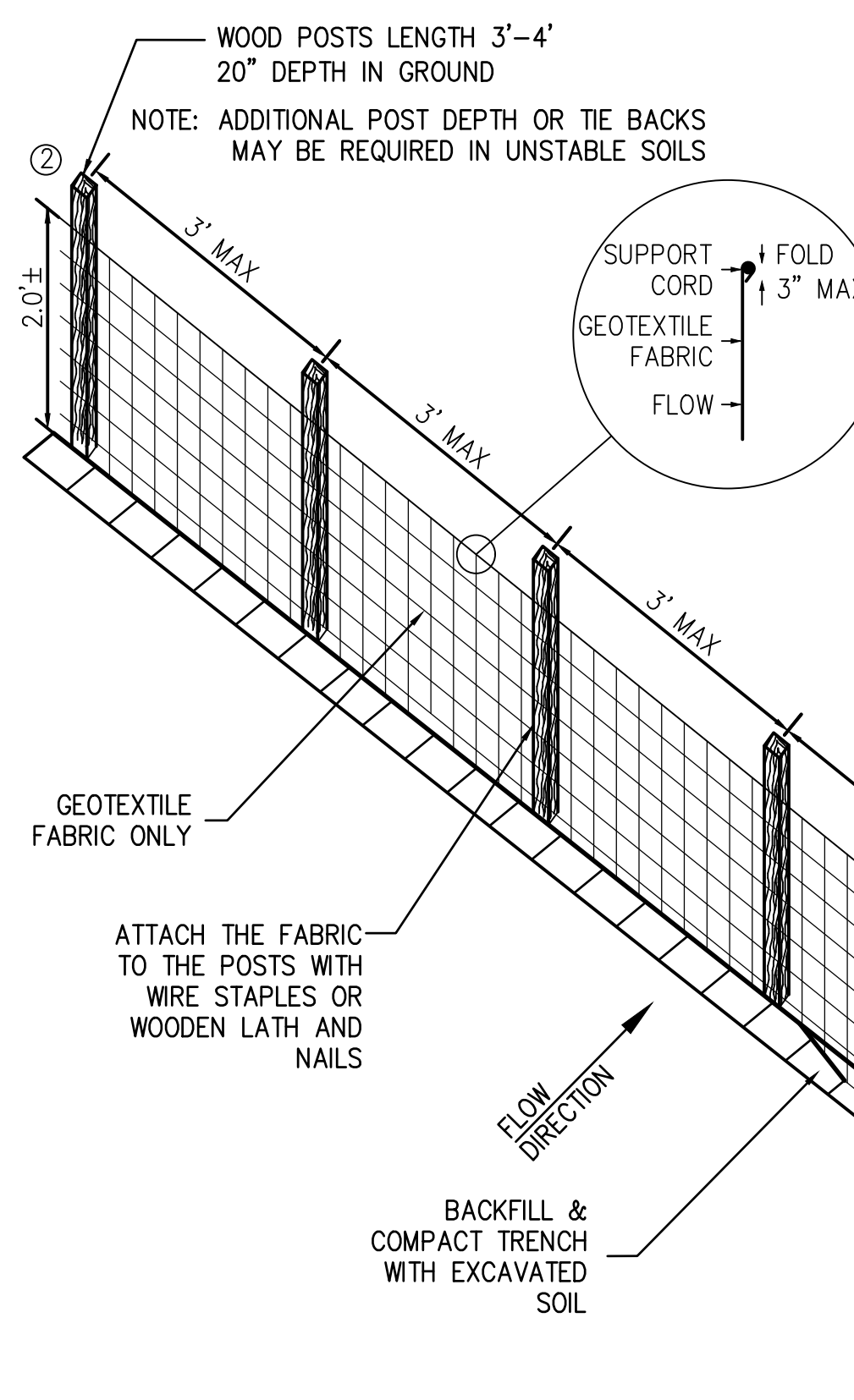
1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the RECPs in a 6"(15cm) deep X 6"(15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12" (30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12"(30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12"(30cm) apart across the width of the RECPs.
3. Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel RECPs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the RECPs type.
5. Consecutive RECPs spliced down the slope must be end over end (Shingle style) with an approximate 3"(7.5cm) overlap. Staple through overlapped area, approximately 12"(30cm) apart across entire RECPs width.

4 SLOPE INSTALLATION OF EROSION MAT DETAIL

NOT TO SCALE

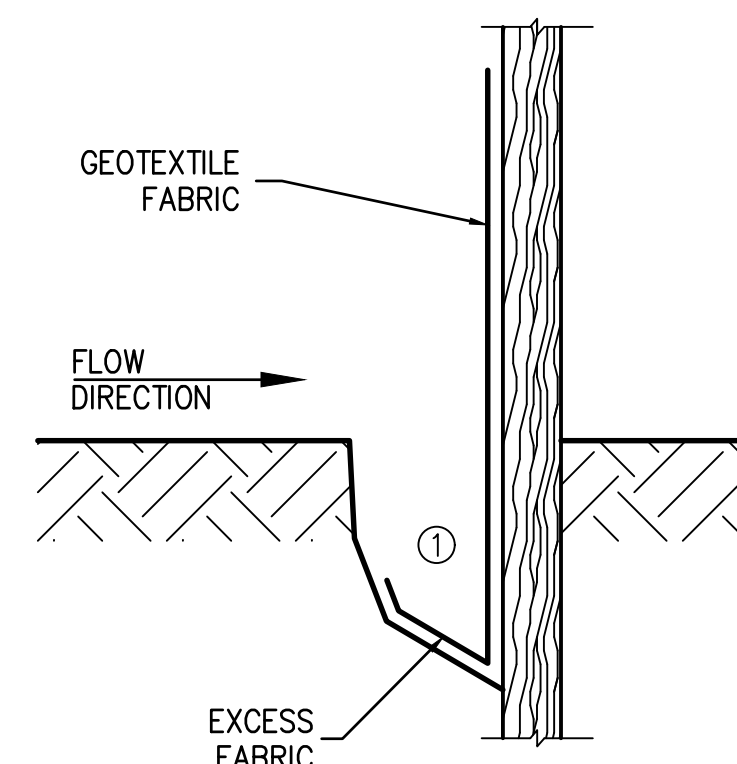
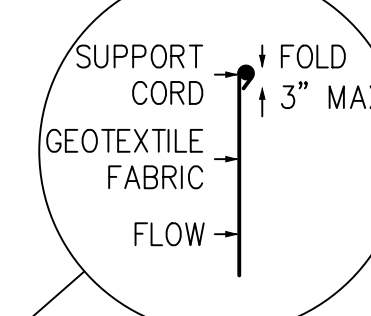
1 TYPICAL STORMWATER INLET PROTECTION DETAIL

NOT TO SCALE



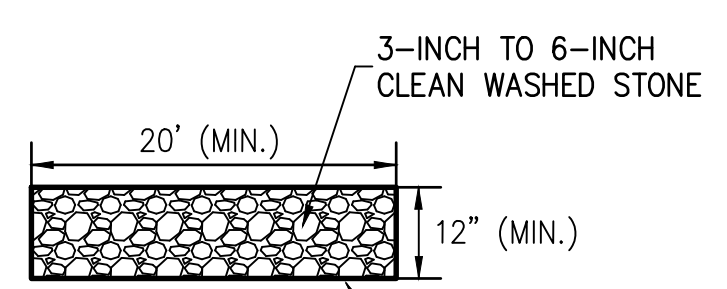
GENERAL NOTES - SILT FENCE

- 1 TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- 2 WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/2" x 1 1/2" OF OAK OR HICKORY.
- 3 CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
A) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES,
B) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.



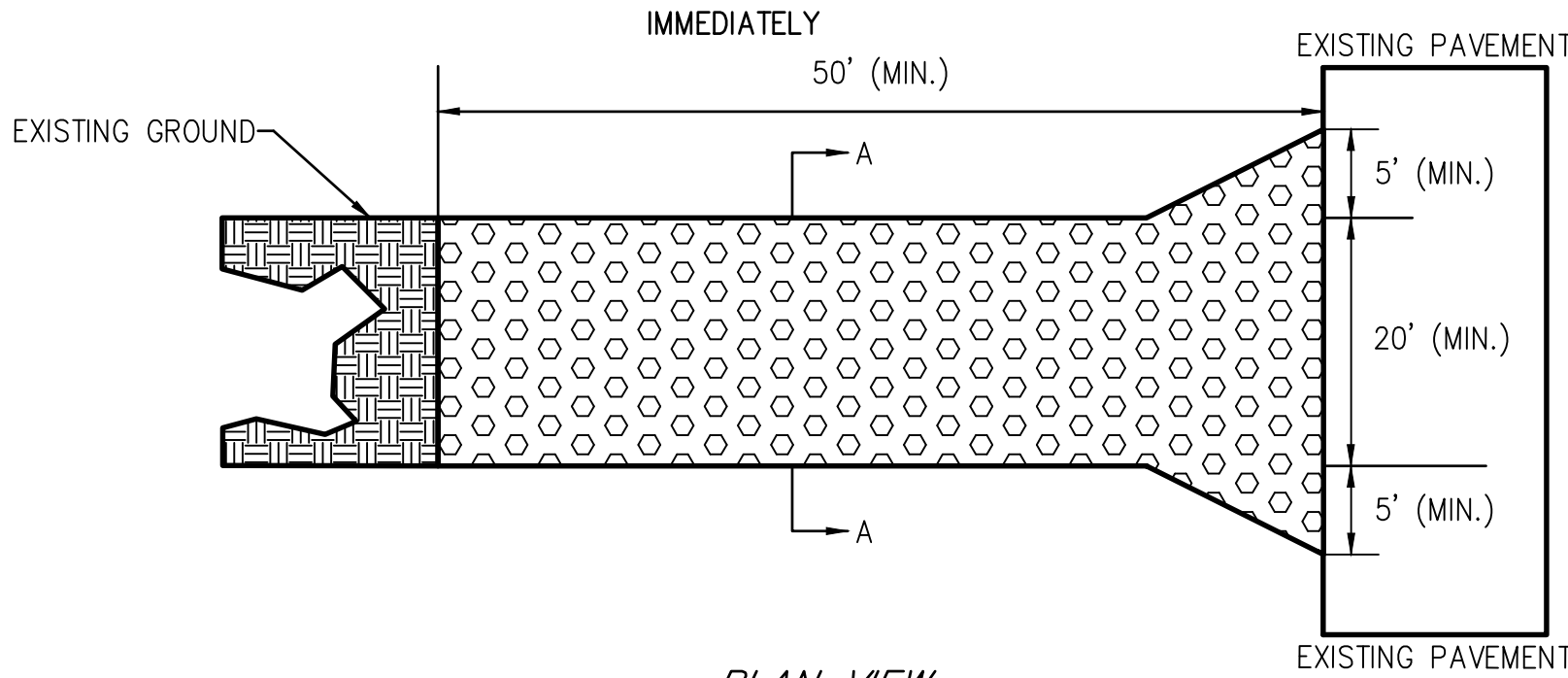
2 TYPICAL SILT FENCE DETAIL

NOT TO SCALE



SECTION A-A TYPE "R" GEOTEXTILE FABRIC

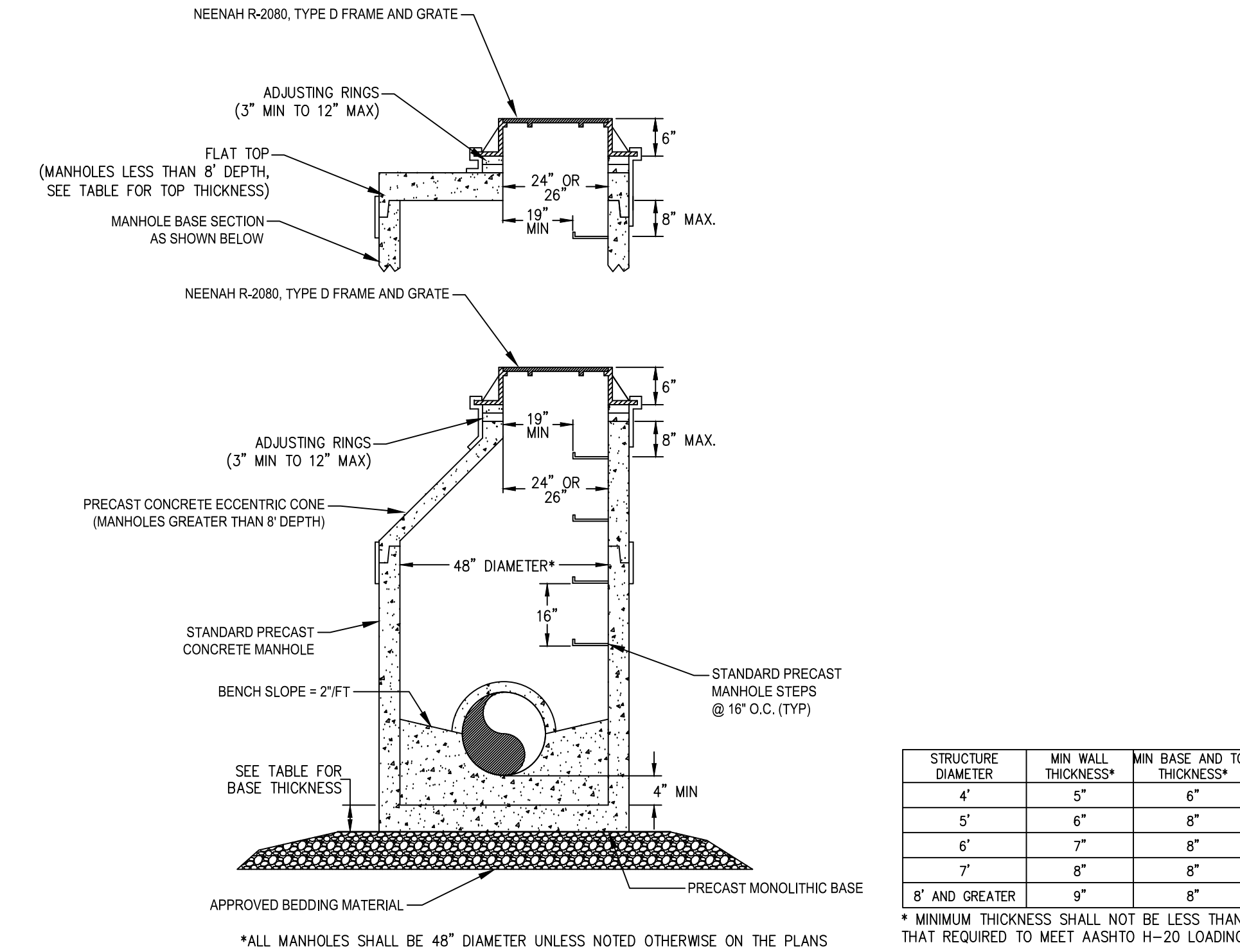
NOTE: TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY



PLAN VIEW

3 TRACKING PAD DETAIL

NOT TO SCALE

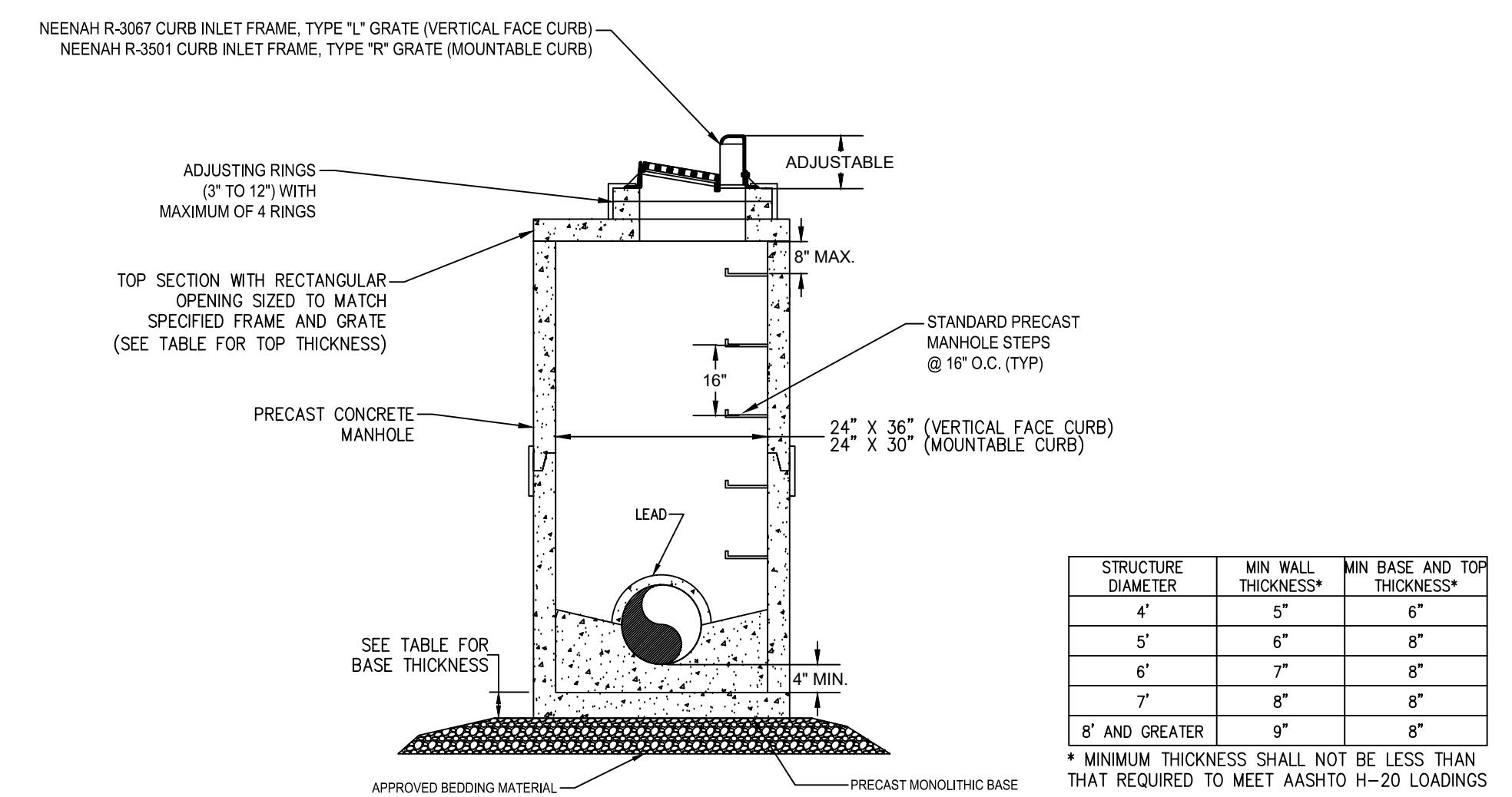


STRUCTURE DIAMETER	MIN WALL THICKNESS*	MIN BASE AND TOP THICKNESS*
4"	5"	8"
5"	6"	8"
6"	7"	8"
7"	8"	8"
8" AND GREATER	9"	8"

* MINIMUM THICKNESS SHALL NOT BE LESS THAN THAT REQUIRED TO MEET AASHTO H-20 LOADINGS

5 STANDARD MANHOLE (MH) DETAIL

NOT TO SCALE

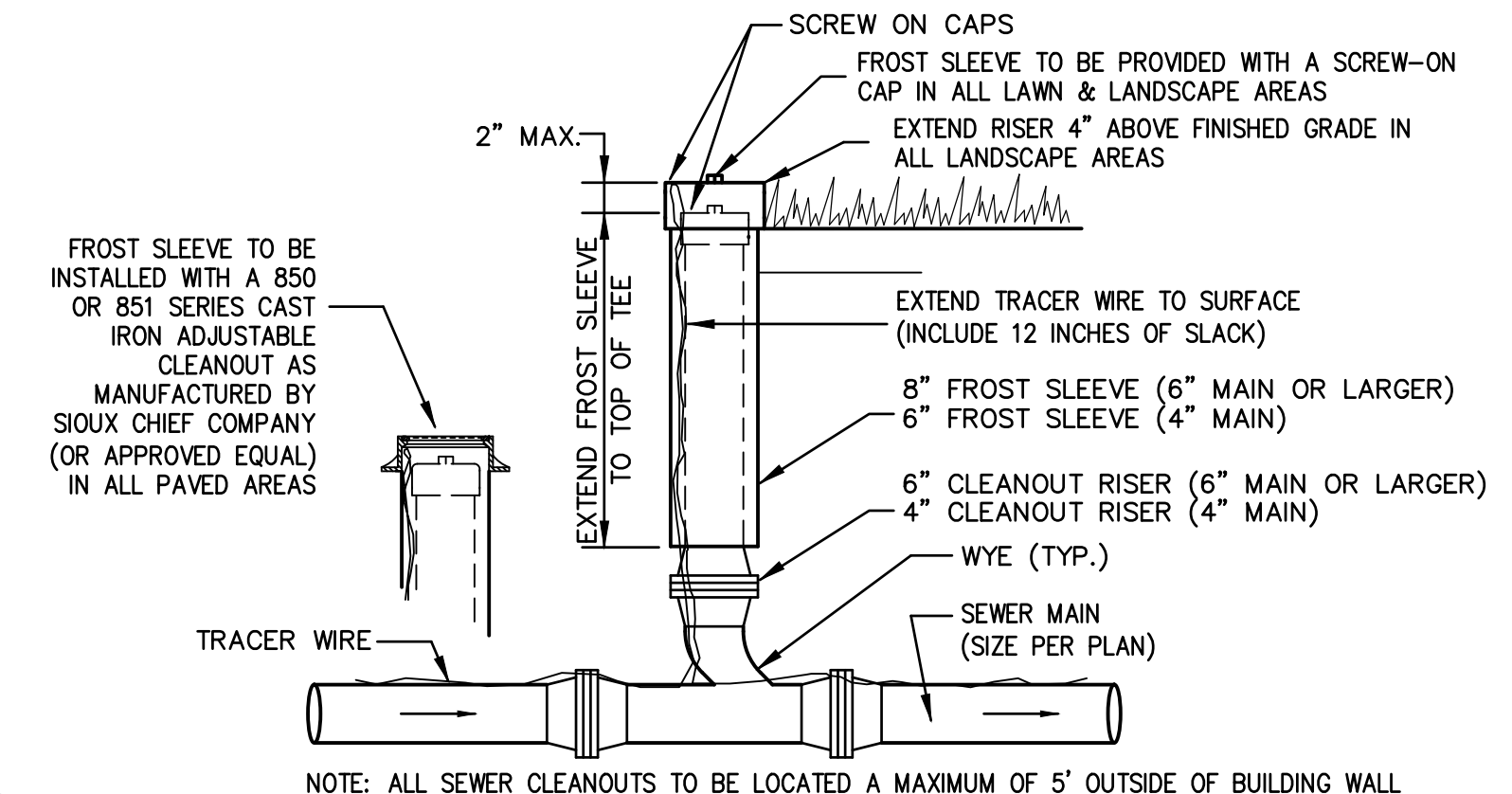


STRUCTURE DIAMETER	MIN WALL THICKNESS*	MIN BASE AND TOP THICKNESS*
4"	5"	8"
5"	6"	8"
6"	7"	8"
7"	8"	8"
8" AND GREATER	9"	8"

* MINIMUM THICKNESS SHALL NOT BE LESS THAN THAT REQUIRED TO MEET AASHTO H-20 LOADINGS

6 STANDARD INLET (INL) DETAIL

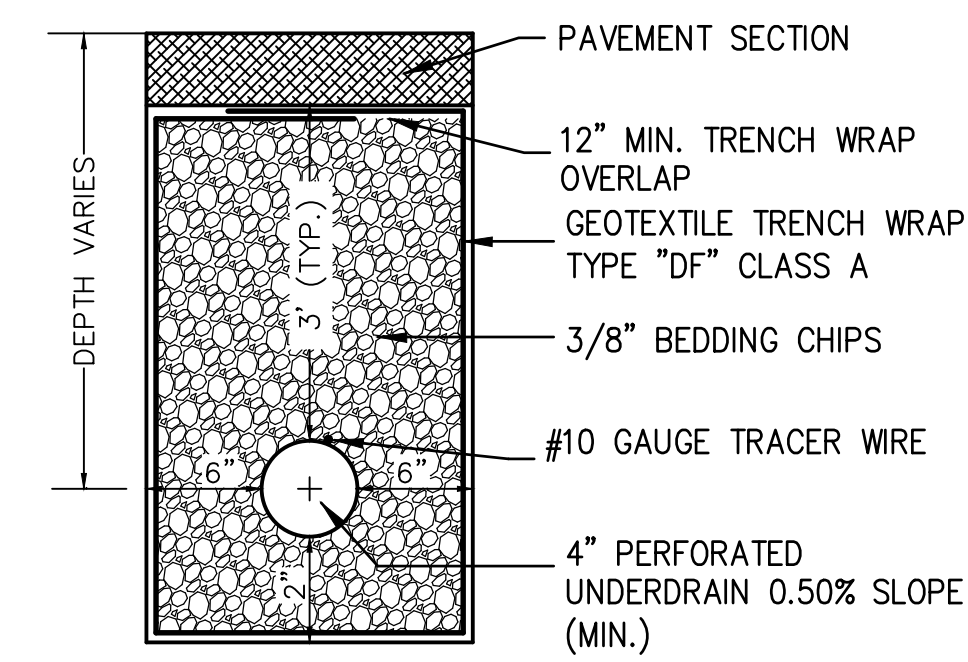
NOT TO SCALE



NOTE: ALL SEWER CLEANOUTS TO BE LOCATED A MAXIMUM OF 5' OUTSIDE OF BUILDING WALL

7 SEWER CLEANOUT RISER DETAIL

NOT TO SCALE



8 PIPE UNDERDRAIN DETAIL

NOT TO SCALE

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1458 Horizon Blvd, Suite 200, Racine, WI, 53406
Tel: (262)634-5588 Website: www.nmbcsc.net

OAK CREEK FRANKLIN JOINT SCHOOL DISTRICT CEDAR HILLS ELEMENTARY SCHOOL BUILDING ADDITIONS AND RENOVATIONS

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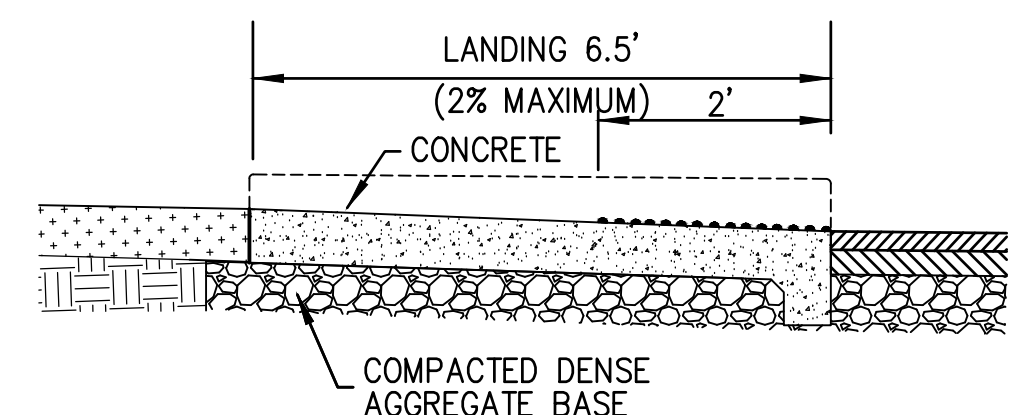
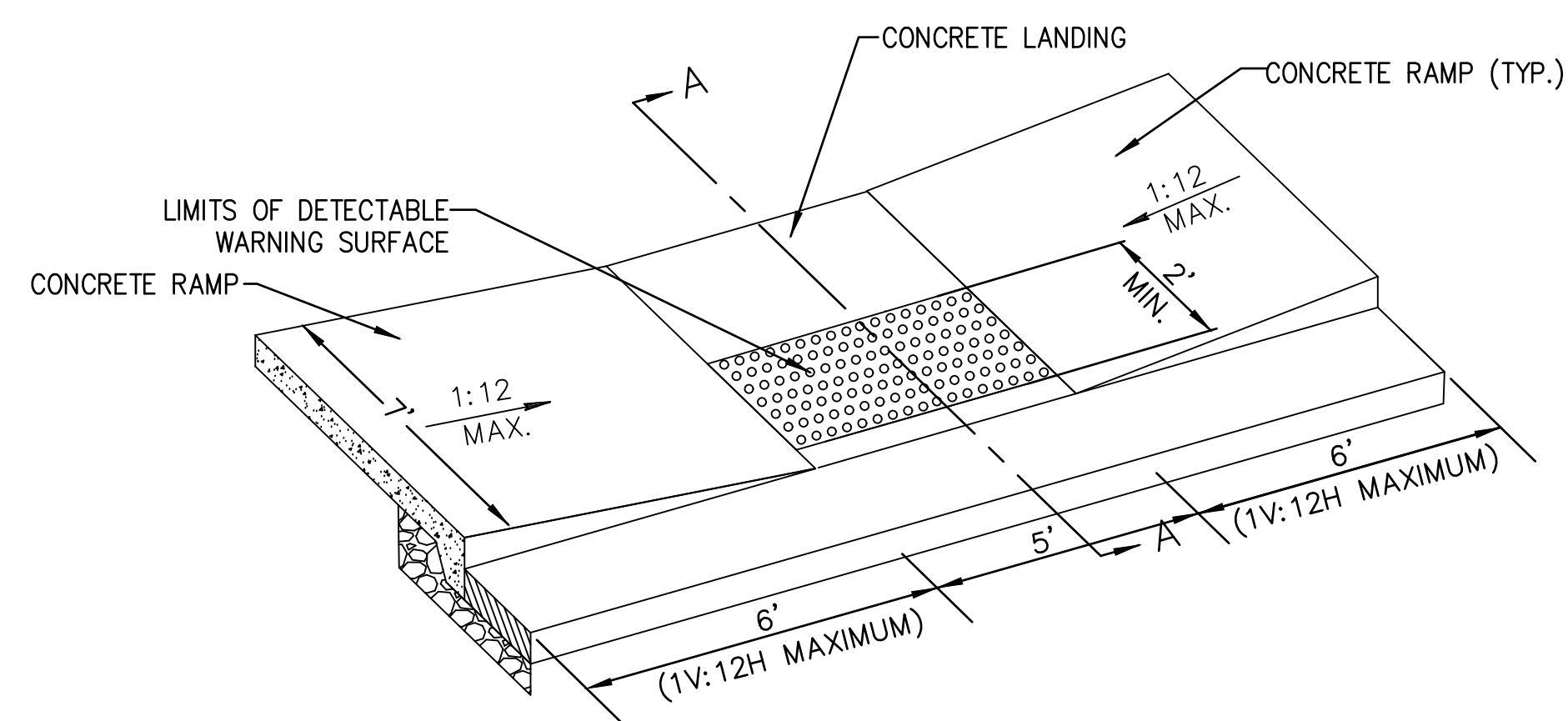
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DRAWING TITLE
TYPICAL SECTIONS & CONSTRUCTION DETAILS

DRAWING NUMBER
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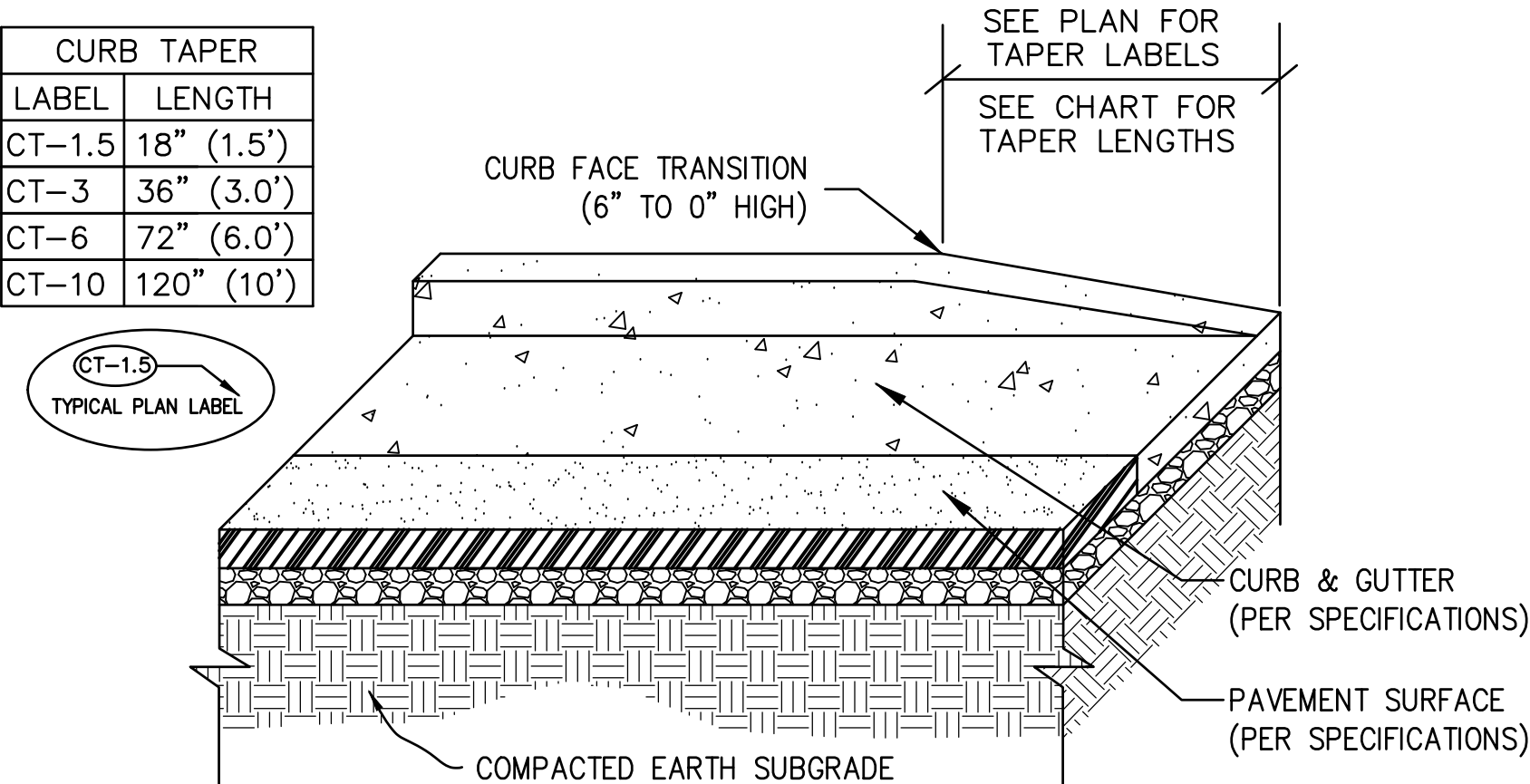


SECTION A-A

1 INTEGRAL SIDEWALK - 72" TAPER ACCESSIBLE RAMP DETAIL

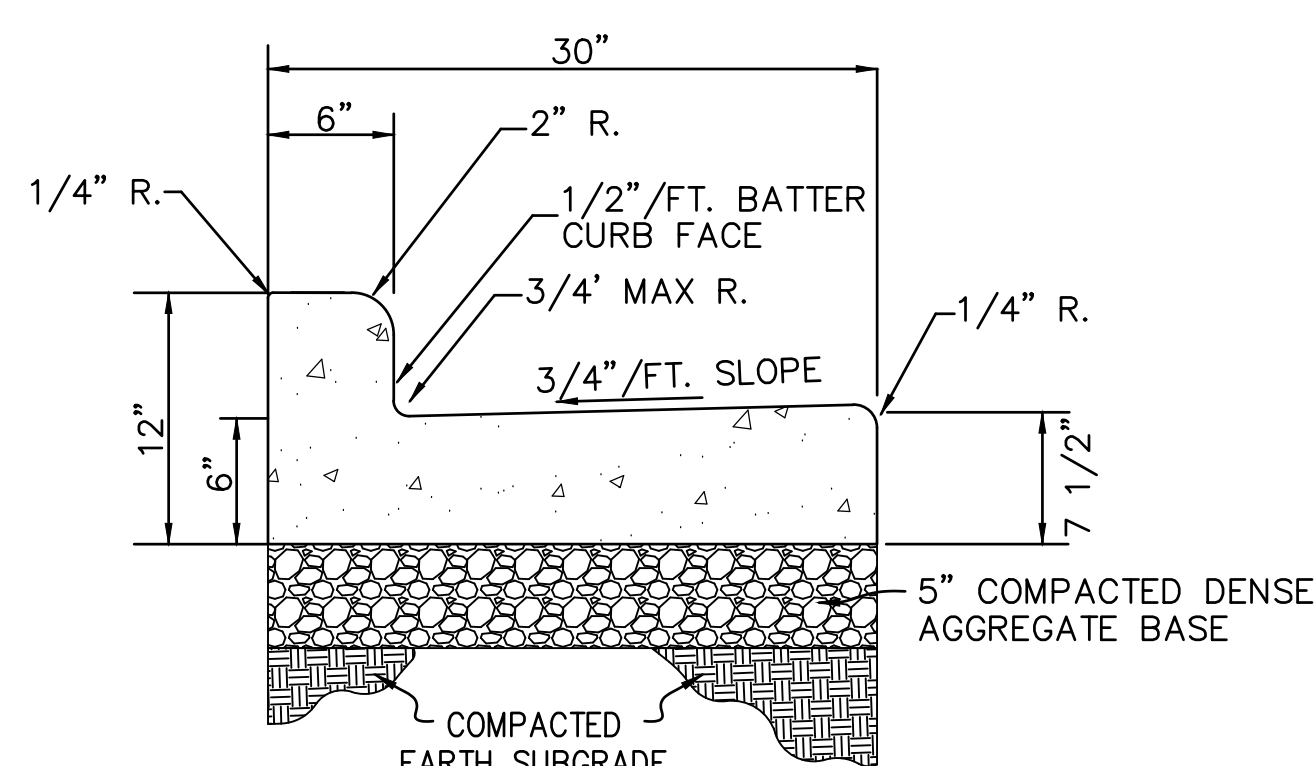
NOT TO SCALE

CURB TAPER	
LABEL	LENGTH
CT-1.5	18" (1.5')
CT-3	36" (3.0')
CT-6	72" (6.0')
CT-10	120" (10')



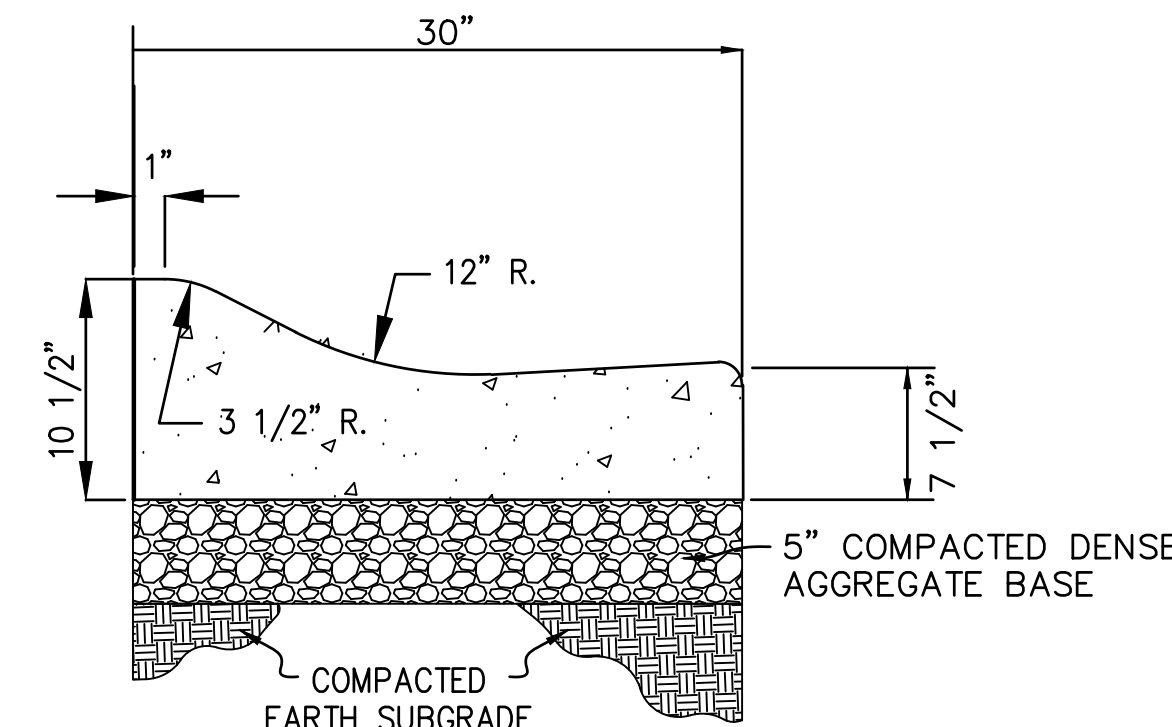
2 CURB TAPER DETAIL

NOT TO SCALE



3 30\"/>

NOT TO SCALE

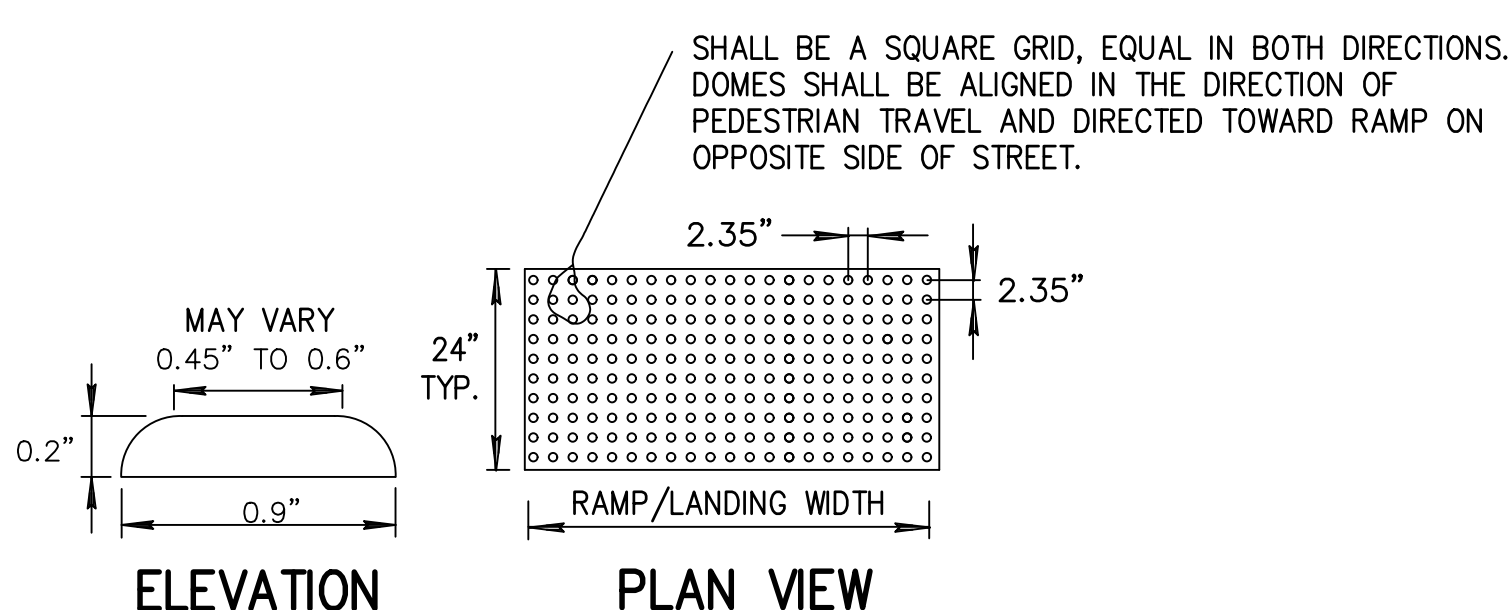


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NOT TO SCALE

NOTES:

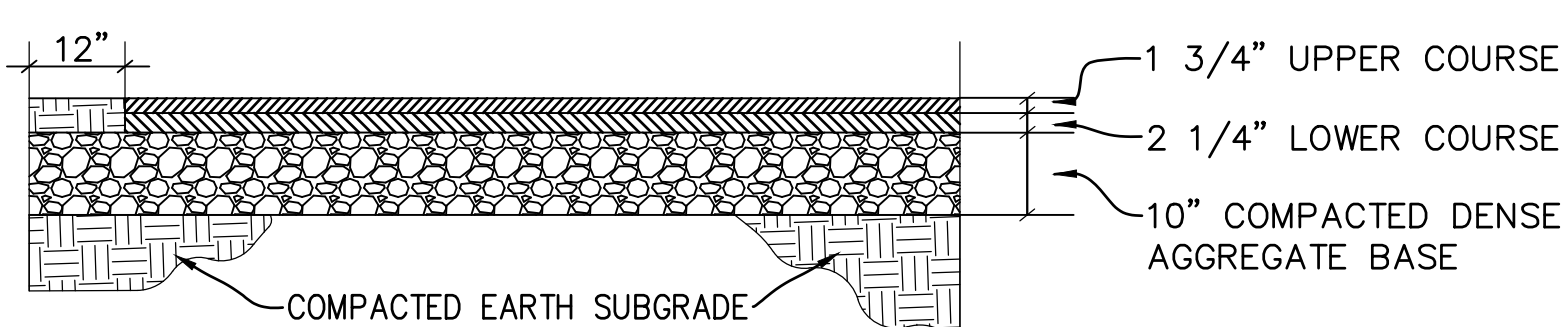
- THIS WORK WILL CONSIST OF FURNISHING ALL MATERIAL, EQUIPMENT AND LABOR NECESSARY FOR THE PLACEMENT OF DETECTABLE WARNING DEVICES, COMPLETE AND READY FOR SERVICE AT ALL NEW SIDEWALK CURB RAMPS.
- THE DEVICES SHALL COMPLY WITH THE DETECTABLE WARNINGS ON WALKING SURFACES SECTION OF THE AMERICANS WITH DISABILITIES ACT (TITLE 49 CFR TRANSPORTATION, PART 37.9 STANDARDS FOR ACCESSIBLE TRANSPORTATION FACILITIES, APPENDIX A, SECTION 4.29.2 DETECTABLE WARNINGS ON WALKING SURFACES.)
- DETECTABLE WARNING SURFACES SHALL EXTEND 24 INCHES (610 MM) MINIMUM IN THE DIRECTION OF TRAVEL AND THE FULL WIDTH OF THE CURB RAMP FLUSH SURFACE (GENERALLY 48 INCHES WIDE).
 - THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB OR EDGE OF PAVEMENT IS 6 INCHES (150 MM) MINIMUM AND 8 INCHES (205 MM) MAXIMUM FROM THE FACE OF THE CURB OR EDGE OF PAVEMENT.
 - DOMES SHALL BE ALIGNED ON A SQUARED GRID, ALIGNED IN ROWS PARALLEL AND PERPENDICULAR TO THE PREDOMINANT DIRECTION OF TRAVEL. DOMES MUST NOT BE SKEWED DIAGONALLY TO THE DIRECT OF TRAVEL.
- AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED IN THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - CAST IN PLACE REPLACEABLE TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ADA SOLUTIONS, INC., CHELMSFORD, MA OR PRE-APPROVED EQUAL.
 - THE COLOR OF THE DETECTABLE WARNING FIELD SHALL BE SELECTED BY THE ARCHITECT.
- THE SPECIFICATIONS OF THE CONCRETE SEALANT AND RELATED MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE GUIDELINES SET BY THEIR RESPECTIVE MANUFACTURERS.



5 DETECTABLE WARNING SURFACE DETAIL

NOT TO SCALE

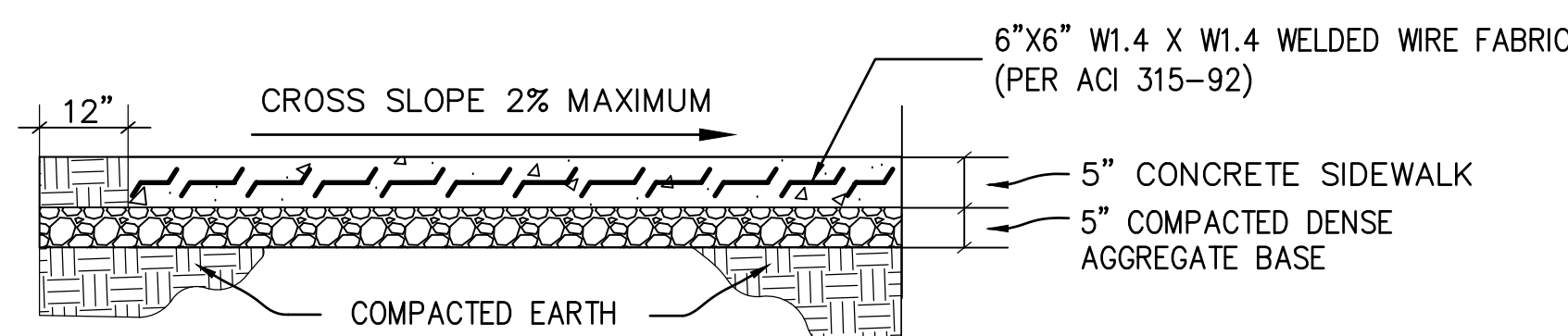
- 14" PAVEMENT SECTION (TYPICAL)
- 4" HMA PAVEMENT, LT 58-28 S
 - 1 3/4" THICK UPPER COURSE (5 LT 58-28 S)
 - 2 1/4" THICK LOWER COURSE (3 LT 58-28 S)
 - 10" COMPACTED DENSE AGGREGATE BASE
 - 1 1/4" GRADATION (PER SECTION 305.2.2.1 OF THE "STATE SPECIFICATIONS")
 - BASE COURSE SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE EDGE OF CONCRETE



6 MEDIUM DUTY ASPHALT PAVEMENT (TYPICAL SECTION)

NOT TO SCALE

- 10" PAVEMENT SECTION (TYPICAL)
- 5" CONCRETE SIDEWALK (PER SECTION 415 OF THE "STATE SPECIFICATIONS")
 - ALL CONCRETE SHALL BE GRADE A-FA, AIR-ENTRAINED, 6-BAG MIX WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
 - 5" COMPACTED DENSE AGGREGATE BASE
 - 1 1/4" GRADATION (PER SECTION 305.2.2.1 OF THE "STATE SPECIFICATIONS")
 - BASE COURSE SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE EDGE OF CONCRETE.



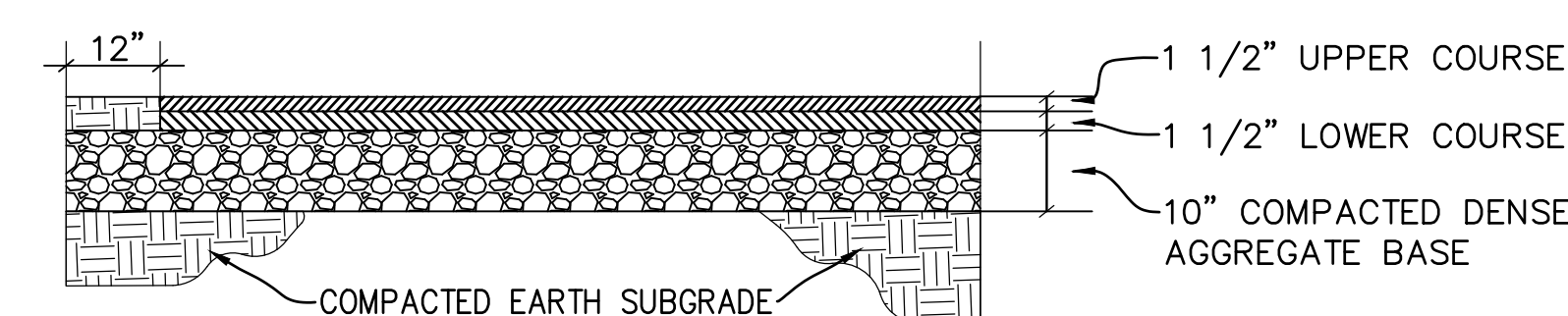
NOTES:

- PROVIDE CONTROL JOINTS AT AN INTERVAL MATCHING THE SIDEWALK WIDTH BUT NO GREATER THAN A 10'X10' GRID.
- PROVIDE EXPANSION JOINTS AT INTERVAL NO GREATER THAN 100 LINEAR FEET. EXPANSION JOINT FILLER MATERIAL SHALL BE ONE PIECE FIBERBOARD OR THE APPROVED EQUIVALENT MATERIAL AND SHALL BE 1/2 INCH THICK.

7 LIGHT-DUTY CONCRETE PAVEMENT (TYPICAL SECTION)

NOT TO SCALE

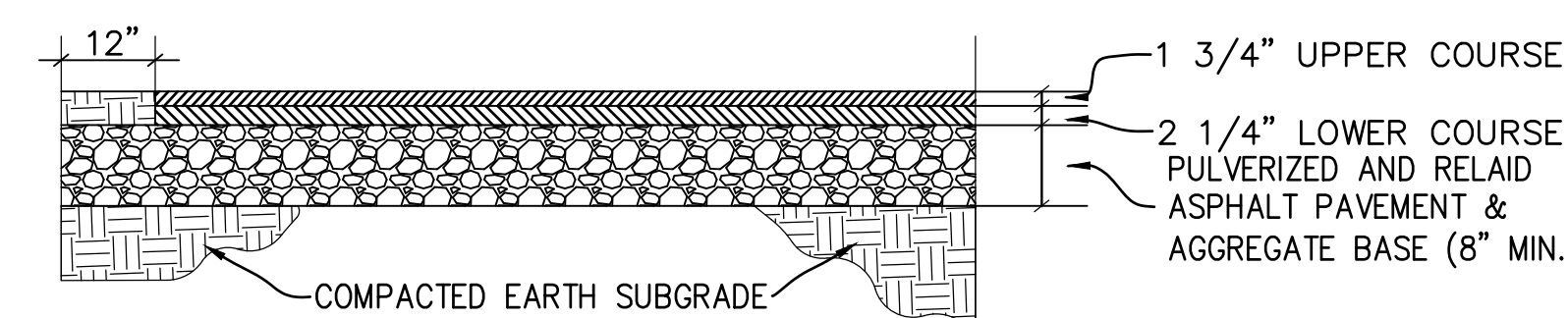
- 13" PAVEMENT SECTION (TYPICAL)
- 3" HMA PAVEMENT, LT 58-28 S
 - 1 1/2" THICK UPPER COURSE (5 LT 58-28 S)
 - 1 1/2" THICK LOWER COURSE (3 LT 58-28 S)
 - 10" COMPACTED DENSE AGGREGATE BASE
 - 1 1/4" GRADATION (PER SECTION 305.2.2.1 OF THE "STATE SPECIFICATIONS")
 - BASE COURSE SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE EDGE OF CONCRETE



8 LIGHT DUTY ASPHALT PAVEMENT (TYPICAL SECTION)

NOT TO SCALE

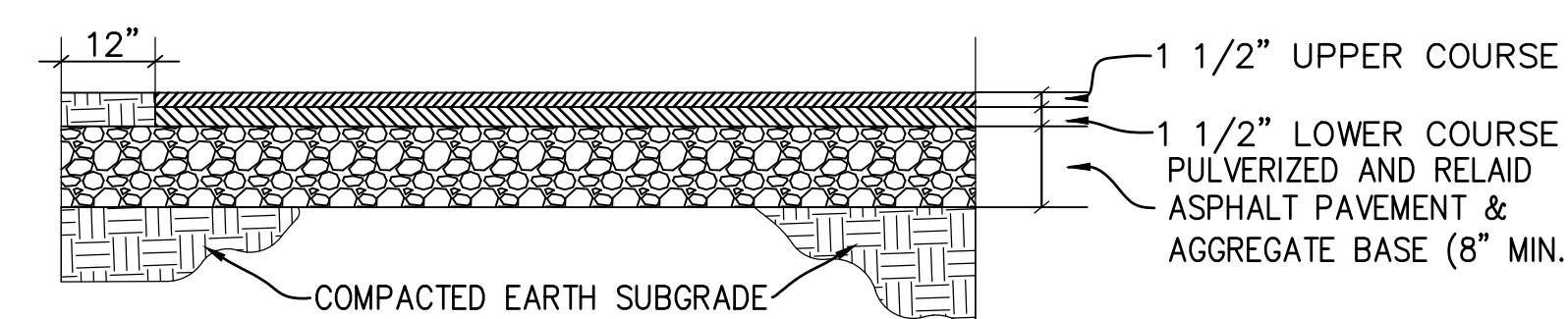
- 12" PAVEMENT SECTION (TYPICAL)
- 4" HMA PAVEMENT, WSDOT, TYPE E-0.3
 - 1 3/4" THICK UPPER COURSE (5 LT 58-28 S)
 - 2 1/4" THICK LOWER COURSE (3 LT 58-28 S)
 - 8" COMPACTED PULVERIZED ASPHALT PAVEMENT AND AGGREGATE BASE
 - 97% PASSING 2" (50 MM) SIEVE
 - PULVERIZED MATERIAL SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB.



9 ASPHALT PAVEMENT - MEDIUM DUTY (PULVERIZE AND RELAY - SECTION)

NOT TO SCALE

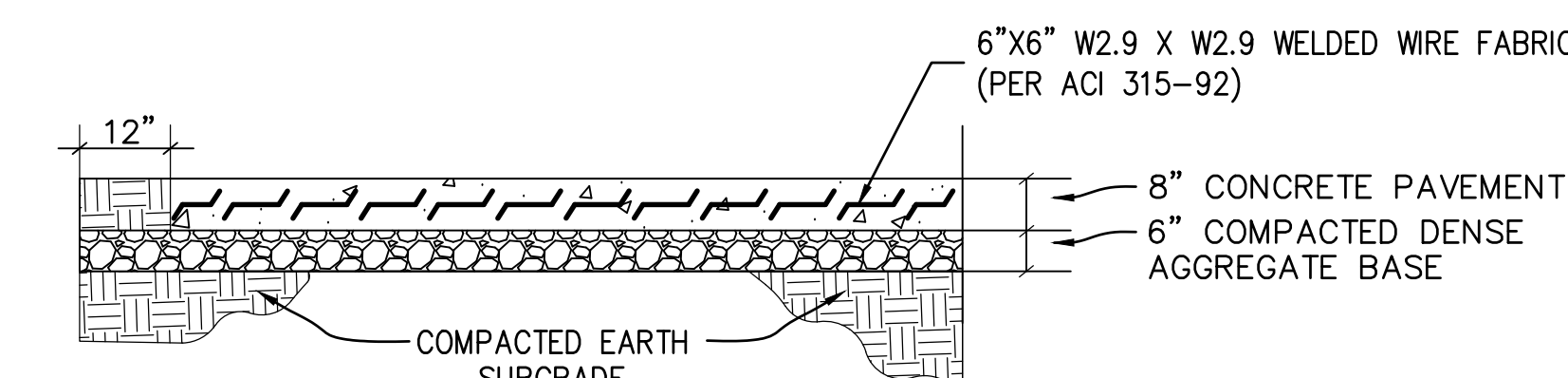
- 11" PAVEMENT SECTION (TYPICAL)
- 3" HMA PAVEMENT, LT 58-28 S
 - 1 1/2" THICK UPPER COURSE (5 LT 58-28 S)
 - 1 1/2" THICK LOWER COURSE (3 LT 58-28 S)
 - 8" COMPACTED PULVERIZED ASPHALT PAVEMENT AND AGGREGATE BASE
 - 97% PASSING 2" (50 MM) SIEVE
 - PULVERIZED MATERIAL SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE EDGE OF PAVEMENT OR BACK OF CURB.



10 ASPHALT PAVEMENT - LIGHT DUTY (PULVERIZE AND RELAY - SECTION)

NOT TO SCALE

- 14" PAVEMENT SECTION (TYPICAL)
- 8" CONCRETE PAVEMENT (PER SECTION 415 OF THE "STATE SPECIFICATIONS")
 - ALL CONCRETE SHALL BE GRADE A-FA, AIR-ENTRAINED, 6-BAG MIX WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
 - 6" COMPACTED DENSE AGGREGATE BASE
 - 1 1/4" GRADATION (PER SECTION 305.2.2.1 OF THE "STATE SPECIFICATIONS")
 - BASE COURSE SHALL EXTEND A MINIMUM OF 12 INCHES BEYOND THE EDGE OF CONCRETE.



11 HEAVY-DUTY CONCRETE PAVEMENT (TYPICAL SECTION)

NOT TO SCALE

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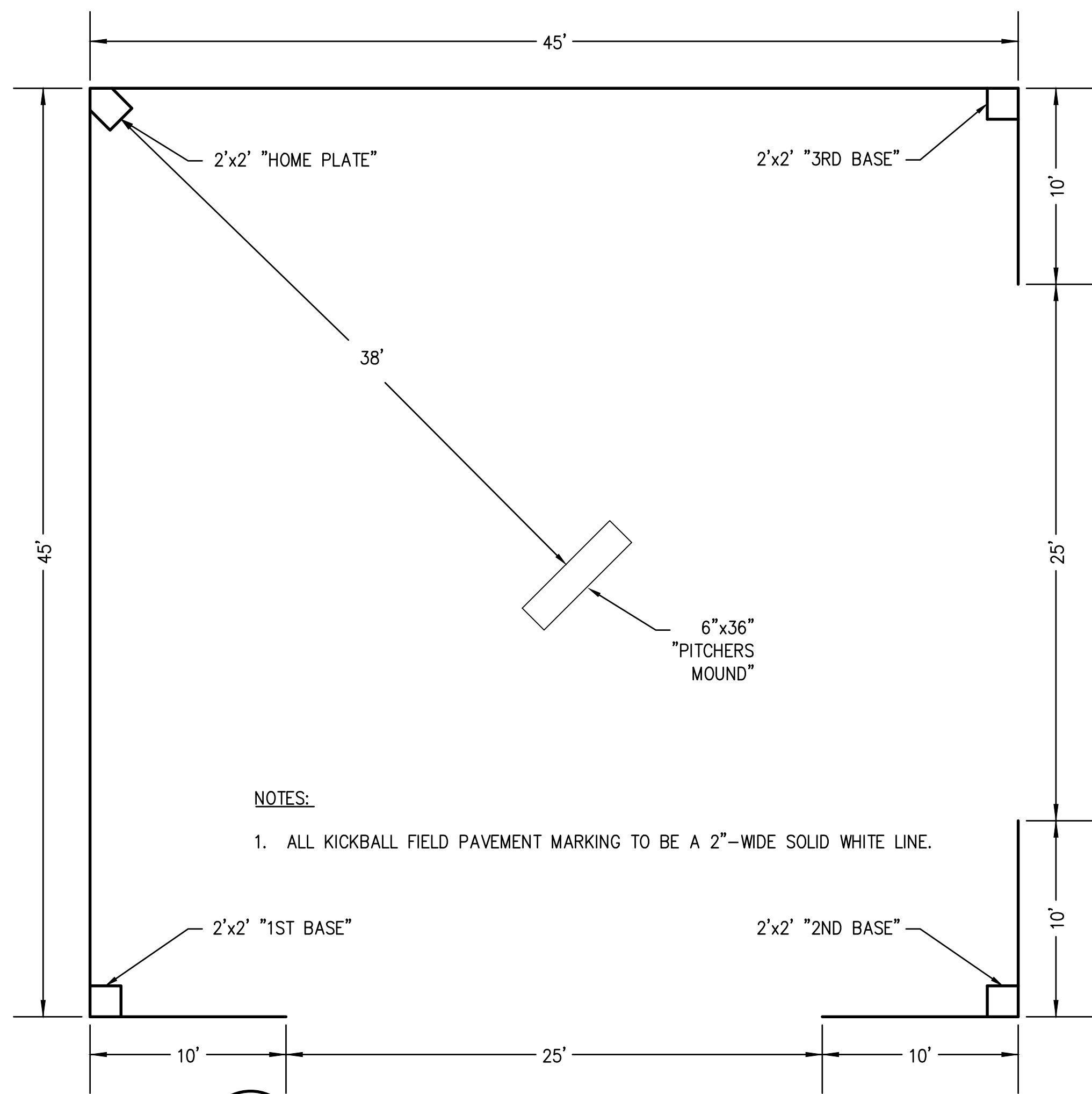
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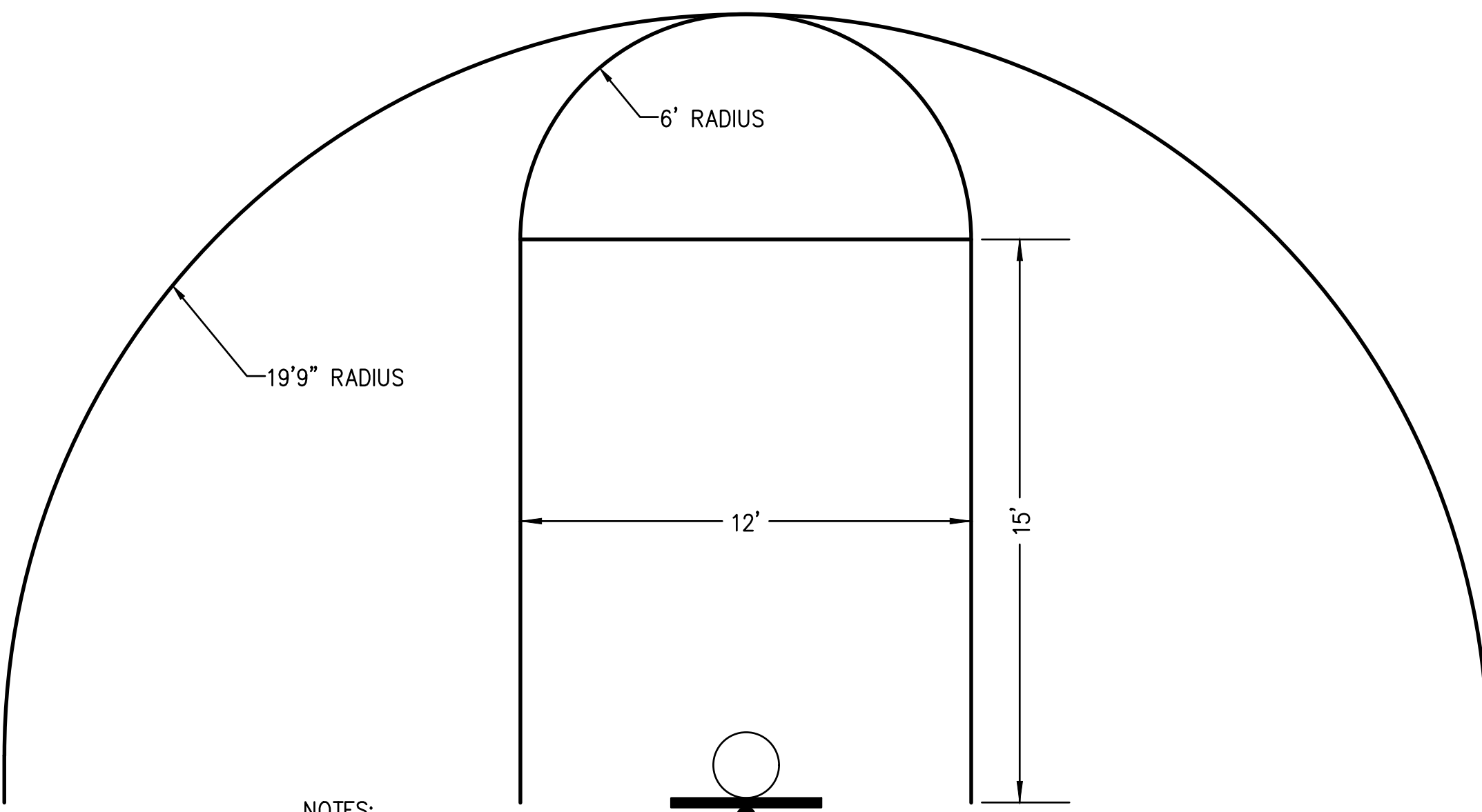
DRAWING NUMBER
C108
 CHES
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NOTES:

1. ALL KICKBALL FIELD PAVEMENT MARKING TO BE A 2"-WIDE SOLID WHITE LINE.

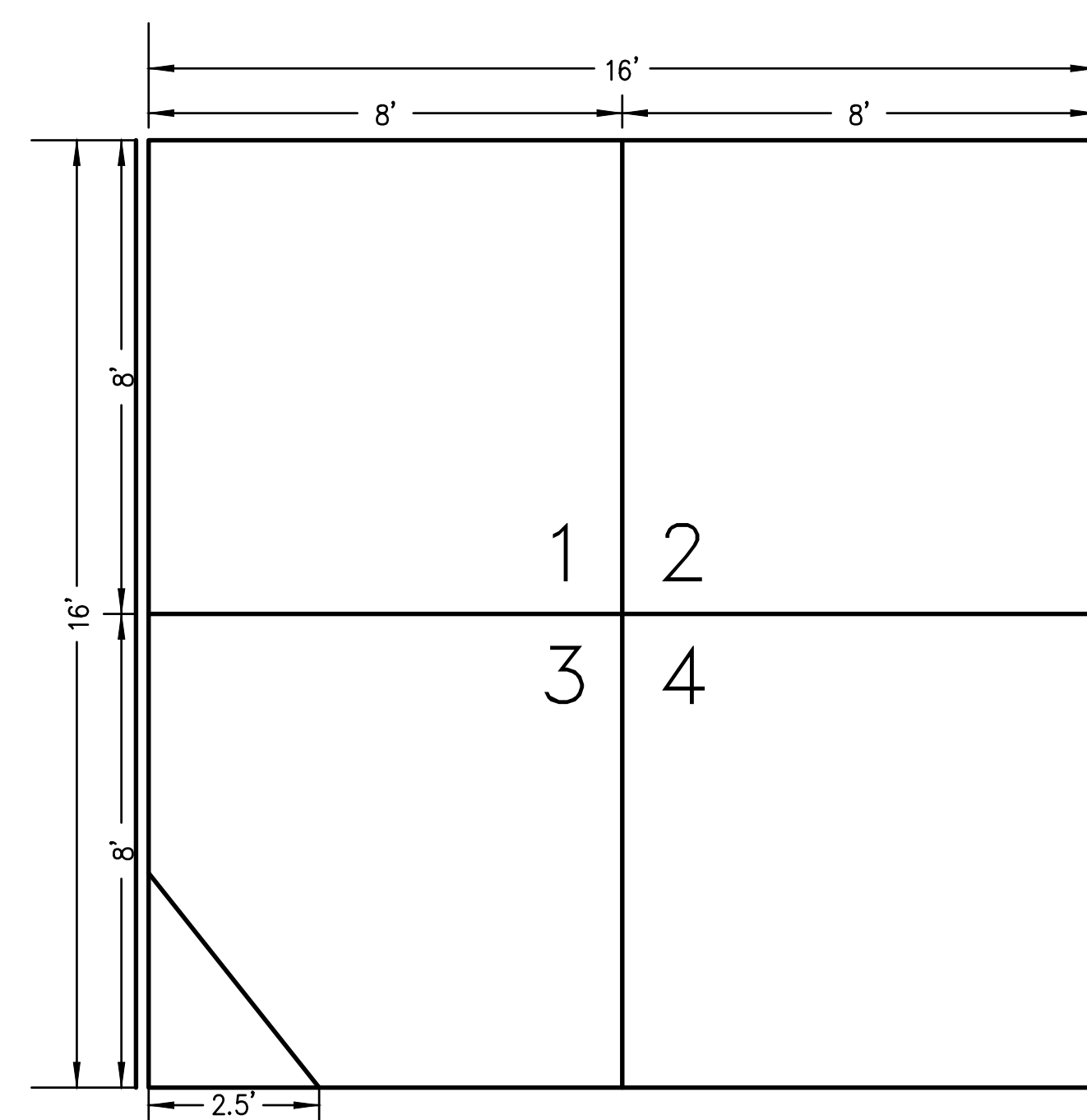
1 KICKBALL FIELD DETAIL
NOT TO SCALE



NOTES:

1. ALL BASKETBALL COURT PAVEMENT MARKING TO BE A 2"-WIDE SOLID WHITE LINE.

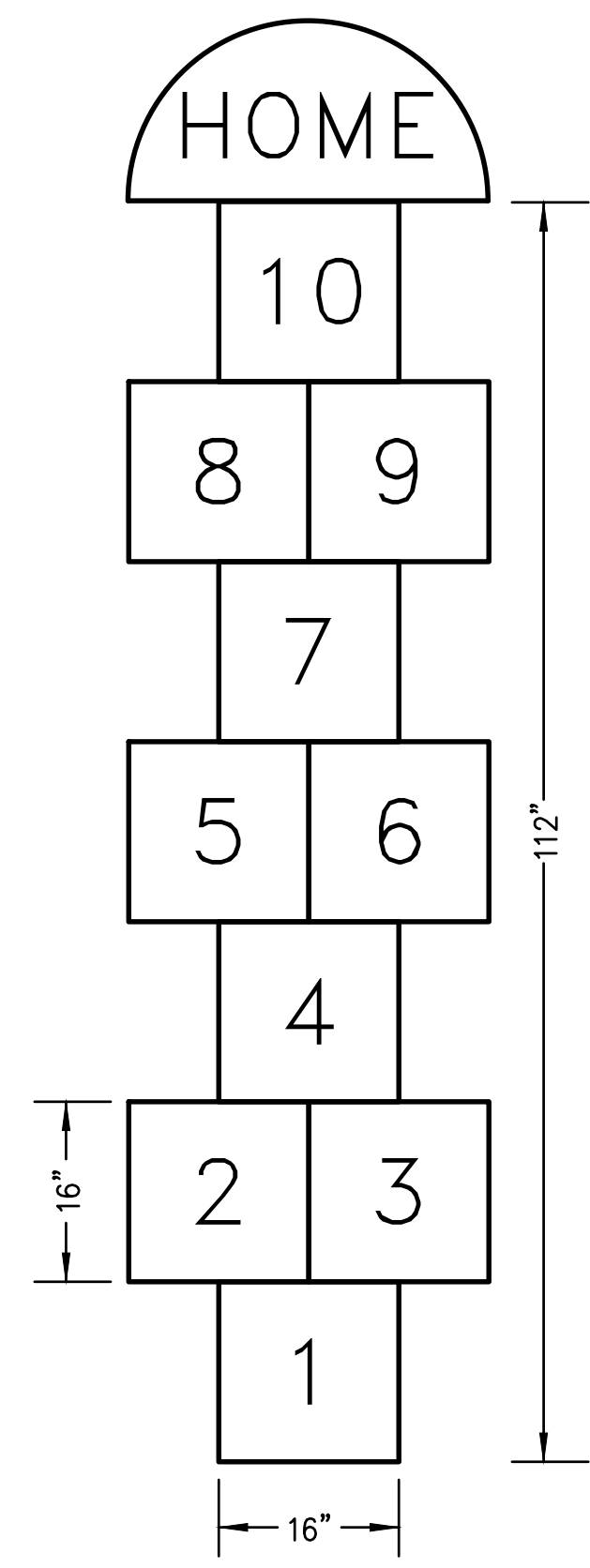
2 BASKETBALL COURT DETAIL
NOT TO SCALE



NOTES:

1. ALL FOUR SQUARE COURT PAVEMENT MARKING TO BE A 2"-WIDE SOLID WHITE LINE.

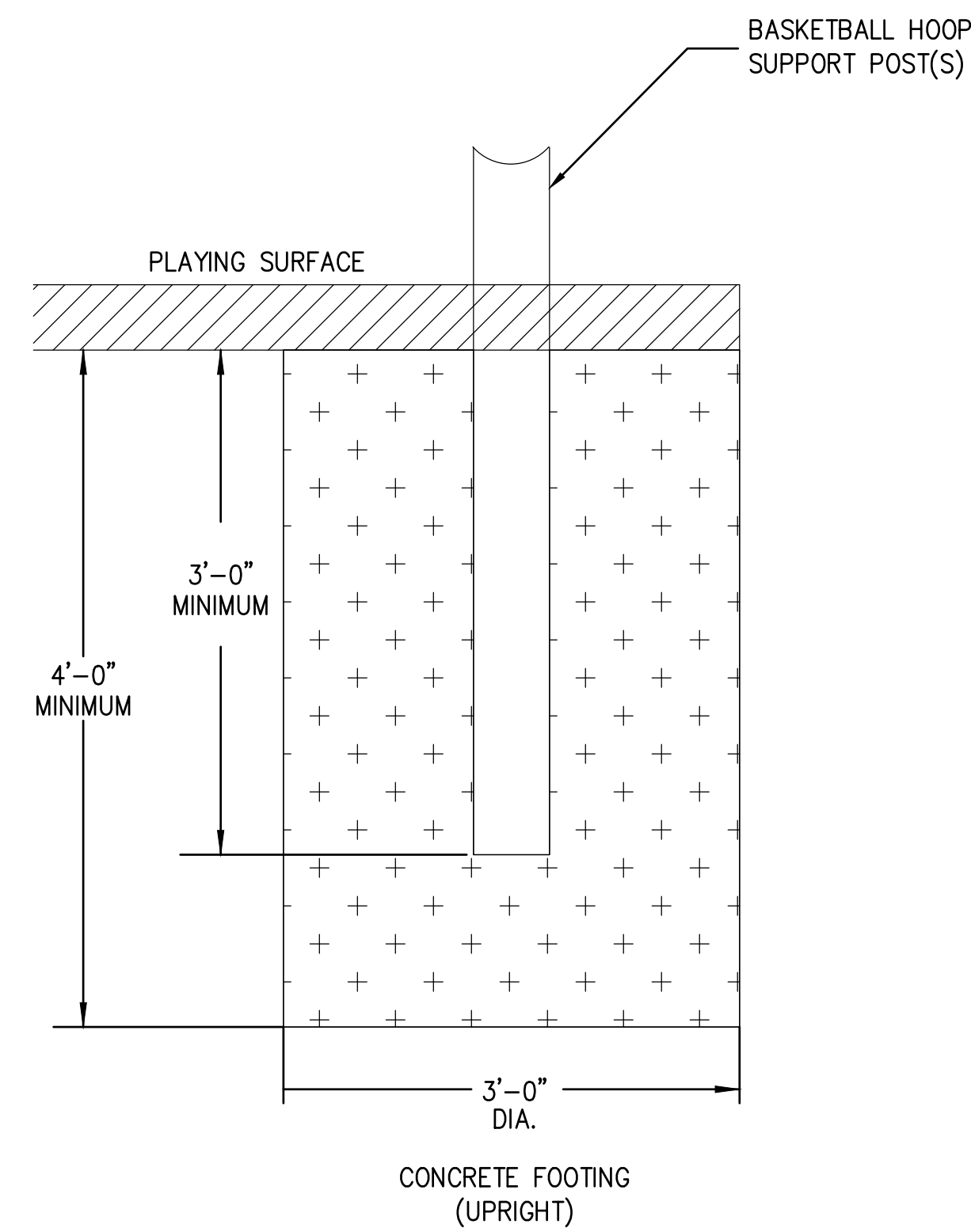
3 FOUR SQUARE COURT DETAIL
NOT TO SCALE



NOTES:

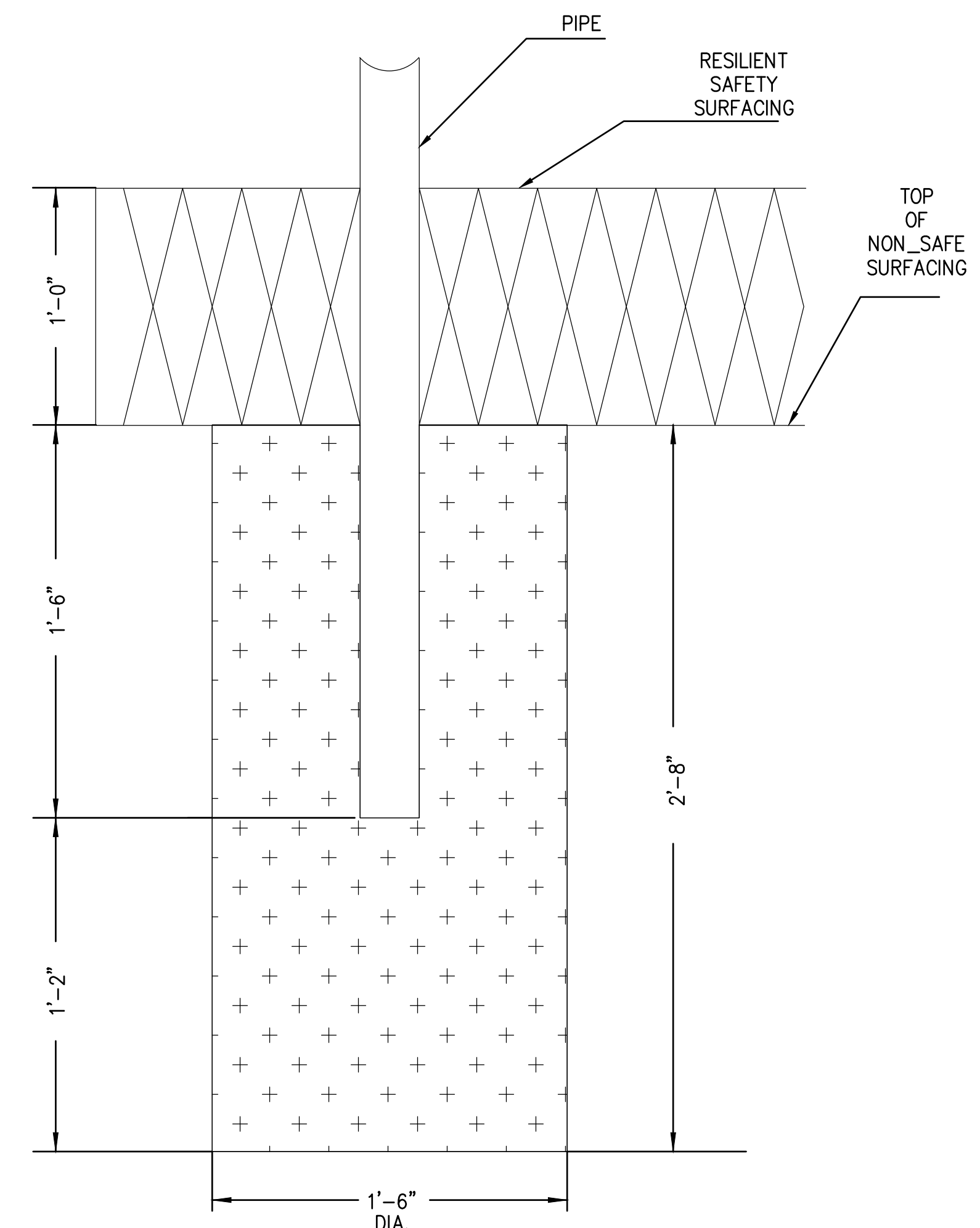
1. ALL HOPSCOTCH COURT PAVEMENT MARKING TO BE A 2"-WIDE SOLID WHITE LINE.

4 HOPSCOTCH COURT DETAIL
NOT TO SCALE



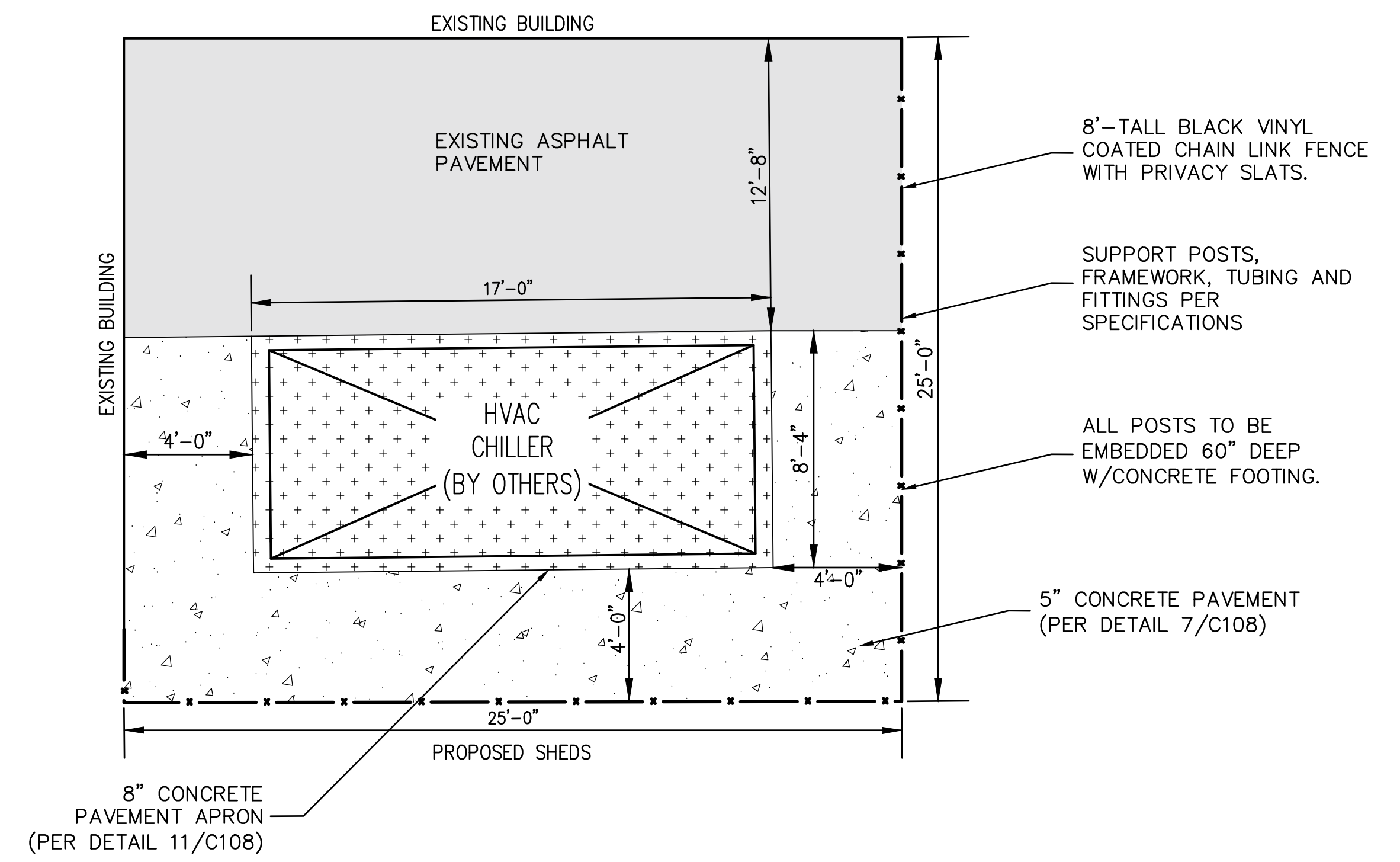
NOTE: RELOCATE EXISTING BACKBOARD AND POLE ASSEMBLY AS SHOWN ON THE PLANS WITH A RIM HEIGHT MATCHING EXISTING CONDITIONS. THE CONTRACTOR SHALL FURNISH AND INSTALL NEW FOOTINGS ACCORDING TO THE DETAIL SHOWN.

5 BASKETBALL HOOP FOOTING DETAIL
NOT TO SCALE



NOTE: RELOCATE EXISTING AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL FURNISH AND INSTALL NEW FOOTINGS ACCORDING TO THE DETAIL SHOWN.

6 RELOCATED PLAY EQUIPMENT FOOTING DETAIL
NOT TO SCALE



7 HVAC CHILLER ENCLOSURE & SLAB DETAIL
NOT TO SCALE

OAK CREEK FRANKLIN
JOINT SCHOOL DISTRICT
CEDAR HILLS ELEMENTARY SCHOOL
BUILDING ADDITIONS AND RENOVATIONS
BID PACKAGE 14
2225 W SYCAMORE AVE
OAK CREEK, WI 53154

Date	Revision Description

CITY REVIEW SET

DATE	3-31-2020	PROJECT #	W52-PM3
DRAWN BY	TRV	CHECKED BY	JJC

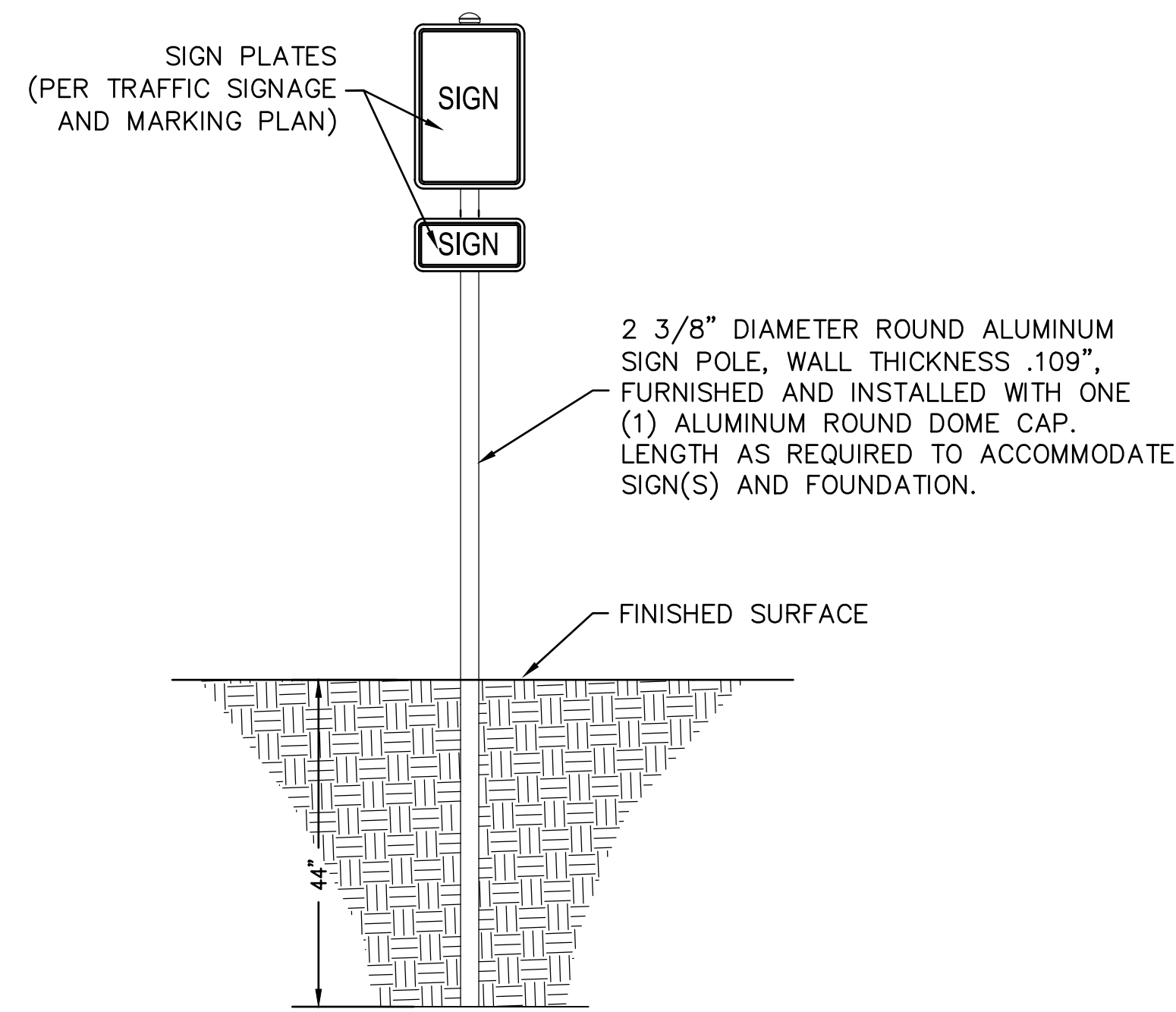
DRAWING TITLE
TYPICAL SECTIONS & CONSTRUCTION DETAILS

DRAWING NUMBER

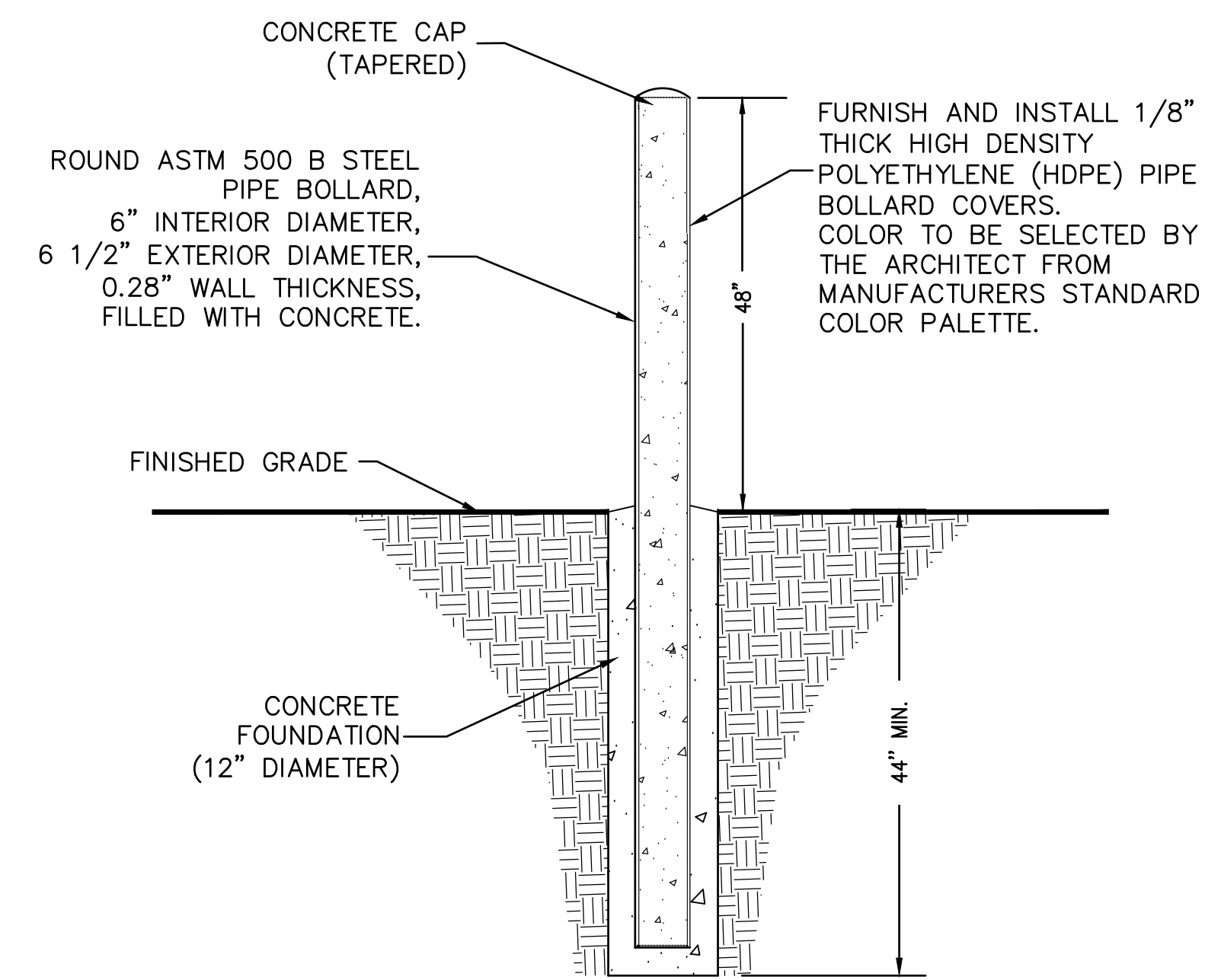
C109

CHES

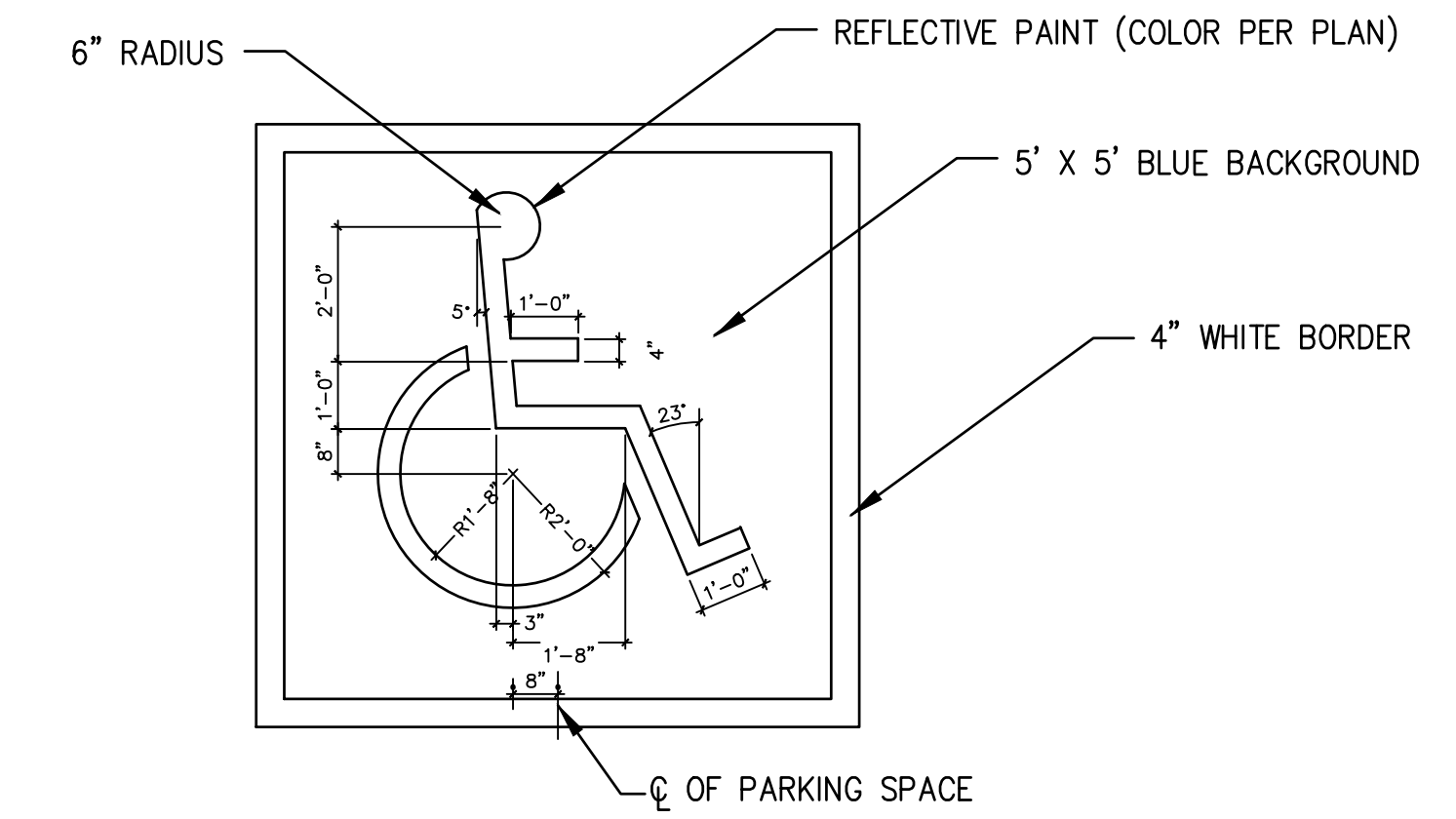
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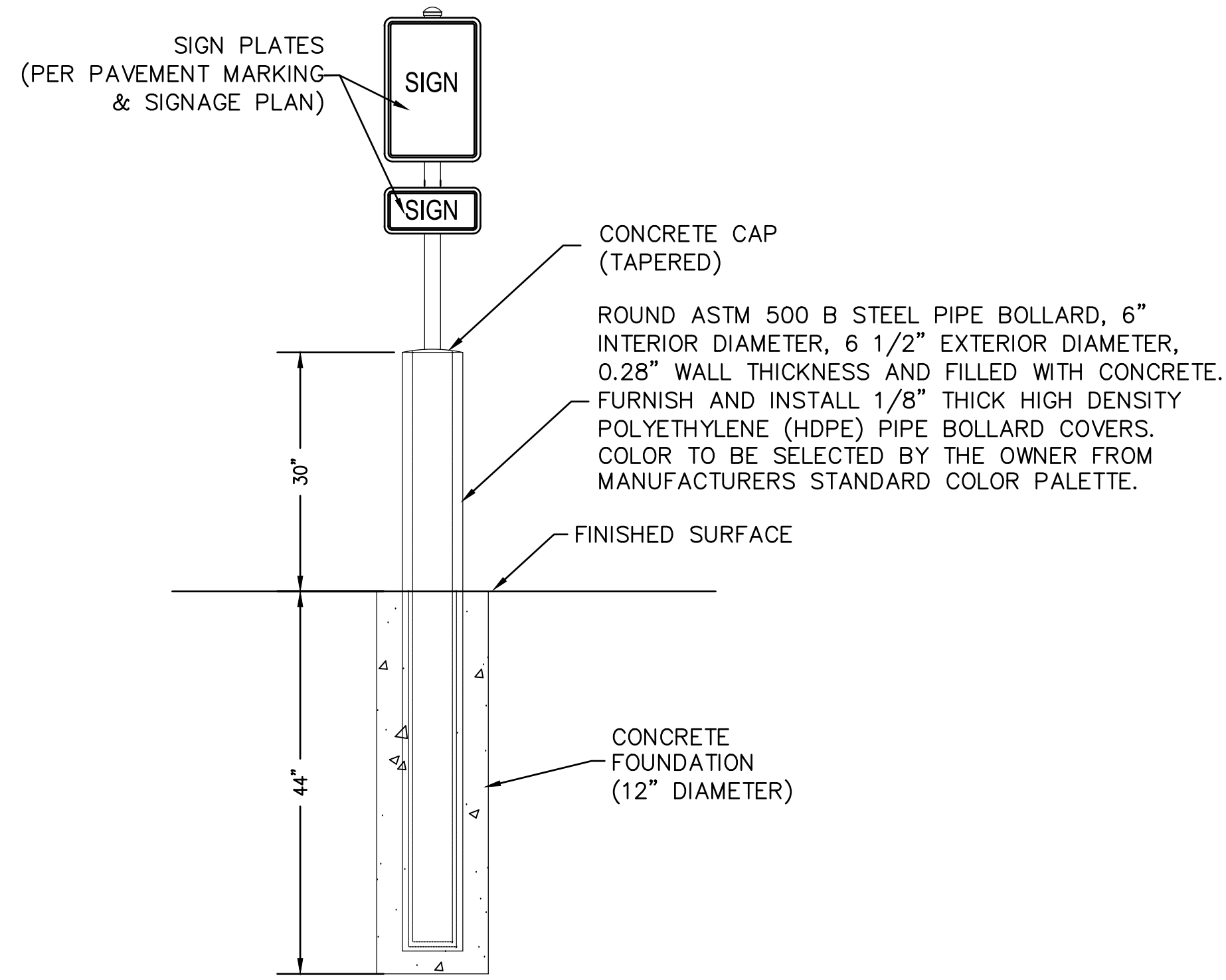
1 **GALVANIZED ROUND SIGN POST DETAIL**
NOT TO SCALE



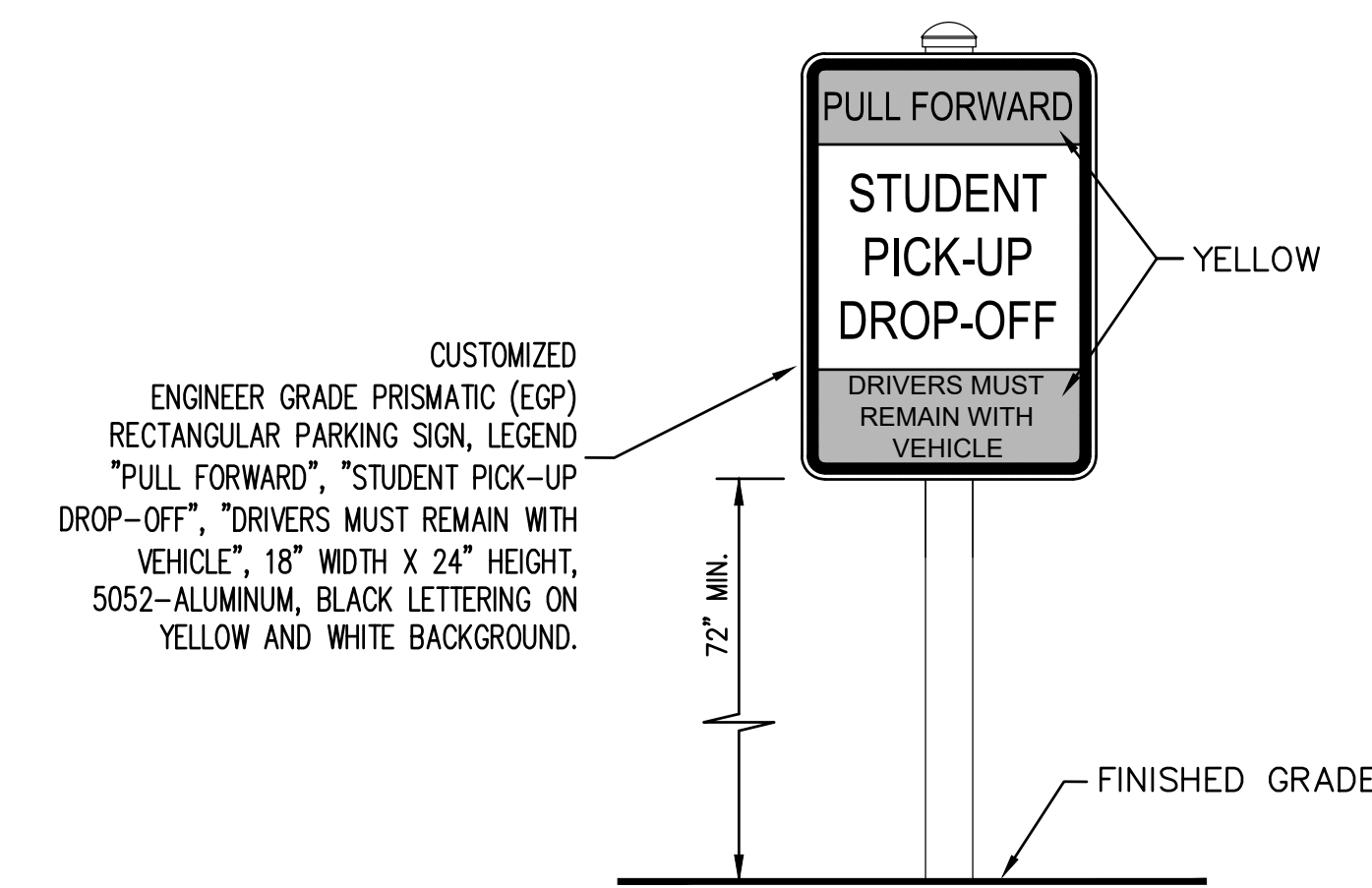
4 **6" STEEL PIPE BOLLARD DETAIL**
NOT TO SCALE



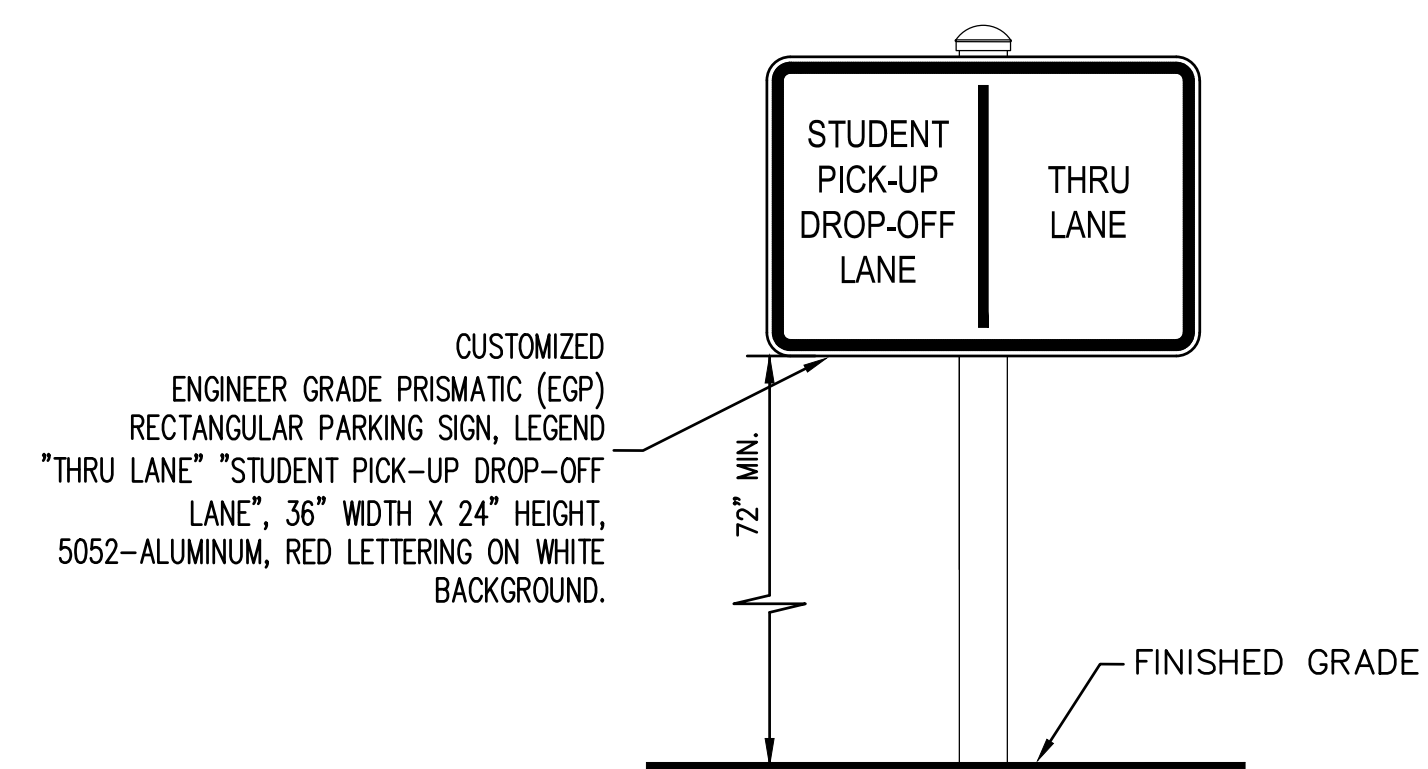
8 **PAINTED INTERNATIONAL SYMBOL FOR ACCESSIBILITY (DETAIL)**
NOT TO SCALE



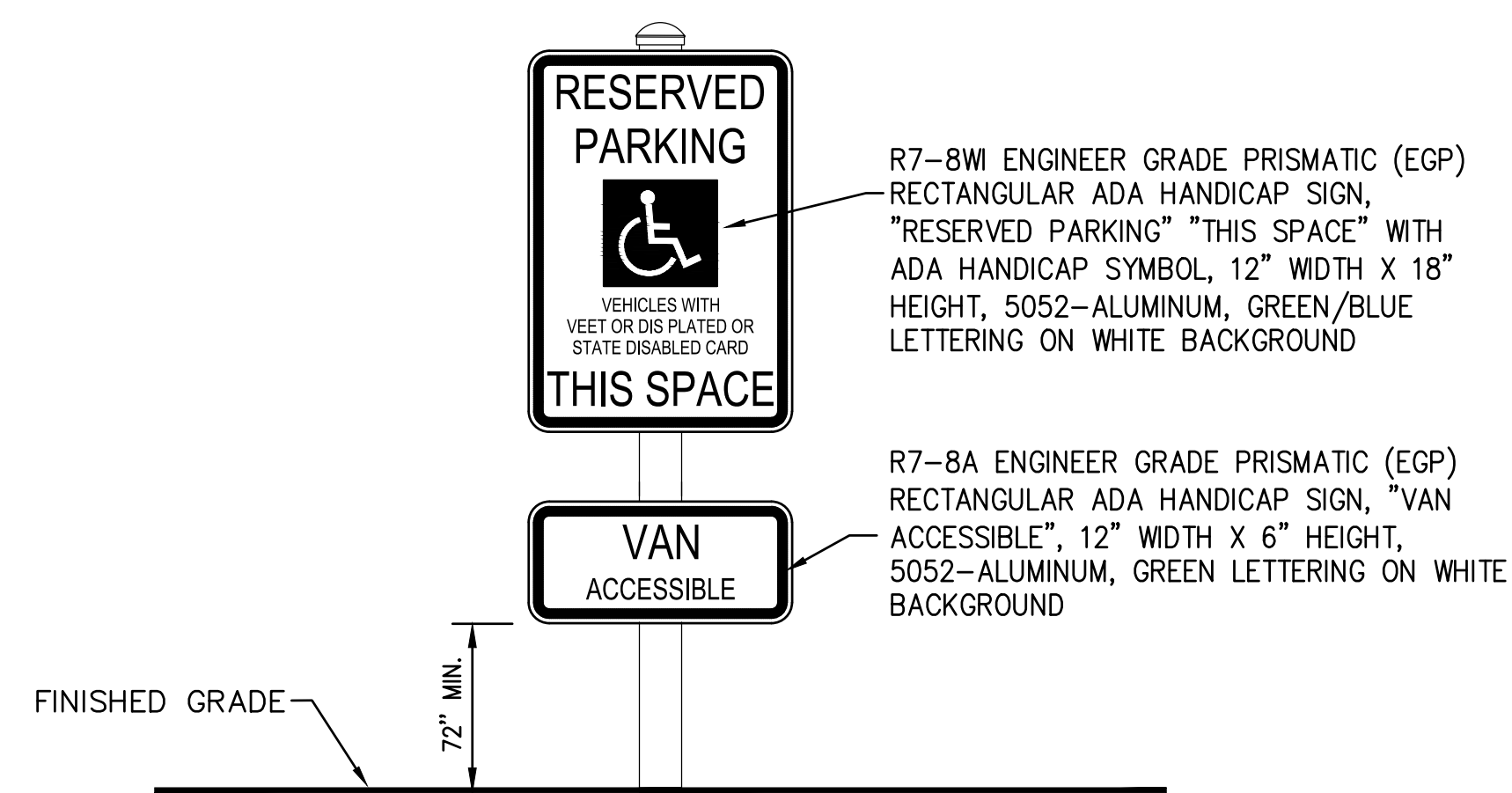
2 **6" BOLLARD SIGN POST DETAIL**
NOT TO SCALE



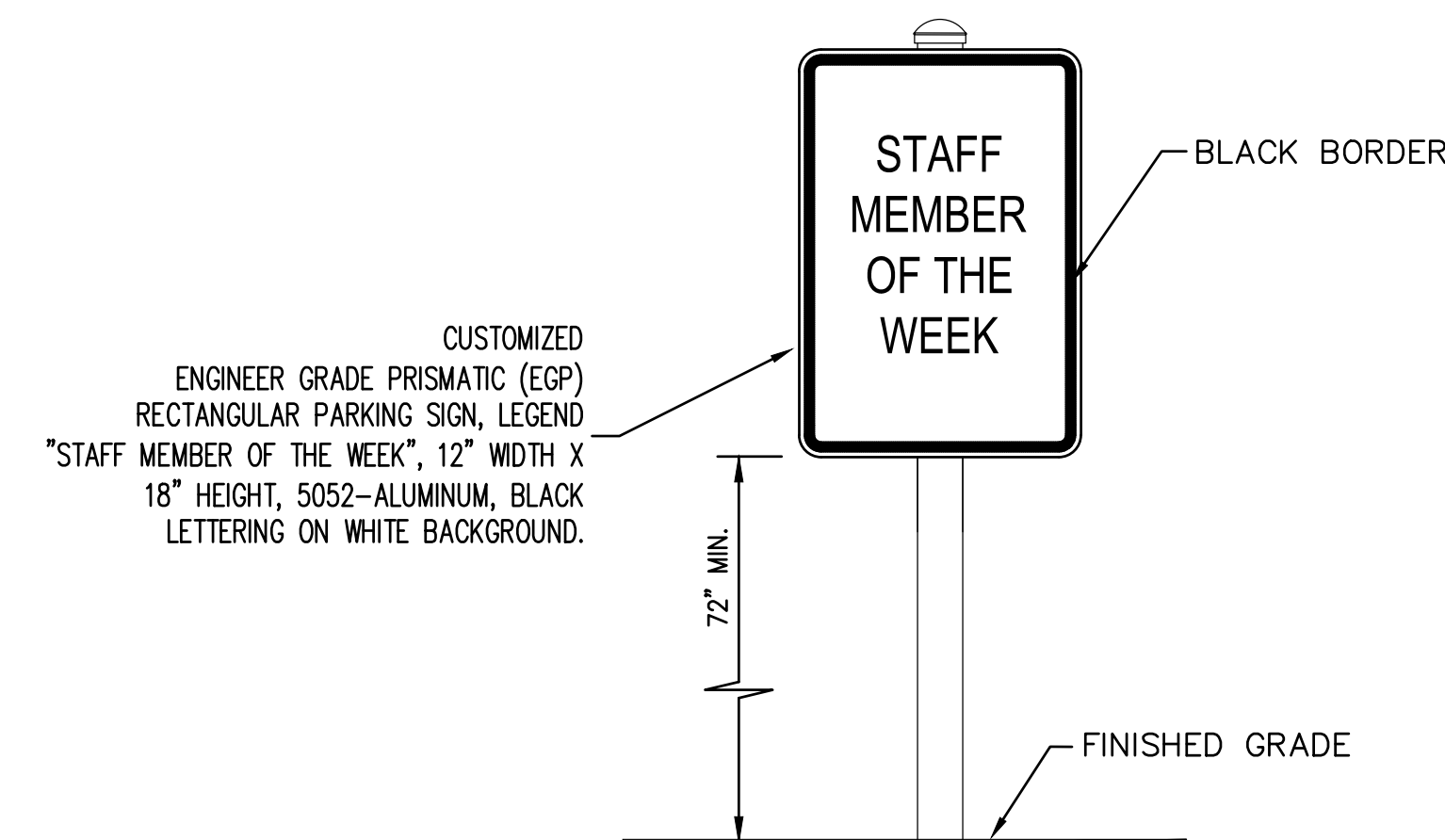
5 **"STUDENT PICK-UP / DROP-OFF" SIGN DETAIL**
NOT TO SCALE



6 **"STUDENT PICK-UP DROP-OFF LANE" SIGN DETAIL**
NOT TO SCALE



3 **"VAN ACCESSIBLE" ADA RESERVED PARKING SIGN DETAIL**
NOT TO SCALE



7 **"STAFF MEMBER OF THE WEEK" SIGN DETAIL**
NOT TO SCALE

OAK CREEK FRANKLIN
JOINT SCHOOL DISTRICT
CEDAR HILLS ELEMENTARY SCHOOL
BUILDING ADDITIONS AND RENOVATIONS

BID PACKAGE 14
2225 W SYCAMORE AVE
OAK CREEK, WI 53154

Date	Revision Description

CITY REVIEW SET

DATE	3-31-2020	PROJECT #	W52-PM3
DRAWN BY	TRV	CHECKED BY	JJC

DRAWING TITLE
TYPICAL SECTIONS & CONSTRUCTION DETAILS

DRAWING NUMBER

C110

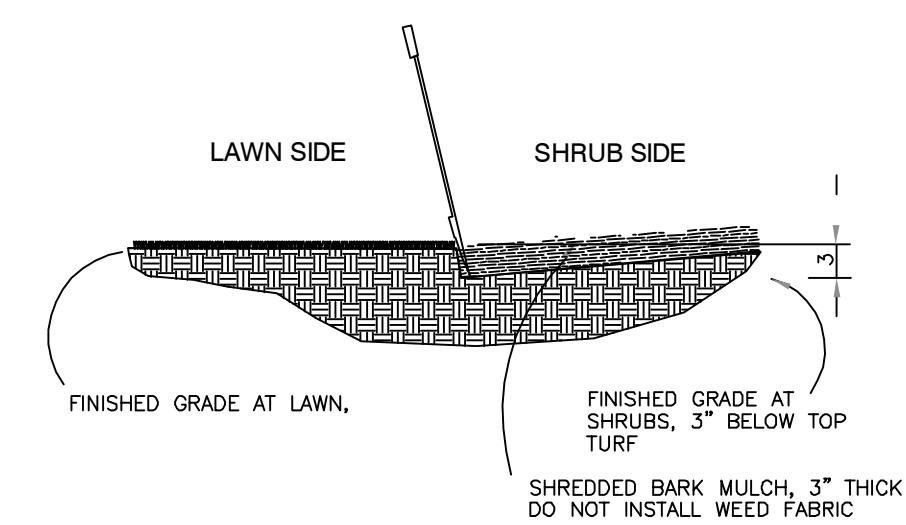
CHES

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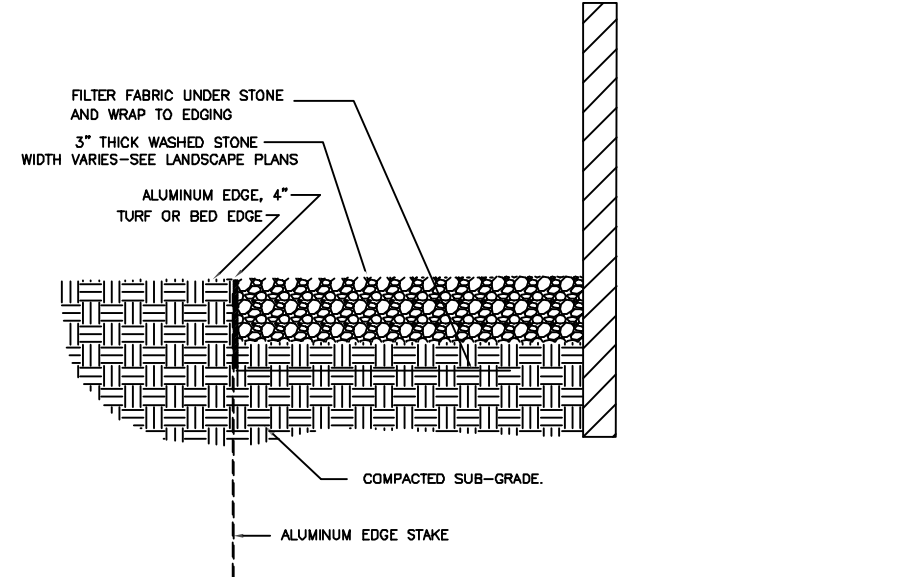
GENERAL LANDSCAPE NOTES:

- Topsoil return to depth of 4" minimum is by excavating contractor. Perms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.
- Always contact Diggers Hotline (800-242-8511) or JULIE @ (or 1-800-892-0123) before proceeding with any work.
- Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.
- Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs. Landscape contractor is to verify plant quantities due to changes in the overall phase I landscape plan.
- Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by city forester.
- Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3" diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1/2" layer of shredded bark mulch.
- Spade cut plant beds and tree rings with a 4" deep shovel cut.
- Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.
- Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.
- Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3% grade. Peat sod is not acceptable.
- Erosion blanket shall be installed on seeded slopes with a grade of 3% or less. 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. Only USE BIODEGRADABLE STAPLES. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.
- Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.
- If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment.
- Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.

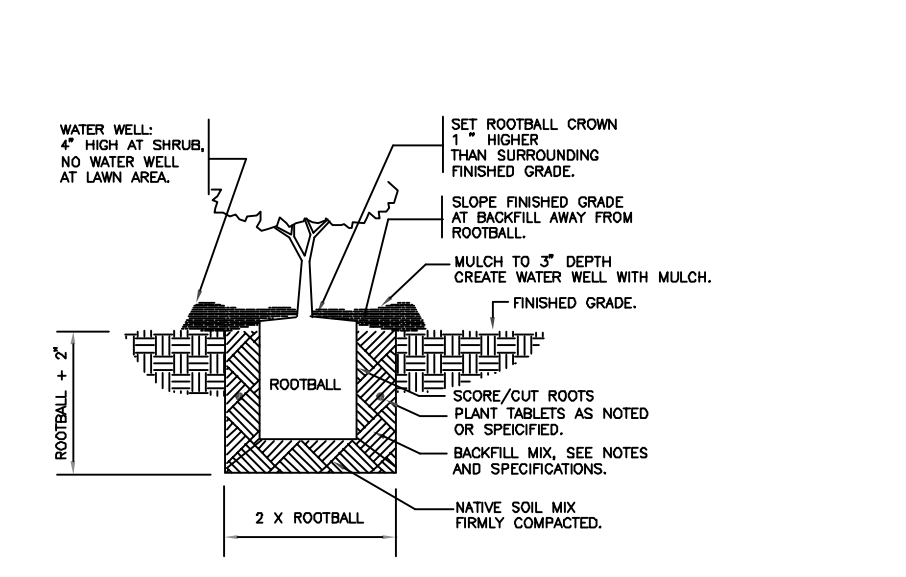
NOTE: PLANT SCHEDULES ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. VERIFY ALL QUANTITIES BEFORE SUBMITTING A PROPOSAL TO THE GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR MUST REVIEW CIVIL PLANS BEFORE STARTING WORK.



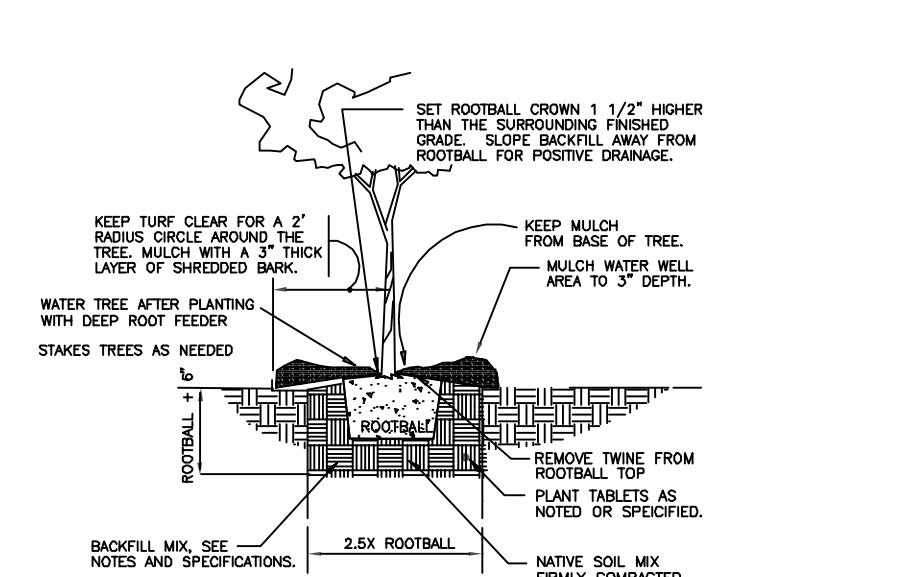
201 SHOVEL CUT BED EDGE
1" = 1'-0"



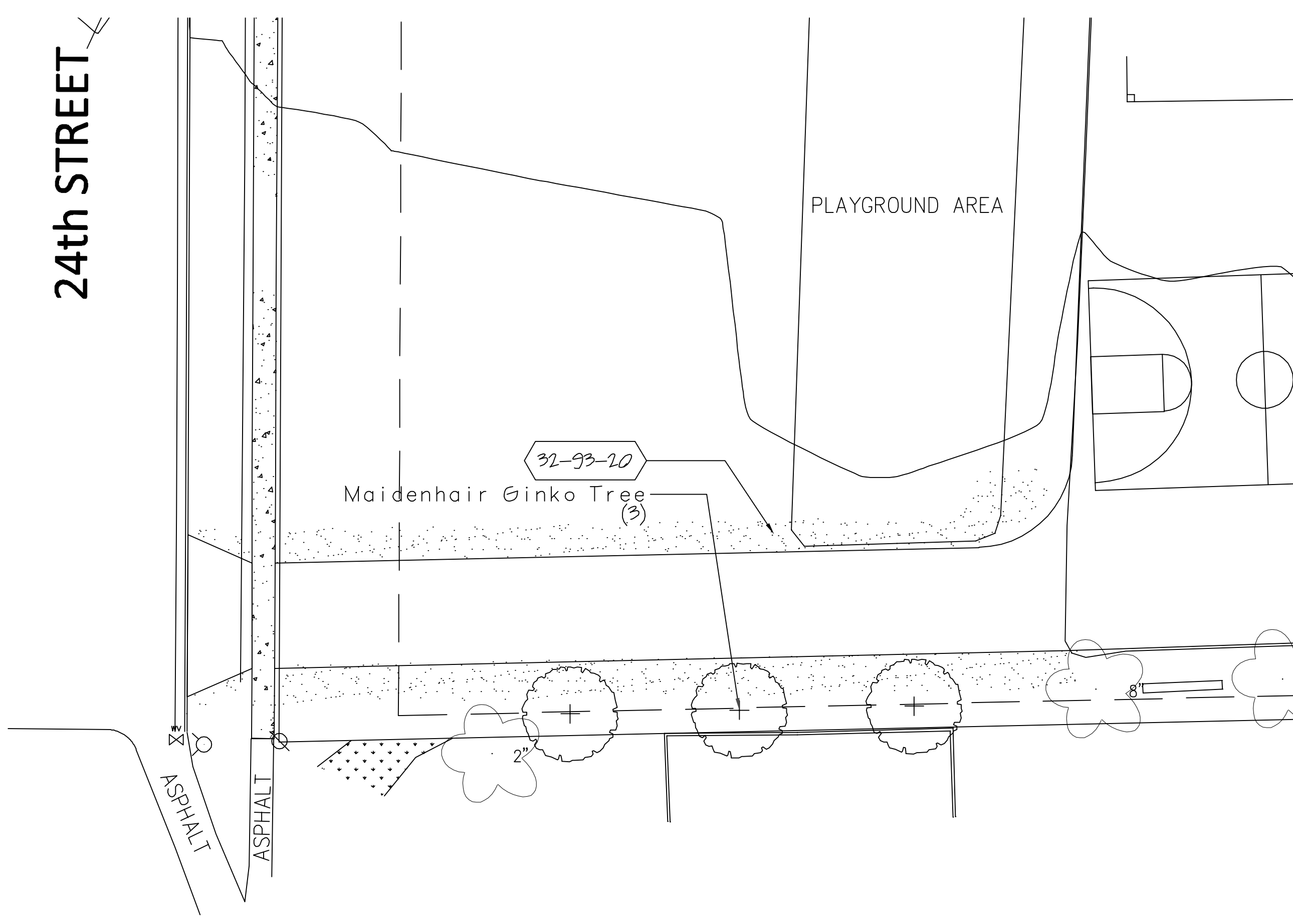
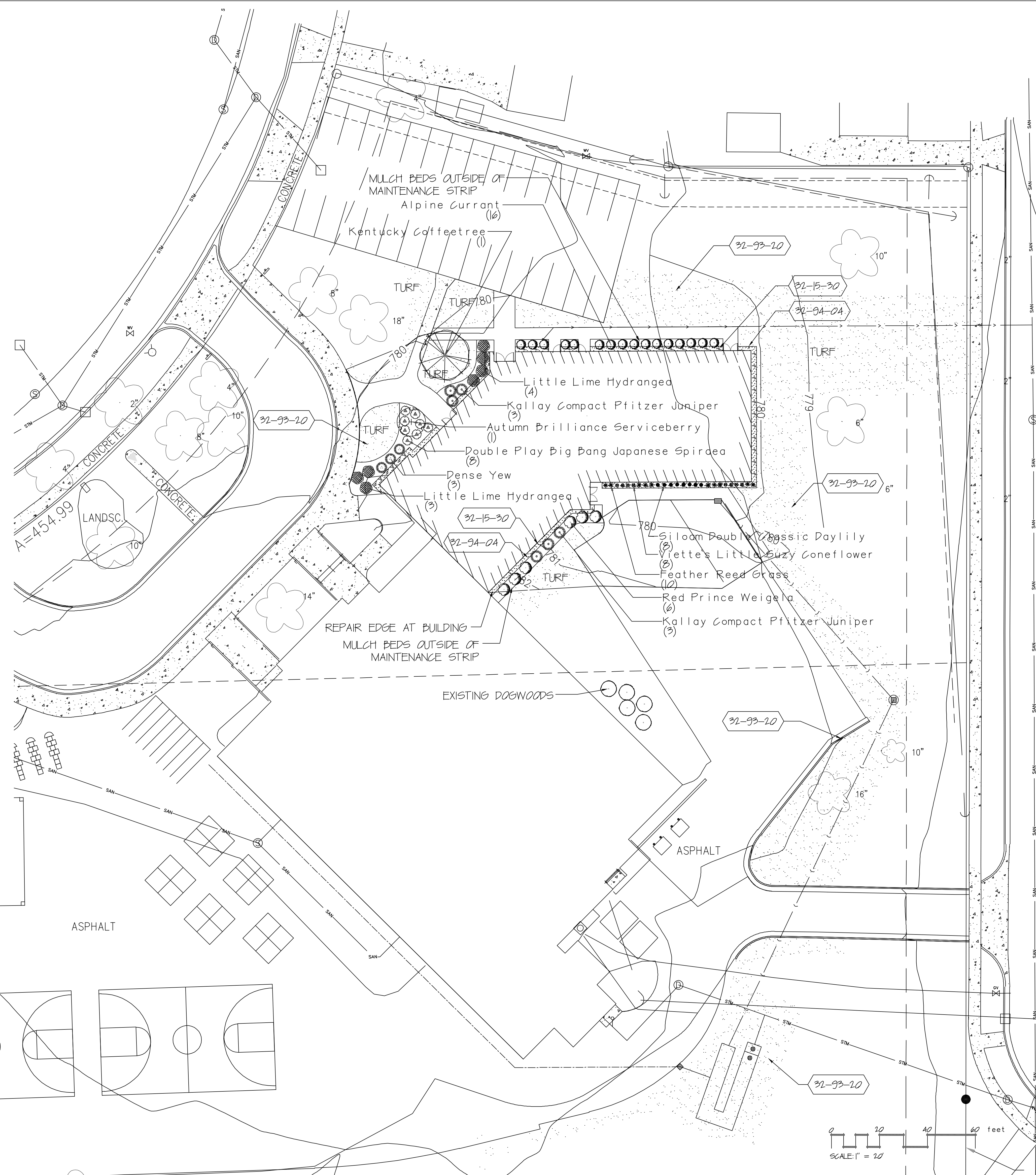
202 MAINTENANCE OR RODENT STRIP
1" = 1'-0"



100 TREE PLANTING DETAIL
1" = 1'-0"



103 SHRUB PLANTING
1" = 1'-0"



PLANT SCHEDULE SITE LANDSCAPE

TREES	COMMON NAME	SIZE	CONTAINER	QTY	MATURE HEIGHT
Ameiarchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6"	P&B	1	25' X 15'
Ginkgo biloba 'Autumn Gold' TM	Maidenhair Ginkgo Tree	2.5" Gal.	P&B	3	50' X 20'
Gymnocladus dioica 'Espresso'	Kentucky Coffeetree	2.5" Gal.	P&B	1	50' X 20'
SHRUBS	COMMON NAME	SIZE	CONTAINER	QTY	MATURE HEIGHT
Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	3" gal	P&B	7	6' X 3'
Ribes alpinum	Alpine Currant	3" gal	P&B	16	5' X 3'
Spiraea japonica 'Tracy'	Double Play Big Bang Japanese Spiraea	3" gal	P&B	3	5' X 3'
Weigela florida 'Red Prince'	Red Prince Weigela	3" gal	P&B	6	5' X 3'
ANNUALS/PERENNIALS	COMMON NAME	SIZE	CONTAINER	QTY	MATURE HEIGHT
Hemerocallis x 'Siloam Double Classic' TM	Siloam Double Classic Daylily	1" gal	P&B	8	24"
Rudbeckia fulgida speciosa 'Viettes Little Suzy'	Viettes Little Suzy Coneflower	1" gal	P&B	8	30"
GRASSES	COMMON NAME	SIZE	CONTAINER	QTY	MATURE HEIGHT
Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1" gal	P&B	10	5'
SHRUB EVERGREENS	COMMON NAME	SIZE	CONTAINER	QTY	MATURE HEIGHT
Juniperus chinensis 'Kallays Compact'	Kallay Compact Pfitzer Juniper	5" gal	P&B	6	6' X 5'
Taxus x media 'Densiformis'	Dense Yew	24"	P&B	3	5' X 30'

REFERENCE NOTES SCHEDULE SITE LANDSCAPE

SYMBOL	AGGREGATE SURFACE DESCRIPTION	QTY
32-15-30	WASHED STONE, 4" DEPTH OVER FILTER/WEED FABRIC	691 sf
SYMBOL	PLANTING DESCRIPTION	QTY
32-93-10	TURF-SEED AND DN EROSION BLANKET	18,790 sf
SYMBOL	PLANTING ACCESSORIES DESCRIPTION	QTY
32-94-04	EDGE, ALUMINUM EDGING, 1/2" LENGTH NON PAINTED	288 lf
32-95-01	EDGE, SHOVEL CUT BED EDGE, 4" DEPTH-SEE DETAIL	131 lf
	SHREPPED BARK MULCH	VERIFY
	PULVERIZED TOPSOIL	VERIFY

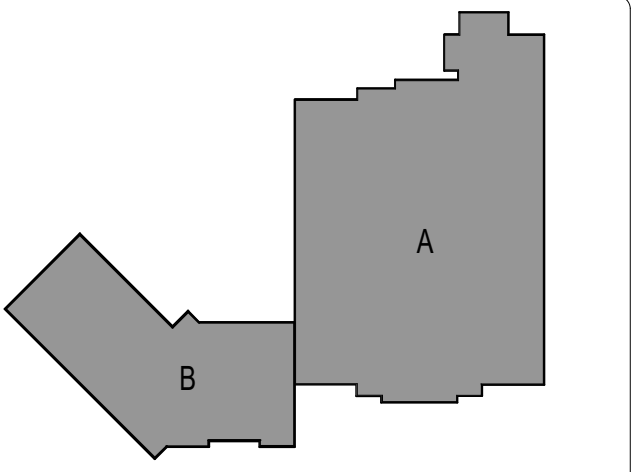
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www.DiggersHotline.com
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4111 Taft Road
Kenosha, WI 53142
tom@ni-llc.com

mb
Nielsen Madsen + Barber
CIVIL ENGINEERS AND LAND SURVEYORS
1458 Horizon Blvd, Suite 200, Racine, WI 53406
Tele: (262)634-5588 Website: www.nmbc.net

OAK CREEK FRANKLIN JOINT SCHOOL DISTRICT
CEDAR HILLS ELEMENTARY SCHOOL
BUILDING ADDITIONS AND RENOVATIONS
BID PACKAGE #
2225 W. SYCAMORE AVE.
OAK CREEK, WI 53154

Date	Revision Description

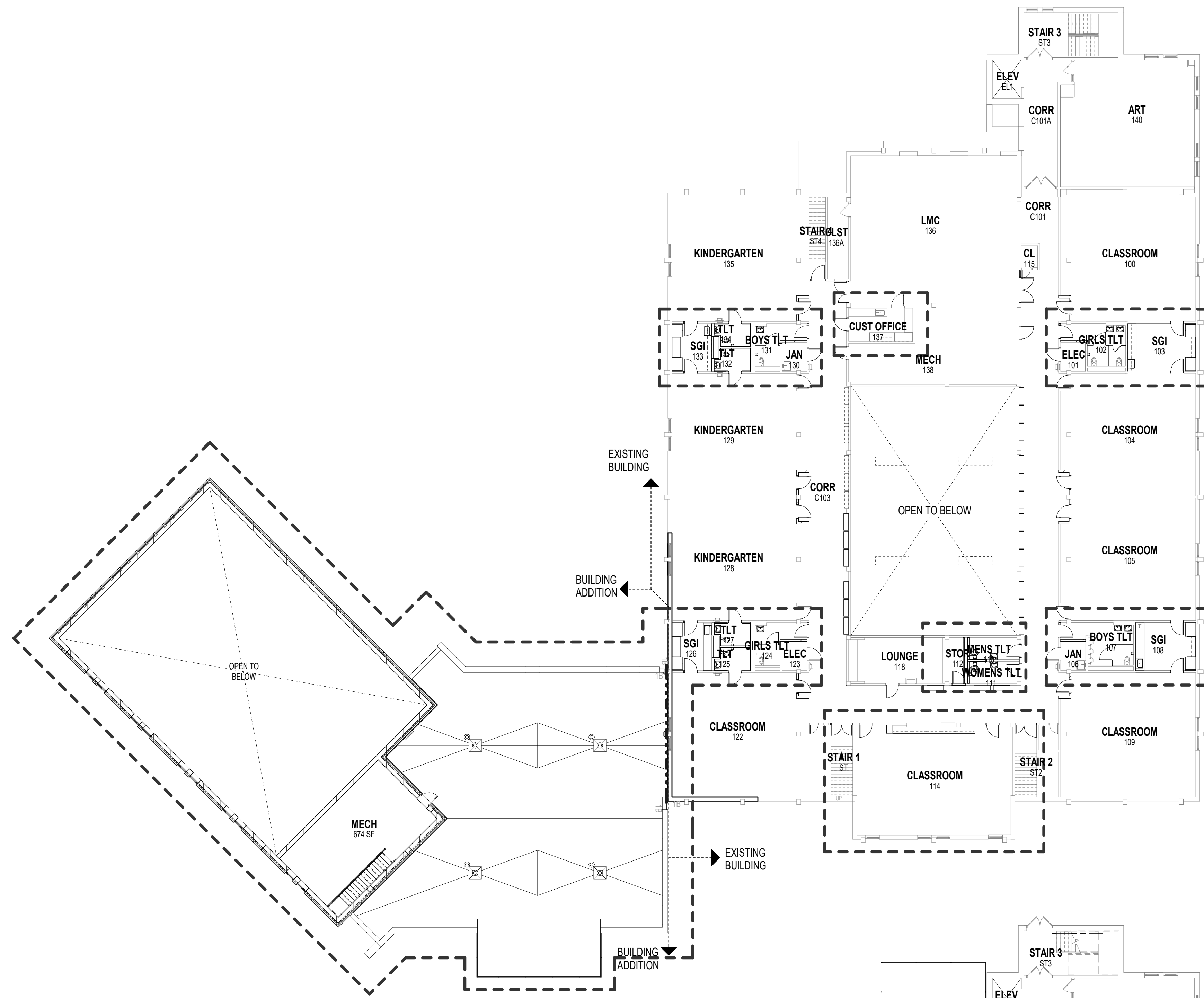
CITY REVIEW SET
DATE: 03-31-2020 PROJECT #: WS2-PM3
DRAWN BY: THN CHECKED BY: THN
DRAWING TITLE: LANDSCAPING PLAN
DRAWING NUMBER: L100
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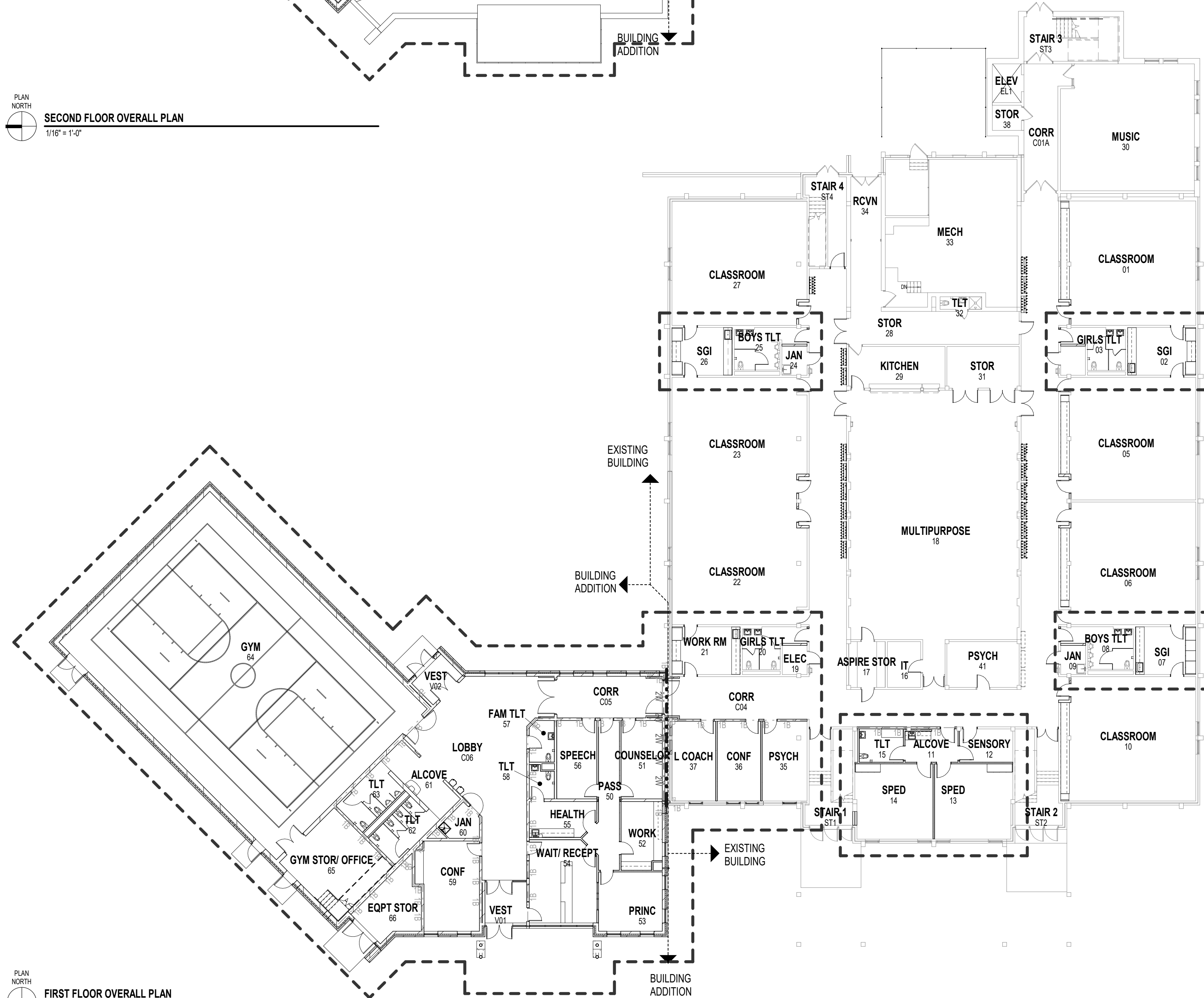
KEY PLAN

OAK CREEK - FRANKLIN
JOINT SCHOOL DISTRICT
CEDAR HILLS ELEMENTARY SCHOOL
BUILDING ADDITIONS AND RENOVATIONS

2225 W SYCAMORE AVE
OAK CREEK, WI 53154



TRUE NORTH PLAN NORTH
SECOND FLOOR OVERALL PLAN
1/16" = 1'-0"



TRUE NORTH PLAN NORTH
FIRST FLOOR OVERALL PLAN
1/16" = 1'-0"

Date	Revision Description

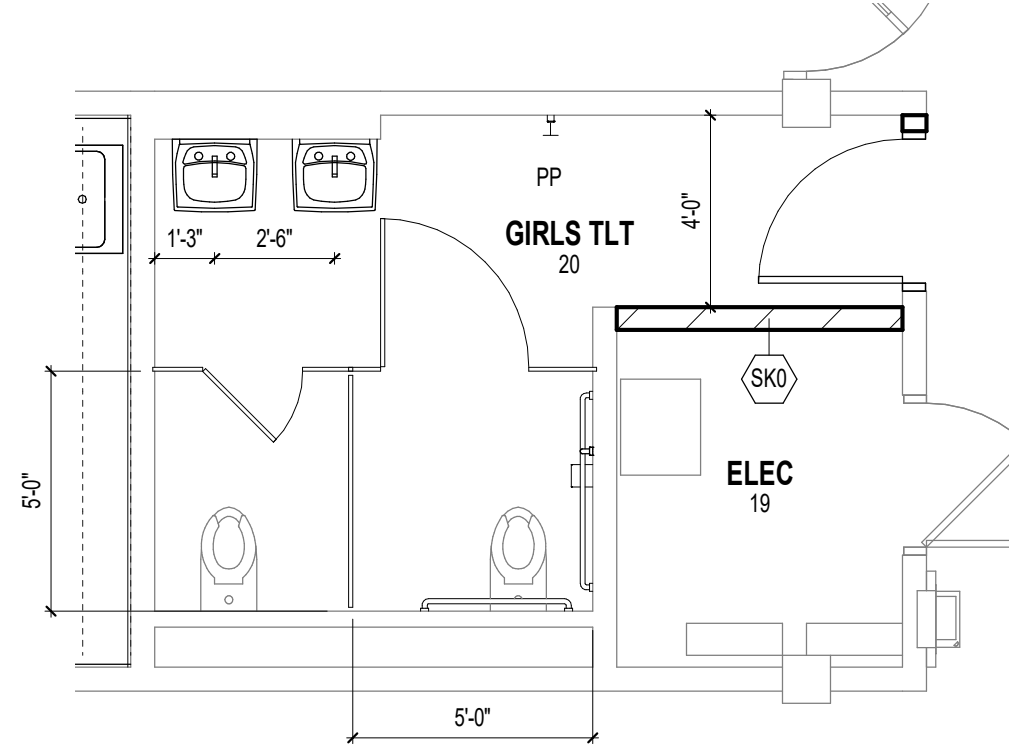
PROGRESS DRAWINGS

DATE	03-26-2020	PROJECT #	W52-PM3
DRAWN BY	PRA	CHECKED BY	PRA

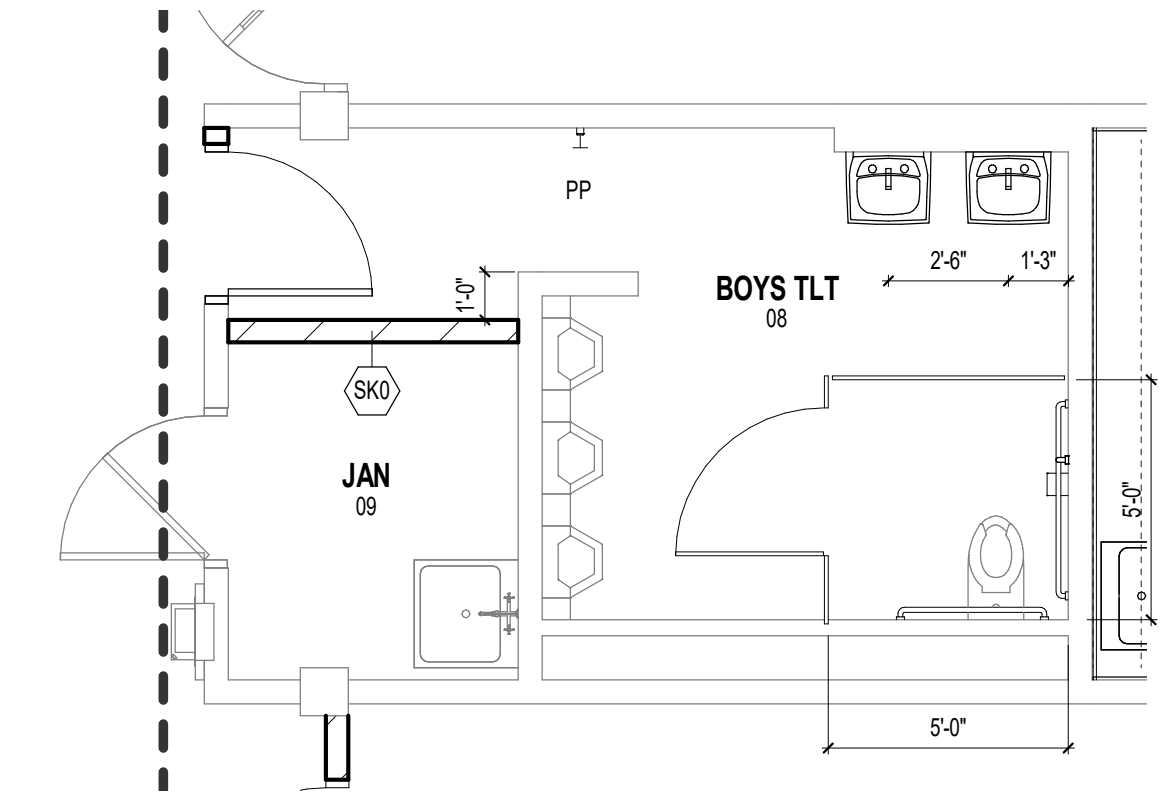
DRAWING TITLE
OVERALL FLOOR PLANS

DRAWING NUMBER
A200
CHES
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NOT FOR CONSTRUCTION



B1 GIRLS TLT - TYP
1/4" = 1'-0"



C1 BOYS TLT - TYP
1/4" = 1'-0"

FLOOR PLAN SYMBOLS LEGEND

	EXISTING WALLS TO REMAIN		NEW WALL/PARTITION
	EXISTING DOOR TO REMAIN		NEW DOOR
	SECTION REFERENCE		EXISTING DOOR RECEIVING NEW WORK - REFER TO DOOR SCHEDULE
	EXTERIOR ELEVATION		DETAIL REFERENCE
	INTERIOR ELEVATION		EQUIPMENT
	FLOOR PLAN NOTE		WINDOW TYPE
	CONSTRUCTION LIMITS		WALL/PARTITION TYPE
	1B 1B ONE HOUR RATED FIRE BARRIER		FLOOR DRAIN - PITCH FLOOR TO DRAIN
	2W 2W TWO HOUR RATED FIRE WALL		FESR SEMI-RECESSED FIRE EXTINGUISHER

FLOOR PLAN GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).
 B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.
 C. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.
 D. CONTRACTOR TO VERIFY FLOOR TO FLOOR HEIGHTS.

FLOOR PLAN NOTES

NOTE #	FLOOR PLAN NOTE
200	ACCESSIBLE COMPARTMENT AROUND EXISTING TOILET. PROVIDE GRAB BARS AND TOILET TISSUE DISPENSER PER ADD MOUNTING HEIGHTS.
201	PROVIDE HANDRAILS AND GUARDRAILS IN STAIR. SEE A710 FOR DETAILS.
203	DISPLAY BY OWNER. VERIFY LOCATION WITH OWNER. SEE DETAIL C24811 FOR BLOCKING LOCATION AT STUD WALLS.
204	NEW CHILLER SCREEN - 8'-0" TALL BLACK VINYL COATED CHAIN LINK FENCE.

EXTERIOR WALL TYPE SCHEDULE

MARK	ASSEMBLY DESCRIPTION
SA1	MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK, 1-3/4" AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 8" CONCRETE MASONRY UNIT BACK-UP WALL WITH ADJUSTABLE (TWO-PIECE) HORIZONTAL MASONRY JOINT REINFORCING @ 16" OC. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING. PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPERS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPERS/VENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL B34903.
SA2	MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK, 1-3/4" AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 12" CONCRETE MASONRY UNIT BACK-UP WALL WITH ADJUSTABLE (TWO-PIECE) HORIZONTAL MASONRY JOINT REINFORCING @ 16" OC. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING. PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPERS/VENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPERS/VENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL B34903.
SA1.1	METAL PANEL WALL SYSTEM CONSISTING OF 1" INTEGRAL REVEAL METAL PANEL ON 78" HAT CHANNEL ON 3" RIGID INSULATION ON SPRAY APPLIED AIR/VAPOR BARRIER SYSTEM ON 8" CONCRETE MASONRY UNIT BACK-UP WALL. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING. PROVIDE MASONRY EXPANSION AND CONTROL JOINTS AS REQUIRED.
SA1.2	METAL PANEL WALL SYSTEM CONSISTING OF 1" INTEGRAL REVEAL METAL PANEL ON 78" HAT CHANNEL ON 3" RIGID INSULATION ON SPRAY APPLIED AIR/VAPOR BARRIER SYSTEM ON 12" CONCRETE MASONRY UNIT BACK-UP WALL. REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING. PROVIDE MASONRY EXPANSION AND CONTROL JOINTS AS REQUIRED.

INTERIOR PARTITION SCHEDULE

MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION	STC
B60	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	3-1/2" SOUND	-
BLD	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE.	-	-	FULL WIDTH SOUND	-
GC0	7/8" STEEL FLOORING CHANNELS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	-	-	-	-
G60	1-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	-	-	-	-
G60	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	-	-	FULL WIDTH SOUND	-
H60	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD.	-	-	FULL WIDTH SOUND	-
SG0	4" CONCRETE BLOCK.	-	-	-	-
SK0	8" CONCRETE BLOCK.	-	-	-	-
SK1	8" CONCRETE BLOCK.	1HR	-	-	-
SN0	8" CONCRETE BLOCK.	-	-	-	-
SN1	8" CONCRETE BLOCK.	-	-	1HR	-
SN2	8" CONCRETE BLOCK.	-	-	2HR	-
SS0	12" CONCRETE BLOCK.	-	-	-	-
SS1	12" CONCRETE BLOCK.	-	-	1HR	-
1A0	ONE LAYER DIRECT BONDED 5/8" GYPSUM BOARD.	-	-	-	-

GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (B60) UNLESS OTHERWISE NOTED ON FLOOR PLAN.
 B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).
 C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.
 D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.
 E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.
 F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF STEEL DECK ABOVE. AT METAL DECK CONSTRUCTION ABOVE PROVIDE JOINT BETWEEN TOP OF PARTITION AND UNDERSIDE OF METAL DECK / STRUCTURAL STEEL MEMBER ABOVE. REFER TO DETAIL.

MASONRY PARTITIONS GENERAL NOTES

A. MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

B. ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.
 C. PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.
 D. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.
 E. EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF STEEL DECK ABOVE (OR PRECAST PLANK ABOVE IF APPLICABLE). REFER TO DETAIL. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 16" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

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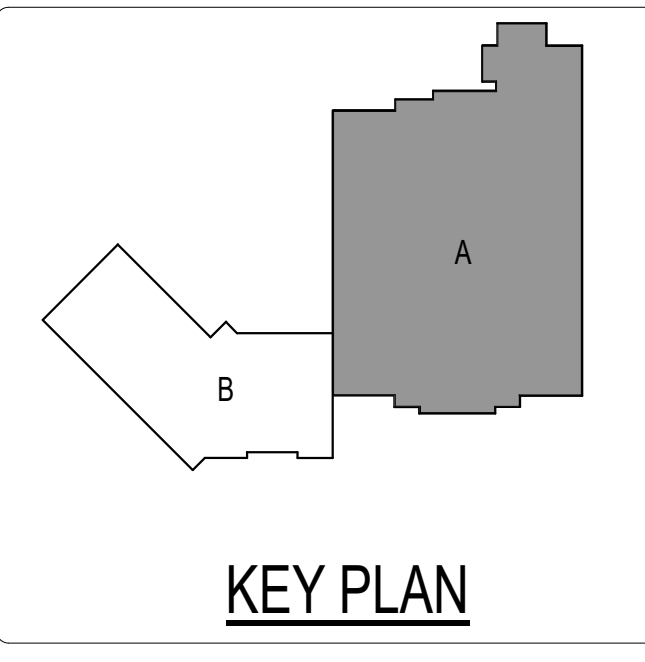
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**OAK CREEK - FRANKLIN JOINT SCHOOL DISTRICT
CEDAR HILLS ELEMENTARY SCHOOL
BUILDING ADDITIONS AND RENOVATIONS**

2225 W SYCAMORE AVE
OAK CREEK, WI 53154

Date	Revision Description

PROGRESS DRAWINGS

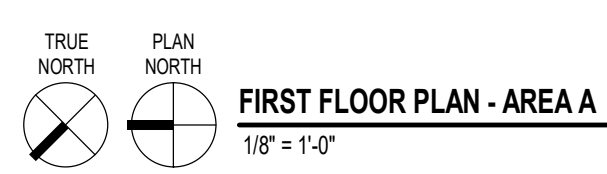
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DRAWN BY	PRA	CHECKED BY	PRA

DRAWING TITLE

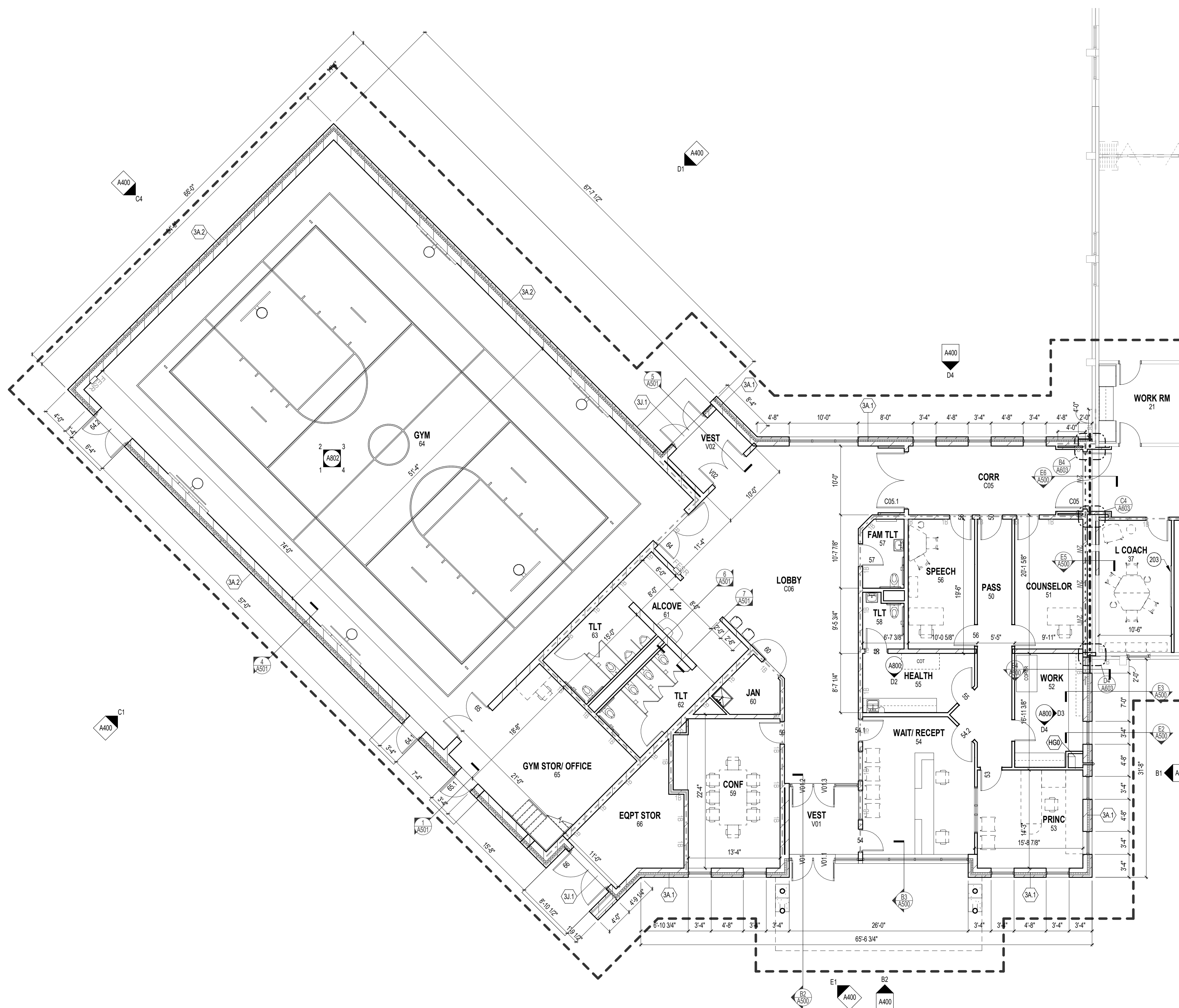
FIRST FLOOR PLAN - AREA A

DRAWING NUMBER

A201
CHES
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NOT FOR CONSTRUCTION



FLOOR PLAN SYMBOLS LEGEND

	EXISTING WALLS TO REMAIN		NEW WALL/PARTITION
	EXISTING DOOR TO REMAIN		NEW DOOR
	SECTION REFERENCE		EXISTING DOOR RECEIVING NEW WORK - REFER TO DOOR SCHEDULE
	EXTERIOR ELEVATION		DETAIL REFERENCE
	INTERIOR ELEVATION		EQUIPMENT
	FLOOR PLAN NOTE		WINDOW TYPE
	CONSTRUCTION LIMITS		WALL/PARTITION TYPE
	ONE HOUR RATED FIRE BARRIER		FLOOR DRAIN - PITCH FLOOR TO DRAIN
	TWO HOUR RATED FIRE WALL		SEMI-RECESSED FIRE EXTINGUISHER

FLOOR PLAN GENERAL NOTES

A. DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED WALL TO FACE OF FINISHED WALL (NOMINAL).

B. VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. PORTIONS OF EXISTING CONSTRUCTION MAY HAVE BEEN REMOVED BY OWNER.

C. MAINTAIN CONTINUOUS UTILITY SERVICE TO ALL SPACES IN THE BUILDING NOT AFFECTED BY THIS WORK. COORDINATE WITH OWNER ANY DISRUPTION IN SERVICES REQUIRED TO PERFORM WORK OR TO MODIFY EXISTING PIPING, DUCTWORK OR ANY ASSOCIATED EQUIPMENT.

D. CONTRACTOR TO VERIFY FLOOR TO FLOOR HEIGHTS.

FLOOR PLAN NOTES

NOTE #	FLOOR PLAN NOTE
203	DISPLAY BY OWNER. VERIFY LOCATION WITH OWNER. SEE DETAIL C2/A811 FOR BLOCKING LOCATION AT STUD WALLS.

EXTERIOR WALL TYPE SCHEDULE

MARK	ASSEMBLY DESCRIPTION
3A1	MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK, 1-3/4" AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 8" CONCRETE MASONRY UNIT BACK-UP WALL WITH ADJUSTABLE (TWO-PIECE) HORIZONTAL MASONRY JOINT REINFORCING @ 18" OC (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING). PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSPENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSPENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL B3/A603.
3A2	MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK, 1-3/4" AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 12" CONCRETE MASONRY UNIT BACK-UP WALL WITH ADJUSTABLE (TWO-PIECE) HORIZONTAL MASONRY JOINT REINFORCING @ 18" OC (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING). PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSPENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSPENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL B3/A603.
3A1	METAL PANEL WALL SYSTEM CONSISTING OF 1" INTEGRAL REVEAL METAL PANEL, ON 7/8" HAT CHANNEL, ON 3" RIGID INSULATION, ON SPRAY APPLIED AIR/VAPOR BARRIER SYSTEM ON 8" CONCRETE MASONRY UNIT BACK-UP WALL (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING). PROVIDE MASONRY EXPANSION AND CONTROL JOINTS AS REQUIRED.
3A2	METAL PANEL WALL SYSTEM CONSISTING OF 1" INTEGRAL REVEAL METAL PANEL, ON 7/8" HAT CHANNEL, ON 3" RIGID INSULATION, ON SPRAY APPLIED AIR/VAPOR BARRIER SYSTEM ON 12" CONCRETE MASONRY UNIT BACK-UP WALL (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING). PROVIDE MASONRY EXPANSION AND CONTROL JOINTS AS REQUIRED.

INTERIOR PARTITION SCHEDULE

MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION	STC
B60	3-5/8" STEEL STUDS @ 18" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	-	-	3-1/2" SOUND	-
BLO	6" STEEL STUDS @ 18" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	-	-	FULL WIDTH SOUND	-
GC0	7/8" STEEL FURRING CHANNELS @ 18" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	-	-
GD0	1-5/8" STEEL STUDS @ 18" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	-	-
GG0	3-5/8" STEEL STUDS @ 18" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	FULL WIDTH SOUND	-
SG0	4" CONCRETE BLOCK	-	-	-	-
SK0	6" CONCRETE BLOCK	-	-	-	-
SK1	8" CONCRETE BLOCK	1HR	-	-	-
SN0	8" CONCRETE BLOCK	1HR	-	-	-
SN1	8" CONCRETE BLOCK	2HR	-	-	-
SN2	8" CONCRETE BLOCK	2HR	-	-	-
SS0	12" CONCRETE BLOCK	-	-	-	-
SS1	12" CONCRETE BLOCK	1HR	-	-	-
VA0	ONE LAYER DIRECT BONDED 5/8" GYPSUM BOARD	-	-	-	-

GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (B00) UNLESS OTHERWISE NOTED ON FLOOR PLAN.

B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).

C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPE(S) OF GYPSUM BOARD MATERIAL REQUIRED.

D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF STEEL DECK ABOVE. AT METAL DECK CONSTRUCTION ABOVE PROVIDE SLIP JOINT BETWEEN TOP OF PARTITION AND UNDERSIDE OF METAL DECK / STRUCTURAL STEEL MEMBER ABOVE. REFER TO DETAIL.

MASONRY PARTITIONS GENERAL NOTES

A. MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

B. ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.

C. PROVIDE UL RATED CONCRETE BLOCK AT ALL FIRE RATED PARTITIONS.

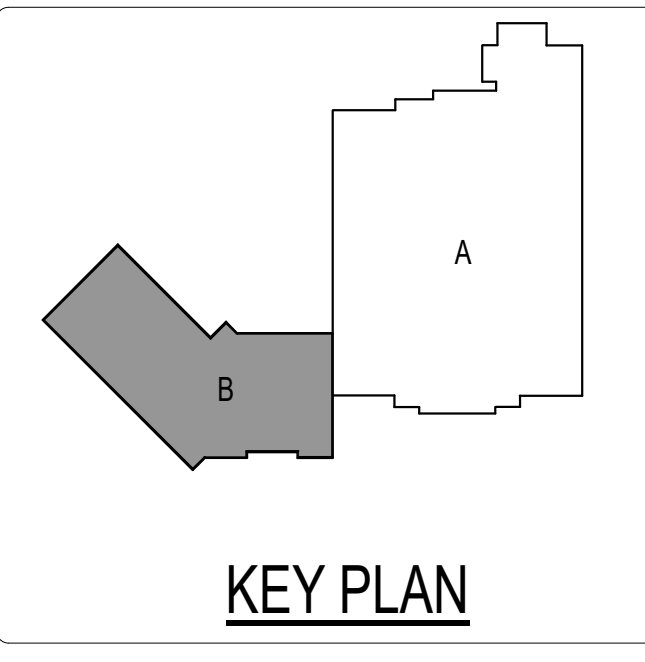
D. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL RATED PARTITIONS.

E. EXTEND CONCRETE BLOCK PARTITIONS FULL HEIGHT TO UNDERSIDE OF STEEL DECK ABOVE (OR PRECAST PLANK ABOVE IF APPLICABLE). REFER TO DETAIL. PROVIDE HORIZONTAL MASONRY JOINT REINFORCEMENT AT 18" OC VERTICALLY. REFER TO STRUCTURAL DRAWINGS FOR VERTICAL REINFORCEMENT REQUIREMENTS.

NEXUS SOLUTIONS®
 MADISON, WI
 MILWAUKEE, WI
 MAPLE GROVE, MN

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pra PLUNKETT RYLSICH ARCHITECTS, LLP
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 1500 Main Street | Suite 300 | Seattle, Florida 34202 | 941.444.8940
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 pra project number: 180325-06



OAK CREEK - FRANKLIN JOINT SCHOOL DISTRICT CEDAR HILLS ELEMENTARY SCHOOL BUILDING ADDITIONS AND RENOVATIONS

2225 W SYCAMORE AVE
 OAK CREEK, WI 53154

Date	Revision Description

PROGRESS DRAWINGS

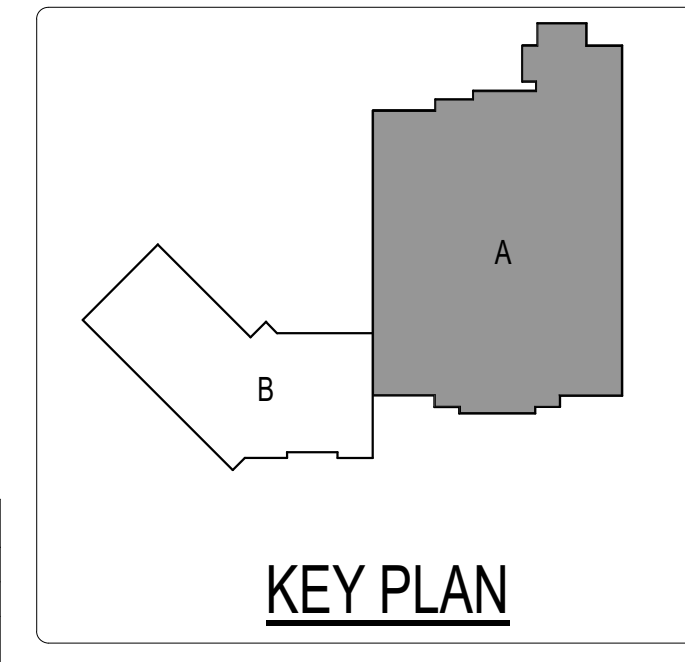
DATE	03-26-2020	PROJECT #	W52-PM3
DRAWN BY	PRA	CHECKED BY	PRA

DRAWING TITLE
FIRST FLOOR PLAN - AREA B

DRAWING NUMBER
A202
 CHES
 © Nexus Solutions, LLC

TRUE NORTH
 PLAN NORTH
FIRST FLOOR PLAN - AREA B
 1/8" = 1'-0"

NOT FOR CONSTRUCTION



OAK CREEK - FRANKLIN JOINT SCHOOL DISTRICT CEDAR HILLS ELEMENTARY SCHOOL BUILDING ADDITIONS AND RENOVATIONS
 2225 W SYCAMORE AVE
 OAK CREEK, WI 53154

FLOOR PLAN SYMBOLS LEGEND

	EXISTING WALLS TO REMAIN		NEW WALL PARTITION
	EXISTING DOOR TO REMAIN		NEW DOOR
	SECTION REFERENCE		EXISTING DOOR RECEIVING NEW WORK - REFER TO DOOR SCHEDULE
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	FLOOR PLAN NOTE		WINDOW TYPE
	CONSTRUCTION LIMITS		WALL PARTITION TYPE
	ONE HOUR RATED FIRE BARRIER		FLOOR DRAIN - PITCH FLOOR TO DRAIN
	TWO HOUR RATED FIRE WALL		SEMI-RECESSED FIRE EXTINGUISHER

FLOOR PLAN GENERAL NOTES

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 D. CONTRACTOR TO VERIFY FLOOR TO FLOOR HEIGHTS.

FLOOR PLAN NOTES

NOTE #	FLOOR PLAN NOTE
200	ACCESSIBLE COMPARTMENT AROUND EXISTING TOILET. PROVIDE GRAB BARS AND TOILET TISSUE DISPENSER PER ADA MOUNTING HEIGHTS.
201	PROVIDE HANDRAILS AND GUARDRAILS IN STAIR, SEE A710 FOR DETAILS.

EXTERIOR WALL TYPE SCHEDULE

MARK	ASSEMBLY DESCRIPTION
3A.1	MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK, 1-3/4" AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 12" CONCRETE MASONRY UNIT BACK-UP WALL WITH ADJUSTABLE (TWO-Piece) HORIZONTAL MASONRY JOINT REINFORCING @ 18" OC (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING). PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSPENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSPENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL B3A603.
3A.2	MASONRY CAVITY WALL CONSISTING OF 4" FACE BRICK, 1-3/4" AIR SPACE, 3" RIGID INSULATION, SPRAY APPLIED AIR AND VAPOR BARRIER SYSTEM ON 12" CONCRETE MASONRY UNIT BACK-UP WALL WITH ADJUSTABLE (TWO-Piece) HORIZONTAL MASONRY JOINT REINFORCING @ 18" OC (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED VERTICAL REINFORCING). PROVIDE CAVITY DRAINAGE MATERIAL, FLASHING, CAVITY WEEPSPENTS @ 24" OC AND MASONRY EXPANSION AND CONTROL JOINTS. COMPARTMENTALIZE THE CAVITY AND PROVIDE CAVITY WEEPSPENTS AT TOP/BOTTOM OF CAVITY. REFER TO DETAIL B3A603.
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INTERIOR PARTITION SCHEDULE

MARK	ASSEMBLY DESCRIPTION	FIRE RATING	UL	INSULATION	STC
B60	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	-	-	3-1/2" SOUND	-
BLO	6" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	-	-	FULL WIDTH SOUND	-
GC0	7/8" STEEL FURRING CHANNELS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	-	-
GD0	1-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	-	-
GG0	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	FULL WIDTH SOUND	-
H60	5-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	-	-
SG0	4" CONCRETE BLOCK	-	-	-	-
SK0	6" CONCRETE BLOCK	-	-	-	-
SK1	8" CONCRETE BLOCK	1HR	-	-	-
SN0	8" CONCRETE BLOCK	-	-	-	-
SN1	8" CONCRETE BLOCK	1HR	-	-	-
SN2	8" CONCRETE BLOCK	2HR	-	-	-
SS0	12" CONCRETE BLOCK	-	-	-	-
SS1	12" CONCRETE BLOCK	1HR	-	-	-
V40	ONE LAYER DIRECT BONDED 5/8" GYPSUM BOARD	-	-	-	-

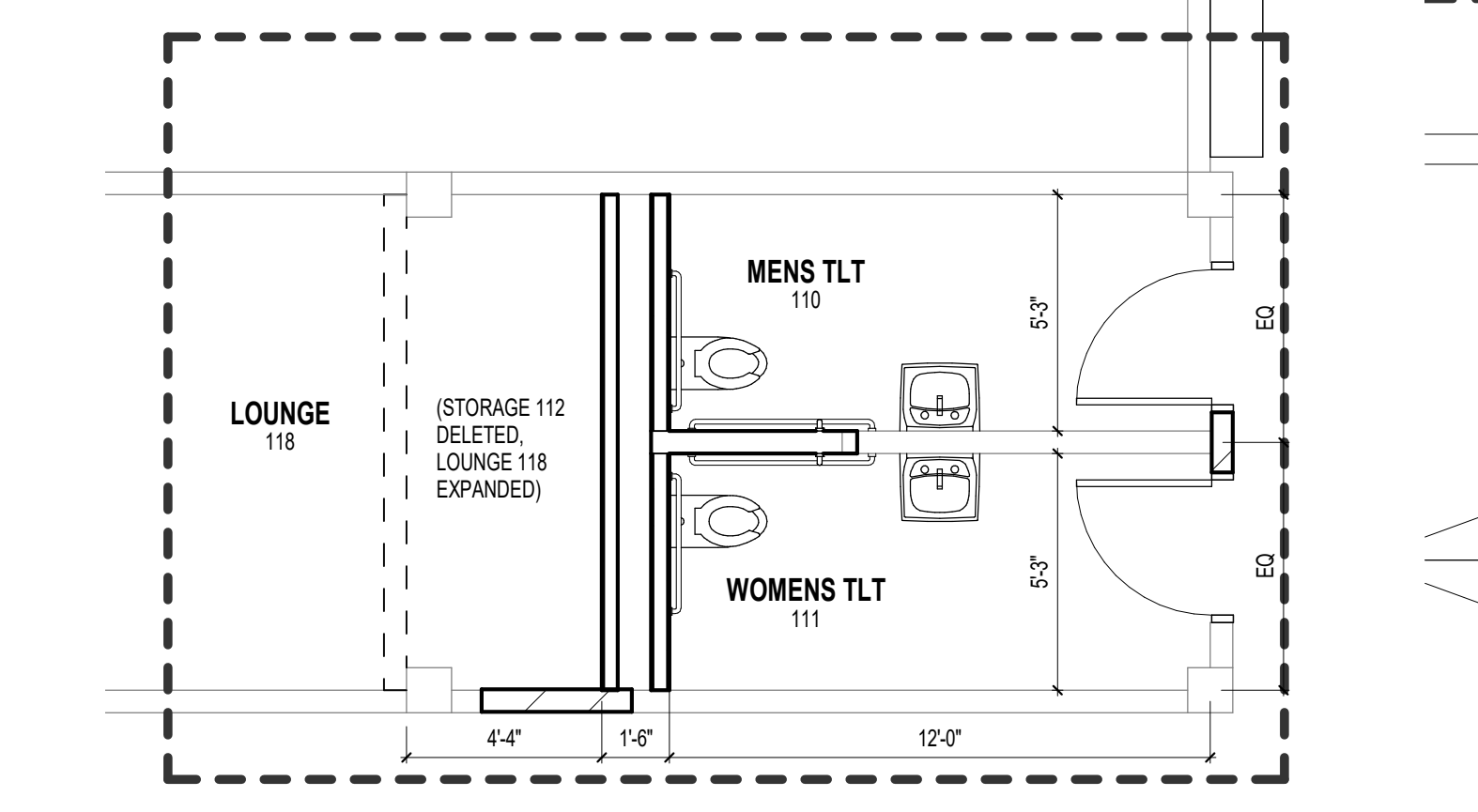
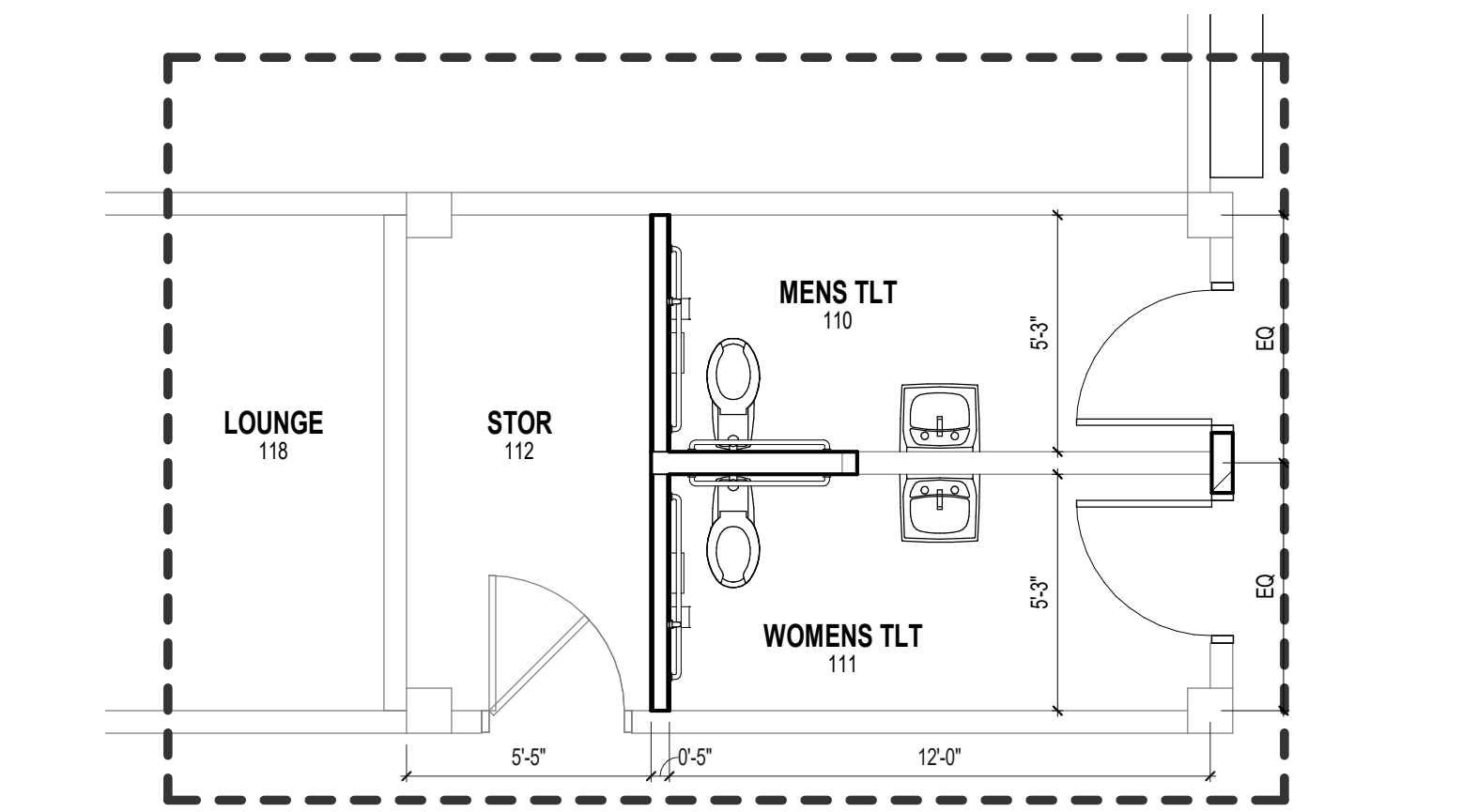
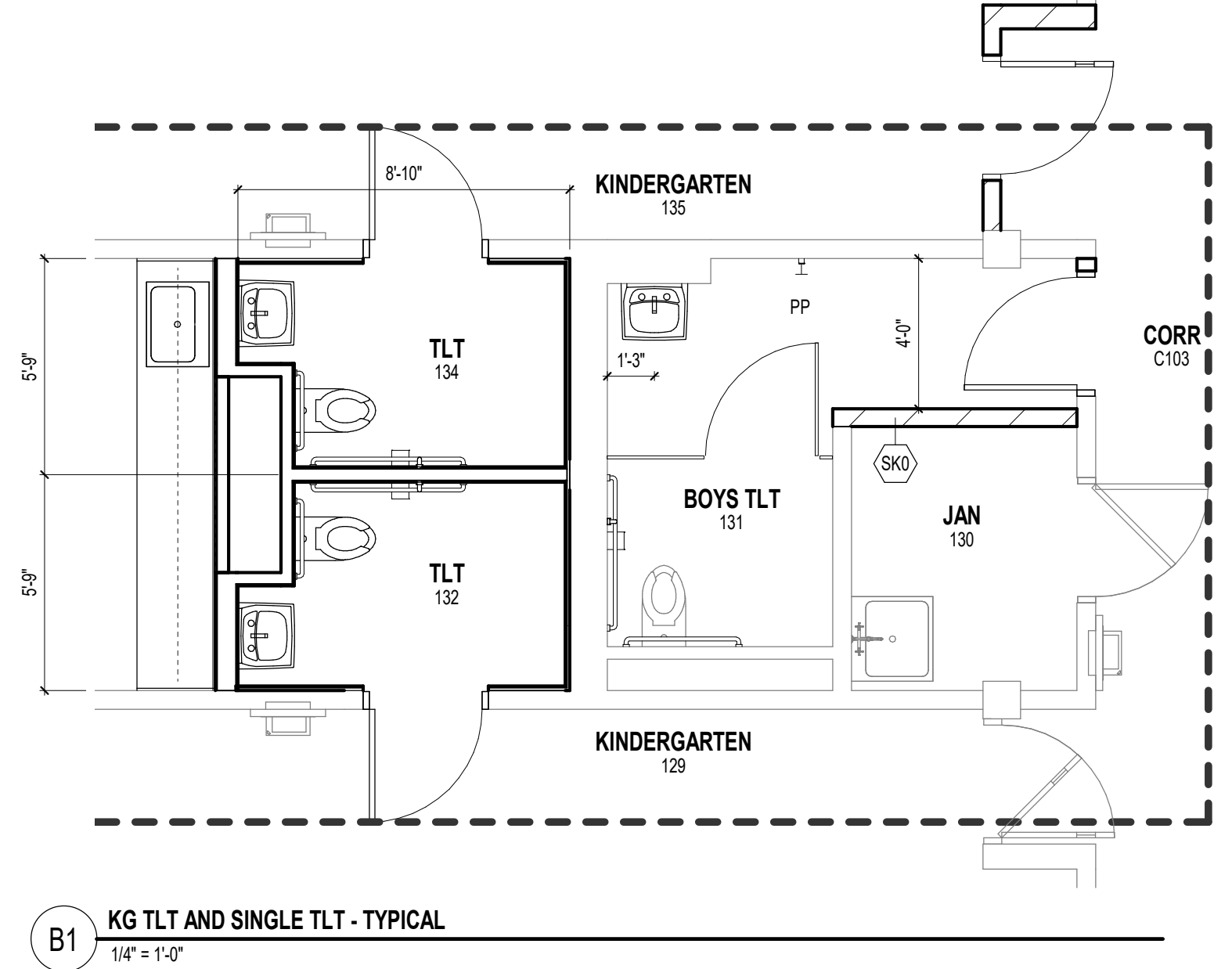
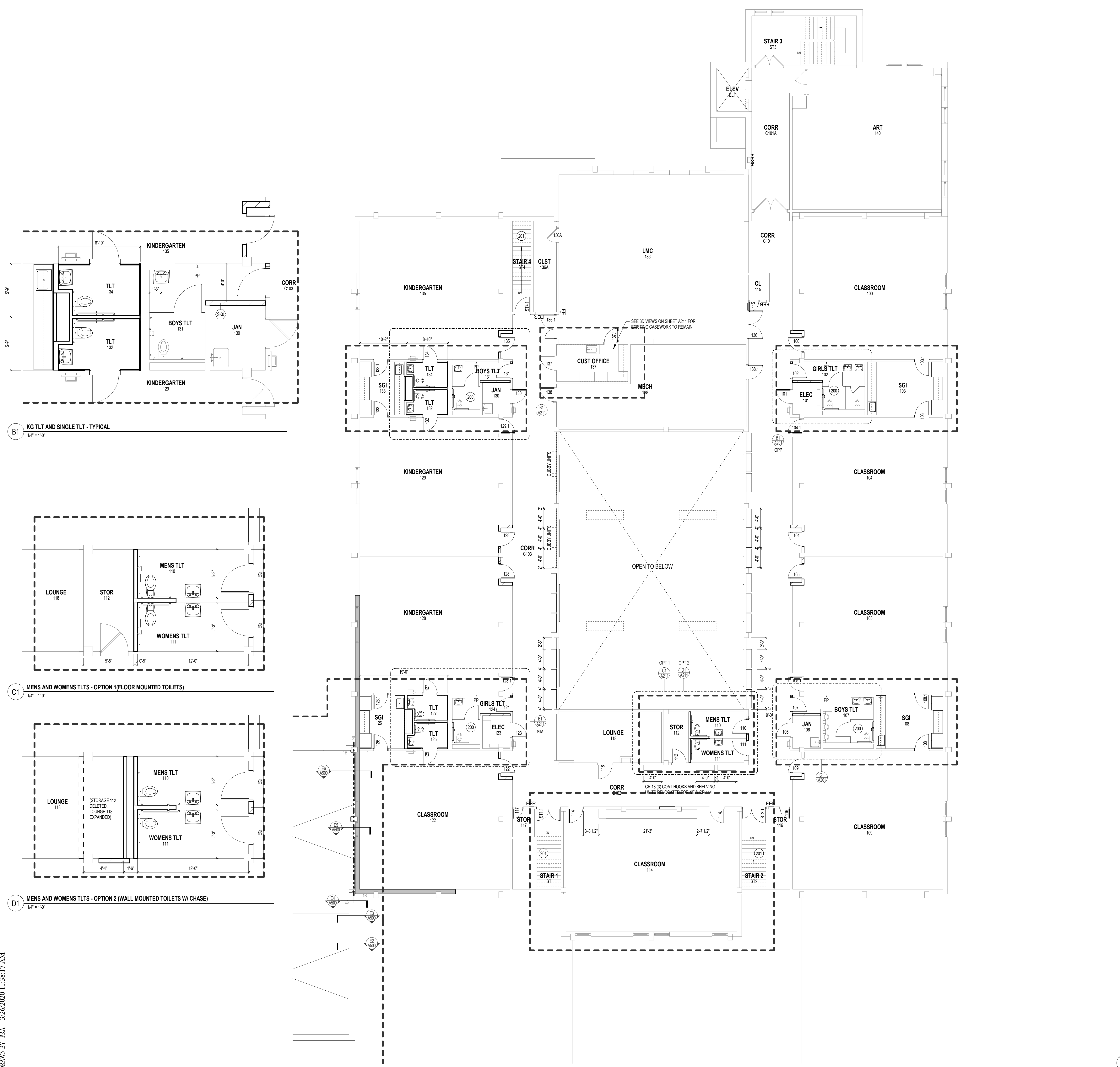
GYPSUM BOARD PARTITIONS GENERAL NOTES

A. ALL GYPSUM BOARD PARTITIONS SHALL BE (B60) UNLESS OTHERWISE NOTED ON FLOOR PLAN.
 B. GYPSUM BOARD PARTITION DIMENSIONS ON FLOOR PLAN ARE BASED ON FACE OF FINISHED PARTITION TO FACE OF FINISHED PARTITION (NOMINAL).
 C. REFER TO GYPSUM BOARD SPECIFICATION FOR LOCATION AND TYPES) OF GYPSUM BOARD MATERIAL REQUIRED.
 D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.
 E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.
 F. EXTEND ALL GYPSUM BOARD PARTITIONS FULL HEIGHT TO UNDERSIDE OF STEEL DECK ABOVE. AT METAL DECK CONSTRUCTION ABOVE PROVIDE JUMP JOINT BETWEEN TOP OF PARTITION AND UNDERSIDE OF METAL DECK / STRUCTURAL STEEL MEMBER ABOVE. REFER TO DETAIL.

MASONRY PARTITIONS GENERAL NOTES

A. MASONRY PARTITIONS INDICATED WITH THE FOLLOWING HATCH PATTERN:

B. ALL MASONRY PARTITIONS SHALL BE 8" CONCRETE BLOCK UNLESS OTHERWISE NOTED OR DIMENSIONED. REFER TO FLOOR PLAN FOR PARTITION THICKNESS.
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NOT FOR CONSTRUCTION

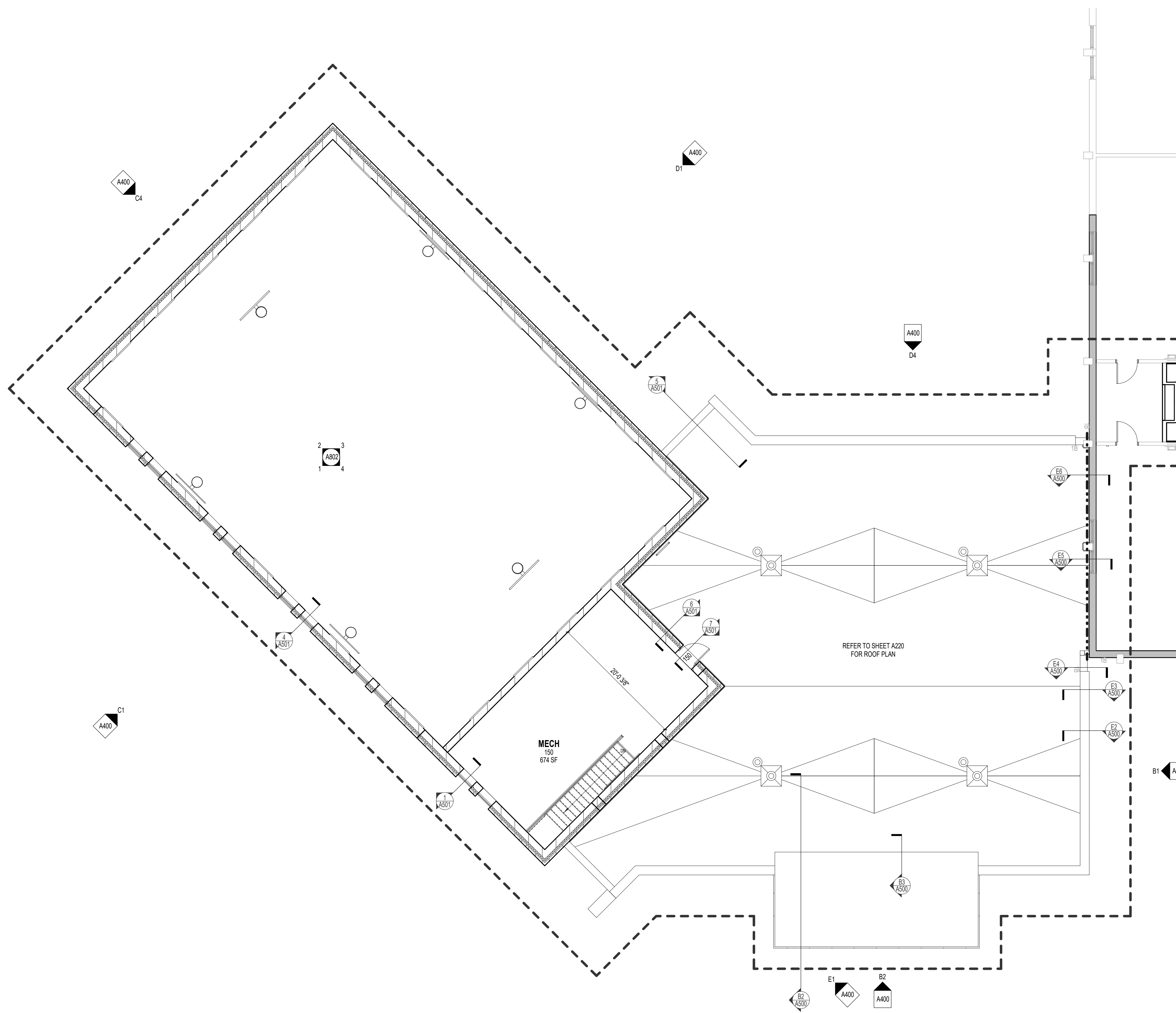
PROGRESS DRAWINGS

DATE	03-26-2020	PROJECT #	W52-PM3
DRAWN BY	PRA	CHECKED BY	PRA

DRAWING TITLE
SECOND FLOOR PLAN - AREA A

DRAWING NUMBER
A211
 CHES
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DRAWN BY: PRA 3/26/2020 11:38:20 AM



FLOOR PLAN SYMBOLS LEGEND

	EXISTING WALLS TO REMAIN		NEW WALL/PARTITION
	EXISTING DOOR TO REMAIN		NEW DOOR
	SECTION REFERENCE		EXISTING DOOR RECEIVING NEW WORK - REFER TO DOOR SCHEDULE
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	FLOOR PLAN NOTE		WINDOW TYPE
	CONSTRUCTION LIMITS		WALL/PARTITION TYPE
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D. CONTRACTOR TO VERIFY FLOOR TO FLOOR HEIGHTS.

NOTE #	FLOOR PLAN NOTE

EXTERIOR WALL TYPE SCHEDULE

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B60	3-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD @ EACH FACE	-	-	3-1/2" SOUND	--
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GDD	1-5/8" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	--	--
GG0	1-3/4" STEEL STUDS @ 16" OC ONE LAYER 5/8" GYPSUM BOARD	-	-	--	--
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SK0	6" CONCRETE BLOCK	-	-	--	--
SK1	6" CONCRETE BLOCK	1 HR	-	--	--
SN0	8" CONCRETE BLOCK	1 HR	-	--	--
SN1	8" CONCRETE BLOCK	1 HR	-	--	--
SN2	8" CONCRETE BLOCK	2 HR	-	--	--
SS0	12" CONCRETE BLOCK	-	-	--	--
SS1	12" CONCRETE BLOCK	1 HR	-	--	--
VA0	ONE LAYER DIRECT BONDED 5/8" GYPSUM BOARD	-	-	--	--

GYPSUM BOARD PARTITIONS GENERAL NOTES

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D. PROVIDE FIRE RATED GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.

E. SEAL ALL WALL PENETRATIONS AT PERIMETER AND FIRESTOP ALL FIRE RATED PARTITIONS.

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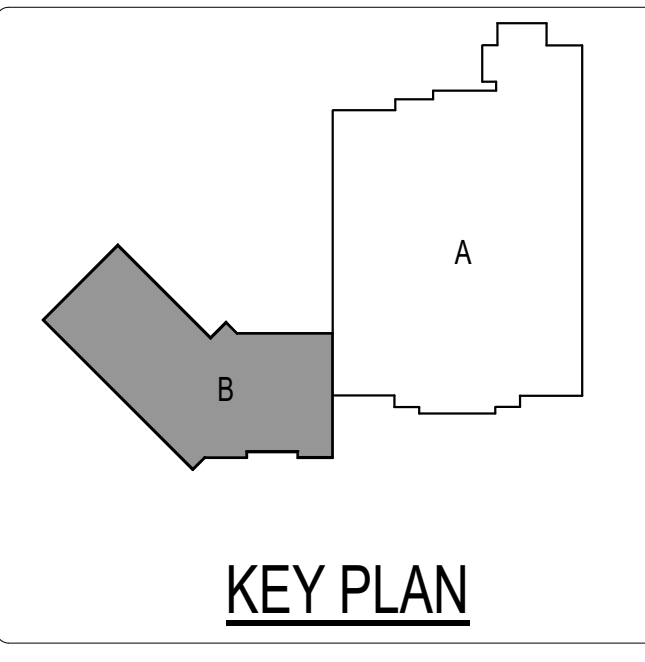
MADISON, WI
MILWAUKEE, WI
MAPLE GROVE, MN

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pra PLUNKETT RAYSS ARCHITECTS, LLP

200 south cedar street | 215 westmound street | 1000 main street
MADISON, WISCONSIN 53703 | MILWAUKEE, WISCONSIN 53214 | SEASIDE, NORTH DAKOTA 58209

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pra project number - 180325-06



OAK CREEK - FRANKLIN JOINT SCHOOL DISTRICT CEDAR HILLS ELEMENTARY SCHOOL BUILDING ADDITIONS AND RENOVATIONS

2225 W SYCAMORE AVE
OAK CREEK, WI 53154

Date	Revision Description

PROGRESS DRAWINGS

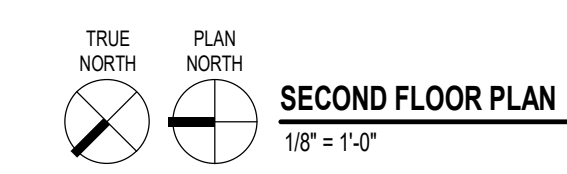
DATE	03-26-2020	PROJECT #	W52-PM3
DRAWN BY	PRA	CHECKED BY	PRA

DRAWING TITLE

SECOND FLOOR PLAN - AREA B

DRAWING NUMBER

A212
CHES
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NOT FOR CONSTRUCTION

EXTERIOR ELEVATION NOTES	
NOTE #	EXTERIOR ELEVATION NOTE
400	CEDAR HILLS SPECIAL BLEND MODULAR SIZE BRICK
401	OYSTER GREY MODULAR SIZE BRICK
402	DOWNSPOUT NOZZLE
403	PATCH AND REPAIR MASONRY AT REMOVED BUILDING SIGNAGE
404	DARK BRONZE MECHANICAL LOUVER
405	NEW DARK BRONZE STOREFRONT WICLEAR GLASS IN EXISTING MASONRY WALL
406	PREFABRICATED ALUMINUM ROOF ACCESS LADDER
407	DARK BRONZE STOREFRONT WICLEAR GLASS
408	DARK BRONZE STOREFRONT WICLEAR GLASS AND DARK BRONZE SPANDREL
409	DARK BRONZE FRP DOOR IN DARK BRONZE ALUMINUM FRAME
410	DARK BRONZE FRP DOOR IN DARK BRONZE ALUMINUM FRAME WICLEAR GLASS TRANSOM
411	EGRESS LIGHTING - DARK BRONZE FINISH
412	COPING - MATCH EXISTING FINISH - SILVER
413	COPING - DARK BRONZE FINISH
414	EXISTING EXPOSED CONCRETE BEAM, COLUMN AND FOUNDATION WALL - TYPICAL AT EXISTING ORIGINAL ELEMENTARY SCHOOL BUILDING
415	EXISTING PRECAST CONCRETE PANEL

OVERALL EXTERIOR MATERIAL PERCENTAGES FOR BUILDING ADDITION
 89% MASONRY - WINDOWS & DOORS
 4% METAL PANEL

EXTERIOR ELEVATIONS SYMBOLS LEGEND

SECTION REFERENCE: A(01), A(02), BEJ

ELEVATION NOTE: (401), (402), (403)

BRICK EXPANSION JOINT: BEJ

DETAIL REFERENCE: (A101), (A102), (B00)

WINDOW TYPE: (A101)

CONSTRUCTION KEYNOTE: (B00)

EXTERIOR FINISH PATTERNS

BRICK - COLOR 1: [Pattern]

BRICK - COLOR 2: [Pattern]

PRECAST - COLOR 1: [Pattern]

FLUSH 12" PANEL - COLOR 1: [Pattern]

COMPOSITE METAL PANEL: [Pattern]

EXTERIOR ELEVATIONS GENERAL NOTES

A. PAINT ALL EXPOSED STEEL LINTELS TO MATCH ADJACENT MASONRY COLOR

B. REFER TO SHEET A801 FOR WINDOW FRAME ELEVATIONS

C. SEALANT COLORS TO MATCH ADJACENT FINISHED SURFACES

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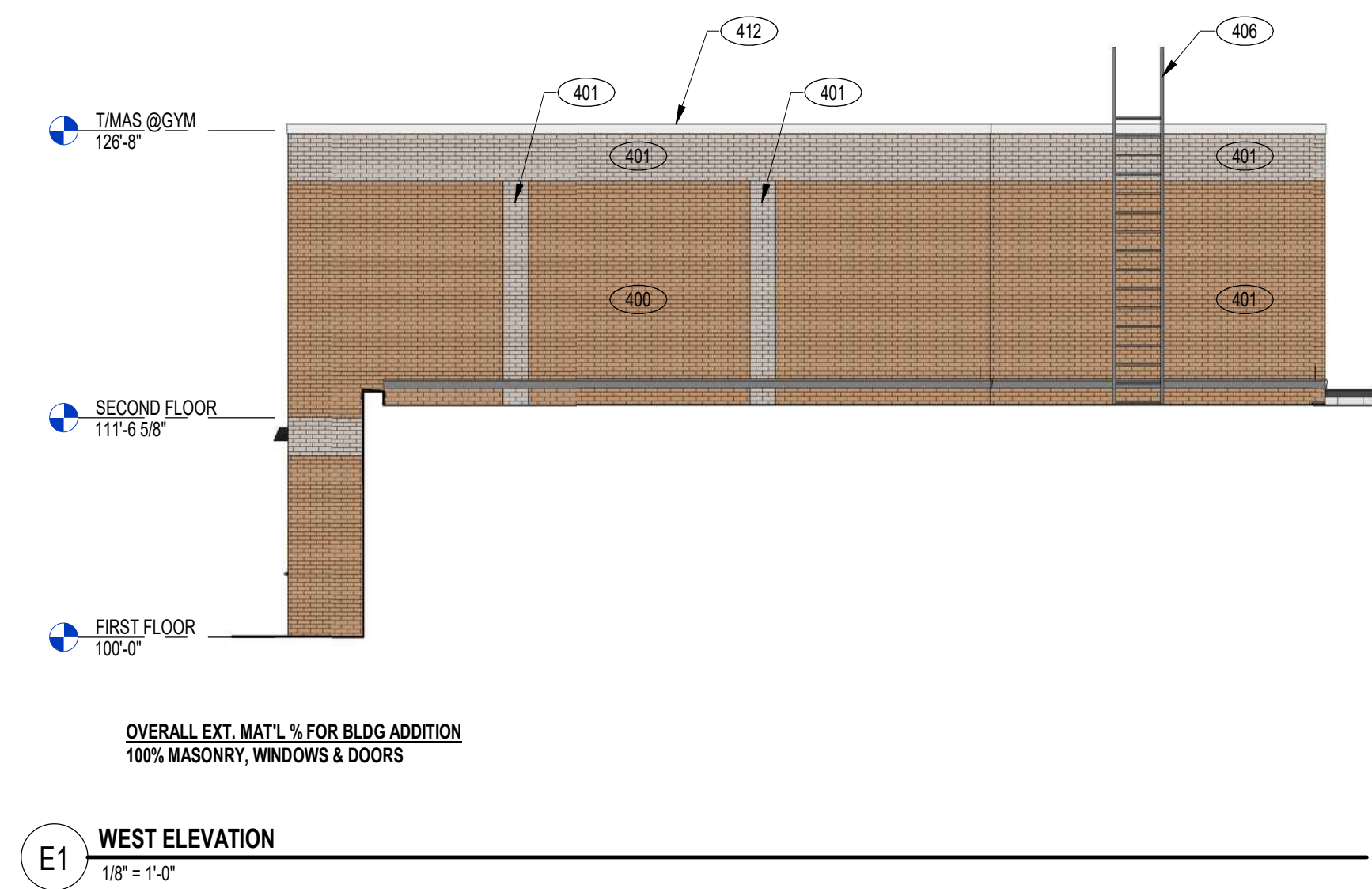
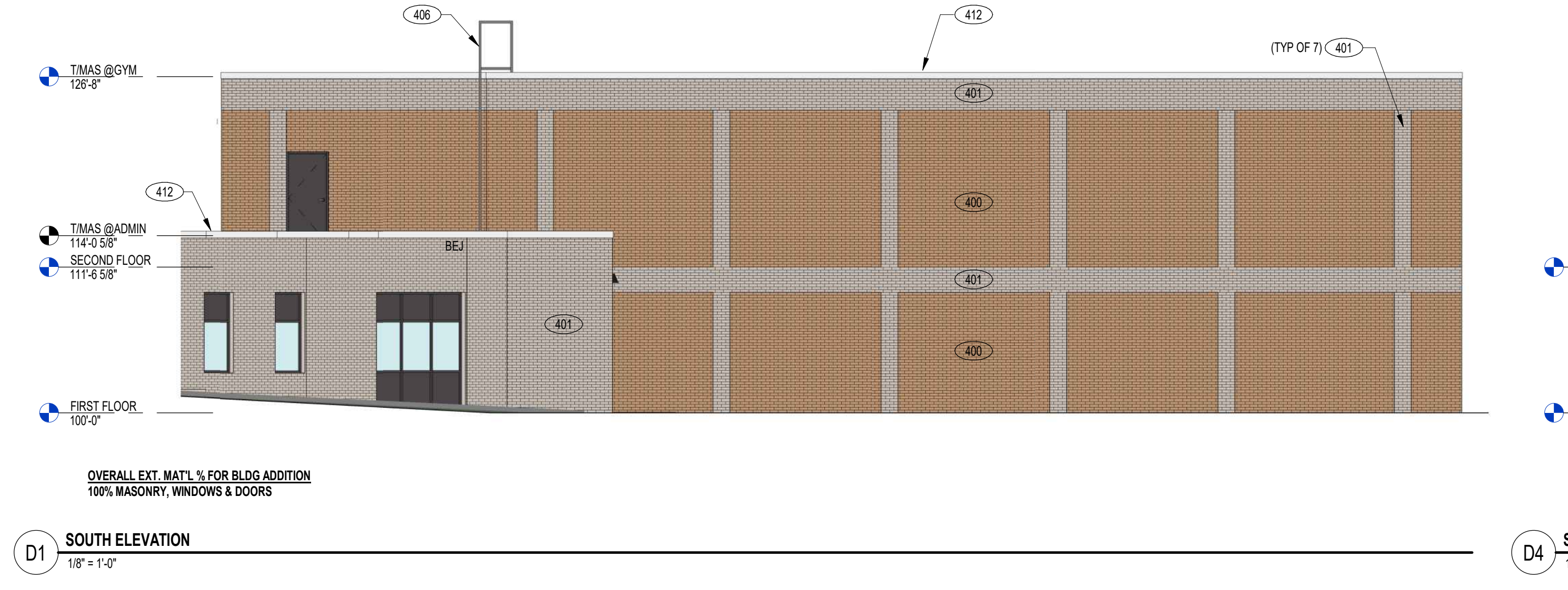
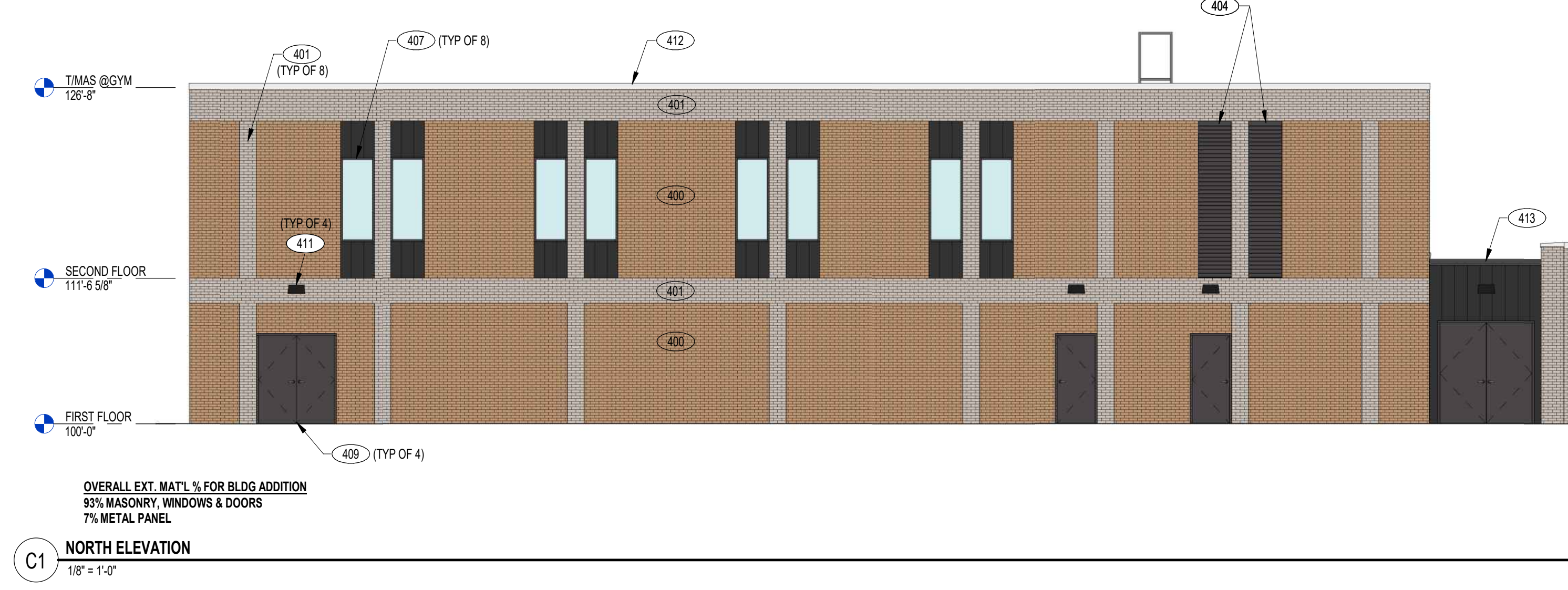
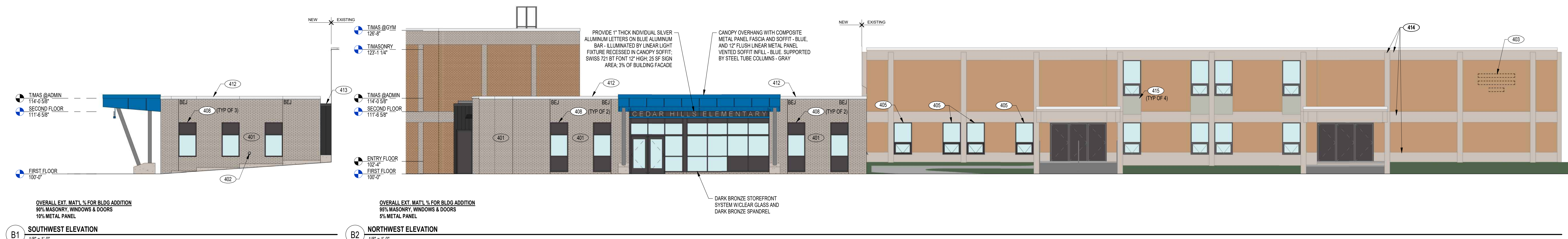
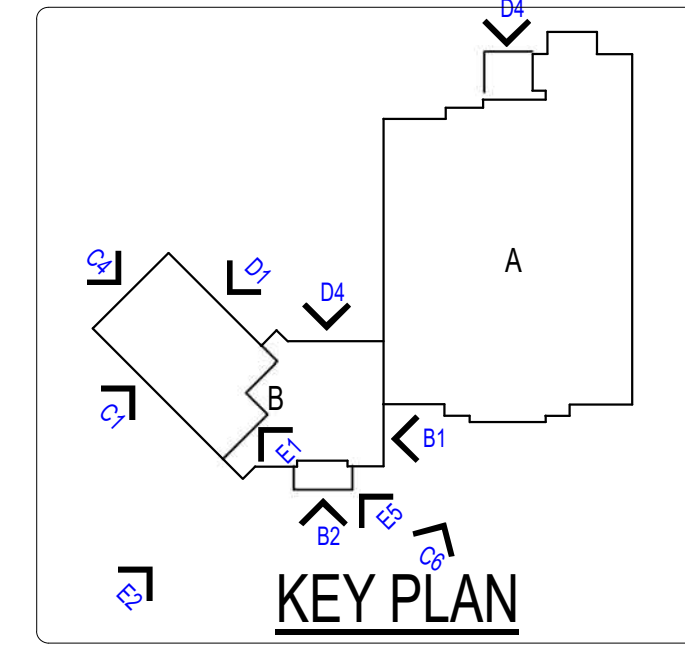
MADISON, WI
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OAK CREEK - FRANKLIN JOINT SCHOOL DISTRICT
 CEDAR HILLS ELEMENTARY SCHOOL
 BUILDING ADDITIONS AND RENOVATIONS

2225 W SYCAMORE AVE
 OAK CREEK, WI 53154

Date	Revision Description

PROGRESS DRAWINGS

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DRAWING TITLE: EXTERIOR ELEVATIONS

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