



## PLAN COMMISSION

October 22, 2019

6:00 P.M.

### Common Council Chambers

8040 S. 6<sup>TH</sup> Street  
Oak Creek, WI 53154  
(414) 766-7000

Daniel Bukiewicz - Chair  
Dawn Carrillo  
Chaucey Chandler  
Donald Oldani  
Chris Guzikowski  
Matt Sullivan  
Gregory Loreck  
Fred Siepert  
Christine Hanna  
Vacant - ex-officio  
Doug Seymour - ex-officio

### The City's Vision

*Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.*

Find more information on agenda items at [oakcreek.zoninghub.com](https://www.oakcreekwi.org/zoninghub.com).

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – October 8, 2019
4. Significant Common Council Actions
5. New Business
  - a. PLAN REVIEW - Review site, building, landscape, and related plans submitted by Robert McCarville, Vision Properties Group, LLC, for a proposed ambulatory surgery center at 10148 S. 27<sup>th</sup> St. (Tax Key No. 927-9995-000).  
ZoningHub: <https://s.zoninghub.com/PLP41B91SV>; Twitter @OakCreekPC#OCPCVisionProp
  - b. TEMPORARY USE - Review a request for a temporary use permit submitted by Richard Barrett, Barrett Lo Visionary Development, for the temporary parking lot located at 7951 S. 6<sup>th</sup> St. (Tax Key No. 813-9063-000-000).  
ZoningHub: <https://s.zoninghub.com/JXLDCJKTBT>; Twitter @OakCreekPC#OCPCTempUse

Adjournment.

Dated this 18<sup>th</sup> day of October, 2019  
Posted (10/18/19) (bh)

#### Public Notice

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6<sup>th</sup> Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice

Visit our website at [www.oakcreekwi.org](http://www.oakcreekwi.org) for the agenda and accompanying Plan Commission reports.

**MINUTES OF THE  
OAK CREEK PLAN COMMISSION MEETING  
TUESDAY, OCTOBER 8, 2019**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Sullivan, Commissioner Carrillo, Mayor Bukiewicz, Alderman Guzikowski, Commissioner Siepert, and Commissioner Chandler. Alderman Loreck was excused. Also present: Kari Papelbon, Planner and Laurie Miller, Zoning Administrator/Planner.

**Minutes of the September 10, 2019 meeting**

Commissioner Siepert moved to approve the minutes of the September 10, 2019 meeting. Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

**Minutes of the September 24, 2019 meeting**

Commissioner Siepert moved to approve the minutes of the September 24, 2019 meeting. Commissioner Chandler seconded. On roll call: all voted aye except Mayor Bukiewicz and Commissioner Oldani who abstained. Motion carried.

**PUBLIC HEARING**

**SIGN APPEAL**

**HSI ORCHARD HILLS, LLC  
2697 S. ORCHARD HILLS DRIVE  
TAX KEY NO. 831-0310-000**

Zoning Administrator/Planner Miller read the public notice into the record.

Mayor Bukiewicz made the first call for public comments.

Tony DeRosa, HSI Orchard Hills, 789 North Water Street, Milwaukee, explained they are proposing to dress up the entrance similar to what they did at Drexel Ridge. The difference will be the guard house having a metal roof to tie in with the metal accents on the club house.

Mayor Bukiewicz made a second, third, and final call for public comments. Seeing none, the public hearing was declared closed.

**SIGN APPEAL**

**HSI ORCHARD HILLS, LLC  
2697 S. ORCHARD HILLS DRIVE  
TAX KEY NO. 831-0310-000**

Alderman Guzikowski commented what they did at Drexel Ridge was nice and would be suitable here.

Commissioner Siepert asked the applicant what the reason is for 11-foot sign.

Tony DeRosa, HSI Orchard Hills, 789 North Water Street, Milwaukee, explained the sign itself will be just over eight feet. The dimension of 11 feet will be to the top of the guard house that will be in the middle on the curbed median.

Commissioner Siefert thinks it is gaudy and a little high and does not know why the applicant cannot bring it down a little to be within the City's Code.

Mr. DeRosa explained it will replicate the entrance at Drexel Ridge. They are trying to provide scale to the club house and large entrance. The applicant is also trying to put a focal point on the entrance to draw attention away from the less than desirable aspects of 27<sup>th</sup> Street.

Commissioner Chandler asked the applicant to provide more information as to the reason for three signs.

Mr. DeRosa explained that the image being displayed shows the guard house in the median and a pier on each side of the drive lane.

Commissioner Chandler clarified there is only one guard house, but three signs.

Mr. DeRosa confirmed and explained there will be smaller plaques on the piers and a larger sign on the guard house.

Mayor Bukiewicz stated he is familiar with it and it is a necessary feature for this development to help show the separate developments in this location.

Commissioner Siefert explained he is still concerned about the height of the signs.

Mr. DeRosa explained the center of the cul-de-sac it is heavily landscaped and the sign is back in the south east corner of the cul-de-sac so it will not be in a direct sight line of 27<sup>th</sup> Street.

Alderman Guzikowski moved that the Plan Commission approves a sign variance allowing the installation of two (2) decorative entry columns 8' 10' x 3'4" with a 1.5' x2' cast bronze sign (not illuminated) located on the east and west side of S. Orchard Hills Drive, and a proposed 3.5' x 4.5' sign (non-illuminated) installed on a "guard house" 11'6 x 12' to be placed in the median at 2697 S. Orchard Hills Drive.

Commissioner Hanna seconded. On roll call: all voted aye. Motion carried.

**OFFICIAL MAP AMENDMENT  
THOMAS UTTKE  
819, 819R, AND 901 E. DREXEL AVE  
TAX KEY NOS. 815-9024-000, 815-9995-002 & 815-9025-000**

Planner Papelbon provided an overview of the proposal to amend the officially mapped streets in the Northeast ¼ of Section 16 (see staff report for details).

Commissioner Siefert asked Commissioner Sullivan if there is any consideration in moving or modifying the entrance for Abendschein Park to go into this subdivision.

Commissioner Sullivan explained the City would have to consider having a discussion on whether to eliminate that future road pattern or keep it as is, which would affect the property. Commissioner Sullivan asked Planner Papelbon if this item strictly addresses this property and not the roadway through Abendschein.

Planner Papelbon explained the proposal on the screen affects the properties owned by the applicant, and a little bit to the west of the applicant's properties. It does not necessarily affect the future roadway patterns for Abendschein Park; however, it may adjust it slightly if the road is constructed in the future.

Mayor Bukiewicz explained there were previously concerns off Drexel Avenue regarding the proximity of the entrances to the park. Mayor Bukiewicz asked if rights-of-way would need to be acquired to create right and left-turn lanes.

Commissioner Sullivan explained for a subdivision of this nature would probably use an acceleration and deceleration style of entryway. There could potentially be some real estate needed; however, the City would work with developers at that time.

Planner Papelbon clarified this proposal only affects properties owned by the applicant, and shows the potential road connecting to the properties to the west.

Mayor Bukiewicz asked if the applicant owns Lots 1, 2 and 3, and Lots 25, 26 and 27.

Planner Papelbon confirmed the applicant owns those lots. Planner Papelbon continued by explaining that this is a conceptual lot layout - it shows future roads should this property develop. The Plan Commission is just considering the official street patterns, and how they affect the properties owned by the applicant.

Alderman Guzikowski inquired if the road going through to Forest Hill is being considered.

Planner Papelbon explained it is still on the Official Map as was amended, but at this time there is no real plan for it.

Commissioner Siefert stated on a dead-end street, there can only be 13 lots, and this development has 27. He continued by asking if the Fire Department has reviewed this plan.

Planner Papelbon reiterated that this only a conceptual layout, and the only thing being proposed is a change to the official road map.

Commissioner Oldani asked if the road maps can be amended again in the future.

Planner Papelbon explained if there is a proposal that closely matches what the Official Map shows, there is no need to amend it again. However, if the Official Map is changed and would need to be changed substantially again, the Plan Commission can amend it again.

Commissioner Siefert moved that the Plan Commission recommends to the Common Council that the Official Map for a portion of the Northeast ¼ of Section 16 be amended after a public hearing.

Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

**LANDSCAPE PLAN REVIEW  
OAK CREEK-FRANKLIN SCHOOL DISTRICT  
340 E. PUETZ ROAD  
TAX KEY NO. 827-9028-000**

Planner Papelbon provided an overview of the proposed landscape plan related to additions to the east portion of the existing high school building and parking lot (see staff report for details).

Commissioner Chandler asked the applicant to provide any additional information in regards to the feedback provided by the Planning Department.

Andy Chromy, Chief Business and Finance Officer, Oak Creek-Franklin Joint School District, explained that the spruce trees around the soccer field will grow to be a height of 40 to 60 feet, growing at a rate of one to two feet a year. Mr. Chromy stating that the trees would be continued around the retention basin to provide more screening. There would be about six to ten trees around the east and south edge of the pond.

Commissioner Hanna asked Planner Papelbon if there is a fence around the retention pond. Planner Papelbon confirmed there will a fence around the pond.

Mayor Bukiewicz explained that the applicant might want to take some extra care on the corner of Shepard and Puetz because the corner is going to be a premier corner going forward with high visibility.

Commissioner Oldani moved that the Plan Commission approves the landscape plans submitted by Andrew Chromy, Oak Creek-Franklin Joint School District, for the property at 340 E. Puetz Rd. with the following conditions:

1. That additional landscaping be installed along the Puetz Road and Shepard Avenue frontages adjacent to the soccer field and stormwater management pond.
2. That all landscaping be maintained in accordance with the approved landscape plan.
3. That all relevant Code requirements remain in effect.
4. That all conditions of approval from the September 24, 2019 Plan Commission review are in effect.
5. That all detailed, revised plans incorporating the requirements for heights of plants at installation and maturity, and locations and screening of mechanical units are submitted in digital format to the Department of Community Development prior to submission of permit applications.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**ZONING TEXT AMENDMENT  
CITY OF OAK CREEK**

Planner Papelbon provided an overview of the amendments to the Zoning Code related to religious institutions and places of assembly (see staff report for details). These amendments are required to more closely align the existing Code with federal requirements for religious institutions

and places of assembly, and will be incorporated into the Zoning Code Update currently in progress.

Commissioner Siepert moved that the Plan Commission recommends to the Common Council that the proposed amendments to Section 17 of the Municipal Code pertaining to religious institutions and places of assembly are approved after a public hearing.

Commissioner Hanna seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn the meeting. Commissioner Siepert seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 6:35 p.m.

ATTEST:

\_\_\_\_\_  
Douglas Seymour, Plan Commission Secretary

\_\_\_\_\_  
Date

DRAFT



# Significant Common Council Actions

ITEM: 4

DATE: October 22, 2019

## Summary of Significant Common Council Action

October 15, 2019

- **APPROVED** - Resolution No. 12099-101519, requesting that the United States Postal Service honor its previous agreements regarding the development and operation of a postal service processing and mail distribution facility at 2201 E. College Ave.

A handwritten signature in black ink that reads "Kari Papelbon".

Kari Papelbon, CFM, AICP  
Planner



## PLAN COMMISSION REPORT

Proposal: Plan Review – Ambulatory Surgery Clinic

Description: Site, building, landscaping, and related review for a proposed ambulatory surgery clinic.

Applicant(s): Robert McCarville, Vision Properties Group, LLC

Address(es): 10148 S. 27<sup>th</sup> St.

**Suggested Motion:** That the Plan Commission approves the site and building plans submitted by Robert McCarville, Vision Properties Group, LLC, for the property at 10148 S. 27<sup>th</sup> St. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That copies of all access approvals shall be provided to the City prior to the submission of building permit applications.
3. That the exterior brick and stone veneer meet the minimum 4-inch thick requirement per Code.
4. That the color of the spandrel windows shall not be a dark or mirrored glass per Overlay District standards, and shall be specified on the final plans.
5. That the plans are revised to include locations for all mechanicals, transformers, and utilities. That all mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) are screened from view.
6. That the landscape plan is revised to incorporated plantings on the north portion of the property, around the proposed monument sign location, and as necessary for compliance with Code requirements. Plants used to screen parking areas from rights-of-way must be installed and maintained at a minimum height of 3 feet.
7. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review by the Department of Community Development prior to the submission of building permit applications.

Owner(s): 10166 S 27 LLC

Tax Key(s): 927-9995-000

Lot Size(s): 2.420 ac

B-4, Highway Business



Current Zoning

District(s):

Overlay District(s): 27th Street Overlay OO, Mixed-Use Office

Wetlands:  Yes  No Floodplain:  Yes  No

Comprehensive Plan: Neighborhood Business

**Background:**

The Applicant is requesting site, building, landscaping, and lighting plan approval for a proposed 11,281 square-foot ambulatory surgery clinic on the property at 10148 S. 27<sup>th</sup> St. Plan Commissioners will note that these parcels are part of the 27<sup>th</sup> Street Corridor Plan and are located in the 27<sup>th</sup> Street and OO, Mixed Use Office Overlay Districts. Code requirements for these Districts are included with this report for reference.

As proposed, the lot, building, and parking areas meet all dimensional requirements, including setbacks for the OO, Mixed Use Office Overlay District. Although there appears to be an existing large curb cut onto S. 27<sup>th</sup> St., access is under the jurisdiction of the Wisconsin Department of Transportation (WisDOT). Copies of all access approvals with WisDOT shall be provided to the City as recommended in the conditions of approval above.

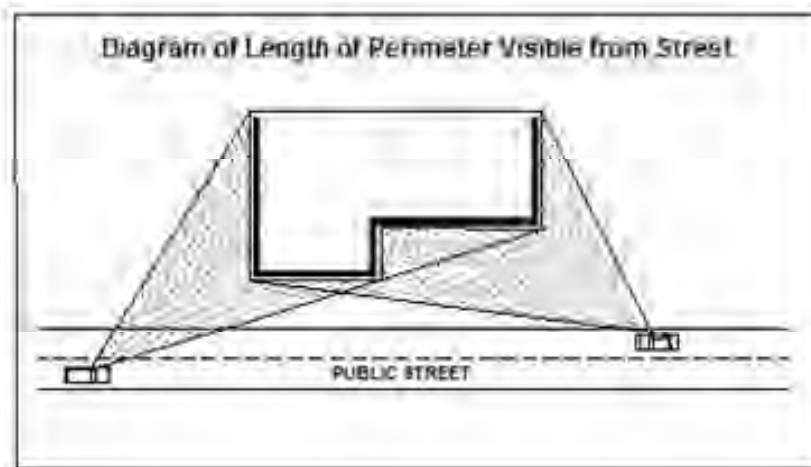
Hours of operation for the facility are proposed to be 6:00 AM to 5:00 PM. Minimum parking requirements for medical offices are calculated at five (5) patron stalls per doctor, plus one (1) stall for each employee onsite during the largest shift. Per information provided by the Applicant’s consultant, a maximum of three (3) surgeons with a maximum of twelve (12) support staff would be onsite during any shift. With the above information, a minimum of 30 parking stalls would be required. Plans show a total of 58 parking stalls east of the building. Therefore, the minimum required number of parking stalls in the proposed plans is exceeded. While staff would prefer to avoid excess parking, the number of stalls provided would allow for a future expansion of the facility if needed.

The building is proposed to be constructed with a combination of brick veneer (3 patterns) and stone veneer as the primary exterior building materials on the west, south, and east elevations. EIFS is shown as an accent material (less than 25% of the visible perimeter) on the west and south elevations. EIFS as an accent material is also shown on the east elevation, but the location is not within the visible perimeter. However, more than 50% of the north elevation is proposed to be constructed with EIFS.

Insulated and spandrel glass panels are proposed on all elevations, although from the submitted elevations it is difficult to distinguish between the two materials. Metal and stone canopies are proposed over main entrance on the west elevation, and a metal canopy is proposed over all doors on the east elevation. Rooftop mechanical units, shown on the Building Sections and Electrical Site Plan sheets, indicate that they will be

sited toward the center and west portion of the roof, and screened with a decorative metal screen. All ground, building, and rooftop mechanical units, utility boxes, and transformers must be screened per Code. This has been included in the recommended conditions of approval above. Materials percentages for all exterior building materials, with the exception of the rooftop mechanical screen, are shown on the elevation sheet.

EIFS is not listed as an acceptable primary exterior building material, and can only be used as an accent material comprising a maximum of 25% of the visible perimeter of the building per Code. Additionally, Section 17.1009(a)(2)(ii) states: "The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material."



In the past, the Plan Commission has approved, with a  $\frac{3}{4}$  majority vote, the use of alternate building materials in plans that have provided "supplemental design elements or improvements are incorporated into the project which compensate for the modifications of the particular standard," or for those preexisting buildings that were constructed prior to the inclusion of building materials restrictions. The proposal for the surgery center, however, must take into consideration the standards and requirements of the Overlay Districts, as previously mentioned.

Section 17.0329(c)(2)(f) of the Municipal Code allows for a modification to the building standards by a  $\frac{3}{4}$  majority of the Plan Commission "only if supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the modification of the particular standard." The Applicant is required to provide both a written and graphical representation of the supplemental design elements, and how such fulfill the requirement for the modification request(s). Modification requests are forthcoming as of writing this report.

One (1) ground/monument sign location has been identified on the plans on the southwest corner of the property. While not part of this review, staff makes mention to ensure that the proposed sign is located a

minimum of ten (10) feet from the right-of-way and property lines, and outside of required vision triangles. Landscaping around the base is also required per Code.

One combination trash and generator enclosure is proposed adjacent to the northeast portion of the building. Proposed materials include brick veneer to match the building and metal gates (facing south). Landscaping is recommended around the north portion of the enclosure to further screen from the property to the north. Staff has spoken to and will continue to work with the Applicant's consultants to ensure that revised landscape plans incorporate additional plantings on the north elevation and elsewhere onsite in compliance with Code requirements.

Below are the sections of the Overlay District Standards that apply to this development. They are provided to assist the Plan Commission with assessing the requests for modification.

#### General 27th Street Overlay Districts Design Standards

**Section 17.0329(b)(2)(a)** - Buildings must be, or appear to be at least two stories in height to give scale to the street.

- Portions of the building appear to be two stories.

**Section 17.0329(b)(3)(a)** - Parking lots must be primarily located on the sides and rears of buildings and are shared by two or more businesses. Large parking areas contain significant landscape islands with clear pedestrian walkways.

- A majority of the proposed parking will be located at the side and rear of the building; however, there are approximately six (6) parking stalls that are closer to the right-of-way than the front of the building. Setbacks for both are exceeded in the proposal (parking stalls at least 40 feet from right-of-way).

**Section 17.0329(c)(2)(b)(2)** - Exterior materials shall be durable, high-quality materials, true to form (such as stone below wood rather than the opposite), and appropriate for external use.

**Section 17.0329(c)(2)(b)(3)** - Brick, stone and terra-cotta shall be the primary materials for new buildings or additions.

- The proposal for the surgery clinic would be constructed with a majority of brick, stone, and glass, with the exception of the north elevation. As previously mentioned, the majority of the north elevation is proposed to be constructed with EIFS. Staff have become aware that this material has improved in durability and manufacture since the Code was amended to restrict the use to accent material comprising a maximum of 25%.

**Section 17.0329(c)(2)(b)(7)** - Trash, service and mechanical areas shall be entirely screened from view and located on the side or rear of properties.

- The plans meet this requirement.

**Section 17.0329(c)(2)(b)(8)** – All visible sides of the building shall be designed with details that complement the front façade. Side façades that are visible from the public street shall receive equal design attention.

- It will be at the Plan Commission’s discretion whether the proposed building design meets this requirement.

**Section 17.0329(c)(2)(c)(a)(ii)** - Masonry, stone, stucco and wood shall be used on the exterior to convey an impression of durability. Metal is not allowed as the primary exterior building material, but it may be used for accents including awnings.

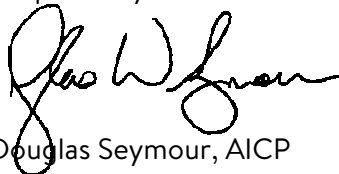
- As previously discussed, the majority of the building will be constructed with brick, stone, and glass. EIFS comprises a majority of the north elevation. The remaining subsections of Section 17.0329(c)(2)(c) appear to be met in the plans. Staff would like the Plan Commission to specifically make a determination on the proposed use of spandrel glass, including the location(s).

With the above in mind, and recognizing that City staff will continue to work with the Applicant and all involved parties on outstanding issues, staff has provided a suggested motion for approval with conditions above for Plan Commission consideration.

**Options/Alternatives:** The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

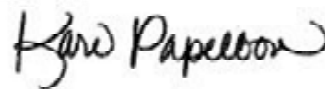
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Respectfully submitted:



Douglas Seymour, AICP  
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP  
Planner

**Attachments:**

Location Map

Overlay Districts Standards

Modification Request

Plans

C-2 through C-7

L100 (Landscape Plan)

A100, 110, 140, 220

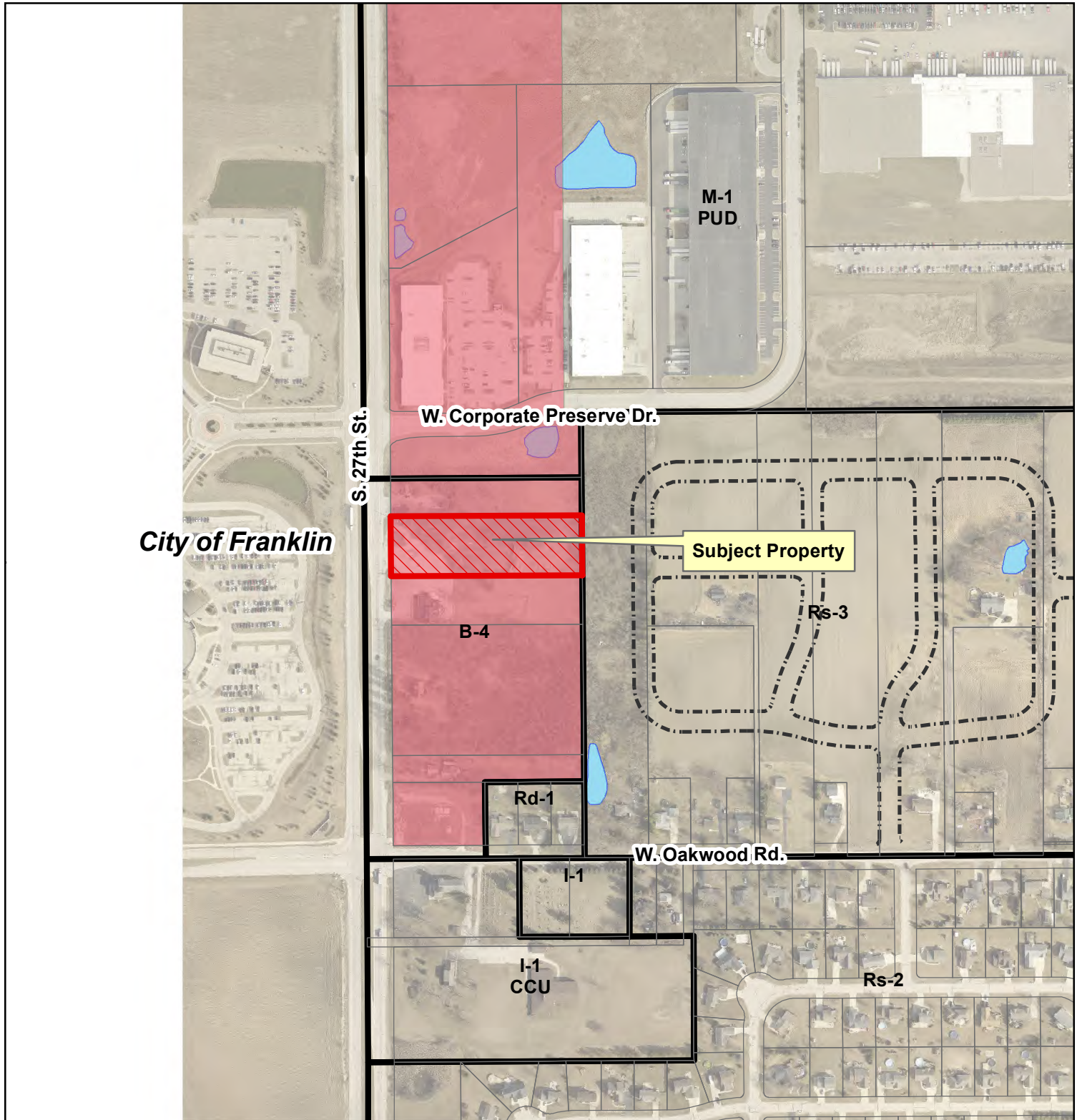
A400, 410, 500 (Elevations and Building Sections)

A810 (Interior Perspective Views)

ES100, 110, 1 of 1 (Electrical Site Plan & Photometrics)

# Location Map

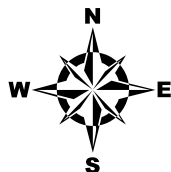
## 10148 S. 27th St.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



### Legend

- 10148 S. 27th St.
- Official Street Pattern
- C-1, Shoreland Wetland
- FF, Flood Fringe
- Lakefront Overlay
- NO, Mixed Use Neighborhood
- OO, Mixed Use Office
- RR, Regional Retail

## **SEC. 17.0329 GENERAL 27<sup>TH</sup> STREET OVERLAY DISTRICTS DESIGN STANDARDS.**

Coordinated efforts between the City of Oak Creek and the City of Franklin have resulted in the creation of four overlay districts along the 27<sup>th</sup> Street corridor within Oak Creek. The intent of the 27<sup>th</sup> Street overlay districts is to allow current permitted uses to maintain their permitted use standing while planning for coordinated development or redevelopment along the 27<sup>th</sup> Street corridor.

Whether the current use is permitted or special use, does not change based on the overlay district zoning until the specific use changes. At that time the new overlay district zoning and design standards come in effect.

The intent of the design standards is to provide creative ideas, stimulate forward thinking, promote quality design, and preserve designated woodlands and wetlands as well as ensure that the construction of buildings, facilities, and properties are compatible with their surroundings, are attractive, and enhance the corridor and building design and development standards established by the City of Oak Creek. These design standards shall apply to Sec. 17.0330 Regional Retail Overlay District, Sec. 17.0331 Mixed-Use/Office/Urban Village Overlay District, Sec. 17.0332 Mixed-Use Neighborhood Overlay District, and Sec. 17.0333 Mixed-Use Office Overlay District and as shown on the Official Zoning Map.

### **(a) General Design Guidelines**

1. Establish and improve the visual character of the 27<sup>th</sup> Street corridor to reflect its role as one of the most prominent entrances and gateways in the cities of Franklin and Oak Creek and Milwaukee County, and to establish a unique, quality identity for this important corridor.
2. Enhance the destination and market appeal of the corridor.
3. Design a visually pleasing, safe, and socially stimulating business district and destination for Franklin, Oak Creek, and southern Milwaukee County.
4. Facilitate well-planned, coordinated, quality private development along and across the corridor.
5. Ensure that public streets, buildings, infrastructure, and open spaces set a high standard for a quality physical environment throughout the corridor.
6. Enhance the quality of the pedestrian experience along the corridor by providing a pleasant experience for business patrons, employees, and residents.
7. Enhance economic investment for business and property owners.
8. Protect and conserve neighborhood character, and establish safe, convenient and attractive linkages between neighborhoods and shopping and employment areas.
9. Encourage flexible and individual creativity rather than uniformity.
10. Promote community awareness of the physical environment.
11. Preserve and protect environmentally sensitive areas including woodlands and wetlands.

### **(b) Design Principles**

1. Land Use
  - a. Development must provide a mix of uses that encourage pedestrian activity, respect the natural topography and express the street's cultural identity. Fostering a mix of retail, restaurants, offices, service businesses, light industry, residential, civic/institutional uses, and public open spaces is encouraged.
2. Buildings
  - a. Buildings must be, or appear to be at least two stories in height to give scale to the street. Buildings are located closer to the street to create a sense of enclosure for the public sidewalk. Building setbacks provide space for amenities that enhance pedestrian activity along the street.
3. Parking
  - a. Parking lots must be primarily located on the sides and rears of buildings and are shared by two or more businesses. Large parking areas contain significant landscape islands with clear pedestrian walkways.
4. Streets
  - a. Streets within developments must be designed to accommodate efficient traffic flow and multiple transportation choices including automobiles, bicycles, buses, and possible other mass transit options.

5. Walkability

- a. Sidewalks/terrace areas within developments must be a minimum of ten (10) feet wide with a six (6) foot unobstructed sidewalk zone and minimum four (4) foot wide terrace next to the public street. Street furnishings are provided in the terrace to enhance the pedestrian character and use of the street including pedestrian scale lighting, benches, bicycle racks, information kiosks, etc. Crosswalks are clearly marked and include pedestrian refuge islands for safe pedestrian and bicycle crossings.

6. Landscaping

- a. Street trees must be provided to shade the sidewalk, provide a sense of enclosure for the street, and visually unify the blockface.

(c)

**Design Standards**

The following general design standards provide overarching design principles that are common to all new construction and renovation projects along the 27<sup>th</sup> Street corridor. These standards fit into four (4) functional categories: blockface design, building design, site design, and streetscape design.

1. Blockface Design

The buildings and sites along 27<sup>th</sup> Street are not isolated structures. The placement and appearance of the buildings, sites, and signs contribute to the character of the entire block and ultimately to the character of the street. A blockface is one side of a street block. Because 27<sup>th</sup> Street runs north and south, the blockface along the street area oriented either east or west. When the buildings along a street block are closely spaced or contiguous, the blockface becomes a cohesive vertical element or “street wall”. The opposing blockfaces along the street create a series of relatively parallel street walls that – to varying degrees – enclose the public streetscape and create outdoor, linear “rooms”.

a. The general guidelines for how private property owners can improve the blockface design include:

- 1) Coordinate building and site designs with adjoining properties.
- 2) Promote shared driveways and parking.
- 3) Use landscaping and furnishings to enhance the public sidewalk.
- 4) Consider infill development and landscaping to create a continuous blockface.

b. Circulation and Access

- 1) The internal transportation network for new developments or redevelopment of existing properties shall be designed to accommodate all modes of transportation and incorporate a network of interconnecting streets and blocks with respect to the natural landscape. The internal transportation network shall provide alternate routes to every destination, distributing automobile traffic and shortening walking distances.
- 2) Commercial buildings shall incorporate pedestrian walkways and open spaces and encourage safe movement through their site and to the surrounding area. Such walkways shall be connected with public streets in an engaging and identifiable manner and conflicts between pedestrians and vehicles shall be minimized, to the extent possible.
- 3) Development that maximizes the opportunity to preserve and access adjacent natural and scenic areas including Falk Park, the Root River Corridor, and the Oak Creek Corridor is expected.
- 4) Loading docks and other service requirements shall be placed at the rear of buildings and accessed from service driveways. Pedestrian areas and customer parking areas shall be separated from these areas.

2. Building Design

The design of buildings is a key part of shaping a positive and attractive character for the 27<sup>th</sup> Street corridor. New buildings and renovation of existing buildings shall enliven the public streetscape, complement the character of adjacent buildings, and provide inviting entrances to pedestrians. Building designs shall be sustainable, as well. “Green” architecture, which uses water, energy, and other natural resources more efficiently, is encouraged.

a. General design parameters for building design include:

- 1) Create buildings with details and proportions that are scaled to the pedestrian.
- 2) Complement scale and character of adjacent buildings.
- 3) Encourage mixed-use buildings.
- 4) Create inviting entrances.
- 5) Maximize storefront transparency.
- 6) Design all sides of the building visible to the public.



- 7) Encourage franchises to respect the character of the street.
  - 8) Employ sustainable design practices.
  - 9) Provide details that express the corridor's character and identity.
- b. The building character and design standards.
- 1) Multi-story buildings with quality architectural design shall be located on prominent sites, such as key intersections, corners, terminations of street vistas, and on high points to serve as landmarks.
  - 2) Exterior materials shall be durable, high-quality materials, true to form (such as stone below wood rather than the opposite), and appropriate for external use.
  - 3) Brick, stone and terra-cotta shall be the primary materials for new buildings or additions.
  - 4) The use of false brick or other "faux" sidings is not permitted.
  - 5) Painting of natural brick and stone is not permitted.
  - 6) Color choice shall complement the style and materials for the building's façade and provide a pleasing relationship with adjoining buildings.
  - 7) Trash, service and mechanical areas shall be entirely screened from view and located on the side or rear of properties.
  - 8) All visible sides of the building shall be designed with details that complement the front façade. Side façades that are visible from the public street shall receive equal design attention.
  - 9) Building massing that creates modulation and articulation is encouraged.
  - 10) Multi-story buildings that allow for a mix of retail, office or residential uses are encouraged.
- c. Building details
- 1) Building design standards less than 20,000 square feet (excluding single and two family residential).
    - a. Building Materials and Colors
      - (i) Façades shall be varied and articulated to provide visual interest to pedestrians. Within larger projects, variations in façades, floor levels, architectural features, and exterior finishes shall create the appearance of several smaller buildings.
      - (ii) Masonry, stone, stucco and wood shall be used on the exterior to convey an impression of durability. Metal is not allowed as the primary exterior building material, but it may be used for accents including awnings.
      - (iii) Where masonry is used for exterior finish, decorative patterns shall be incorporated. Ex. Multicolored masonry units such as brick, stone, or cast stone, in layered or geometric patterns, or split-faced concrete block to simulate a rusticated stone-type construction.
      - (iv) Wood siding shall be bevel, shingle siding, or channel siding and not be applied in a diagonal or herringbone pattern.
      - (v) Building façade colors shall be non-reflective, subtle, neutral, or earth tone. Building trim and architectural accent elements may feature brighter colors, but such colors shall be muted, not metallic, not fluorescent, and not specific to particular uses or tenants. Standard corporate and trademark colors shall be permitted only on a sign face and copy areas.
    - b. Roof Materials, Parapets and Roof Pitch
      - (i) Pitched roof structures shall have a minimum roof pitch of 6/12.
      - (ii) Flat roofs are permitted with detailed stepped parapets or detailed brick coursing.
      - (iii) Parapet corners shall be stepped or designed to emphasize the center or primary entrance(s), unless the primary entrance is at the corner of the building.
      - (iv) Visible sloped roofs shall be neutral in color, such as gray, black or dark brown.
      - (v) Visible roof materials shall be wood or architectural grade composition shingle or sheet metal with standing or batten seam.
      - (vi) All roof and wall-mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, shall be screened from public view by parapets, walls, or by other approved means.
  - c. Building Façades

- (i) Decorative devices, such as molding, entablature, and friezes, are encouraged at the roofline. Where such ornamentation is present in the form of a linear molding or board, the band shall be at least eight (8) inches wide.
  - (ii) Buildings shall incorporate features such as arcades, roofs, porches, alcoves, porticoes, and awnings to protect pedestrians from the rain and sun. Awnings and entrances may be designed to be shared between two (2) structures.
  - (iii) For buildings designed to house retail, service, or office businesses, traditional storefront elements are required. These elements include:
    - Front and side building walls placed as close as permitted to property lines.
    - Clearly delineated upper and lower façades.
    - A lower façade dominated by large display windows and a recessed entry or entries.
    - Smaller, regularly spaced windows in the upper floor.
    - Decorative trims, such as window hoods, surrounding upper floor windows.
    - A decorative cornice near the top of the façade.
- d. Change in Relief of Building
- (i) Buildings shall include changes in relief on ten (10) percent of their primary façade. Relief changes include cornices, bases, fenestration, fluted masonry, or other treatment for pedestrian interest and scale.
- e. Windows
- (i) Windows that allow views to the interior activity or display areas are required. Windows shall include sills at the bottom and pediments at the top. Glass curtain walls, reflective glass, and painted or darkly tinted glass shall not be used.
  - (ii) Ground floor window standards.
    - All new buildings shall provide ground floor windows.
    - Required window areas shall be wider windows that allow views into working areas or lobbies, pedestrian entrances, or display windows.
    - Required windows shall have a sill no more than four (4) feet above grade. Where interior floor levels prohibit such placement, the sill shall be raised to allow it to be no more than two (2) feet above the finished floor level, up to a maximum sill height of six (6) feet above grade.
    - Darkly tinted windows and mirrored windows that block two-way visibility are prohibited as ground floor windows along street facades.
    - The primary façade of each building, or for corner buildings, each of the two facades, shall contain at least twenty (20) percent of the ground floor wall area in display areas, windows, or doorways. Blank walls are prohibited.
    - Ground floor windows are also required on facades facing any public parking lot. The minimum requirement is sixteen (16) square feet per story, or six (6) percent of the façade, whichever is greater.
  - (iii) Upper floor window standards.
    - Glass area dimensions shall not exceed 5'x7'. (The longest dimension may be taken either horizontally or vertically).
    - Windows shall have trim or molding at least two (2) inches wide around their perimeters.
- f. Modification of Standards
- The Plan Commission may modify any of the above building design standards by a  $\frac{3}{4}$  vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the modification of the particular standard. In support of the modification request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the modification is requested.
- g. Pedestrian Accessibility
- (i) Buildings shall maintain and/or enhance the pedestrian scale.
  - (ii) Building entries shall comply with the accessibility requirements of the applicable state and federal codes.

- (iii) Special attention shall be given to designing a primary building entrance that is both attractive and functional.
  - (iv) Buildings located at the intersection of two (2) streets shall utilize a corner entrance to the building unless this is deemed by the Plan Commission to be impractical.
  - (v) Pedestrian environment may be enhanced by street furniture, landscaping, awnings, and movable planters of seasonal flowers.
-

**SEC. 17.0333 OO – MIXED-USE OFFICE OVERLAY DISTRICT**

The purpose of the Mixed-Use Office Overlay District is to provide for office and professional uses along the 27<sup>th</sup> Street corridor while integrated a mix of retail and open space uses. The design standards of Section 17.0329 shall apply to the Mixed-Use Office Overlay District.

(a) **Permitted Uses:**

1. Administrative and public service offices.
2. Banks, savings and loan, and other financial institutions.
3. Business offices.
4. Insurance sales offices.
5. Interior decorators.
6. Law offices.
7. Licensed massage therapy and body work as certified by the State.
8. Medical and dental clinics.
9. Professional offices of an architect, engineer, landscape architect, lawyer, accountant, doctor, chiropractor, Christian science practitioner, dentist, optometrist, clergy or other similarly recognized profession.
10. Real estate and insurance sales offices.
11. Studios for photography, painting, music, sculpture, dance, pottery and jewelry.

(b) **Permitted Accessory Uses:**

1. Barber shops and beauty shops.
2. Group day care center without outdoor activity areas.
3. Drug Stores.
4. Educational Services.
5. Job training and related services.
6. Janitorial supplies and services.
7. Physical fitness centers.
8. Video production.
9. Garages used for storage of vehicles used in conjunction with the operation of the business.
10. Cafeterias, delicatessens, and restaurants accessory to and located within the same building as a permitted use.
11. Off-street parking and loading areas.
12. Ground-mounted and building-mounted earth station dish and terrestrial antennas.
13. Solar collectors attached to the principal structure.

(c) **Conditional Uses:**

1. Drive-through financial institutions.
2. Group day care centers with outdoor activity areas.
3. Hotels (minimum three (3) stories).
4. Radio and television and receiving stations, and studios.
5. Utility substations, municipal wells, pumping stations, and towers provided that the

use is not less than fifty (50) feet from any lot line.

6. Solar energy collectors erected as an accessory structure.

7. Religious Institutions.

(d) **Lot Area and Width:** Lots shall have a minimum area of 40,000 square feet and shall be not less than 150 feet in width.

(e) **Building Height and Area:**

1. The principal building shall be at least two (2) stories in height with no maximum. No accessory building shall exceed seventeen (17) feet in height.

2. Special use approval shall be required for buildings greater than 40,000 square feet.

3. Retail and service establishments shall be less than 10,000 square feet in tenant area with interior access in office buildings.

(f) **Setback and Yards:**

1. There shall be a minimum front setback of fifty (50) feet from the right-of-way of all streets.

2. There shall be a side setback on each side of all principal buildings of not less than twenty (20) feet.

3. There shall be a rear setback of not less than thirty (30) feet.

4. Accessory buildings shall be located not less than five (5) feet from a side or rear lot line; except if it abuts a residential district, the setback provided shall be at least what the appropriate side or rear setback for a principal building would be in the adjoining residential district. However, in no case shall it be less than ten (10) feet.

5. There shall be a minimum wetland setback of fifty (50) feet.

(g) **Design Standards:**

1. Whenever possible, development shall be organized around open space that can provide natural stormwater retention, greenway trails, etc. However, coordinated developments may share common open space for stormwater detention, greenway trails, etc.

2. Provision of retail opportunities is encouraged to create a mixed-use environment. Developments are encouraged to incorporate well-designed open spaces for employee, customer, and community use.

3. Corner buildings shall be designed with additional height and/or architectural details to reinforce their location.

4. The incorporation of landscape, water features, and other design features are encouraged at intersections or along the development frontage to enhance the view of the structures from the street.

5. New developments shall include attractively designed, well-connected, streets with coordinated amenities.
6. The street layout shall be adapted to the topography, unique natural features, environmental constraints of the site, and peripheral open space areas. The street layout shall provide for open space views and surrounding vistas.

*Ordinance 2346, A 6/21/05, Sec. 17.0333*

*Ordinance 2847, A 4/3/17, Sec. 17.0333(c)*



October 17, 2019

Kari Papelbon  
City of Oak Creek – Community Development  
8040 South 6<sup>th</sup> Street  
Oak Creek, WI 53154

RE: Vision Property Group LLC  
Building Modification Request

Dear Ms. Papelbon:

We are providing this letter to provide a request for a building modification regarding the use of EIFS building material and height of the building based on the overlay zoning requirements.

Functionally the ambulatory surgery center does not require a two-story design. To address the two-story zoning requirement, we have added design elements and features to the project which are explained in the narrative below.

Our design is about interpenetrating volumes and a juxtaposition of planes. There is the main volume containing the ORs and support functions in a (light) Buff colored brick, with the Pre/Post bays protruding to the south in a (dark) Gray/Burgundy brick. Other functions are articulated in a similar way – with the waiting area as a Glass volume, and entry signified with a tall stone mass.

The Glass volume waiting area benefits from a generous amount of natural light because of the two-story height of the roof, and addresses the street by being angled toward the main drive. Traffic from the south direction would mainly see the glass volume and canopy, while traffic from the north direction would mainly see the masonry masses. The light vs heavy contrast is emphasized in the materials, colors, as well as vertical orientations of the stone mass vs the horizontal orientation of the canopy and glass volume's roof.

The 2-story scale of the glass volume is extended from the west (front) toward the east (rear) of the building using a wall that serves to screen the roof top mechanical equipment. Again, using the darker color of the wall to contrast with the adjacent lightness of the glass, and Buff colored masonry. Being of a dark color, and setback from the main volume, it serves a backdrop for the masonry materials. The masonry is also carefully situated to be the material most accessible by sight and by touch, as it is featured in main sightlines and along walkways.

We used various materials, colors, and textures to add complexity and sophistication. It involves a certain arrangement and proportion to achieve, and depends on a number of

161 East Michigan Avenue  
Suite 200  
Kalamazoo  
MI 49007-3957

**PHONE**  
269.388.7313

**FAX**  
269.388.7330

**WEB**  
[www.eckert-wordell.com](http://www.eckert-wordell.com)

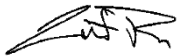
**PRINCIPALS**  
Jeffery S. Eckert  
David G. Jarl  
Chad D. Sikkenga  
Douglas M. Wales  
Tim Cane  
Curt Penny  
Paul Van Der Kolk  
Donna Van Natter  
Jared VanderWeele

**ASSOCIATES**  
Susan Beachler  
Robert Flegal

contrasting materials and colors are used. Though the building is primarily masonry and stone masonry, the use of EIFS helps with its broader color range and (smooth) texture. Some masonry and the EIFS is dark, while other contrasting masonry and the stone are light. Similarly, the contrast of the lightness of the glass volume and space under the canopy contrasts with the weight of the stone and masonry masses.

We believe this project will be a beautiful asset to this part of the community and appreciate your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Curt Penny', written in a cursive style.

Curt Penny

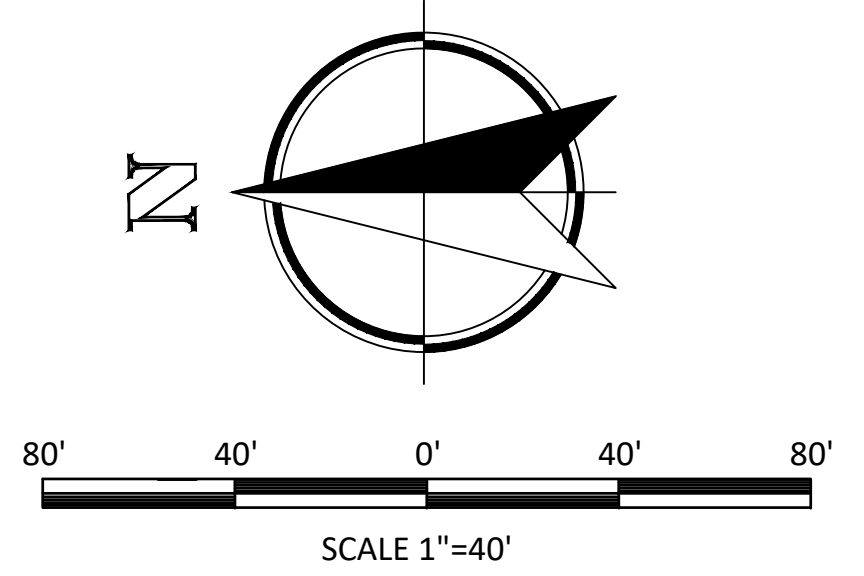
*Principal | Healthcare Studio*

A part of the Southwest 1/4 of the Southwest 1/4 of Section 30, Town 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin, more particularly described as follows: Commencing at a point in the West line of said 1/4 Section 858 feet North of the Southwest corner of said 1/4 Section; thence running East and parallel to the South line of said 1/4 Section 660 feet to a point; thence North and parallel to the West line of said 1/4 Section 181.5 feet to a point; thence West and parallel to the South line of said 1/4 Section 660 feet to a point in the West line of said 1/4 Section; thence South along the West line 181.5 feet to the place of beginning, excepting therefrom the West 80 feet, reserved for street purposes. Containing 2.42 Acres (exclusive of Right-of-Way)

**Certificate**  
The above-described property has been surveyed under my direction and the map hereon drawn is a correct representation thereof to the best of my knowledge and belief.

07/15/2019

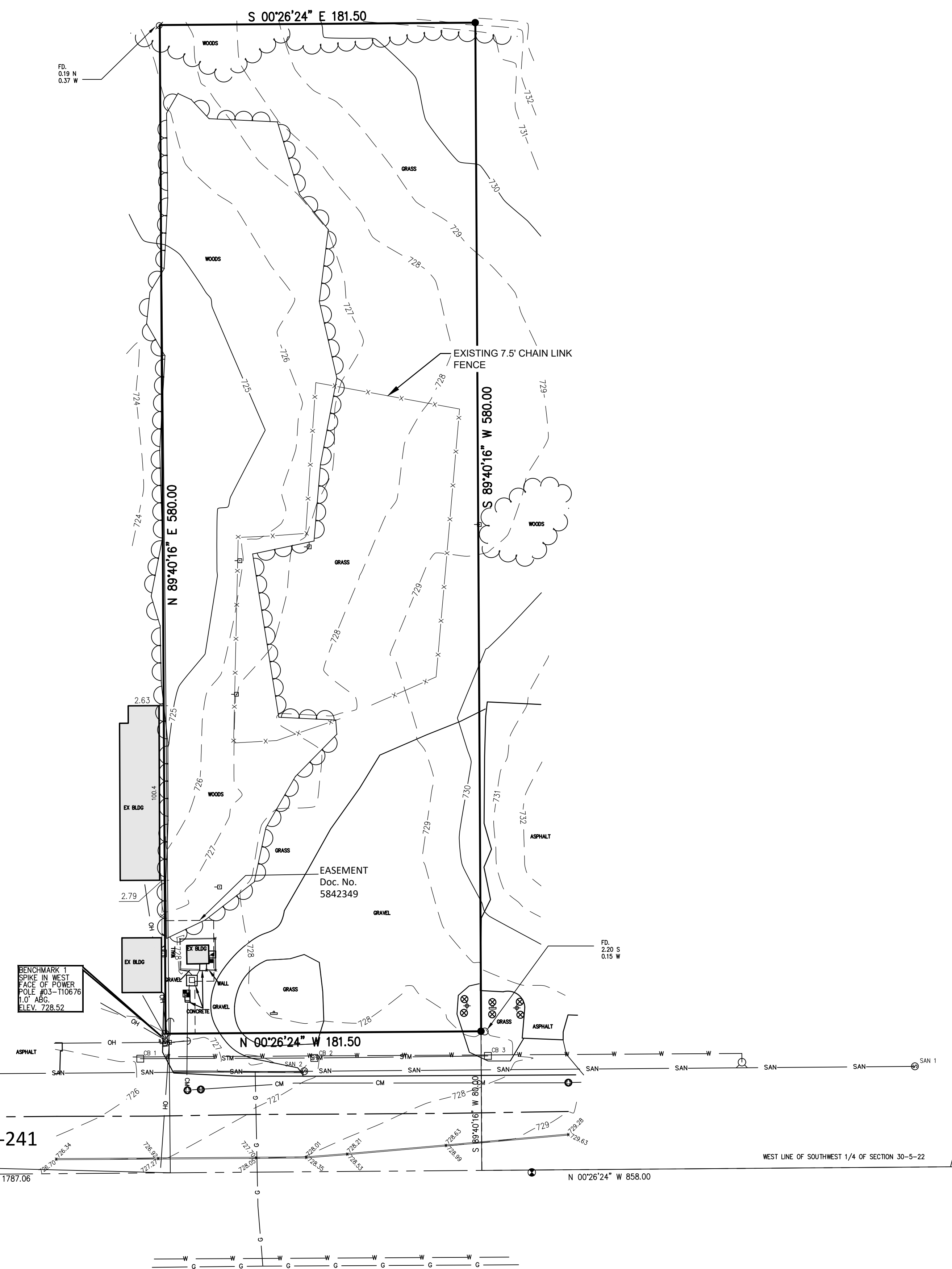
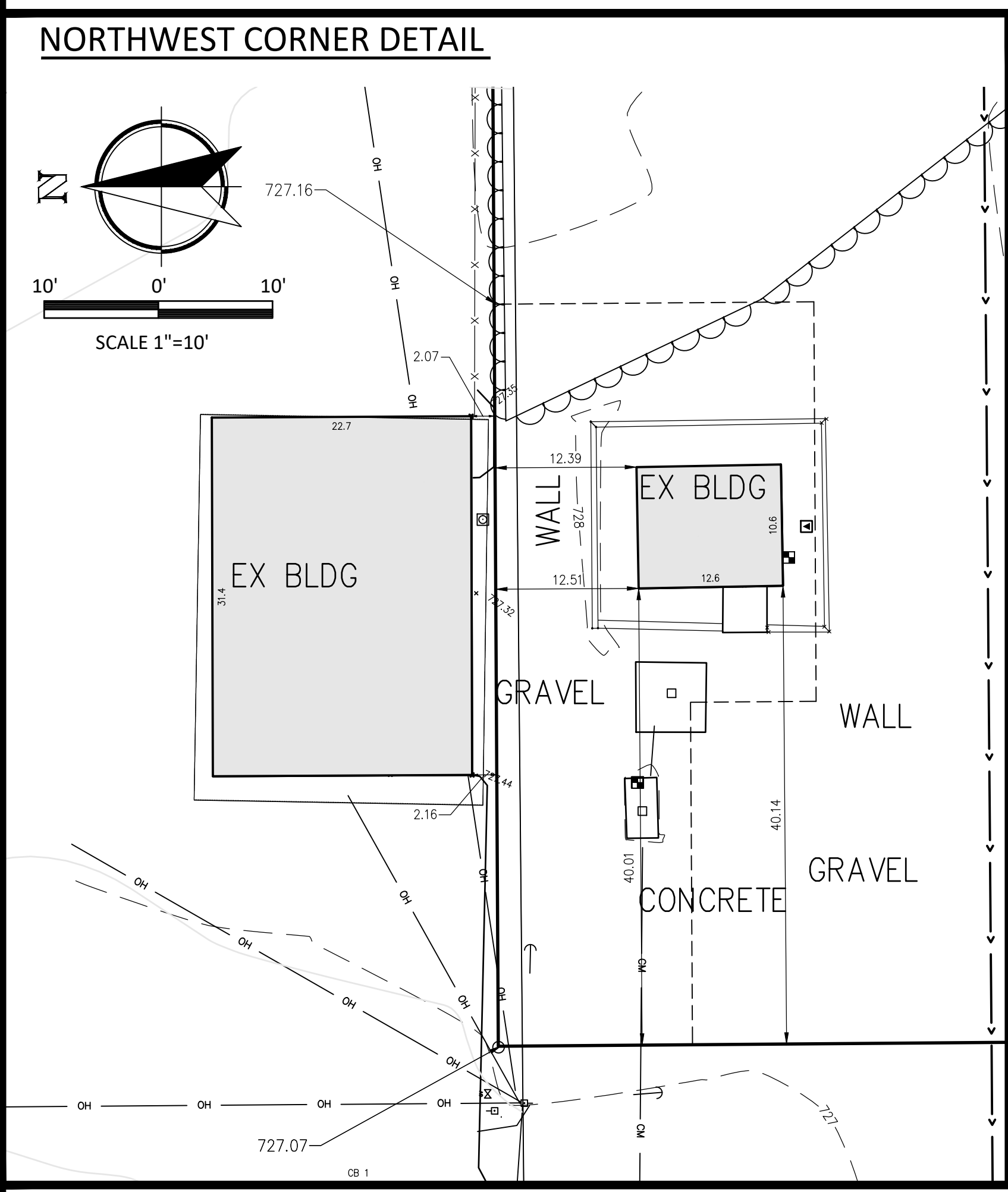
Parcel Key Number  
927995000



BEARING BASE: GRID NORTH, WISCONSIN  
COORDINATE SYSTEM, SOUTH ZONE.  
BASED UPON NAD 1927.  
  
ALL ELEVATIONS REFER TO NATIONAL  
GEODETTIC DATUM OF 1929.

- LEGEND:**
- CATCH BASIN
  - STM — STORM SEWER
  - ⊙ SANITARY MANHOLE
  - SAN — SANITARY SEWER
  - ⊠ POWER POLE
  - OH — OVERHEAD WIRES
  - ← GUY WIRE
  - ⊐ SIGN
  - ⊞ ELECTRIC METER
  - ⊙ FOUND MON.
  - ⊙ FOUND NGS MON.
  - ⊙ FOUND 1" IRON PIPE
  - ⊙ FOUND 1 1/4" IRON PIPE
  - SET 3/4" REBAR
  - ⊕ FLOOD LIGHT
  - ⊙ GUARD POST
  - X — FENCE
  - ⊗ GAS VALVE
  - ⊞ GAS METER
  - ⊠ HVAC
  - ⊞ COMMUNICATION BOX
  - ⊕ COMMUNICATION MANHOLE
  - G — GAS MAIN
  - CM — COMMUNICATION LINE
  - W — WATER MAIN

EXISTING UTILITY DATA	
CB 1 RIM 726.09 IE. 18" N 722.69 IE. 18" S 722.69	SAN MH 1 RIM 730.28 IE. 8" N 718.88 IE. 8" S 718.88
CB 2 RIM 726.97 IE. 18" N 723.87 IE. 18" S 723.87	SAN MH 2 RIM 726.72 IE. 10" N 714.92 IE. 8" S 715.07
CB 3 RIM 727.57 IE. 18" N 725.07 IE. 18" S 725.07	SAN MH 3 RIM 722.85 IE. 12" N 711.05 IE. 10" S 711.25



**EXISTING CONDITIONS PLAN**  
FOR  
**VISION PROPERTY GROUP**  
CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

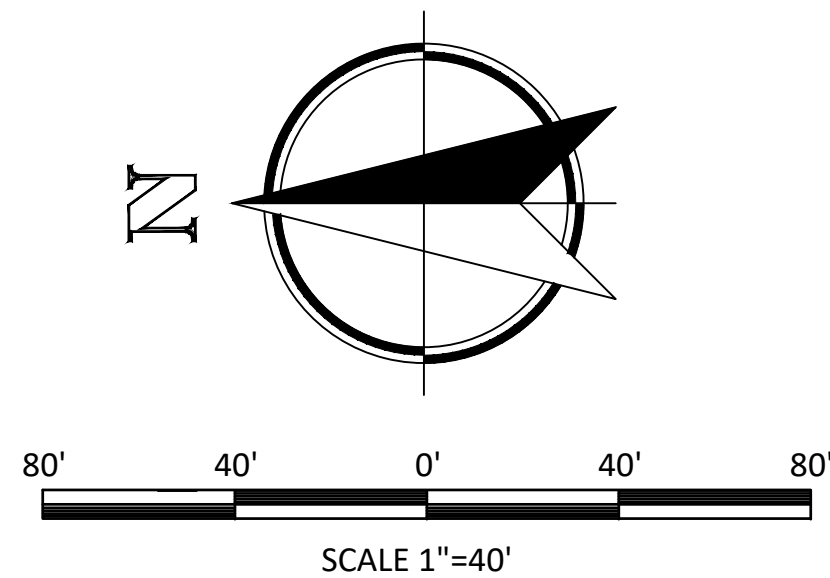
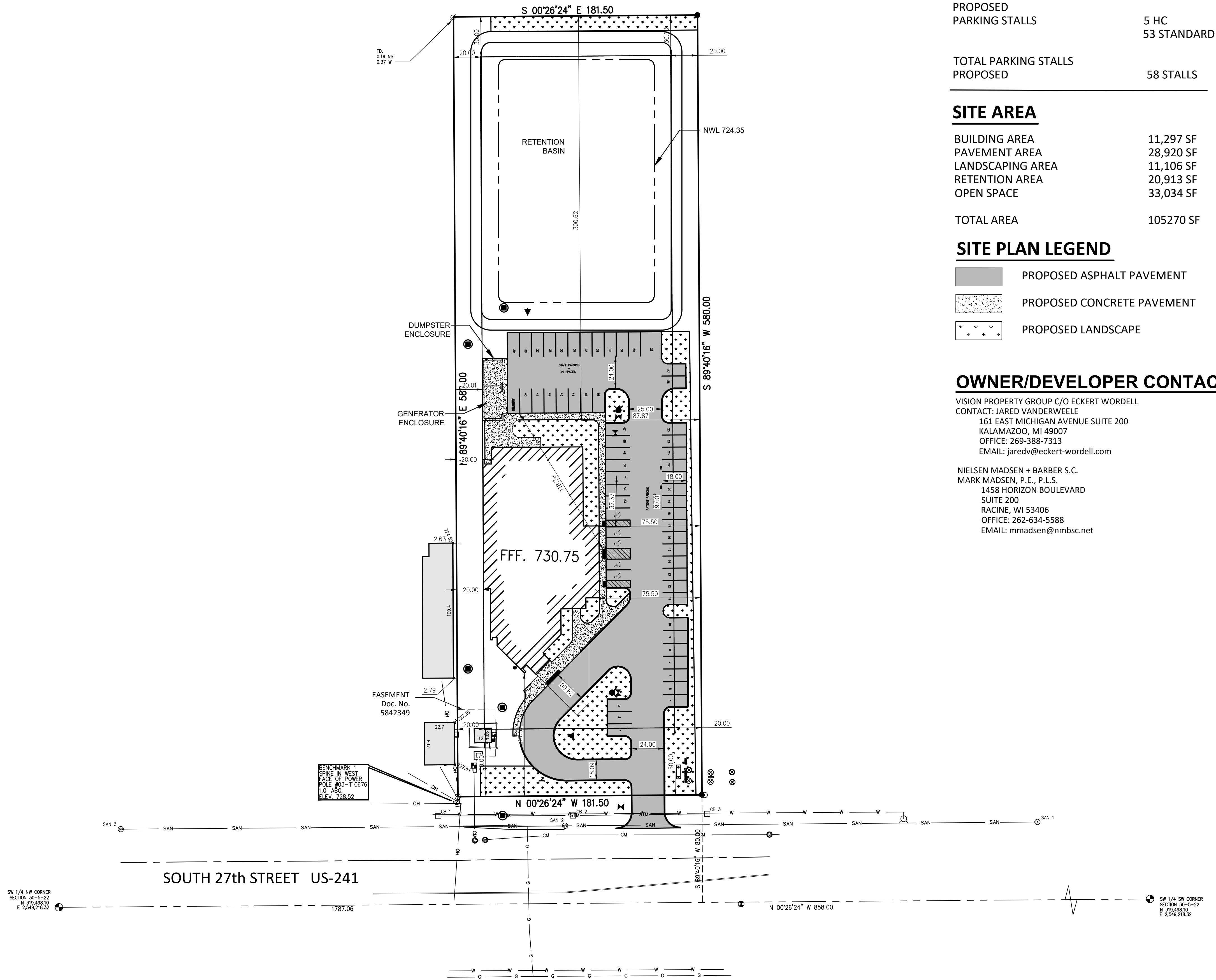
NO.	REVISION	BY	DATE

PROJ. MGR: \_\_\_\_\_ MRM  
DRAFTED: \_\_\_\_\_ TRV  
DATE: 09-19-2019  
CHECKED: \_\_\_\_\_ MRM  
DATE: 09-20-2019

2019.0007.01  
SHEET  
**C-2**

**ISSUED FOR REVIEW: 9-24-2019**





BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.

ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

LEGEND:

☐ CATCH BASIN	⊕ FLOOD LIGHT
— STM — STORM SEWER	⊗ GUARD POST
⊙ SANITARY MANHOLE	— X — FENCE
— SAN — SANITARY SEWER	⊗ GAS VALVE
⊞ POWER POLE	⊞ GAS METER
— OH — OVERHEAD WIRES	△ HVAC
← GUY WIRE	⊞ COMMUNICATION BOX
⊞ SIGN	⊞ COMMUNICATION MANHOLE
⊞ ELECTRIC METER	— G — GAS MAIN
⊞ FOUND MON.	— CM — COMMUNICATION LINE
⊞ FOUND NGS MON.	— W — WATER MAIN
○ FOUND 1" IRON PIPE	
○ FOUND 1 1/4" IRON PIPE	
● SET 3/4" REBAR	
⊕ CUT "+* SET	

**EXISTING UTILITY DATA**

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CB 3 RIM 727.57 IE. 18" N 725.07 IE. 18" S 725.07	SAN MH 3 RIM 722.85 IE. 12" N 711.05 IE. 10" S 711.25

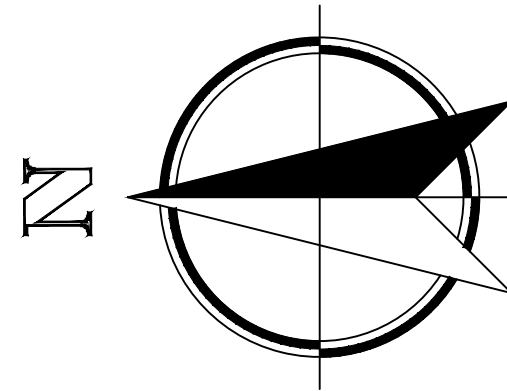
**CIVIL ENGINEERS AND LAND SURVEYORS**  
 1458 Horizon Blvd. Suite 200, Racine, WI. 53406  
 Tele: (262)634-5588 Website: www.nmbasc.net

**PROPOSED SITE PLAN** FOR  
**VISION PROPERTY GROUP**  
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MRM  
 DRAFTED: TRV  
 DATE: 09-16-2019  
 CHECKED: MRM  
 DATE: 09-20-2019

2019.0007.01  
 SHEET  
**C-3**



80' 40' 0' 40' 80'  
SCALE 1"=40'

BEARING BASE: GRID NORTH, WISCONSIN  
COORDINATE SYSTEM, SOUTH ZONE.  
BASED UPON NAD 1927.

ALL ELEVATIONS REFER TO NATIONAL  
GEODETIC DATUM OF 1929.

LEGEND:

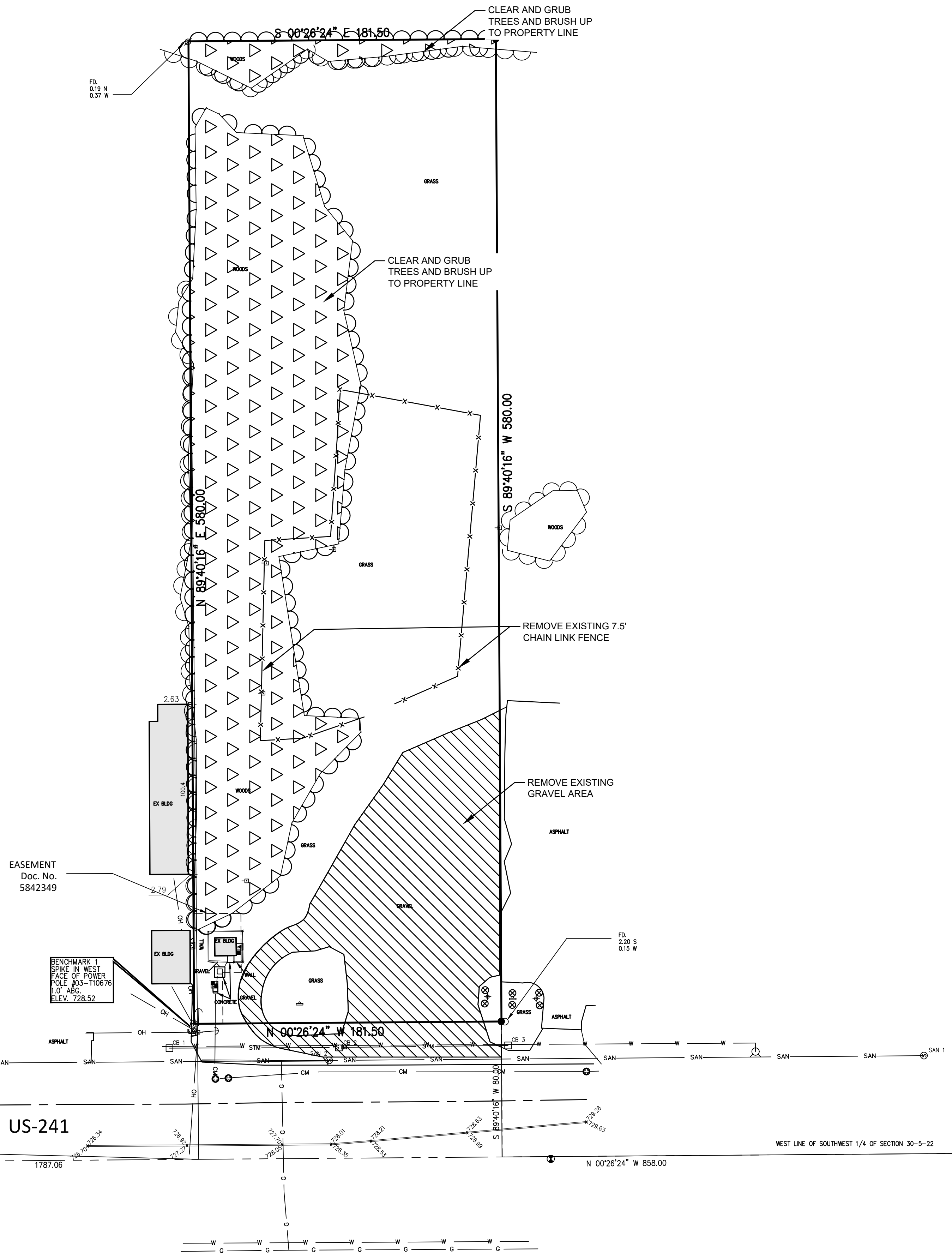
- CATCH BASIN
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- ⊙ SANITARY MANHOLE
- SAN- SANITARY SEWER
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- ⊠ COMMUNICATION BOX
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- G- GAS MAIN
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- W- WATER MAIN

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CB 3 RIM 727.57 IE. 18" N 725.07 IE. 18" S 725.07	SAN MH 3 RIM 722.85 IE. 12" N 711.05 IE. 10" S 711.25

DEMOLITION LEGEND

- REMOVE GRAVEL
- CLEARING AND GRUBBING
- X-X- REMOVE EXISTING FENCE



DEMOLITION NOTES

THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL AT A LOCATION APPROVED (BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PAVEMENTS, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLY COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION, SITE CLEARING, AND DISPOSAL.

THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LAND SURVEYOR AND ENGINEER OF RECORD ASSUME NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION (OR MODIFICATION) OF THE BUILDINGS.

ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CALL DIGGERS HOTLINE AT 1-800-242-8511 A MINIMUM OF 3 WORKING DAYS PRIOR TO EXCAVATION ACTIVITIES TO LOCATE AND MARK ALL UNDERGROUND UTILITIES.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE AND MARK ALL UNDERGROUND PRIVATE UTILITIES.

CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH SIGNS, FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. TEMPORARY CLOSURE OF ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING THE COURSE OF WORK.

PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

EXISTING ITEMS TO REMAIN INCLUDING, BUT NOT LIMITED TO, FENCES, SIGNS, UTILITIES, BUILDINGS, TREES, PAVEMENTS, AND LIGHT POLES SHALL BE CAREFULLY PROTECTED DURING THE DEMOLITION PROCESS. ANY DAMAGE SUSTAINED TO ITEMS TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

PROPERTY CORNERS AND BENCHMARKS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL LIMIT PAVEMENT REMOVALS TO ONLY THOSE AREAS WHERE IT IS NECESSARY AS SHOWN ON THESE CONSTRUCTION PLANS. CONCRETE SIDEWALK AND CURB & GUTTER IS TO BE REMOVED TO NEAREST JOINT IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENTS AND OR OTHER IMPROVEMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPAIR OF DAMAGED PAVEMENT AND OTHER ITEMS AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR TO REMOVE ALL EXISTING SIGNS WITHIN PROPERTY LIMITS EXCEPT FOR THOSE CALLED TO BE SALVAGED TO THE OWNER OR SALVAGED AND RELOCATED.

IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, OR OTHER ENVIRONMENTAL RELATED CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE PROJECT CONSTRUCTION MANAGER FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE CONSTRUCTION MANAGER.

AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED, EXCESS, WASTE, STOCKPILED AND SPOIL MATERIAL IN ACCORDANCE WITH SECTION 205.3.12 OF THE "STATE SPECIFICATIONS". THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.

Monday, September 23, 2019 4:47:49 PM

SW 1/4 NW CORNER  
SECTION 30-5-22  
N 315.498.10  
E 2,549.218.32

SOUTH 27th STREET US-241

WEST LINE OF SOUTHWEST 1/4 OF SECTION 30-5-22

SW 1/4 SW CORNER  
SECTION 30-5-22  
N 315.498.10  
E 2,549.218.32

CIVIL ENGINEERS AND LAND SURVEYORS  
1458 Horizon Blvd, Suite 200, Racine, WI. 53406  
Tele: (262)634-5588 Website: www.nmbcc.net

DEMOLITION PLAN FOR VISION PROPERTY GROUP  
CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MRM  
DRAFTED: TRV  
DATE: 09-16-2019  
CHECKED: ALI  
DATE: 09-20-2019

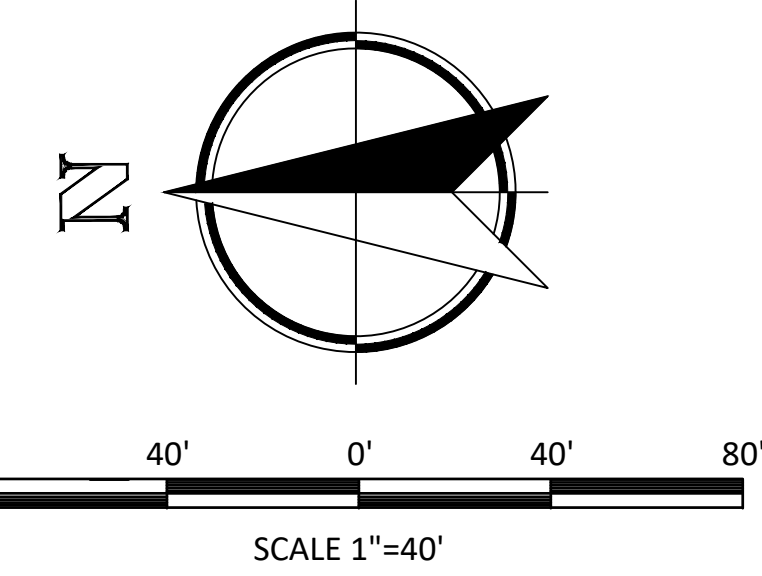
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ISSUED FOR REVIEW: 9-24-2019

Monday, September 23, 2019 4:47:54 PM

CIVIL ENGINEERS AND LAND SURVEYORS  
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PROPOSED GRADING AND EROSION CONTROL PLAN  
FOR  
VISION PROPERTY GROUP  
CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN



### GRADING & EROSION CONTROL LEGEND

- 692 — EXISTING CONTOURS
- 702 — PROPOSED CONTOURS
- - - PROPOSED SILT FENCE
- STORM SEWER INLET PROTECTION
- NON-CHANNEL EROSION MAT - CLASS I, TYPE A (ENTIRE SITE, EXCEPT AS NOTED)
- CHANNEL EROSION MAT - CLASS I, TYPE B
- RIPRAP W/GEOTEXTILE FABRIC (TYPE "R")
- PYRAMAT

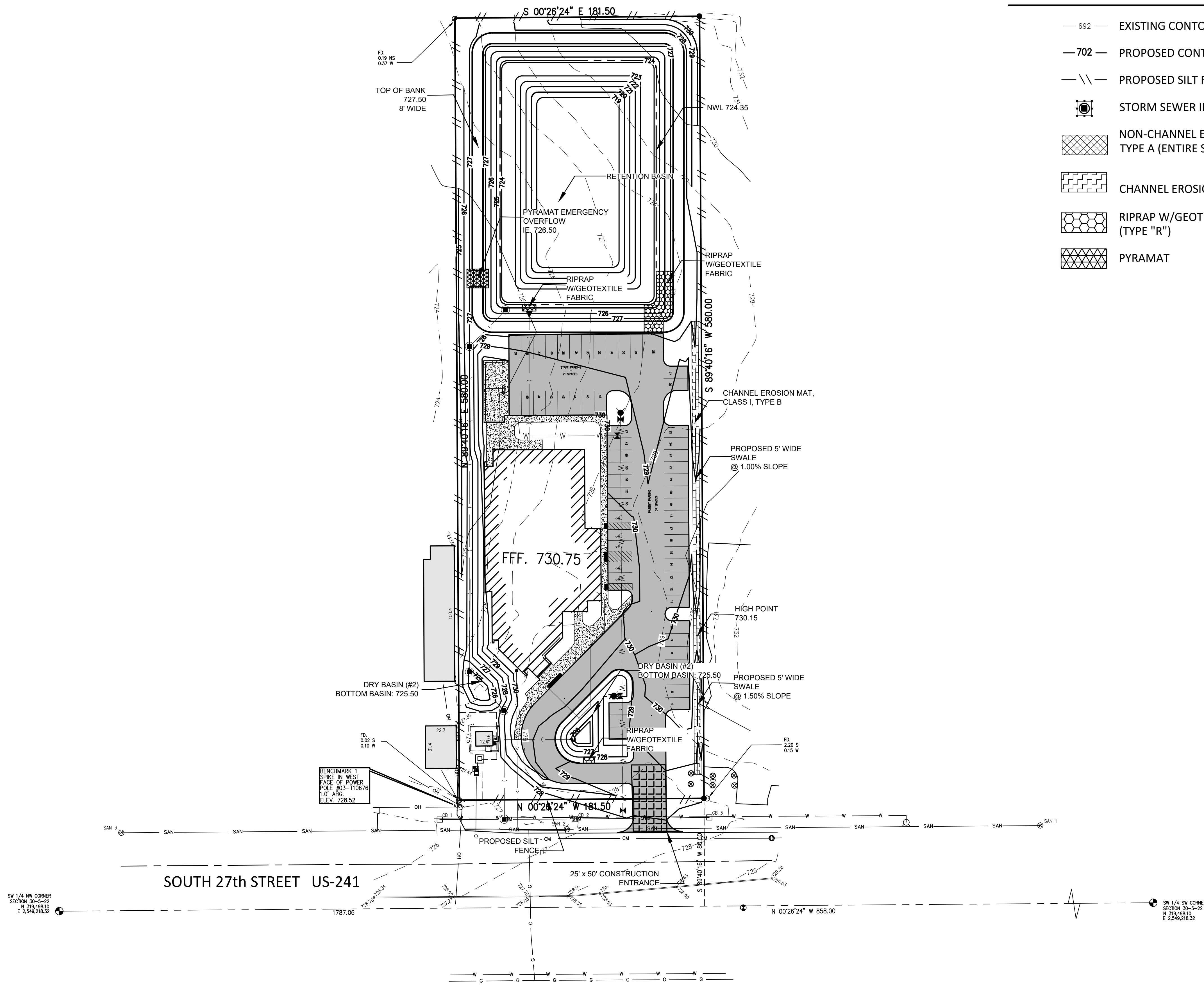
BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.

ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

- LEGEND:
- CATCH BASIN
  - STORM SEWER
  - SANITARY MANHOLE
  - SANITARY SEWER
  - POWER POLE
  - OVERHEAD WIRES
  - GUY WIRE
  - SIGN
  - ELECTRIC METER
  - FOUND MON.
  - FOUND NGS MON.
  - FOUND 1 1/4" IRON PIPE
  - FOUND 1/4" REBAR
  - CUT "+- SET
  - FLOOD LIGHT
  - GUARD POST
  - FENCE
  - GAS VALVE
  - GAS METER
  - HVAC
  - COMMUNICATION BOX
  - COMMUNICATION MANHOLE
  - GAS MAIN
  - COMMUNICATION LINE
  - WATER MAIN

### EXISTING UTILITY DATA

CB 1 RIM 726.09 IE. 18" N 722.69 IE. 18" S 722.69	SAN MH 1 RIM 730.28 IE. 8" N 718.88 IE. 8" S 718.88
CB 2 RIM 726.97 IE. 18" N 723.87 IE. 18" S 723.87	SAN MH 2 RIM 726.72 IE. 10" N 714.92 IE. 8" S 715.07
CB 3 RIM 727.57 IE. 18" N 725.07 IE. 18" S 725.07	SAN MH 3 RIM 722.85 IE. 12" N 711.05 IE. 10" S 711.25



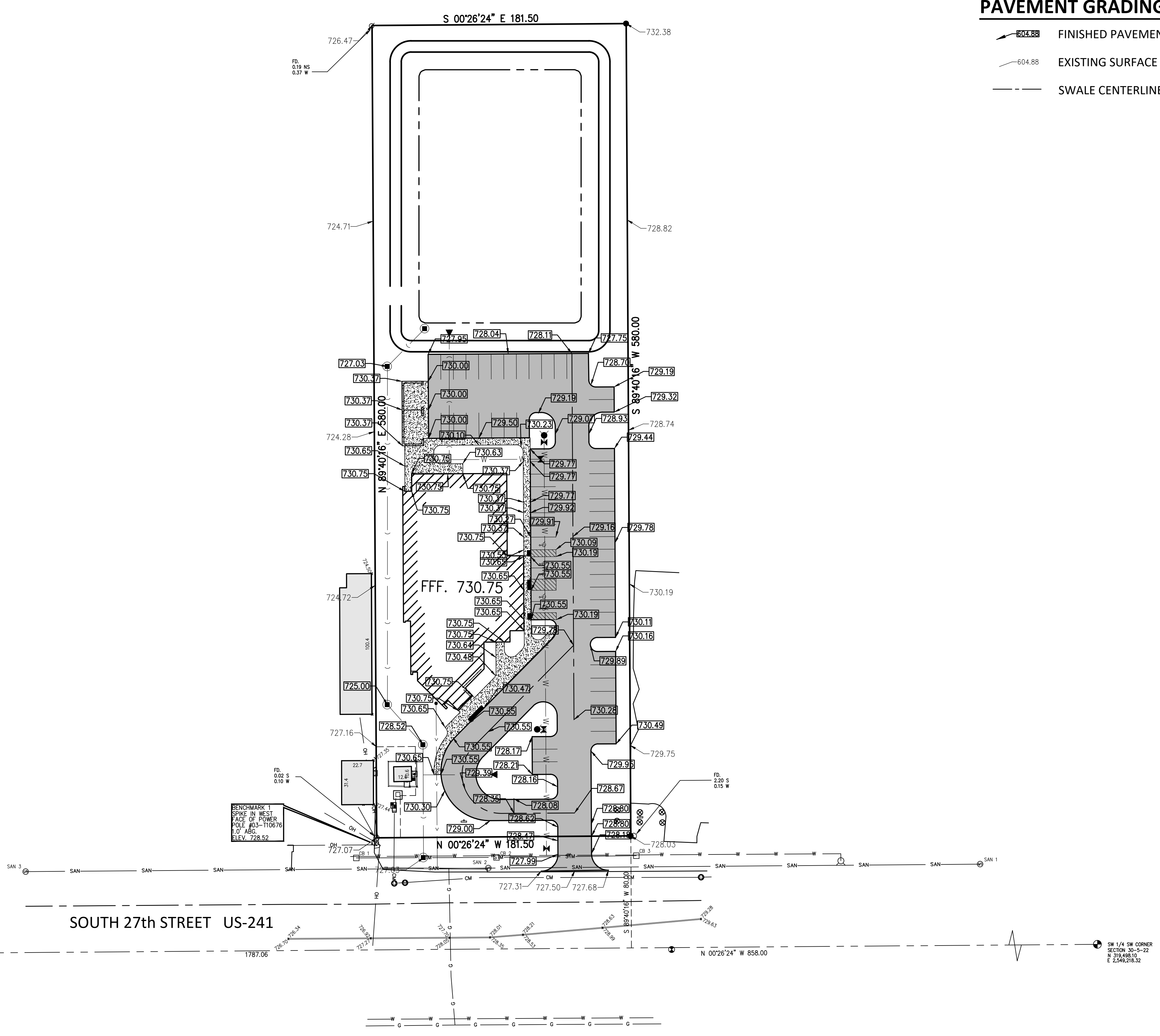
NO.	REVISION	BY	DATE

PROJ. MGR: MRM  
 DRAFTED: TRV  
 DATE: 09-18-2019  
 CHECKED: MRM  
 DATE: 09-20-2019

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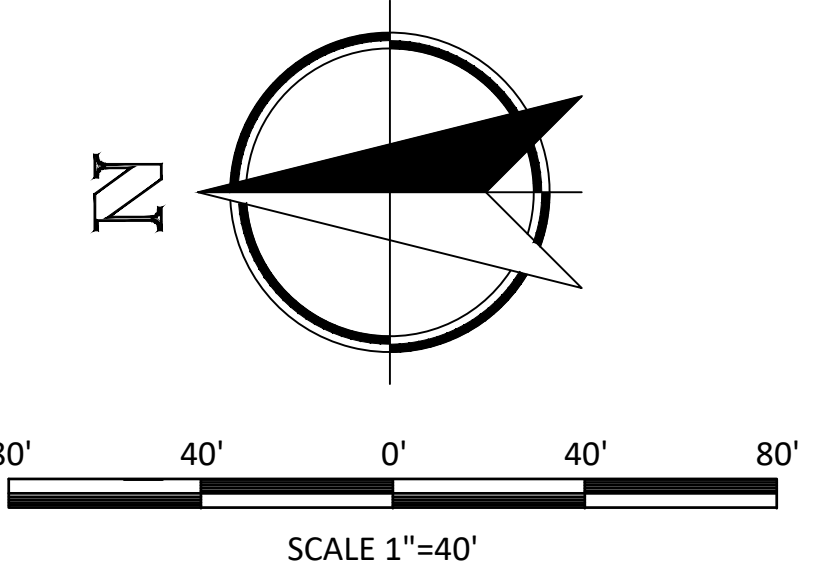
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ISSUED FOR REVIEW: 9-24-2019



### PAVEMENT GRADING LEGEND

- 604.88 FINISHED PAVEMENT GRADES
- 604.88 EXISTING SURFACE GRADES
- SWALE CENTERLINE



BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE. BASED UPON NAD 1927.

ALL ELEVATIONS REFER TO NATIONAL GEODETIC DATUM OF 1929.

- LEGEND:
- |                        |                       |
|------------------------|-----------------------|
| CATCH BASIN            | FLOOD LIGHT           |
| STORM SEWER            | GUARD POST            |
| SANITARY MANHOLE       | FENCE                 |
| SANITARY SEWER         | GAS VALVE             |
| POWER POLE             | GAS METER             |
| OVERHEAD WIRES         | HVAC                  |
| GUY WIRE               | COMMUNICATION BOX     |
| SIGN                   | COMMUNICATION MANHOLE |
| ELECTRIC METER         | GAS MAIN              |
| FOUND MON.             | COMMUNICATION LINE    |
| FOUND NGS MON.         | WATER MAIN            |
| FOUND 1" IRON PIPE     |                       |
| FOUND 1 1/4" IRON PIPE |                       |
| SET 3/4" REBAR         |                       |
| CUT "+- SET            |                       |

#### EXISTING UTILITY DATA

CB 1 RIM 726.09 IE. 18" N 722.69 IE. 18" S 722.69	SAN MH 1 RIM 730.28 IE. 8" N 718.88 IE. 8" S 718.88
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CB 3 RIM 727.57 IE. 18" N 725.07 IE. 18" S 725.07	SAN MH 3 RIM 722.85 IE. 12" N 711.05 IE. 10" S 711.25

## PAVEMENT GRADING PLAN FOR VISION PROPERTY GROUP

CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

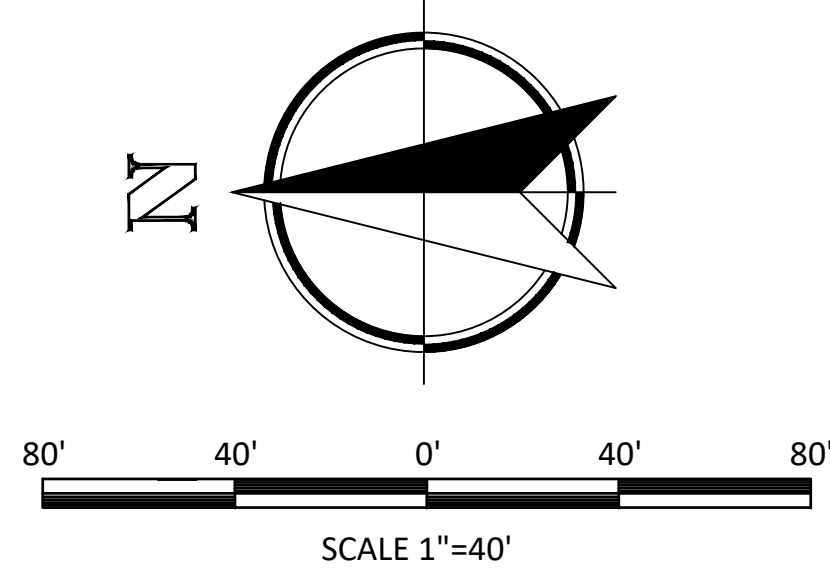
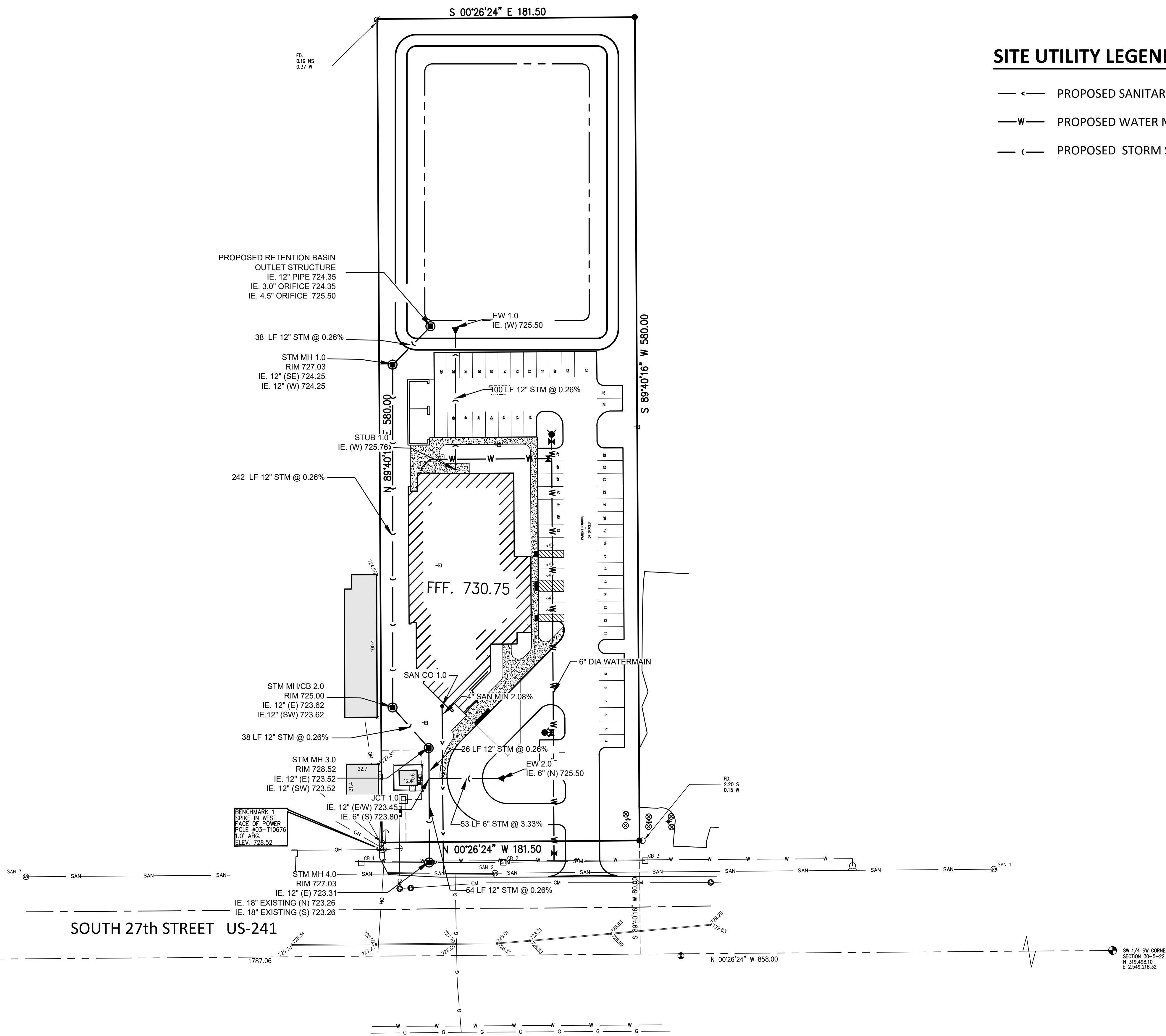
CIVIL ENGINEERS AND LAND SURVEYORS  
1458 Horizon Blvd. Suite 200, Racine, WI. 53406  
Tele: (262)634-5588 Website: www.nmbc.net

NO.	REVISION	BY	DATE

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**C-6**

**ISSUED FOR REVIEW: 9-24-2019**



**SITE UTILITY LEGEND**

- ◀ — PROPOSED SANITARY SEWER
- W — PROPOSED WATER MAIN
- ◀ — PROPOSED STORM SEWER

BEARING BASE: GRID NORTH, WISCONSIN  
 COORDINATE SYSTEM, SOUTH ZONE.  
 BASED UPON NAD 1927.

ALL ELEVATIONS REFER TO NATIONAL  
 GEODETIC DATUM OF 1929.

- LEGEND:
- |                        |                           |
|------------------------|---------------------------|
| □ CATCH BASIN          | ⊕ FLOOD LIGHT             |
| — STM — STORM SEWER    | ⊗ GUARD POST              |
| ⊙ SANITARY MANHOLE     | — X — FENCE               |
| — SAN — SANITARY SEWER | ⊗ GAS VALVE               |
| ⊕ POWER POLE           | ⊗ GAS METER               |
| — OH — OVERHEAD WIRES  | ⊕ HVAC                    |
| — GUY WIRE             | ⊕ COMMUNICATION BOX       |
| ⊕ SIGN                 | ⊕ COMMUNICATION MANHOLE   |
| ⊕ ELECTRIC METER       | — G — GAS MAIN            |
| ⊕ FOUND MON.           | — CM — COMMUNICATION LINE |
| ⊕ FOUND NGS MON.       | — W — WATER MAIN          |
| ○ FOUND 1\"/>          |                           |

EXISTING UTILITY DATA	
CB 1 RIM 726.09 IE. 18" N 722.69 IE. 18" S 722.69	SAN MH 1 RIM 730.28 IE. 8" N 718.88 IE. 8" S 718.88
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**UTILITY PLAN**

FOR  
**VISION PROPERTY GROUP**  
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN

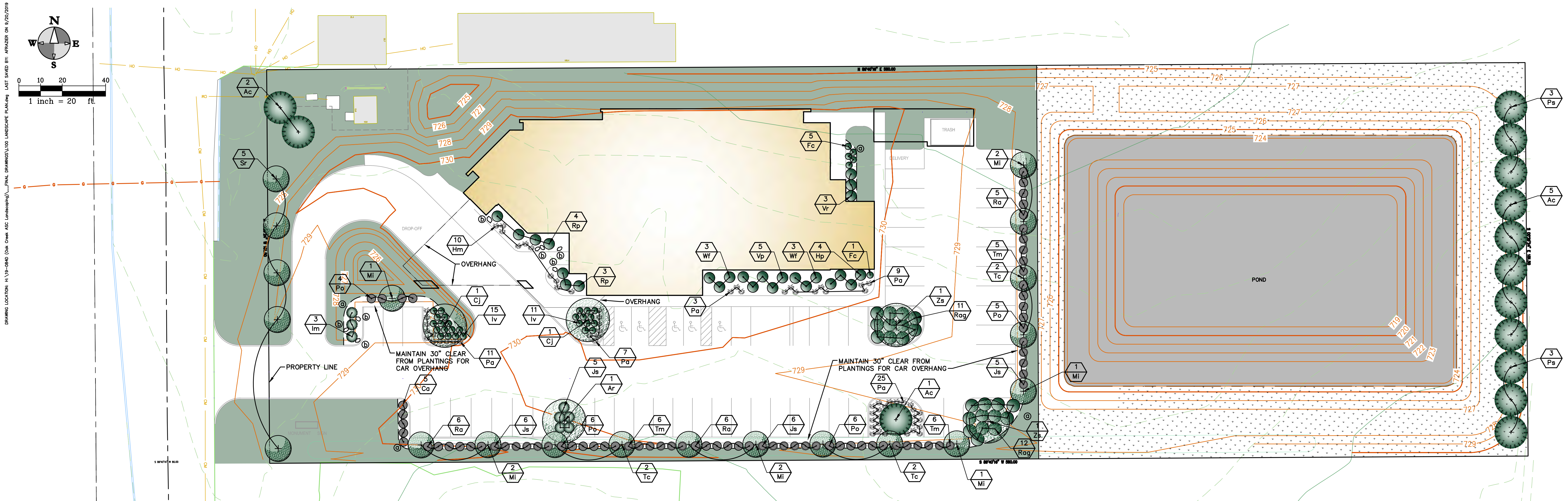
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 DATE: 09-20-2019

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**ISSUED FOR REVIEW: 9-24-2019**

**CIVIL ENGINEERS AND LAND SURVEYORS**  
 1458 Horizon Blvd. Suite 200, Racine, WI. 53406  
 Tele: (262)634-5588 Website: www.nmbcc.net



**LEGEND**

- PROPOSED BUILDING
- NUMBER AND TYPE OF PLANTS TO BE PROVIDED AND INSTALLED.
- SEEDED LAWN.
- NATIVE SEED MIX
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS, EVERGREEN AND DECIDUOUS
- PROPOSED ORNAMENTAL GRASS
- STEEL LANDSCAPE EDGING
- 18-24" NATIVE FIELD STONE BOULDERS

**LANDSCAPE NOTES:**

1. TILL ALL LANDSCAPE AREAS TO A DEPTH OF 4" MINIMUM.
2. ALL LAWN AREAS LABELED "SEED" SHALL BE SEEDED AND MULCHED WITH THE FOLLOWING MIXTURE: 15% IMPROVED PERENNIAL RYEGRASS, 30% FINE FESCUE, 30% KENTUCKY BLUEGRASS, AND 25% ANNUAL RYE AT A RATE OF 8-10 LBS/1000 SFT. PROVIDE 19-19-19 STARTER FERTILIZER AT A RATE OF 5-7 LBS/1000 SFT.
3. ALL EDGING SHALL BE STANDARD COMMERCIAL-STEEL EDGING 3/4" X 4" ROLLED EDGE FABRICATED IN SECTIONS OF STANDARD LENGTHS, WITH LOOPS STAMPED FROM OR WELDED TO FACE OF SECTIONS TO RECEIVE STAKES IN STANDARD FINISH OF GREEN PAINT.
4. ALL LANDSCAPE BEDS TO HAVE STONE COBBLE MULCH 1.5"-2" DIA. NATURAL STONE COBBLE OVER FILTER FABRIC, WASHED PRIOR TO PLACEMENT.
5. PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK," MEASURE ACCORDING TO ANSI Z60.1 STANDARDS.
6. ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF PLANTINGS.
7. WARRANT TREES, SHRUBS AND PERENNIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
8. REMOVE AND REPLACE DEAD PLANTS IMMEDIATELY. REPLACE PLANTS THAT ARE MORE THAN 25% DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD. A LIMIT OF ONE REPLACEMENT OF EACH PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.
9. MAINTAIN TREES, SHRUBS, AND PERENNIALS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
10. BEGIN LAWN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED: A MINIMUM OF 60 DAYS AFTER SUBSTANTIAL COMPLETION.
11. MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, USING CHEMICAL TREATMENT TO ELIMINATE BROADLEAF AND NOXIOUS WEEDS, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
12. PROTECT ADJACENT AND ADJOINING STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND PLANTINGS FROM HYDROSEEDING OVER-SPRAY AND DAMAGE CAUSED BY PLANTING OPERATIONS.
13. REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND REMOVE STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER FROM SITE.
14. MAINTAIN LAWN UNTIL A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED. FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90% OVER ANY 10 SFT AND BARE SPOTS DO NOT EXCEED 5 BY 5 INCHES.

**IRRIGATION NOTES:**

1. ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
2. IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
3. A SEPARATE METER AND BACKFLOW PREVENTER WILL BE REQUIRED.
4. LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT/ CURB.

**Planting Schedule Trees**

Symbol	Latin Name	Common Name	Size	Container Type	Mature Size	Coverage per Plant	Number of Plants	Total Coverage
Ac	Abies concolor	Concolor Fir	6' Ht.	B&B	40'x25'	75 sf coverage	8	600 sf
Ar	Acer rubrum 'Franksred'	Red Sunset Maple	2 1/2" Cal.	B&B	45'x35'		1	
Cj	Cercidiphyllum japonicum	Katsura Tree	2 1/2" Cal.	B&B	40'x30'		2	
Mi	Malus 'Indian Magic'	Indian Magic Crabapple	2 1/2" Cal.	B&B	20'x15'		9	
Ps	Pinus strobus	Eastern White Pine	6' Ht.	B&B	60'x40'	75 sf coverage	6	450 sf
Sr	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2 1/2" Cal.	B&B	Tree Form 20'x15'		5	
Tc	Tillia cordata 'Chancele'	Chancellor Linden	2 1/2" Cal.	B&B	35'x20'		6	
Zs	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2 1/2" Cal.	B&B	50'x40'		2	

**Planting Schedule Shrubs**

Symbol	Latin Name	Common Name	Size	Container Type	Mature Size	Coverage per Plant	Number of Plants	Total Coverage
Ca	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	24" Ht.	Cont.	30'x3'	20 sf coverage	5	100 sf
Fc	Forsythia x 'Cortatosi'	Gold Tide Forsythia	24" Ht.	Cont.	20'x4'	20 sf coverage	6	120 sf
Hp	Hydrangea paniculata 'DVPinky'	Pinky Winky Hydrangea	30" Ht.	Cont.	8'x8'	38 sf coverage	4	152 sf
Im	Ilex x meserveae 'Mesog' & 'Mesdob'	China Girl and China Boy Holly	36" Ht.	B&B	8'x8'	38 sf coverage	3	114 sf
Iv	Itea virginica 'Sprich'	Little Henry Sweetspire	18" Ht.	Cont.	2'x3'	12 sf coverage	26	312 sf
Js	Juniperus sabinia 'Mini Arcadia'	Mini Arcadia Juniper	24" spread	Cont.	8'x4'	20 sf coverage	22	440 sf
Po	Physocarpus opulifolius 'Donna May'	Little Devil Ninebark	24" Ht.	Cont.	3'x4'	20 sf coverage	21	420 sf
Rp	Rhododendron x 'PJM'	P.J.M. Rhododendron	36" Ht.	Cont.	4'x4'	20 sf coverage	7	140 sf
Rag	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	30" Spr.	Cont.	30'x8'	38 sf coverage	23	874 sf
Ra	Ribes alpinum	Alpine Currant	24" Ht.	Cont.	5'x5'	20 sf coverage	17	340 sf
Tm	Taxus x media 'Wardii'	Wards Yew	24" spread	B&B or Cont.	3'x6'	20 sf coverage	17	340 sf
Vp	Viburnum plicatum 'Popcorn'	Popcorn Viburnum	24" Ht.	Cont.	5'x5'	20 sf coverage	5	100 sf
Vr	Viburnum x rhytidophyloides 'Allegheny'	Allegheny Viburnum	42" Ht.	Cont.	12'x8'	38 sf coverage	3	114 sf
Wf	Weigela florida 'Alexandra'	Wine and Roses Weigela	36" Ht.	Cont.	5'x5'	20 sf coverage	6	120 sf

**Planting Schedule Perennials**

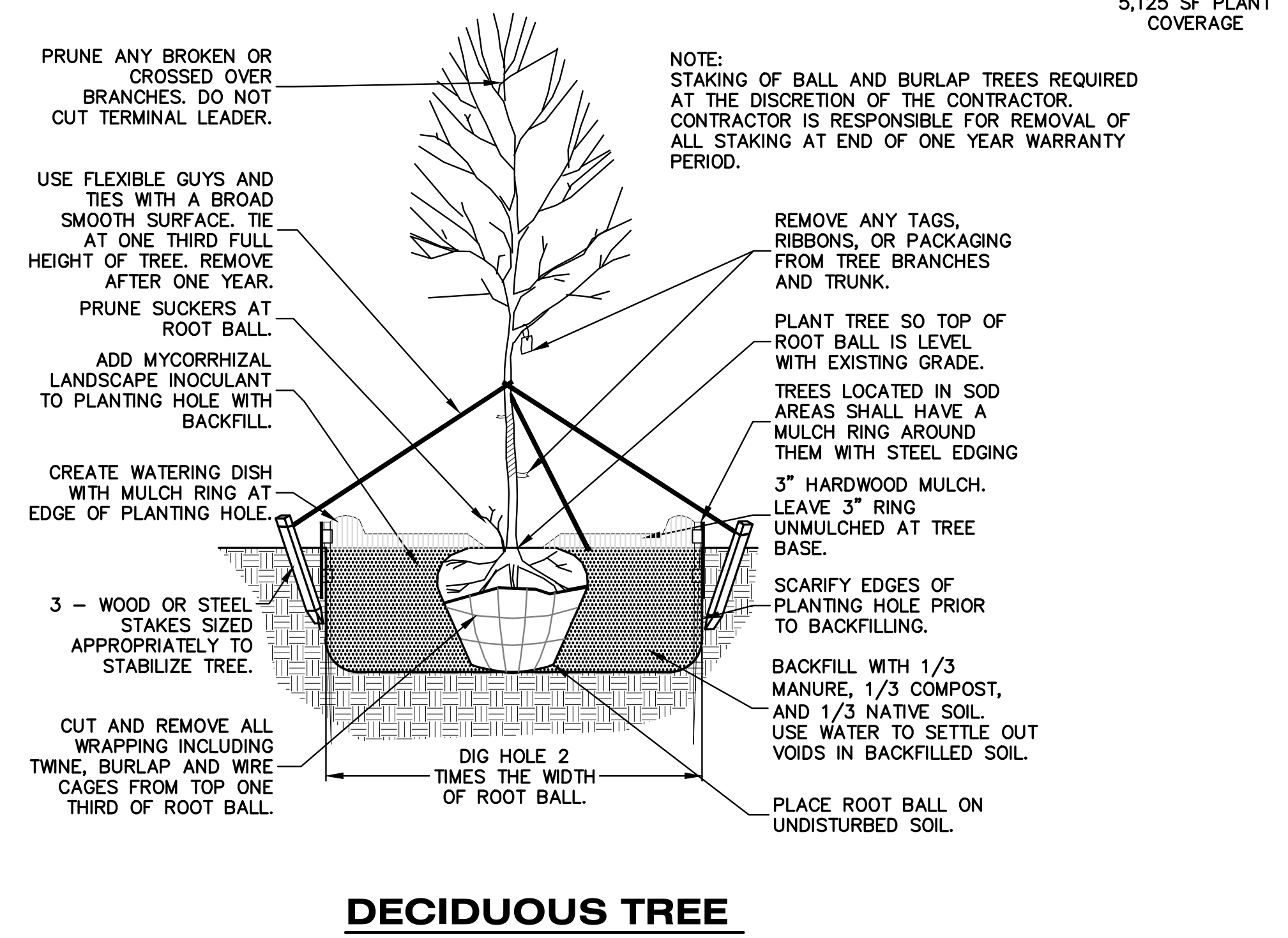
Symbol	Latin Name	Common Name	Size	Container Type	Mature Size	Coverage per Plant	Number of Plants	Total Coverage
Hm	Hakonechloa macro 'Aureola'	Golden Japanese Forest Grass	#2	Cont.	15"x15"	6 sf coverage	10	60 sf
Pa	Pennisetum alopecuroides 'Hameln'	Fountain Grass 'Hameln'	#2	Cont.	2.5"x2.5"	6 sf coverage	55	330 sf

**NATIVE SEED ESTABLISHMENT NOTES:**

1. NATIVE SEEDING TO BE SEEDED FROM OCTOBER 1 - NOVEMBER 15 OR MAY 1 - JUNE 15.
2. NATIVE GRASSES AVAILABLE FROM CARNO'S NATIVE PLANT NURSERY PH: (574)586-2412
3. TWO WEEKS PRIOR TO PRAIRIE PLANTING APPLY BROAD SPECTRUM HERBICIDE TO EXISTING TURF IN AREAS TO BE PLANTED WITH PRAIRIE SEED. REPEAT TREATMENT FOUR TO FIVE DAYS PRIOR TO PLANTING.
4. ENSURE 6" QUALITY TOPSOIL. TILL AREAS NOT ALREADY PLANTED WITH GRASS (AREAS WHERE PAVEMENT IS BEING REMOVED ONLY) TO 2"-4" DEPTH. IF THE GROUND IS WET, DELAY TILLING UNTIL THE SOIL DRIES ENOUGH TO BREAK APART WHEN TILLED. LIGHTLY COMPACT THE TILLED SOIL WITH A ROLLER OR CULTIPACKER.
5. PLANT PRAIRIE SEEDS WITH A NO-TILL SEED DRILL FOLLOWING MANUFACTURERS RECOMMENDATIONS. DO NOT COVER SEED MORE THAN 1/4" DEEP. MULCH AREAS PRONE TO EROSION WITH 1" OF CRIMPED STRAW.

**OAK CREEK PLANTING REQUIREMENTS**

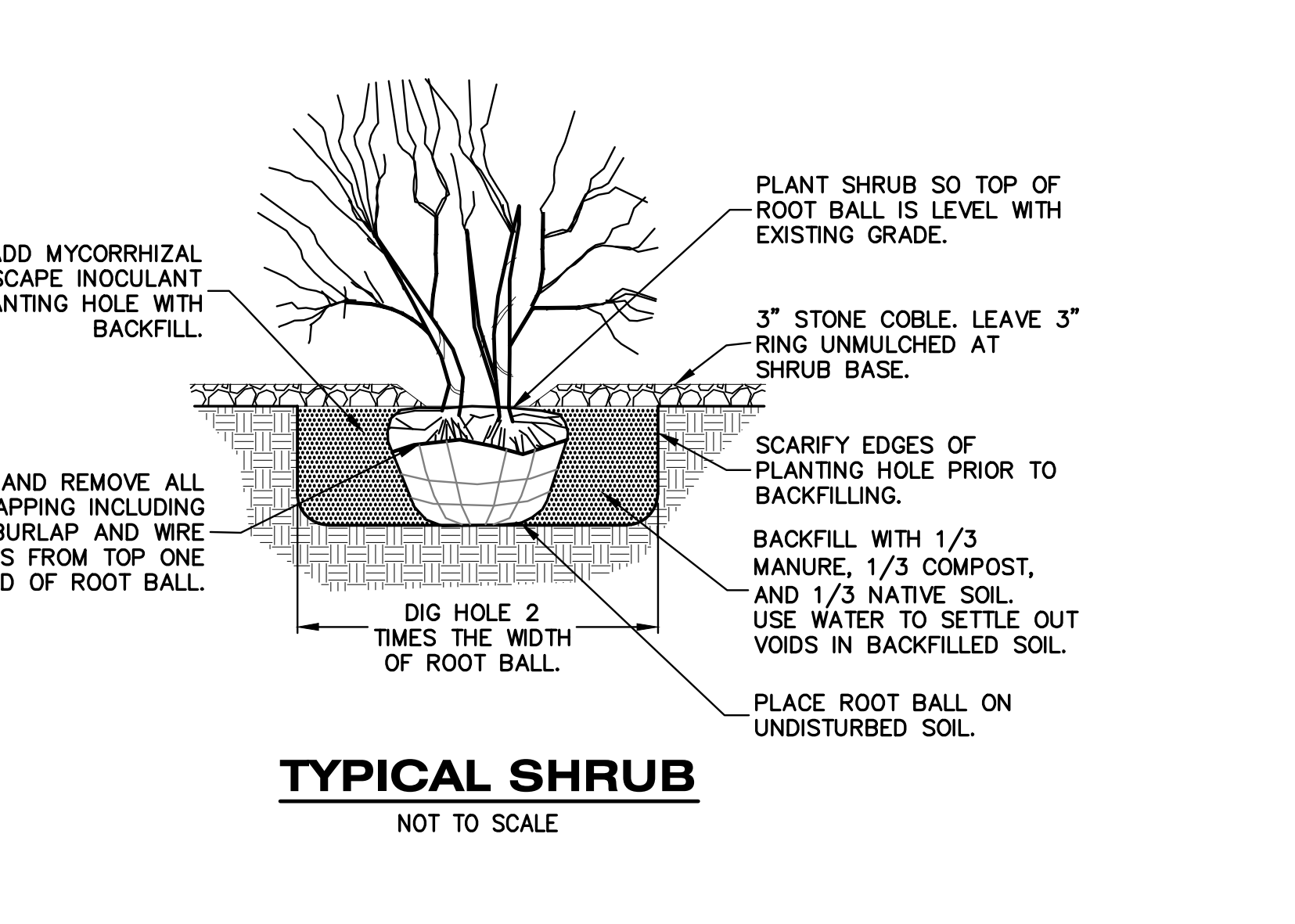
GREATER THAN 5% OF PARKING AREA TO BE ACCESSORY LANDSCAPE (ISLANDS, PENINSULAS, OR PERIPHERAL PLANTINGS). PARKING AREA 19,515 SF REQUIRED 976 SF OF ACCESSORY LANDSCAPE. 2,160 SF PROVIDED  
 6' SCREENING FROM PARKING ON EAST PROPERTY LINE FOR ADJACENT RESIDENTIAL ZONING. (BERM, SOLID WALL, FENCE, EVERGREEN PLANTING)  
 3' SCREENING FROM PARKING ON WEST PROPERTY LINE FOR ADJACENT ROW 1 ORNAMENTAL DECIDUOUS TREE (2.5" CAL)/ 35 LINEAR FOOT OF STREET FRONTAGE. 5 TREES REQUIRED.  
 25% OF TOTAL GREEN SPACE AREAS SHALL BE PLANT MATERIAL OTHER THAN MAINTAINED TURF (25% OF PLANT MATERIAL MUST BE EVERGREEN)  
 1 SHADE TREE REQUIRED / 300 SF OF REQUIRED INTERIOR LANDSCAPE AREA 4 TREES REQUIRED  
 5' PERIMETER STRIP ADJACENT TO PARKING REQUIRED 1 TREE AND 5 SHRUBS / 35 LINEAR FEET OF PERIMETER 15 TREES AND 73 SHRUBS REQUIRED  
 25% OF TOTAL GREEN SPACE TO BE NOT MAINTAINED TURF. 47,387 SF TOTAL GREEN SPACE. 11,850 SF REQUIRED 24,695 SF PROVIDED (NATIVE SEEDING + CALCULATED PLANT COVERAGE)



**DECIDUOUS TREE**  
NOT TO SCALE

**Native Seed Mix**

Botanical Name	Common Name	Oz./Acre
<b>Permanent Grasses/Sedges</b>		
Andropogon gerardii	Big Bluestem	12.00
Bouteloua curtipendula	Side-Oats Grama	16.00
Carex spp.	Prairie Sedge Species	3.00
Elymus canadensis	Canada Wild Rye	24.00
Panicum virgatum	Switch Grass	2.50
Schizachyrium scaparium	Little Bluestem	32.00
Sorghastrum nutans	Indian Grass	12.00
<b>Temporary Cover</b>		
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	100.00
<b>Forbs</b>		
Amorpha canescens	Lead Plant	0.50
Asclepias syriaca	Common Milkweed	2.00
Asclepias tuberosa	Butterfly Weed	1.50
Chamaecrista fasciculata	Partridge Pea	10.00
Coreopsis lanceolata	Sand Coreopsis	6.00
Coreopsis tripteris	Tall Coreopsis	1.50
Dalea purpurea	Purple Prairie Clover	2.00
Desmanthus illinoensis	Illinois Sensitive Plant	2.00
Drymonia arguta	Prairie Cinquefoil	1.00
Echinacea purpurea	Broad-Leaved Purple Coneflower	8.00
Eryngium yuccifolium	Rattlesnake Master	1.00
Heliopsis helianthoides	False Sunflower	0.50
Lespedeza capitata	Round-Headed Bush Clover	1.00
Liatris aspera	Rough Blazing Star	1.00
Lupinus perennis v. occidentalis	Wild Lupine	2.00
Monarda fistulosa	Wild Bergamot	1.00
Oligoneuron rigidum	Stiff Goldenrod	1.00
Ratibida pinnata	Yellow Coneflower	4.00
Rudbeckia hirta	Black-Eyed Susan	6.00
Siphium terebinthaceum	Prairie Dock	1.00
Solidago speciosa	Showy Goldenrod	0.50
Symphoricarpon laeve	Smooth Blue Aster	1.00
Symphoricarpon novae-angliae	New England Aster	0.50
Vernonia gigantea	Smooth Tall Ironweed	2.00



**TYPICAL SHRUB**  
NOT TO SCALE

**VISION PROPERTIES GROUP, LLC. ASC**  
 10148 SOUTH 27TH STREET OAK CREEK, WI 53154

PROJ. NO. 2018-11-63

DATE: . . . . . ISSUE TITLE: . . . . .

2018-02-24 SITE PLAN REVIEW

2018-03-18 SCHEMATIC REVIEW

**ECKERT WORDÉLL**  
 ARCHITECTURE • ENGINEERING • INTERIOR DESIGN

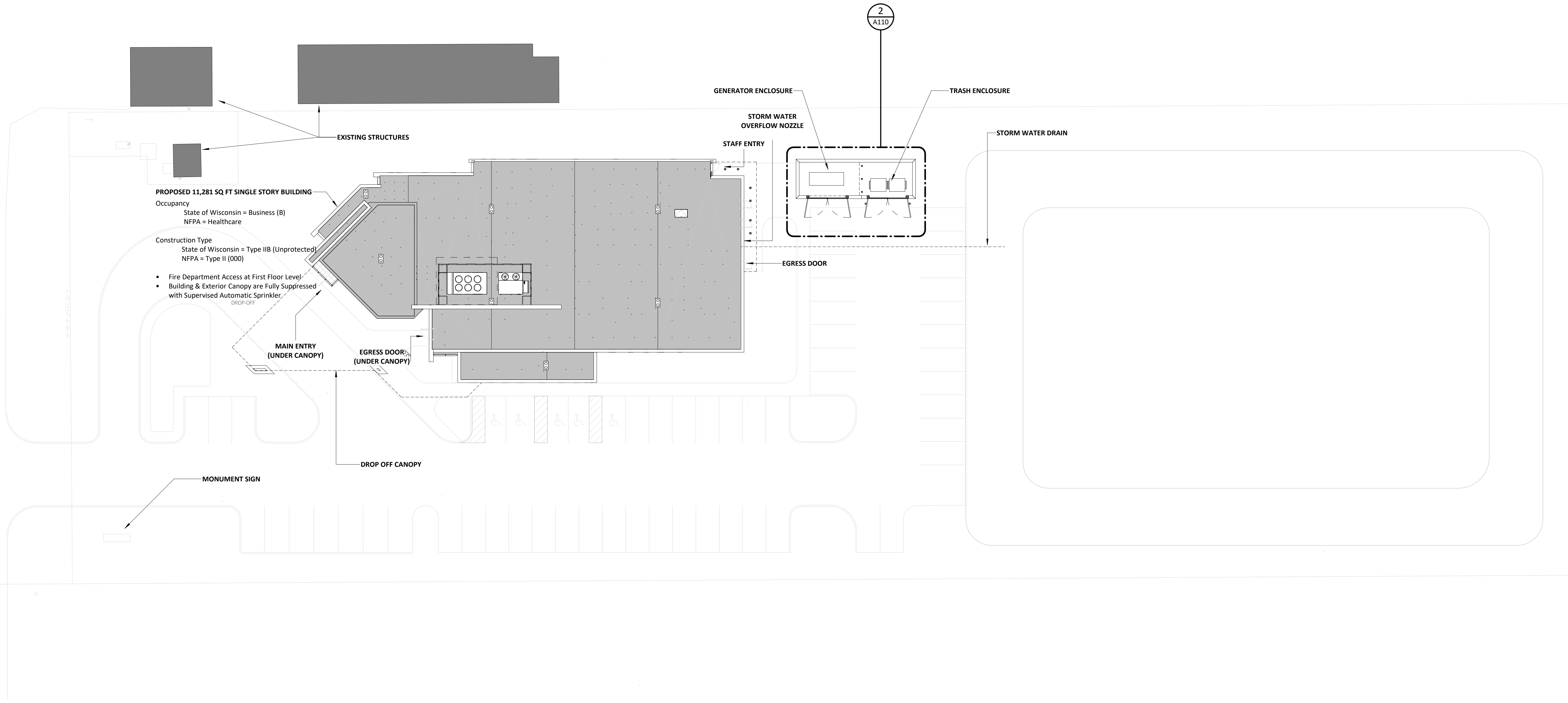
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**LANDSCAPE PLAN**

**L100**

SOUTH 27th STREET US-241



**PROPOSED 11,281 SQ FT SINGLE STORY BUILDING**  
Occupancy  
State of Wisconsin = Business (B)  
NFPA = Healthcare

Construction Type  
State of Wisconsin = Type IIB (Unprotected)  
NFPA = Type II (000)

- Fire Department Access at First Floor Level
- Building & Exterior Canopy are Fully Suppressed with Supervised Automatic Sprinkler

MAIN ENTRY  
(UNDER CANOPY)

EGRESS DOOR  
(UNDER CANOPY)

DROP OFF CANOPY

MONUMENT SIGN

EXISTING STRUCTURES

GENERATOR ENCLOSURE

STAFF ENTRY

EGRESS DOOR

STORM WATER OVERFLOW NOZZLE

TRASH ENCLOSURE

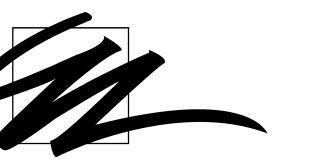
STORM WATER DRAIN

1 SITE  
SCALE: 1" = 20'-0"

**VISION PROPERTIES GROUP, LLC.**

10148 South 27th Street  
Oak Creek, WI 53154  
PROJ. NO.: 2018-11-63

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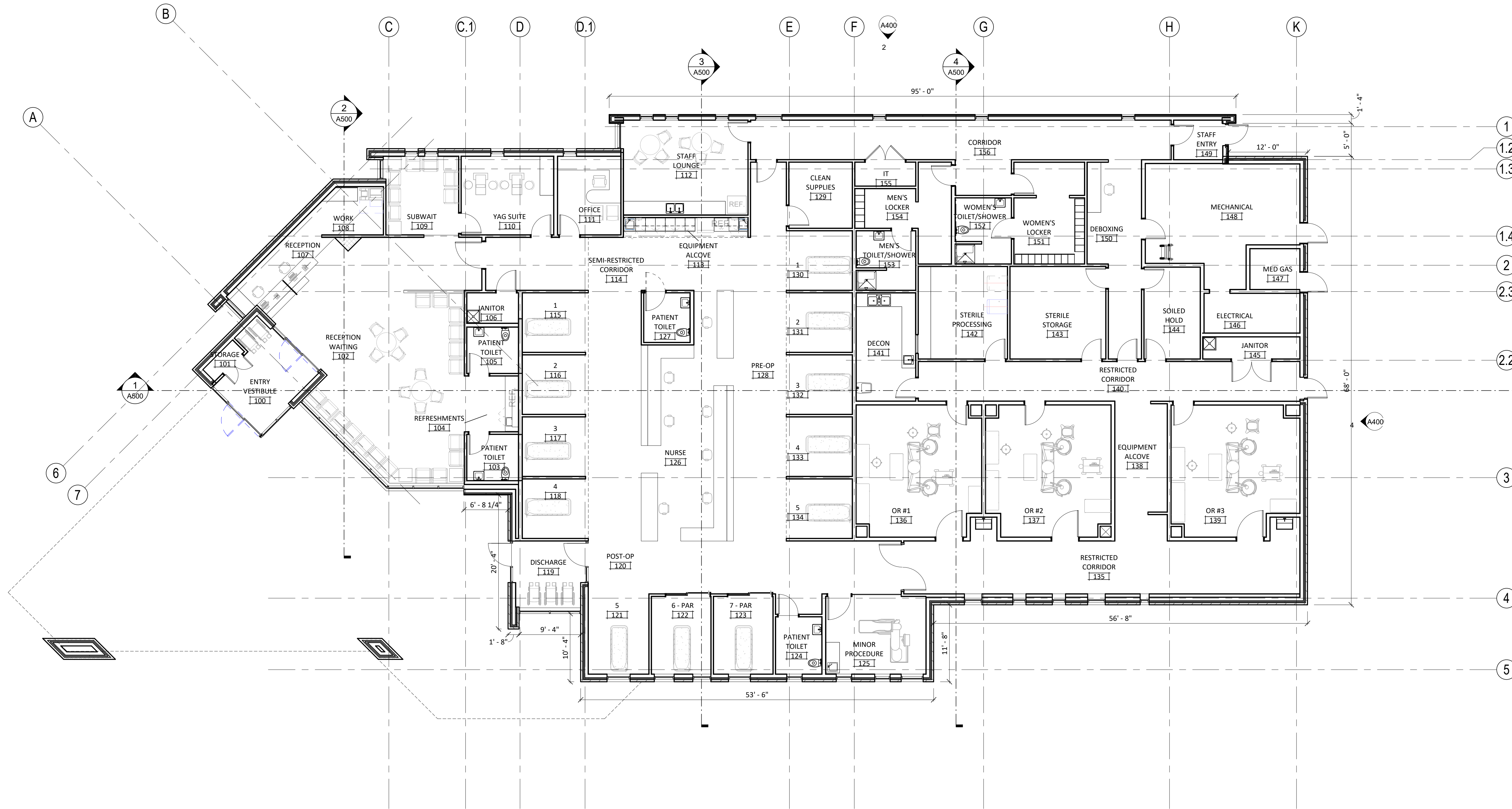
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ARCHITECTURAL SITE PLAN

A100

**GENERAL NOTES**

1. REFER TO SHEET G101 FOR ABBREVIATIONS AND SYMBOLS LEGEND.
2. REFER TO SHEET A000 FOR PARTITION TYPES.
3. REFER TO A900 SHEETS FOR WALL PROTECTION AND CORNER GUARD LOCATIONS.
4. ALL DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL NOT SCALE FROM THESE DRAWINGS - ALL DIMENSIONS SHALL BE FIELD VERIFIED. DIMENSIONS SHALL GOVERN THE SCOPE OF CONSTRUCTION:  
A. VERIFY ON ARCHITECTURAL DRAWINGS FOR CORRECT LOCATION OF PARTITIONS AND MILLWORK.  
B. EXISTING CONDITIONS SUPERSEDE DRAWINGS UNLESS NOTED OTHERWISE. VERIFY WITH ARCHITECT.
6. FIELD VERIFY ALL SPECIAL REQUIREMENTS FOR CONSTRUCTION WITH CONSULTANTS AND REPORT ANY DEVIATIONS FROM THE REQUIREMENTS AS LISTED HEREIN TO THE ARCHITECT FOR REVIEW.
7. ALL WORK SHALL BE ERRECTED OR INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. ONLY NEW, HIGH QUALITY MATERIALS CONSISTENT WITH BUILDING STANDARD OR EQUAL IN SPECIFICATIONS SHOULD BE USED FOR WORK. ALL STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. ANY DEVIATIONS FROM SUCH CODES SHALL BE BROUGHT TO THE ARCHITECT FOR RESOLUTION.
8. ALL DOOR JAMBS TO BE 4 1/2" FROM ADJACENT WALL OR CENTERED IN SPACE UNLESS NOTED OTHERWISE.
9. PROVIDE 1X8 MIN BLOCKING FOR ALL WALL-SUPPORTED COUNTERS, CABINETS AND SHELVES. BLOCKING TO BE "NON-COMBUSTIBLE."
10. PROVIDE WOOD BLOCKING AS REQUIRED FOR WALL-MOUNTED ACCESSORIES. THESE LOCATIONS CONSISTS OF, BUT ARE NOT LIMITED TO THE FOLLOWING: TOILET ACCESSORIES, TACKBOARDS, HANDRAILS, WALL MOUNTED EQUIPMENT, AND OWNER DESIGNATED EQUIPMENT LOCATIONS.
11. SINK LOCATIONS TO BE COORDINATED WITH INTERIOR ELEVATIONS, SEE SHEETS A000.
12. ALL PENETRATIONS AT NON-FIRE RATED WALLS SHALL BE SEALED WITH ACOUSTICAL SEALANT.



**1 FIRST FLOOR**  
SCALE: 1/8" = 1'-0"

**2 TRASH ENCLOSURE PLAN**  
SCALE: 1" = 10'-0"

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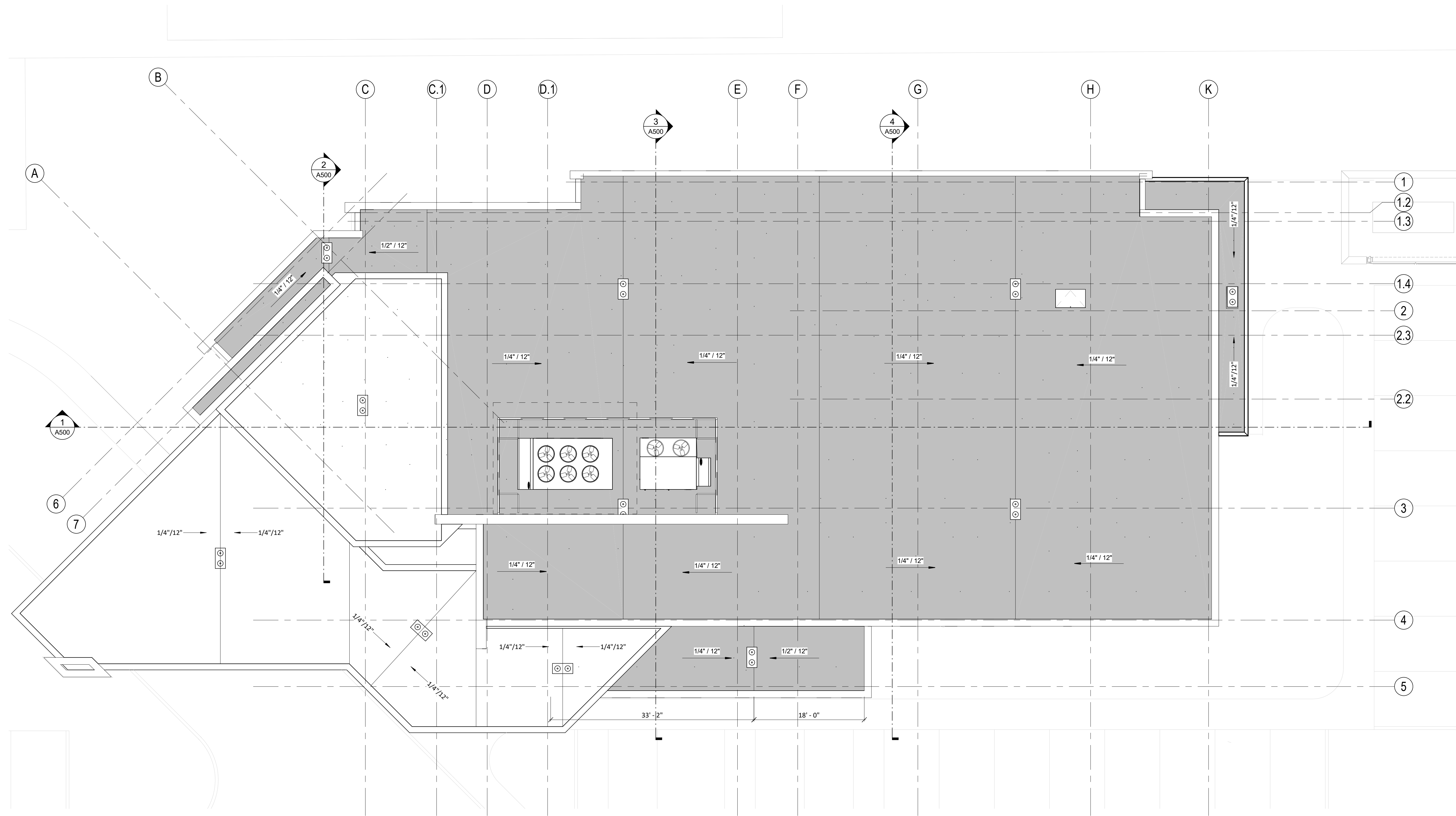
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**FIRST FLOOR PLAN**

**A110**





**1 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

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ROOF PLAN

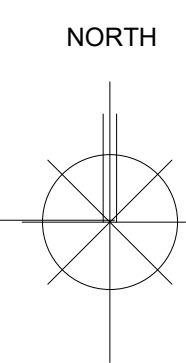
A140

**GENERAL NOTES**

1. ALL CEILING HEIGHTS TO BE X'-X" UNLESS NOTED OTHERWISE.
2. ALL BULKHEAD HEIGHTS AT NON-CABINERY LOCATIONS TO BE AT X'-X" UNLESS NOTED OTHERWISE. REFER TO SHEET A8XX FOR ADDITIONAL BULKHEAD HEIGHTS.
3. LOCATE ALL SPRINKLER HEADS, 12 x 12 DIFFUSERS AND GRILLES, SMOKE DETECTORS AND SPEAKERS IN CENTERS OF CEILING TILES UNLESS REFLECTED CEILING PLAN SHOWS OTHERWISE. CENTER GRIDS IN ROOM UNLESS NOTED OTHERWISE.
4. REFER TO AND COORDINATE WITH MECHANICAL AND ELECTRICAL DOCUMENTS.
5. REFER TO INTERIOR ELEVATIONS AND ELECTRICAL DOCUMENTS FOR UNDER CABINET LIGHTING LOCATIONS.
6. REFER TO ROOM FINISH KEY SCHEDULE FOR APC DESIGNATIONS.
7. SEE ELECTRICAL DOCUMENTS FOR FIXTURE SPECIFICATIONS.

**REFLECTED CEILING PLAN LEGEND**

CEILING - ACOUSTICAL PANEL	
CEILING - GYPSUM BOARD	
LIFE SAFETY - SMOKE DETECTOR	
LIFE SAFETY - FIRE STROBE	
LIFE SAFETY - EXIT SIGNS	
LIGHT FIXTURES - FLOURESCENT	
LIGHT FIXTURES - PARABOLIC	
LIGHT FIXTURES - SEMI-INDIRECT	
LIGHT FIXTURES - EMERGENCY	
LIGHT FIXTURES - PENDANT	
LIGHT FIXTURES - DOWNLIGHTS	
LIGHT FIXTURES - TRACK LIGHTS	
LIGHT FIXTURES - STRIP	
A/V - SPEAKER	
A/V - POWERED PROJECTION SCREEN	
A/V - MANUAL PROJECTION SCREEN	
CEILING ACCESS PANEL	
HVAC - EXHAUST	
HVAC - RETURN DIFFUSER	
HVAC - SUPPLY DIFFUSER	



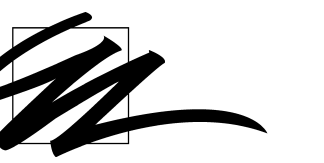
**1 FIRST FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/8" = 1'-0"

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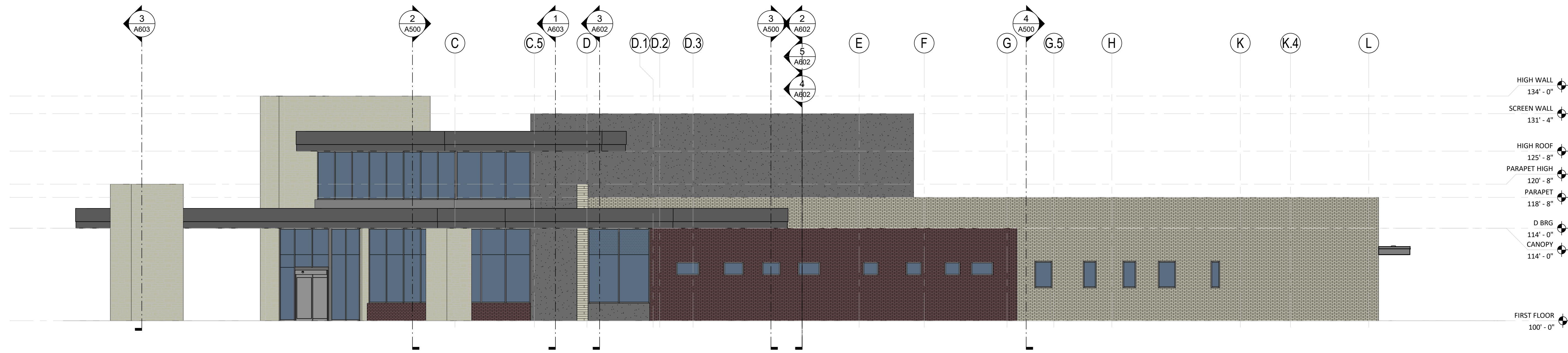


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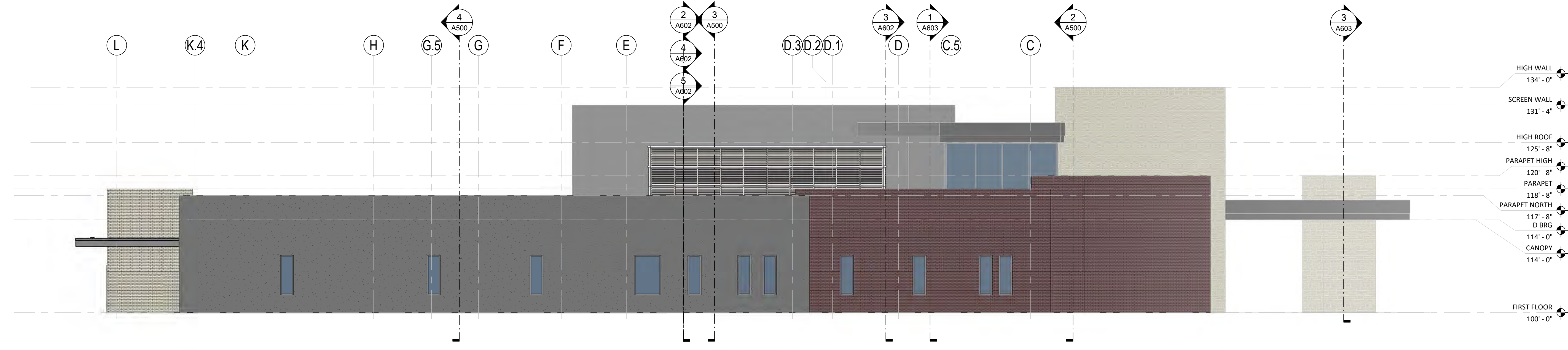
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**FIRST FLOOR REFLECTED CEILING PLAN**

**A220**



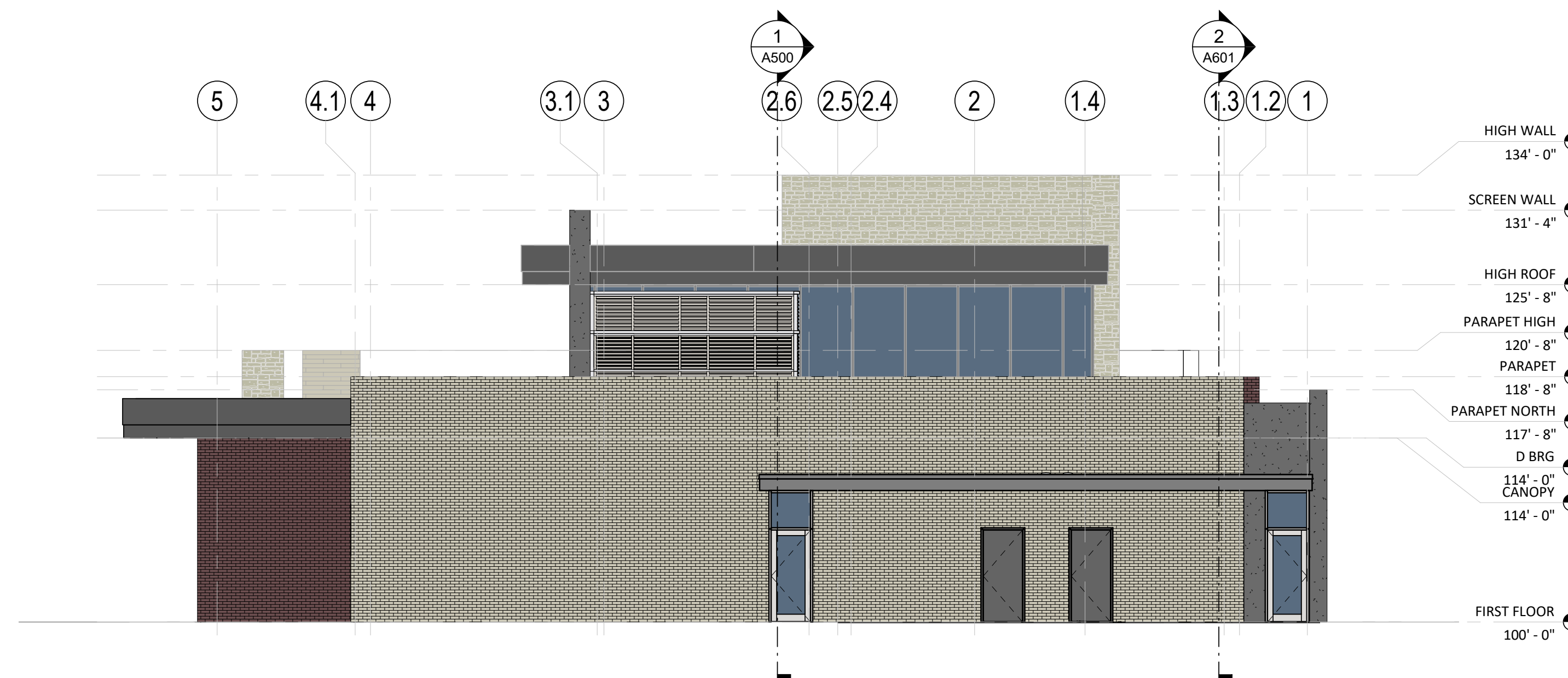
1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"

**EXTERIOR MATERIAL LEGEND**

- MASONRY VENEER**
  - BRICK-1
  - BRICK-2
  - BRICK-3 CAST STONE
- STONE MASONRY VENEER (SMV)**
  - SMV-1 STONE
- EXTERIOR INSULATION AND FINISH SYSTEM (EIFS)**
  - EIFS-1 Exterior finish
- METAL ROOF TRIM (MT)**
  - MR-1 Metal Trim
- INSULATED GLAZING (IG)**
  - IG-1
  - IG-2 SPANDREL GLASS

**EXTERIOR MATERIAL AREAS**

BUILDING TOTAL	
MASONRY	55%
EIFS	24%
GLASS	12%
METAL	6%
MISC	3%
WEST ELEVATION (NW AND SW COMBINED)	
MASONRY	64%
EIFS	2%
GLASS	25%
METAL	8%
MISC	3%
SOUTH ELEVATION	
MASONRY	58%
EIFS	23%
GLASS	8%
METAL	11%
MISC	0%
NORTH ELEVATION	
MASONRY	33%
EIFS	56%
GLASS	3%
METAL	1%
MISC	7%
EAST ELEVATION	
MASONRY	69%
EIFS	5%
GLASS	13%
METAL	8%
MISC	5%

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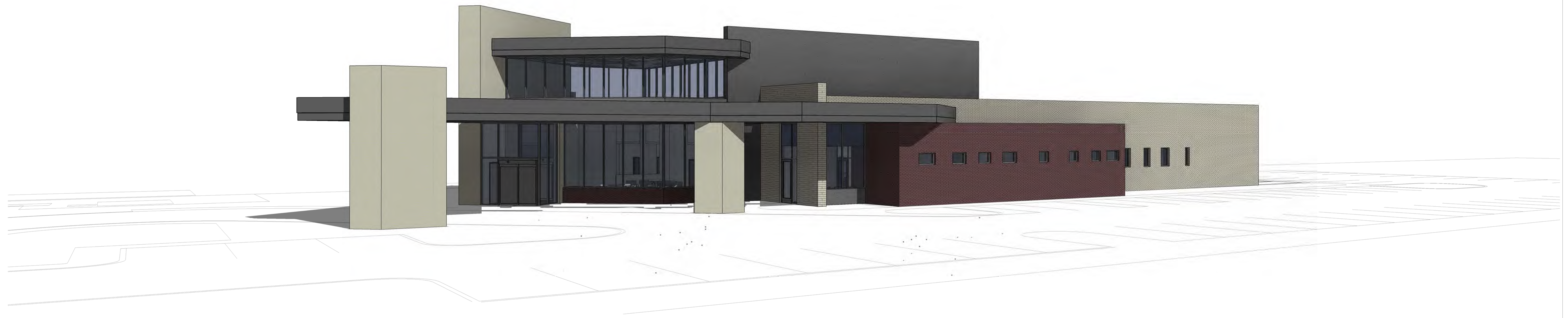
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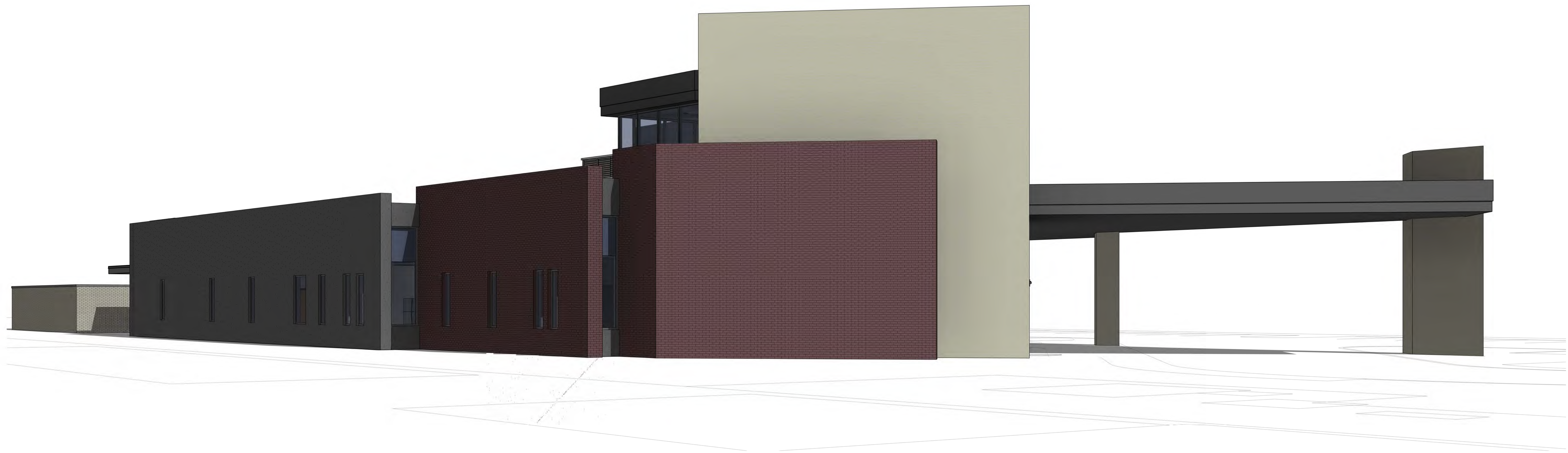
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**EXTERIOR ELEVATIONS**

**A400**



1 3D View 6  
SCALE:

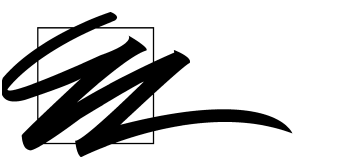


2 3D View 7  
SCALE:

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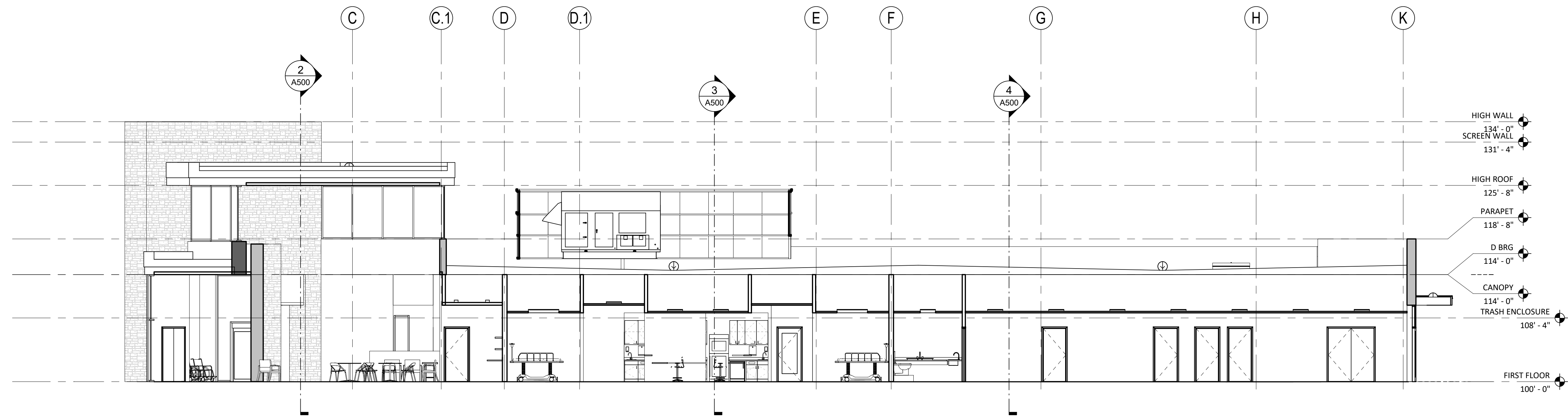


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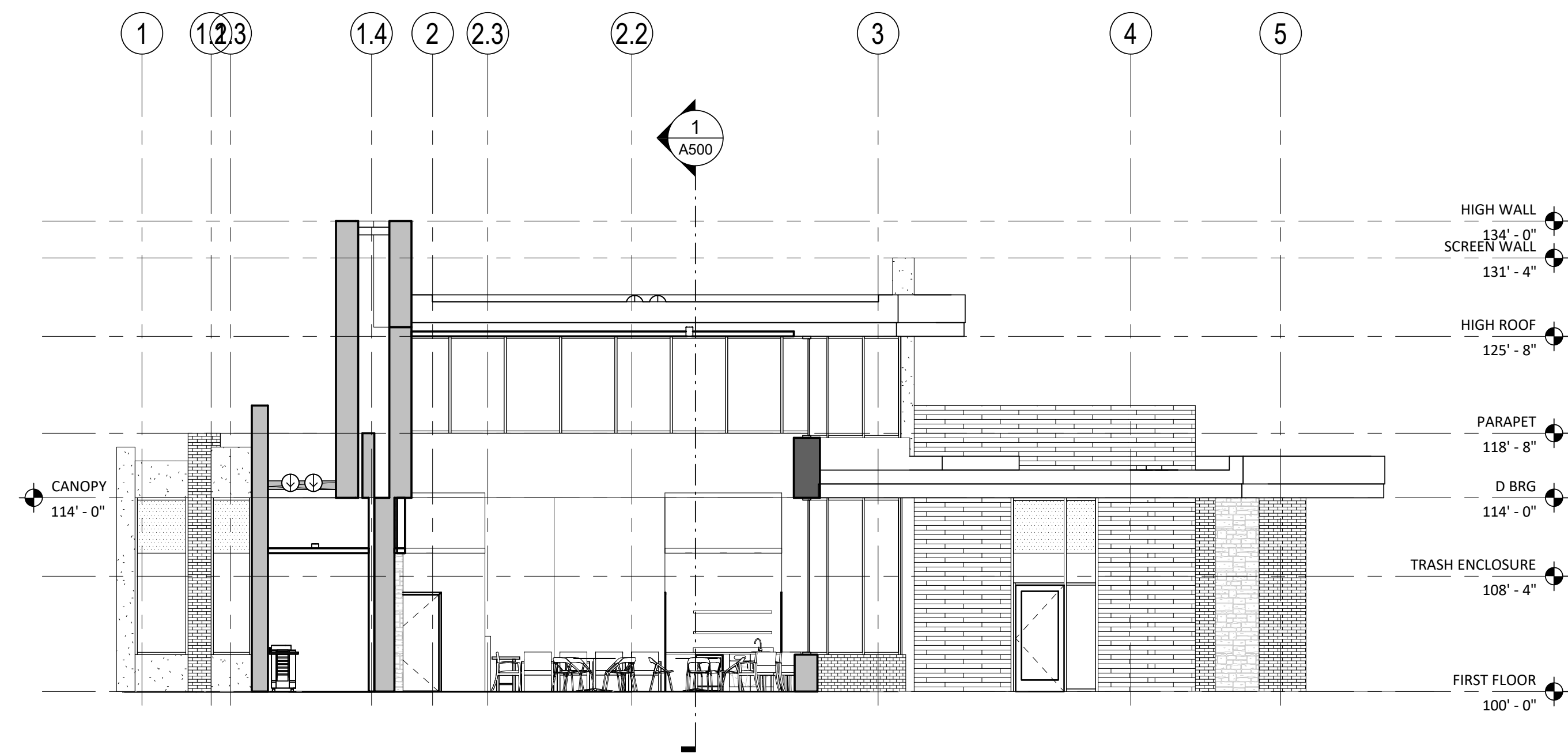
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EXTERIOR PERSPECTIVE VIEWS

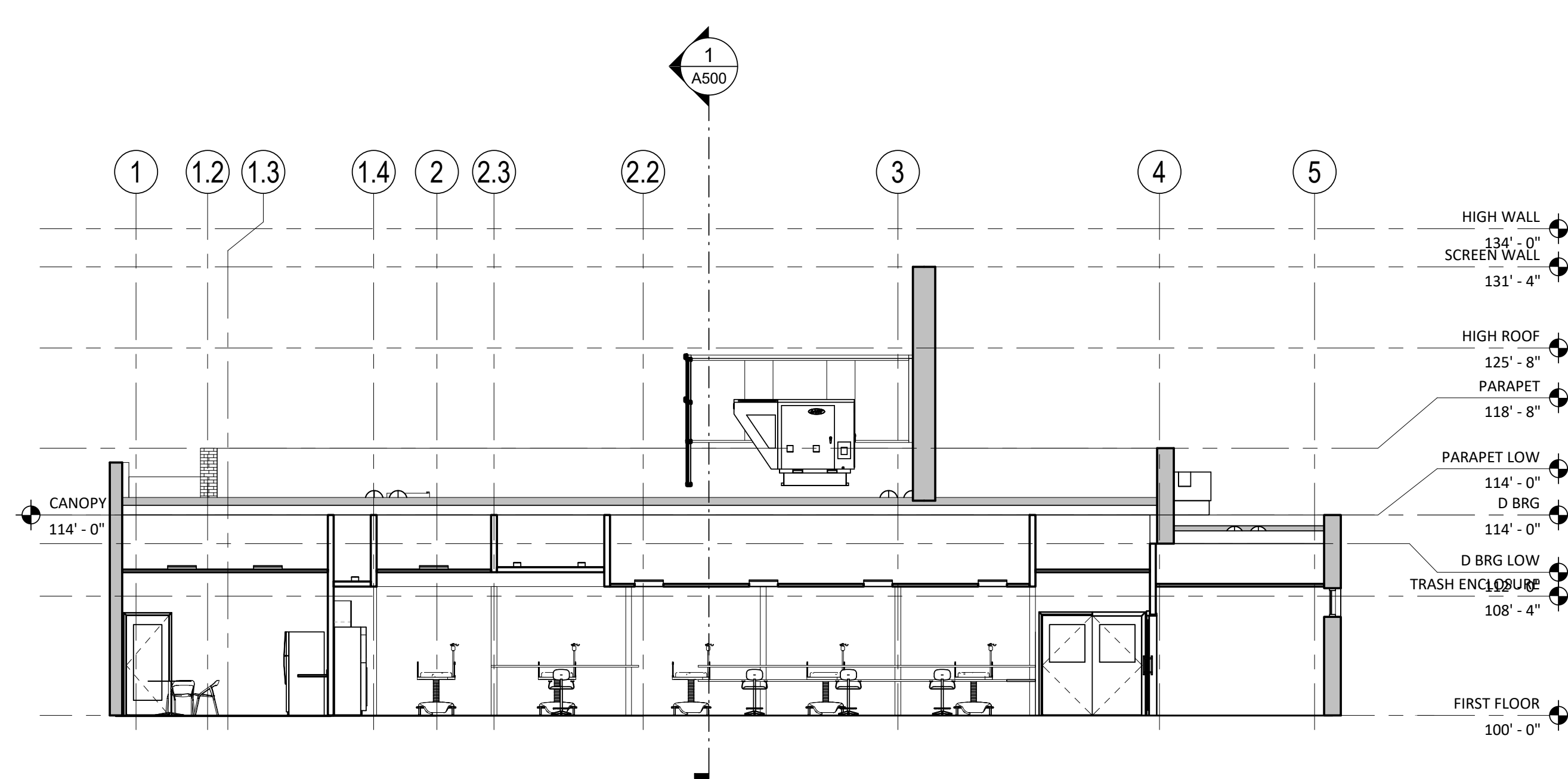
**A410**



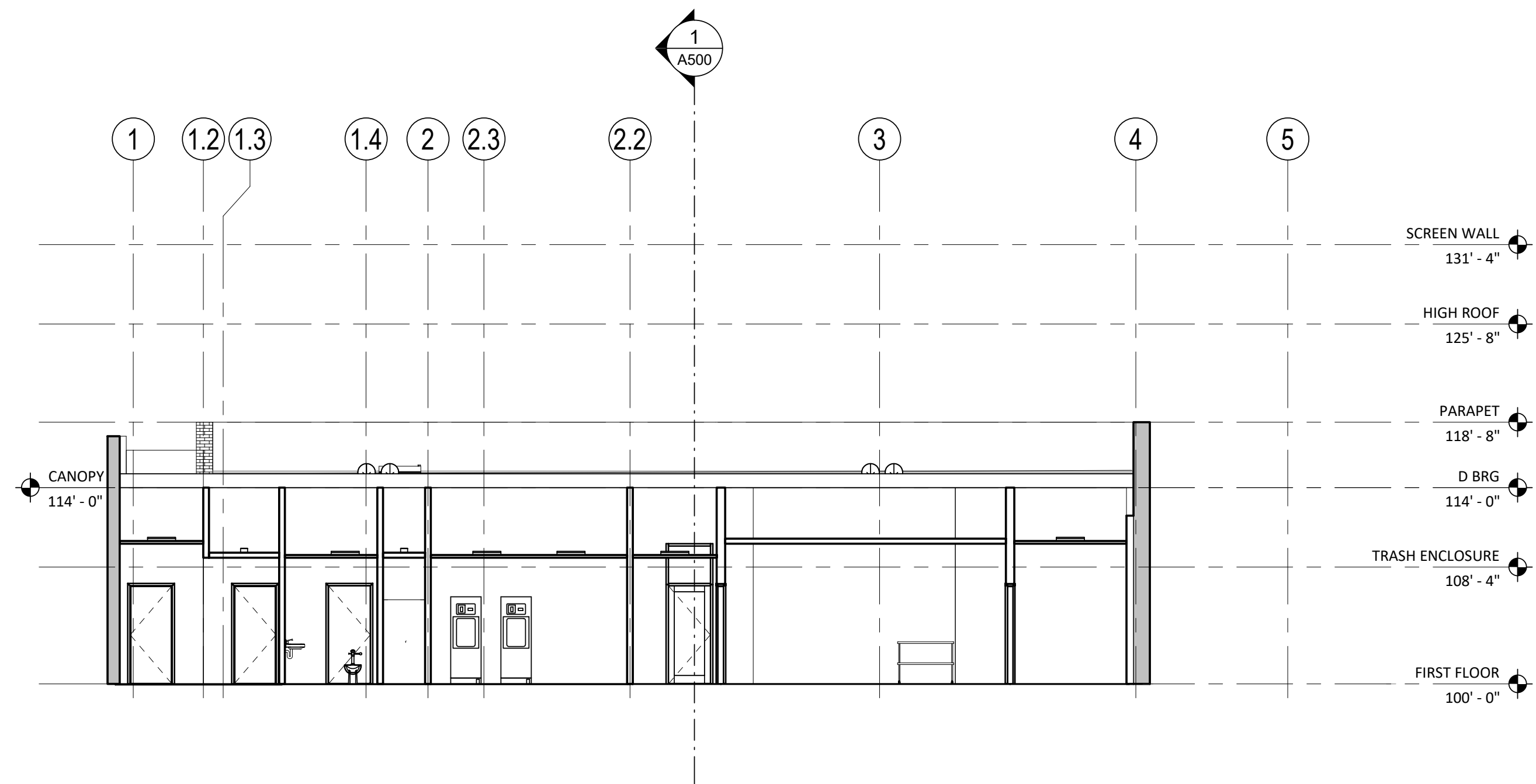
1 Section 1  
SCALE: 1/8" = 1'-0"



2 Section 2  
SCALE: 1/8" = 1'-0"



3 Section 3  
SCALE: 1/8" = 1'-0"



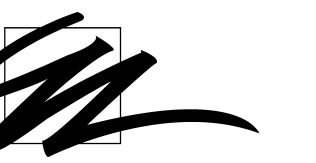
4 Section 4  
SCALE: 1/8" = 1'-0"

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**BUILDING SECTIONS**

**A500**



1 3D View 8  
SCALE:



2 3D View 9  
SCALE:

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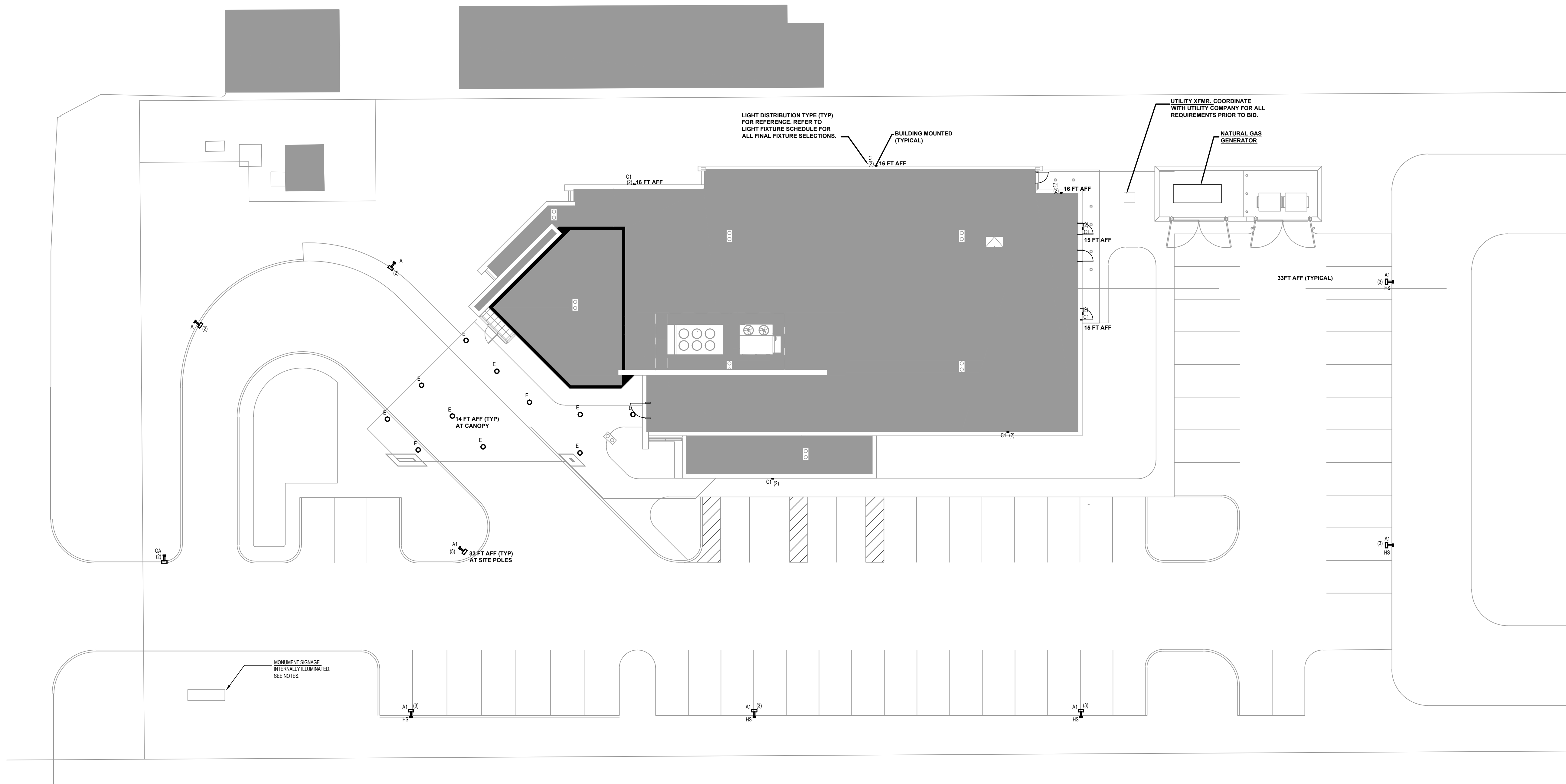


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INTERIOR PERSPECTIVE VIEWS


**A810**



- GENERAL NOTES**
- IT IS UNDERSTOOD AND AGREED BY THE INSTALLER THAT WORK HEREIN DESCRIBED SHALL BE COMPLETE IN EVERY DETAIL, EVEN THOUGH EVERY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED. INSTALLER SHALL BE HELD TO PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE WORK INTENDED AND DESCRIBED FOR A COMPLETE AND OPERATIONAL SYSTEM. SUCH MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, CONDUIT, FITTINGS, COVERPLATES, WIRING, BREAKERS, CONTROL DEVICES, LIGHTING ACCESSORIES, ETC. THIS ALSO INCLUDES EQUIPMENT REQUIRED BY STATE AND LOCAL CODES.
  - CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL EQUIPMENT, EQUIPMENT LOCATIONS AND MATERIALS WITH ALL OTHER TRADES, INCLUDING OWNER.
  - REFER TO LATEST DRAWINGS FOR ALL PANEL SCHEDULES AND CIRCUITS.
  - EC SHALL FACTOR MINOR ADJUSTMENTS UP TO 20 FT. FOR EACH LIGHTING FIXTURE FOR LANDSCAPE COORDINATION AS DIRECTED BY ARCHITECT.
- SITE NOTES**
- COORDINATE WITH GENERAL CONTRACTOR & SIGN CONTRACTOR TO VERIFY VOLTAGE, EXACT LOCATION & DISCONNECTING REQUIREMENTS.
  - TRANSFORMER BASE BY GENERAL CONTRACTOR. COORDINATE LOCATION AND INSTALLATION WITH LOCAL UTILITY SERVING THE AREA INCLUDING METERING AND WIRING SIZING. REFER TO RISER DIAGRAM ON DRAWINGS.
  - PVC CONDUIT IS TO BE BURIED 24" BELOW GRADE. USE A MINIMUM SIZE #10 WIRE.
  - ELECTRICAL CONTRACTOR TO REVIEW WITH LIGHTING SUPPLIER AND COORDINATE WITH ARCHITECT FOR APPROPRIATE COLOR TEMPERATURE SELECTIONS PRIOR TO ORDERING TO ACHIEVE DESIRED COLOR TEMPERATURES. THIS MAY INCLUDE A VISIT FOR DEMO SET UP BY THE SUPPLIER TO OWNER/ARCHITECT PRIOR TO PLACING ORDER TO ACHIEVE NECESSARY FINAL COLOR TEMPERATURES.
  - POLE MOUNT FIXTURES OA AND OB AT 20FT AFF. THE MAX. HEIGHT ALLOWED IS 20 FT. PER CITY REQUIREMENTS.
  - WALL MOUNT FIXTURE OC AT 12 FT AFF.
  - MOUNT BOLLARD FIXTURE OD AT 3'-4" AFF.
  - XFMR LOCATION IS FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD COORDINATE EXACT LOCATION OF UTILITIES FOR XFMR LOCATION. VERIFY WITH UTILITIES ADDITIONAL REQUIREMENTS PRIOR TO BID.
  - ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRING TO POWER SIGN. COORDINATE WITH SIGN VENDOR FOR ALL POWER AND COMMUNICATION REQUIREMENTS PRIOR TO BID. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR SIGN DETAILS. EXTEND POWER TO TEMPORARY SIGNAGE.
  - FIELD COORDINATE EXACT REQUIREMENTS OF STANDBY GENERATOR WITH VENDOR. SEE ONE LINE RISER DIAGRAM E4.1 FOR DETAILS. PROVIDE GROUNDING FOR XFMR PER NEC 2017. REFER TO STRUCTURAL DRAWINGS FOR PAD DETAILS.
  - FIELD COORDINATE EXACT LOCATIONS AND REQUIREMENTS FOR CONNECTION TO UTILITY XFMR. SEE ONE LINE DIAGRAM FOR CONNECTION DETAILS TO UTILITY. COORDINATE WITH UTILITY COMPANY FOR ADDITIONAL DETAILS.
  - PROVIDE CONDUIT (2) 4" CONDUIT FOR DATA AND COMMUNICATIONS. PROVIDE (1) CONDUIT WITH 5 CELL INNERDUCT FOR CABLE TV AND MISCELLANEOUS AUXILIARY SERVICES.
  - USE HOUSE SHIELDS AS INDICATED ON SCHEDULE AT LOCATIONS INDICATED WITH 'HS' WHERE ADJACENT TO PROPERTY LINE ADJOINING BUILDINGS.
  - ALL SITE LIGHTING TO BE REDUCED TO 50% 30 MINUTES AFTER CLOSE OF BUSINESS FOR THE DAY. THIS INCLUDES BUILDING MOUNTED EXTERIOR LIGHTS.
  - WALL MOUNTING HEIGHTS ARE AS INDICATED ON DRAWINGS. FIELD CONDITIONS MAY APPLY. ELECTRICAL CONTRACTOR SHALL PROVIDE FIXTURE SIZES AND QUANTITIES TO ACHIEVE LIGHTING INTENT AND FOOT-CANDLE REQUIREMENTS PER CODE AND ZONING REQUIREMENTS AT NO ADDITIONAL COST TO OWNER. PROVIDE A SUBMITTAL FOR ALL OPTIONS SELECTIONS. FINAL FIXTURE SELECTIONS AND LOCATIONS AS APPROVED BY ARCHITECT.

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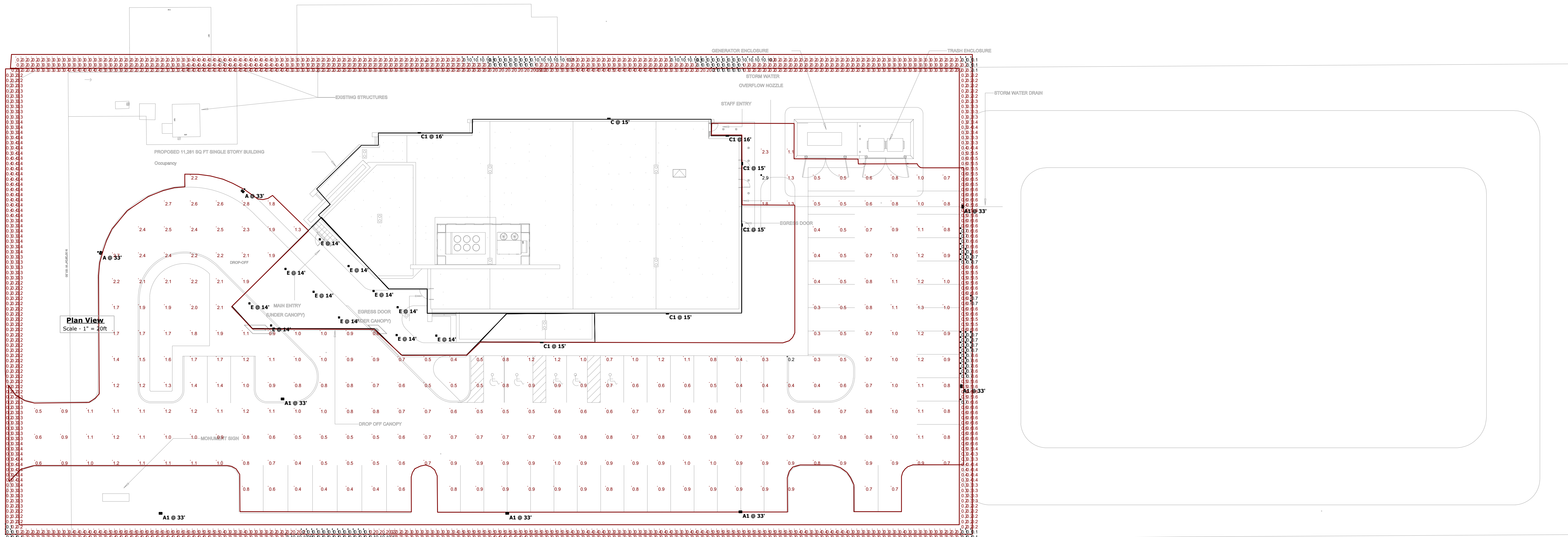

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**ELECTRICAL SITE PLAN**  
 1/16" = 1'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking lot	+	1.0 fc	6.0 fc	0.1 fc	60.0:1	10.0:1
Parking/Pedestrian Zone	+	1.0 fc	2.9 fc	0.2 fc	14.5:1	5.0:1
Property Edge	+	0.3 fc	0.7 fc	0.1 fc	7.0:1	3.0:1

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Image	Description	Lamp	Number Lamps	Filename	Light Loss Factor	Wattage	Lumens Per Lamp
[Symbol]	A		2	Lithonia Lighting	DSX0 LED P5 40K T3M MVOLT		DSX0 LED P5 40K T3M MVOLT	LED	1	DSX0_LED_P5_40K_T3M_MVOLT.ies	1	89	11346
[Symbol]	A1		6	Lithonia Lighting	DSX0 LED P1 40K BLC MVOLT		DSX0 LED P1 40K BLC MVOLT	LED	1	DSX0_LED_P1_40K_BLC_MVOLT.ies		138	3862
[Symbol]	C		1	Lithonia Lighting	DSXW2 LED 20C 350 40K T2S MVOLT		DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED'S, 350mA DRIVER, 4000K LED, TYPE 2 SHORT OPTIC	LED	1	DSXW2_LED_20C_350_40K_T2S_MVOLT.ies		125	2988
[Symbol]	C1		6	Lithonia Lighting	DSXW2 LED 30C 350 40K T2S MVOLT		DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED'S, 350mA DRIVER, 4000K LED, TYPE 2 SHORT OPTIC	LED	1	DSXW2_LED_30C_350_40K_T2S_MVOLT.ies		136	4467
[Symbol]	E		11	Lithonia Lighting	6JBK RD 30K 90CRI		6" Direct Wire LED Recessed Downlight, 3000K CCT, 120V	LED	1	6JBK_RD_30K_90CRI.ies	1	10.9	840





**SITE LIGHTING PHOTOMETRICS**  
 1/20" = 1'-0"

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**SITE LIGHTING**  
**PHOTOMETRICS**

**ES110**

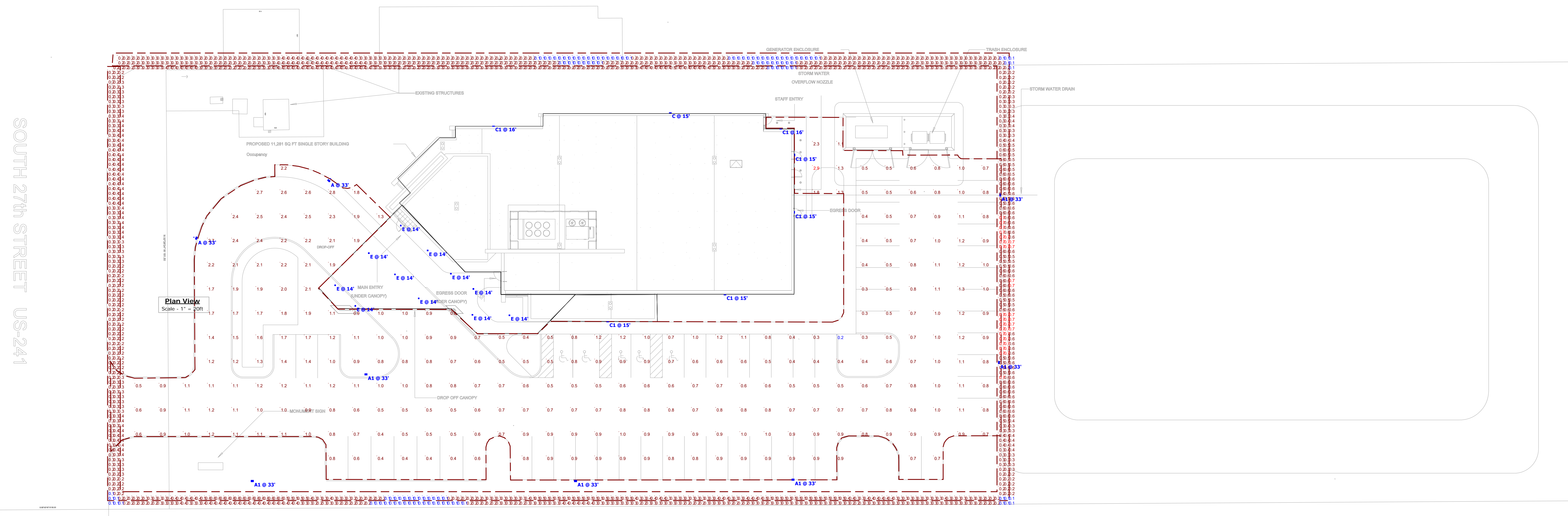


### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking lot	+	1.0 fc	6.0 fc	0.1 fc	60.0:1	10.0:1
Parking/Pedestrian Zone	+	1.0 fc	2.9 fc	0.2 fc	14.5:1	5.0:1
Property Edge	+	0.3 fc	0.7 fc	0.1 fc	7.0:1	3.0:1

### Schedule

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Light Loss Factor	Wattage	Lumens Per Lamp
□	A		2	Lithonia Lighting	DSX0 LED P5 40K T3M MVOLT	DSX0 LED P5 40K T3M MVOLT	LED	1	DSX0_LED_P5_40K_T3M_MVOLT.ies	1	89	11346
□	A1		6	Lithonia Lighting	DSX0 LED P1 40K BLC MVOLT	DSX0 LED P1 40K BLC MVOLT	LED	1	DSX0_LED_P1_40K_BLC_MVOLT.ies	1	38	3862
□	C		1	Lithonia Lighting	DSXW2 LED 20C 350 40K T25 MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED'S, 350mA DRIVER, 4000K LED, TYPE 2 SHORT OPTIC	LED	1	DSXW2_LED_20C_350_40K_T25_MVOLT.ies	1	25	2988
□	C1		6	Lithonia Lighting	DSXW2 LED 30C 350 40K T25 MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED'S, 350mA DRIVER, 4000K LED, TYPE 2 SHORT OPTIC	LED	1	DSXW2_LED_30C_350_40K_T25_MVOLT.ies	1	36	4467
□	E		11	Lithonia Lighting	6JRK RD 30K 90CRI	6" Direct Wire LED Recessed Downlight, 3000K CCT, 120V	LED	1	6JRK_RD_30K_90CRI.ies	1	10.9	840





## PLAN COMMISSION REPORT

Proposal: Temporary Use Permit Review – Parking

Description: Review a request for a temporary use permit for temporary parking for the ParTerre apartment construction at 7951 S. 6<sup>th</sup> St.

Applicant(s): Richard Barrett, Barrett Lo Visionary Development

Address(es): 7951 S. 6<sup>th</sup> St.

**Suggested Motion:** That the Plan Commission approves the Temporary Use permit for the temporary parking lot at 7951 S. 6<sup>th</sup> St. with the following conditions:

1. All applicable building and fire codes are in effect.
2. A minimum 5-foot setback shall be maintained from the right-of-way and all property lines.
3. There shall be a maximum of 40 parking stalls provided per the approved site plan.
4. All vehicles shall be parked on 3 inches of asphalt over 8 inches of compacted stone base per Engineering Department requirements.
5. There shall be no stockpiling of materials on this site.
6. All vehicles and temporary parking materials shall be removed, the site restored to its pre-construction condition, and vegetation reestablished within 6 weeks following the issuance of an Occupancy Permit for the ParTerre apartment construction project.
7. Prior to construction of the temporary parking lot, the Applicant shall submit to the City a cash escrow to assure removal/restoration of the lot and affected area in the timeframe outlined in the Temporary Use permit. The cash escrow amount shall be 1.2 times the cost of the calculated cost of the restoration work.

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Owner(s): BARRETT/LO VISIONARY DEVELOPMENT LLC

Tax Key(s): 813-9063-000

Lot Size(s): 1.388 ac

Current Zoning District(s): DTSMUPDD

Overlay District(s): N/A

Wetlands:  Yes  No

Floodplain:  Yes  No

Comprehensive Plan: Planned Mixed Use

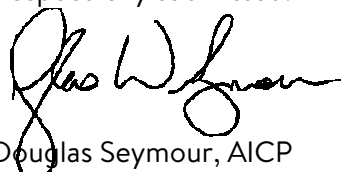
**Background:**

The Applicant is requesting a temporary use permit to allow for the temporary parking of vehicles on a vacant parcel at 7951 S. 6<sup>th</sup> St. Plan Commissioners may be aware that the construction of the ParTerre apartment building (aka, Phase 2 of Emerald Row) has begun on the parcel south of the existing Emerald Row Apartment building. Per the submitted information in the email included with this report, the request is to alleviate the parking constraints the construction project requires. Displaced residents will be directed to park at the proposed temporary lot, which is immediately west of the existing Emerald Row building. A total of 40 stalls, constructed with 3 inches of asphalt over 8 inches of compacted stone base, is proposed for the duration of the construction project. Once the project has been finalized, the temporary lot would be removed and the site restored to preconstruction conditions.

Staff have expressed concerns regarding the temporary parking lot, and would like to acknowledge the conversations with the Applicant’s representatives to address them. The proposed conditions of approval above directly relate to those concerns and solutions discussed with the consultants.

**Options/Alternatives:** See above. The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

Respectfully submitted:



Douglas Seymour, AICP  
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP  
Planner

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**Attachments:**

Location Map

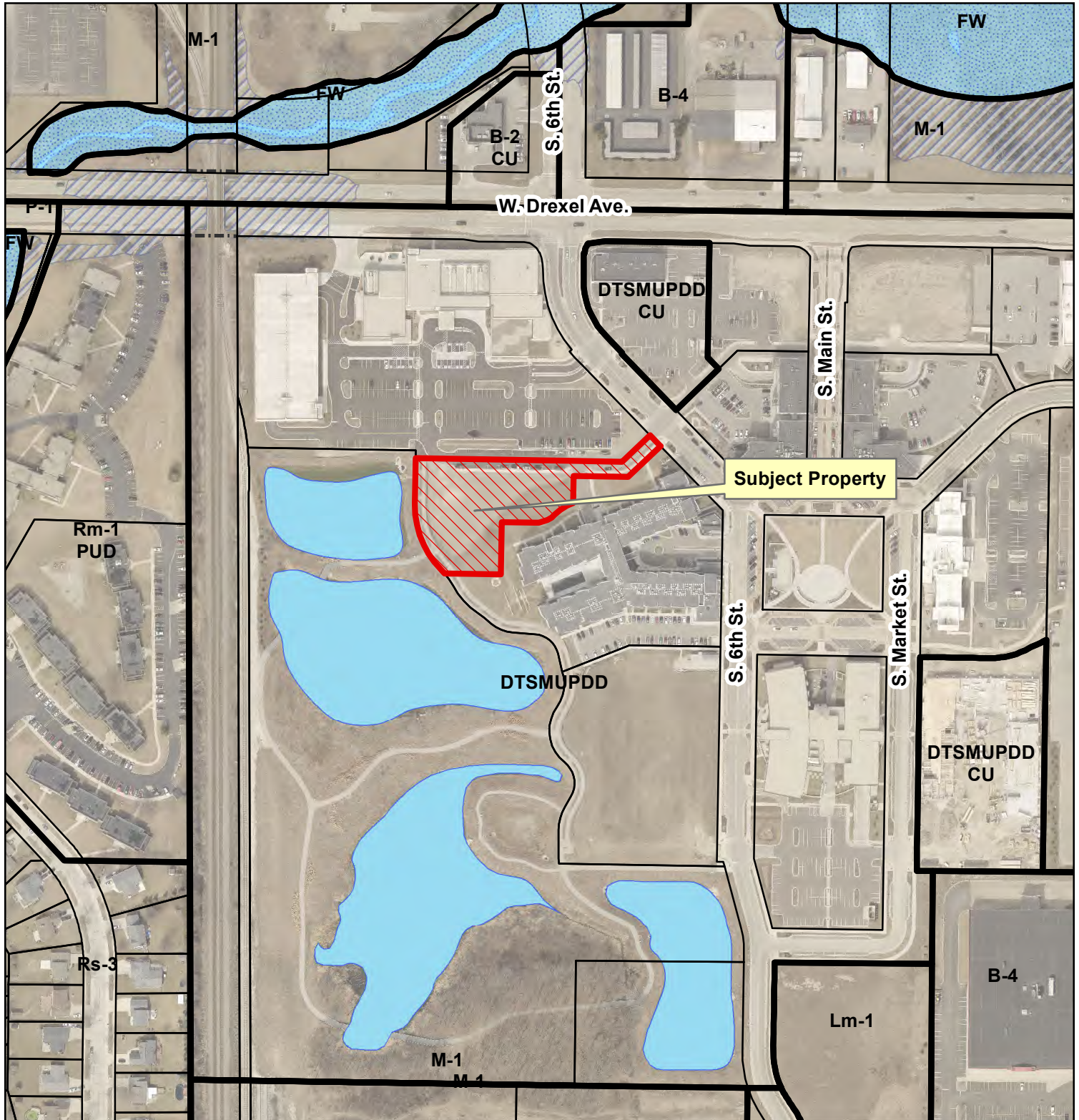
Email dated October 16, 2019 (2 pages)

Proposed Parking Plan (1 page)

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# Location Map

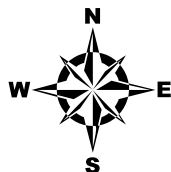
## 7951 S. 6th St.







This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



### Legend

-  7951 S. 6th St.
-  Official Street Pattern
-  Floodplain (2008)
-  Floodway (2008)

## Kari Papelbon

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**From:** Katie Monachos <kmonachos@rinka.com>  
**Sent:** Wednesday, October 16, 2019 10:00 AM  
**To:** Kari Papelbon; Michael C. Simmons  
**Cc:** Bradley Hoffmann  
**Subject:** RE: DTS Emerald Row Temp Parking Lot - Plan Commission App & Submission

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Kari,

Thanks for the additional clarifications on the temporary parking request. Please see responses below in **red**. Let me know if you have questions.

Best,  
Katie

Katie Monachos  
architect, senior project manager

**RINKA+**

756 north milwaukee street suite 250  
milwaukee, wisconsin 53202  
414 431 8101 p  
630 400 6947 c  
kmonachos@RINKA.com  
RINKA.com

Rinka Chung is now RINKA.  
Learn more about the progression of RINKA on our revamped website: [RINKA.com](http://RINKA.com)

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**From:** Kari Papelbon <kpapelbon@oakcreekwi.org>  
**Sent:** Monday, October 14, 2019 12:14 PM  
**To:** Michael C. Simmons <msimmons@oakcreekwi.org>; Katie Monachos <kmonachos@rinka.com>  
**Subject:** [EXTERNAL] RE: DTS Emerald Row Temp Parking Lot - Plan Commission App & Submission

Katie,

What we are looking for is a detailed narrative explaining the request, including:

- Rationale for request, including why the parking cannot be accommodated elsewhere.
  - During portions of the construction of Parterre at Emerald Row, construction access and work space will need to be maintained in the parking lot to the south of the Emerald Row Phase 1 project. This access covers 26 parking stalls. The parking stalls need to be taken over during portions of construction due to the proximity to the Parterre at Emerald Row building for constructability of the project and for safety of adjacent residents. The Emerald Row Phase 1 building is currently at its minimum parking requirement including those stalls that need to be used for the construction of Parterre at Emerald Row. Currently there are no extra stalls available within the Emerald Row Phase 1 project. This parking lot would account for all of the displaced parking plus additional stalls to further help alleviate the parking strain.
- Number of proposed stalls (even though the plan calls out the number of stalls).

- The temporary parking lot will contain 40 stalls.
- Duration of requested temporary use (this can be slightly general, but we will need to have a condition for the expiration of the permit).
  - The duration of the temporary use will be for the length of construction of the Parterre at Emerald Row project through final closeout.
- Plan for restoration of the site.
  - The temporary asphalt parking lot will be removed at the end of the tenure listed above. The lot will be restored to the current site condition containing grass.
- Construction materials (the Plan Commission will ask this question even if the staff report mentions it).
  - The temporary parking lot will be constructed from 3” of asphalt installed over 8” compacted stone base.
- Will tenants be allowed to park in this lot? If so, how many stalls will be designated vs. for construction?
  - The parking lot will be designated for tenant use for tenants of the Emerald Row projects.

Please keep in mind that we will have very specific conditions of approval included in the report for Plan Commission consideration.

**Kari Papelbon, CFM, AICP • Planner**  
City of Oak Creek • Community Development

8040 South 6th Street • Oak Creek, WI 53154

P: 414-766-7027

[kpapelbon@oakcreekwi.org](mailto:kpapelbon@oakcreekwi.org)

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