



## PLAN COMMISSION

March 26, 2019

6:00 P.M.

### Common Council Chambers

8040 S. 6<sup>TH</sup> Street  
Oak Creek, WI 53154  
(414) 766-7000

Daniel Bukiewicz - Chair  
Dawn Carrillo  
Chaucey Chandler  
Patrick Correll  
Chris Guzikowski  
City Engineer  
Gregory Loreck  
Fred Siepert  
Christine Hanna  
Edward Ciechanowski – ex-officio  
Doug Seymour – ex-officio

### The City's Vision

*Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.*

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – March 12, 2019
4. Significant Common Council Actions
5. 6:00 Public Hearing
  - a. Hold a public hearing on a proposed sign appeal for the property at 8989 S. Howell Ave. submitted by Merlin Misialek, Target Corp., that would allow installation of a total of four wall signs. Three signs will be installed on the east elevation of the building and be 196 square feet in area, 37 square feet in area, and 25 square feet in area. One wall sign will be installed on the west elevation of the building and be 144 square feet in area. (Tax Key No. 859-9038-000). Follow this item on Twitter **@OakCreekPC#OCPCTargetSigns**.
6. New Business
  - a. SIGN APPEAL - Consider a request for a sign appeal for the property at 8989 S. Howell Ave. submitted by Merlin Misialek, Target Corp., that would allow installation of a total of four wall signs. Three signs will be installed on the east elevation of the building and be 196 square feet in area, 37 square feet in area, and 25 square feet in area. One wall sign will be installed on the west elevation of the building and be 144 square feet in area. (Tax Key No. 859-9038-000). Follow this item on Twitter **@OakCreekPC#OCPCTargetSigns**.
  - b. PLAN REVIEW – Review building plans submitted by Merlin Misialek, Target Corp., for exterior modifications to the existing building at 8989 S. Howell Ave. (Tax Key No. 859-9038-000). Follow this item on Twitter **@OakCreekPC#OCPCTarget**.
  - c. CERTIFIED SURVEY MAP – Review a certified survey map submitted by Brad Schmidt, Brad Schmidt Properties, LLC, dividing the property at 9620 S. Shepard Ave. (Tax Key No. 908-9008-000). Follow this item on Twitter **@OakCreekPC#OCPCSchmidtCSM**.
  - d. PLANNED UNIT DEVELOPMENT – Review a request submitted by John Thomsen, Highgate, LLC, to establish a Planned Unit Development for the properties at 7705, 7725, 7751, 7781,

Visit our website at [www.oakcreekwi.org](http://www.oakcreekwi.org) for the agenda and accompanying Plan Commission reports.

7811, 7831, and 7869 S. 13<sup>th</sup> St. (Tax Key Nos. 784-9020-000, 784-9019-000, 784-9003-000, 784-9991-000, 784-9990-001, 784-9001-000, 784-9993-002). Follow this item on Twitter **@OakCreekPC#OCPCHighgatePUD**.

- e. PLAN REVIEW – Review site and related plans submitted by Jerry Erdmann, The Property Advisor, for a parking lot addition on the property at 9911 S. Howell Ave. (Tax Key No. 924-9008-000). Follow this item on Twitter **@OakCreekPC#OCPCErdmann**.
- f. PLAN REVIEW – Review site, building, landscaping, and lighting plans submitted by Dorian Boyland, Boyland Properties Oak Creek, LLC, for a new auto dealership on the properties at 7008 and 7018 S. 27<sup>th</sup> St., and 2500 W. Rawson Ave. (Tax Key Nos. 737-9989-001, 737-9988-001, & 737-9037-001). Follow this item on Twitter **@OakCreekPC#OCPBoyland**.
- g. CSM – Review a certified survey map submitted by Wispark, dividing the property at 280 W. Oakview Parkway. (Tax Key No.). Follow this item on Twitter **@OakCreekPC#OCPWisparkCSM**

Adjournment.

Dated this 22 of March, 2019

Posted 03-22-2019 JF

**Public Notice**

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6<sup>th</sup> Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice

**DRAFT MINUTES OF THE  
OAK CREEK PLAN COMMISSION MEETING  
TUESDAY, MARCH 12, 2019**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Simmons, Commissioner Carrillo, Alderman Loreck, Alderman Guzikowski, and Commissioner Correll. Commissioner Siepert and Commissioner Chandler were excused. Also present: Planner Kari Papelbon, and Zoning Administrator/Planner Pete Wagner.

**Minutes of the February 26, 2019 meeting**

Alderman Loreck moved to approve the minutes of the February 26, 2019 meeting. Commissioner Hanna seconded. On roll call: all voted aye, except Alderman Guzikowski and Commissioner Correll, who abstained. Motion carried.

**CONDITIONS AND RESTRICTIONS  
STAR PROPERTIES 2, LLC  
6524 AND 6548 S. 13<sup>TH</sup> ST.  
TAX KEY NOS. 717-9987-001 AND 717-9986-001**

Planner Papelbon provided an overview of the conditions and restrictions for a conditional use permit for a contractor's office/shop/yard with outdoor storage and truck parking. (See staff report for details.)

*Commissioner Hanna comments were inaudible due to not speaking into the microphone.*

Commissioner Simmons stated that Engineering staff will be reviewing the storm water when the plans become clearer. There is some lack of clarity right now as to how much needs to be paved in the back and what the use will be.

Commissioner Simmons reminded the Commissioners that there is significant floodway in the front of the property on the west side, so they cannot raise the grade or put any new structures in that area.

Mayor Bukiewicz asked Planner Papelbon if the condition that refers to storage of equipment is limited to just trucks and trailers. Planner Papelbon confirmed that it is just for trucks and trailers in designated stalls. Mayor Bukiewicz reiterated this condition so that it is clear what is allowed to be stored. Nicolette Reinhart, 8580 S. Parkland Dr., Franklin, manager of Star Properties, confirmed that it will be truck and/or trailer parking, not boats, RVs and cars.

Alderman Loreck moved that the Plan Commission recommends that the Common Council adopts the Conditions and Restrictions as part of the Conditional Use Permit for a contractor's office/shop/yard with outdoor storage and truck parking on the properties at 6524 and 6548 S. 13<sup>th</sup> St., after a public hearing.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**FINAL SUBDIVISION PLAT REVIEW  
GLEN CROSSING ADDITION NO. 2  
8459 S. ROSEWOOD LN.**

**TAX KEY NO. 829-0061-000**

Planner Papelbon provided an overview of the request for the final subdivision plat review. (See staff report for details.)

Mayor Bukiewicz asked if there would be a temporary cul-de-sac on Rosewood Lane as well as the one on Nighthawk Trail. Planner Papelbon responded that there a note about the temporary cul-de-sac on Lot 72, including a building restriction, and explained that there is room for a cul-de-sac on the southern portion of Lot 61 that would not impact any future building on that lot. It is sort of a flag-shaped lot, so the building pad is actually closer to the north. It looks to be about 42 feet wide at the end of that lot that would allow for a temporary cul-de-sac.

Commissioner Correll moved that the Plan Commission recommends to the Common Council that the Final Plat for Glen Crossing Addition No. 2 submitted by Robert Stack, Glen Crossing LLC, be approved with the following conditions:

1. That documentation confirming WE Energies' and Glen Crossing, LLC's agreement for the installation of utilities immediately upon thaw is provided to the Engineering Department prior to Common Council review of the Final Plat.
2. That any technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW  
OAK CREEK CIVIC CENTER  
8040 S. 6<sup>TH</sup> ST.  
TAX KEY NO. 813-9064-000**

Planner Papelbon provided an overview of the proposed landscape addition to the Oak Creek Civic Center. (See staff report for details.)

Jill Lininger, Oak Creek Library Director, provided background information on the proposed project. The Library and the Library Foundation, along with a group of citizen volunteers, have been working on a plan for the last several months to enhance the south plaza area right outside the south doors (the grassy area next to the Library between the building and the parking lot). When the building was originally designed, there was an initial idea to have a water feature in that area. Due to budget constraints, that was eliminated from the final design; however, at the beginning of 2018, Director Lininger was approached by a group of donors and volunteers who were interested in bringing that back.

Director Lininger stated that the design is through a firm called Aquatica, Wales, Wisconsin. Director Lininger showed a video of what the feature may look like. She went on to describe the waterfall. The highest point of the waterfall will be near the parking lot. It will make its way down and empty into a covered well near the multi-purpose room, and then the water will recycle.

Director Lininger stated that before they started fundraising in earnest, they did take this to the Common Council, who has seen the initial plans. That was back in August. All of the money



that is necessary for the project has been raised through private donations. As long as weather conditions cooperate, they would like to start demolition beginning the first week of April with the water feature going in in the beginning of May, and the project being completed by the beginning of June.

Tom Bauer, who spearheaded the project, added that Aquatica is one of top ten companies nationwide for designing water features, and the City is fortunate to have him in the State of Wisconsin and he loves this project. As long as Aquatica is associated with this, it is going to be the type of quality that you would want to see at the entrance of City Hall.

Commissioner Correll asked how the maintenance and upkeep is being funded. Director Lininger responded that the upkeep will be funded through the Library foundation for the time being. It is about \$500 per year. The employees at Aquatica will start the water feature up in the spring and shut it down in the fall. Over the course of the year,

Mr. Bauer stated that Aquatica is going to train City staff as needed. Part of the reason Aquatica is involved is that this is a very low maintenance type of a pond.

Commissioner Hanna questioned if this is going to be a tripping hazard for small children. Mr. Bauer responded that there is a small 14-inch deep reflecting pond, which is of no danger to children. There is going to be a footpath over the creek similar to those at Boerner Botanical Garden.

Commissioner Simmons stated this is a great use of a currently underutilized space.

Alderman Loreck stated it will be a great addition.

Alderman Guzikowski stated he is happy this project is coming to fruition.

Mayor Bukiewicz concurred with Alderman Guzikowski. He feels this is really going to make the area "pop."

Mayor Bukiewicz asked where they are going to put the pumps. Mr. Bauer responded that the pumps will be in the well.

Mr. Bauer stated that they are hoping to have this in by June 15, depending on the weather.

Alderman Loreck moved that the Plan Commission approves the plans submitted by Jill Lininger, Oak Creek Public Library, for the property at 8040 S. 6<sup>th</sup> St. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all detailed, revised plans are submitted in digital format to the Department of Community Development.

Alderman Guzikowski seconded. On roll call: all voted all. Motion carried.

**OFFICIAL MAP AMENDMENT  
LOT 1 OF CERTIFIED SURVEY MAP 8047  
9330 S. SHEPARD AVE.**

Planner Papelbon provided an overview of the request for an official map amendment. (See staff report for details.)

Commissioner Hanna asked if the old path was used by the students to walk to the school. She inquired if there will be an alternative to this walking path.

Andy Chromy, Chief of Finance and Business Officer for the Oak Creek-Franklin Joint School District, 7630 S. 10<sup>th</sup> St., responded that all students north of the school are in the bus zone. The only students in the walk zone for the school are to the west of S. Shepard Ave., and they cross the Oak Leaf Trail south of the building. The proposed adjustment does not affect any walkers in the walking plan.

Commissioner Simmons stated that it is a good thing that those two dead end roads are interconnected.

Mayor Bukiewicz inquired if the lots directly adjacent to the school property will be deep enough to be developed. Planner Papelbon responded that she believes they would be. There is a significant amount of land there, and there are no dimensions that are listed on the map for where that road is. It is a concern for where that road could be.

Commissioner Correll moved that the Plan Commission recommends to the Common Council that the Official Map for a portion of Lot 1 of Certified Survey Map No. 8047 (mapped, unimproved future right-of-way affecting the property at 9330 S. Shepard Ave.) be amended as illustrated, after a public hearing. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW  
OAK CREEK-FRANKLIN JOINT SCHOOL DISTRICT  
EAST MIDDLE SCHOOL  
9330 S. SHEPARD AVE.  
TAX KEY NO. 873-9013-000**

Planner Papelbon provided an overview of the plan review for parking areas, athletic fields and interior access for East Middle School. (See staff report for details.)

Asst. Fire Chief Kressuk stated there were just a few small discussions with the applicant regarding fire lanes and coming up with a solution that both sides came up with.

Arden Degner, 8540 S. Pennsylvania Avenue:

*"I've been a sidewalk addict all the 60 years I have been in Oak Creek and I am glad to hear the comment of Commissioner Hanna in regard to Safe Route to Schools. You'll notice that this is the Safe Route to Schools that was just approved by the City Council at the last meeting. I have abstracted parts of it that pertain to the school district itself. You see most of the problems in Oak Creek are the fact of the connecting major either arterial streets or adjacent streets. Whereas, these items that are on the Safe Routes were gathered prior to this building program because the building program blueprints were not available to the engineers and architects that were drawing the building. Now I have mentioned here on East Middle School and I notice that there is a conflicted between this Safe Routes and the drawings. Because you notice the Safe Routes for these middle schools ask for a direct walking route. See because the purpose of*

safe routes by the government was to provide more walking and bicycling opportunities. Of course, we recognize that in Oak Creek the older we get the snow piles that they can't even see around. It's very dangerous and yet, this is the purpose of this Safe Routes is to provide for a temperate days this kind of access. You'll notice that there's an item D, there's an access to the Oak Leaf Trail to the, must be the eastern part of the school as well as further west and then directly at the entrance to provide access as well as the sidewalk property access. As long as I'm at it, I'll just mention Edgewood School the same way the trail sidewalk to the south. It's interesting how they have come up with the idea that we need access from the school and perhaps there's already existing access. But this is listed as G on that page so that the people or students can access the main road there. I don't know what happens there because there aren't even bicycle lanes provided. But at least this is, a portion of this you see would be school property to provide access. And the rest of it has to be coordinated with the City. That's my job today is to try to coordinate it at the school building and talk to the (inaudible), building manager and he said, 'Oh, that's the school, that's the Council's problem.' Well no it isn't because we have school district property adjoining. So that's my purpose. And then end with the same way item E as well as Deerfield School. That's an interesting situation. The Deerfield where they have, are you aware that the Deerfield attendance area stops at Highway 32 at about, goes on, excuse me the Carrollton School attendance stops at Highway 32 and continues on down, oh we'll say, to, around Oakwood Road. But the finger of everyone, all the students that are living in, used to be Carrollville, way up and east of Highway 32, way up to the plant, the Metropolitan Sewerage plant, that finger of territory is all a part of the Deerfield School District. Now that is why they've mentioned that this trail that we have and I think that it's something that has to be considered. This trail Item H that runs into this early childhood center which in the old days used to be Scatlan School and that it should be available for access for students having to cross this major highway to access. And I recall 40 years ago, there was a student killed trying to walk along Highway 32 to go to Otjen School. And then after that time, they put on some asphalt adjacent to the highway. So that has to be, that's I think, that's an important consideration is this for Deerfield as well as a sidewalk, continuing access south of it to not sure if that's Oakwood, must be Elm Road, so those are my comments and I appreciate your help."

Mayor Bukiewicz explained that the Safe Routes to School was adopted by the City this last week after the study was done City-wide as to the improvements we can make. The [Oak Creek-Franklin Joint] school district is responsible for their property, and the City is responsible for theirs, to try to ensure the safest routes possible to school for walking and biking. This is more geared toward elementary and middle schools.

Commissioner Simmons thanked Mr. Degner for his input and then continued by saying that there are slight improvements that could be made in probably each of the four plans being presented to the Plan Commission this evening to at least account for the Safe Routes to School recommendations on those properties.

Mayor Bukiewicz asked for comments/suggestions/questions specific this this item (Item E – East Middle School).

Commissioner Hanna concurred with the need for sidewalks.

Seeing as there were no other comments, Mayor Bukiewicz called for a motion.

Commissioner Correll moved that the Plan Commission approves the site plans submitted by Andrew Chromy, Oak Creek-Franklin Joint School District, for the property at 9330 S. Shepard Ave. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all stormwater management requirements are submitted for review and approval to the Engineering Department prior to submission of permit applications.
3. That all detailed, revised plans are submitted in digital format to the Department of Community Development prior to submission of permit applications.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW  
OAK CREEK-FRANKLIN JOINT SCHOOL DISTRICT  
DEERFIELD ELEMENTARY SCHOOL  
3871 E. BLUESTEM DR.  
TAX KEY NO. 961-9201-000**

Planner Papelbon provided an overview of the plan review for modifications to the parking and interior access for Deerfield Elementary School. (See staff report for details.)

Mayor Bukiewicz called Michael Gaynor to the podium as he wished to speak on this item.

Michael Gaynor, 3900 E. Green Meadows Court:

*“Oak Creek resident since 1976. I have major concerns with the south side of the building. You don’t need to send a surveyor over to see that the driveway pitches into the four backyards on Green Meadows Court. I’ve only lived there for two years. Just beginning to notice the water patterns, heavy rains, back yards fill up with water. A couple of neighbors having standing water year round. Um, the playground on the northeast side is particularly high, so the water drains from the, all the way from the top of that playground right down into the, right down into our neighborhood. If you stand by the driveway at the back of the building, you can see the slope. It’s not even close to level, so I have major concerns that it says that you’re going to deal with groundwater. I’m hoping you’re thinking something of some kind of storm sewer, something that’s going to, that’s really going to take the water out of there. There’s standing water on the court year round. Two of the houses have standing water almost year round. They’re yards are destroyed. We got the rains in January. My sump pump has stopped running three days since January. So all winter long, I’ve had, as quick as every 12 seconds, when I time it, the water is seeping right through there into our backyards and a major concern. And just an added note, I question the aesthetic value. Right now there’s a beautiful little woods between the school and our yards. I’d hate to see a fence and a brick wall there to ruin the aesthetics. It’s really a beautiful location. If you’ve ever come there after school and watch the parent pick-up on Green Meadows, it’s an absolute nightmare. It’s a two-lane road with somewhere between 50 and 60 cars lined up waiting to pick up their kids, so I hope they’re going to take that into consideration when they remodel. And I guess, one other sad note, there is not one crosswalk around that school and it is probably the busiest street in Oak Creek from 7:00 a.m. to 7:50 a.m. every morning. There are several hundred cars come through there. No crossing guard. No crosswalk. No attempt for the kids to cross safely. It’s really, really a hazard. Thank you.”*

Alderman Guzikowski asked Mr. Gaynor if he had brought these issues up to anyone on the School Board previously.

Mr. Gaynor:

*"I, well there's another speaker, I in my regard to my major concern, I wrote a letter to the City Engineer early in January expressing my concerns. I've written a letter to my Alderman expressing my concerns as well. I was told the plan was for 2020, but not I understand it's for this summer, so I'm glad that I wrote that letter because this would be my second property in Oak Creek where I've had water problems and I felt the City really disappointed me."*

Alderman Guzikowski asked if Mr. Gaynor had reached out to the school board or any administration regarding the crosswalks.

Mr. Gaynor:

*"There's another Mike Gaynor that's going to come up in a second."*

Mike Gaynor, 3880 E. Hazelbranch Lane:

*"I do not live with that Mike Gaynor, but we are related and he is my primary child care. He walks my child, both my kids, to school on a regular basis. There is no crosswalk connecting the north end of the district, or of the neighborhood to the school. I brought it up to Jim Marotta (sp?), the school principal. He had said it's a City issue. About three years ago, four years ago, I think I emailed my alderman and I also contacted the Oak Creek Police Department and filled out some form through the website. I was advised by the Police Department that it was a financial issue, that you guys couldn't afford to maintain a crosswalk at that location. So, um, that was kind of the end of that."*

Mayor Bukiewicz explained that typically that would go through the Traffic and Safety Committee. Commissioner Simmons asked where the crosswalks are missing. He is aware that there are crosswalks at the intersection of Emerald, the north south road, and Green Meadows.

Mr. Gaynor:

*"I'm coming from Willow Brook, I'm coming from Willowbrook, so if I come from Hazelbranch. Our neighborhood was set up as a green neighborhood. It has, specifically, easements to ease the movement of children between yards to get to the school. But once you get to the street, you would actually have to walk almost a quarter to a half mile down to find a crosswalk that would cross you to the side where you could actually get to the side of the school. So as of right now, we cross on front of the school, and with the snow and all that you can see the snow removal. My kids have to climb the hill, my dad who just had knee surgery, actually just walks down the middle of the road to the entranceway to get safety into the school district. There's nothing plowed, nothing moved, nothing to move children from one side of the street to the other."*

Mayor Bukiewicz asked if Mr. Gaynor was referring to Bluestem.

Mr. Gaynor:

*"Yep."*

Commissioner Simmons stated that they did approve a project to improve the crosswalks on Bluestem and a few of the other roads adjacent in that neighborhood in the 2019 budget, so that will take place this year.

Arden Degner, 8540 S. Pennsylvania Avenue:

*"I have the Safe Routes to School plan that mentions the challenges. 1) lack of adequate school zone signage. 2) Inconsistent AGA facilities. 3) parent pick-up activates, generates, potentially hazardous conditions, and 3) (sic) the configuration of campus parking lot and driveways generate potentially hazardous conditions. So that was covered somewhat in the..."*

Mayor Bukiewicz stated that it was identified that school pick-up is a problem there.

Mayor Bukiewicz asked Commissioner Simmons for more information on the drainage on the property.

Commissioner Simmons stated that the conditions now are such that a lot of that parcel does drain off to the south through the backyards of those properties. The plan shows that wall working in conjunction with a proposed bioswale, that water will filter through that bioswale. So that will cleanse the water and slow that water down, which will improve conditions out there. With the bioswale, the water soaks in. It also has an underdrain system that carries it away to the storm sewer rather than just release the water over land.

Alderman Guzikowski asked if that would alleviate the standing water in other areas. Commissioner Simmons responded that it is difficult to say if this is groundwater or if it is surface water. However, by slowing and reducing the surface water, there should be an improvement.

Joan Rickard, 3920 E. Green Meadows Court:

*"I live right behind, I live right next to the big Mike Gaynor, and the biggest standing water is right by my house in front of the mailboxes between my neighbor, myself and then my neighbor to the east. It's he, the neighbor to the east, and I'm surprised he's not here, has huge water issues coming down from him, which is coming from the track area, and I'm afraid if you're going to put two more parking spaces down there, he's going to even have more. The water kind of sits over here by him, drains down between the two of us. I have water in the front of our mailboxes so bad. The water is this high. I can't even stand there. I have to take my...I have to get in my car. I've had knee replacements and it freezes there. I'm telling you, you guys are going to be paying for new knees soon when I slip and fall again. And you know, it's like, this is, I have called every year about this issue and people have come out. They told the neighbor they would have to pay \$10,000 so that he would have to put it in and connect it into the sewer system himself. And then I have the water draining down from the rest of the community down here. So I have water draining here, then there's water coming, this water, and so it all gathers right there. And then when the snow starts melting in the cul-de-sac and it hasn't been picked up, then that melts and that leans all this way as well. Thank God I don't have it in my back yard like they do because of how my lot is drained, but, you know, all this standing water is, and it's a, it's a, you know mosquito infest too during the summer."*

Mayor Bukiewicz stated he is somewhat familiar with the area having been in the neighborhood a couple of times, but was not totally familiar with the grade. He added that hopefully the bioswale will take care of some of it. It is hard to say what is going on with the sewer.

Mike Gaynor, 3900 E. Green Meadows Ct.:

*"This would be my concern. I guess I'm not looking for a prospective promise. I would like something definitive. Let's find something that works as long as you're going to do the construction there, let's not, let's not say, 'Hey, this was supposed to work.' I've lived in situations where it was supposed to work and it didn't. And so now, I feel like as a neighbor, I am here early enough in the planning stages that the Planning Department, the Engineering Department can come forward and say, 'This is going to, this is going to work. We're going to drop a sewer in here', not, 'I think the stuff is going to absorb it.' I guess as a tax payer I'm saying, 'Let's get something definitive before you go ahead with the project because hindsight is always 20/20, but things don't get done once the project is done.' They say, 'Boy, you know, you know, you're kind of SOL there buddy. Really wish we could have helped you. Now the project's done.' So you have a chance to do it before you start the construction and come up with something that's really going to work."*

Mayor Bukiewicz stated that by all means, the City wants this to work, and the Engineering Department is advising the City that the bioswale is going to work. He added that, unfortunately, if he happens to be right where all the water naturally drains where nature takes it, it is going to be a wet area.

Mr. Gaynor:

*"But that was altered when you put the asphalt in. The School District changed that when you ran the road back there. Then it's no longer natural drainage. That's drainage that they created and that's part of the problem, not only coming out of the hill, but the fact that they ran a road in there that's several hundred feet long that pitches right into our backyards. There was an easy way. You could have graded it and ran the water down the middle and ran it right off the playground. The driest part of the school out there is the part they have set aside for drainage. There's never water there. There's water everywhere else."*

Mayor Bukiewicz responded that he cannot speak to the way it was graded, but he will trust Engineering staff to design a solution and improve the area going forward.

Joan Rickard, 3930 E. Green Meadows Ct.:

*"I've only lived there for four years, but people before me that lived in Mike's house actually had told me that the drainage was not this, wasn't anything like this until the parking was done, paved on the south end."*

Commissioner Simmons reiterated that Engineering staff can look into this. This subdivision was put in with an approved grading plan and the slope is not there to work with. He thinks that is the case here and when individual lots are landscaped, grades changed and a slight change can slow the water down and cause problems. In the spring, Engineering staff can take a good look at those yards and in the meantime, as the storm water plan comes in, it will be reviewed to make sure it is all in compliance with the City's discharge standards.

*Commissioner Hanna comments were inaudible due to not speaking into the microphone.*

Alderman Loreck moved that the Plan Commission approves the site plans submitted by Andrew Chromy, Oak Creek-Franklin Joint School District, for the Deerfield Elementary School property at 3871 E. Bluestem Dr. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That copies of all permits/approvals issued by the Wisconsin Department of Natural Resources are provided to the Department of Community Development and Engineering Department prior to submission of local permit applications.
3. That all stormwater management requirements are submitted for review and approval to the Engineering Department prior to submission of permit applications.
4. That all detailed, revised plans are submitted in digital format to the Department of Community Development prior to submission of permit applications.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW  
OAK CREEK-FRANKLIN JOINT SCHOOL DISTRICT  
EDGEWOOD ELEMENTARY SCHOOL  
8545 S. SHEPARD AVE.  
TAX KEY NO. 827-9026-001**

Planner Papelbon provided an overview of the plan review for an addition to the building and parking lot and interior access modifications. (See staff report for details.)

Commissioner Simmons stated that proposed location of the detention pond is where there is an existing ball field. He asked if the ball field is going to be lost in that. Andy Chromy, Chief of Finance and Business Officer for the Oak Creek-Franklin Joint School District, 7630 S. 10<sup>th</sup> St., responded that the detention pond will take over the ball diamond that is there. Part of the high school plan is a soccer field, so a full size varsity competition soccer field would be to the west of that detention pond. Essentially the three ball fields will be lost in exchange for a varsity soccer field moved to the high school site, and the retention pond for the runoff and water solution on that property. Mr. Chromy added that the improvements they are making to the school sites is for the increased safety for the pickup and drop off of children for parents and buses.

Devin Kack, Plunkett Raysich Architects, 209 S. Water Street, Milwaukee, stated that they are matching the existing brick as best as they can and showed the Commissioners an example. The dimensional block that is below the windows is no longer available, so the precast panel will be cut into the size of a block (8" x 16") so that the character of that size is in keeping with the size of the block that is below all of those windows. The block below the windows has been painted to further blend in with the existing block.

Mr. Kack stated that basically there is zero insulation in any of those buildings, so this new gym will be the best energy performer on the site, meeting 2015 energy codes, 3 inches of rigid insulation and 4-inch veneer on the outside.



Alderman Loreck moved that the Plan Commission approves the site plans submitted by Andrew Chromy, Oak Creek-Franklin Joint School District, for the property at 8545 S. Shepard Ave. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all stormwater management requirements are submitted for review and approval to the Engineering Department prior to submission of permit applications.
3. That all detailed, revised plans are submitted in digital format to the Department of Community Development prior to submission of permit applications.

On roll call: all voted aye. Motion carried.

**PLAN REVIEW  
OAK CREEK-FRANKLIN JOINT SCHOOL DISTRICT  
MEADOWVIEW ELEMENTARY SCHOOL  
10420 S. MCGRAW DR.  
TAX KEY NO. 957-9996-001**

Planner Papelbon provided an overview of the plan review for an addition to the building and parking lot and interior access modifications. (See staff report for details.)

Commissioner Simmons asked if removing the parking adjacent to McGraw Drive was looked into and for some reason that didn't work out in the plans. The traffic backing out onto McGraw Drive is not ideal. Andy Chromy, Chief of Finance and Business Officer for the Oak Creek-Franklin Joint School District, 7630 S. 10<sup>th</sup> St., responded that that was one of the pieces that they didn't necessarily talk about was the parking directly on McGraw. They talked about the circle drive that is located on the front. The changes that were made to the back parking lot are obvious, but they did not specifically address the street parking.

Commissioner Simmons asked if that is designed for staff or parents picking up and dropping off children. Mr. Chromy responded that it is typically staff that parks there.

Commissioner Correll asked how many parking spots they were talking about. Mr. Chromy responded about 30.

Commissioner Simmons stated he would have to look at it closer to determine if it is the school using it or if it is in the public ROW, and that it is just a poor configuration. Mr. Chromy stated that he heard that they parking spots would stay there until a road improvement is done. At that point, those spots would be taken away. This information was given to him by someone on the School District staff, not City personnel.

Commissioner Simmons asked if the school reliant on all of those parking stalls as part of their plan for the needs of the school. Mr. Chromy responded that he does not know at this time, but they are queuing up the back for child pick-up and drop-off, so they have modified the traffic flow there. Ideally, the drop-off and pick-up will be located in the back.

Commissioner Simmons suggested that there may be an opportunity to look into this in the future, and yes, the parking can remain, but have it be parallel parking in line with the flow of traffic. Mayor Bukiewicz added that it looks like the parking is split between the school and the

City property. Planner Papelbon confirmed that it is. It is half and half: partially on the school property and partially on City property.

Mayor Bukiewicz asked Asst. Fire Chief Kressuk if there are any concerns with any of these routes. Asst. Fire Chief Kressuk responded that the first two presentations, the Fire Department was involved in (East Middle School and Deerfield) talking about the fire lanes and how they can make that work with the bus traffic. The second two proposals, the Fire Department was not directly involved in, but both of them are very positive as far as Fire Department access to the site. Edgewood has significant improvements over the current layout and certainly Meadowview does also. As far as the traffic on McGraw in front of Meadowview, the Fire Department concurs that it can be a hazardous circumstance and something that should be explored in the future.

Commissioner Correll moved that the Plan Commission approves the site plans submitted by Andrew Chromy, Oak Creek-Franklin Joint School District, for the property at 10420 S. McGraw Dr. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all stormwater management requirements are submitted for review and approval to the Engineering Department prior to submission of permit applications.
3. That all detailed, revised plans are submitted in digital format to the Department of Community Development prior to submission of permit applications.

Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn the meeting. Commissioner Loreck seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 7:32 p.m.

ATTEST:

\_\_\_\_\_  
Douglas Seymour, Plan Commission Secretary

3/19/19

\_\_\_\_\_  
Date



# Significant Common Council Actions

ITEM: 4

DATE: March 26, 2019

## Summary of Significant Common Council Action

March 19, 2019

**APPROVED** Ordinance No. 2931, approving a rezone of the property at 3961 E. Oakwood Road from Rs-2, Single Family Residential, to Rs-3, Single Family Residential (4<sup>th</sup> District).

A handwritten signature in black ink that reads "Kari Papelbon".

Kari Papelbon, CFM, AICP  
Planner



## PLAN COMMISSION REPORT

Proposal: Sign Appeal

Description: Request for a variance allowing the applicant install a total of four wall signs. Three signs will be installed on the east elevation One wall sign will be installed on the west elevation of the building.

Applicant(s): Target (Merlin Misialek)

Address(es): 8989 S. Howell Avenue

**Suggested Motion:** Staff does not provide a suggested motion for a sign appeal.

Owner(s): Target Corporation

Tax Key(s): 859-9038-000

Lot Size(s): 12.6 acres

Current Zoning District(s): B-4, Highway Business

Overlay District(s): N/A

Wetlands:  Yes  No      Floodplain:  Yes  No

Comprehensive Plan: Planned Business

**Background:** The applicant is requesting a variance from the Municipal Code Section 17.0706(a) which states that a wall sign shall not exceed 100 square feet in area for buildings less than 300 feet from the right-of-way and from Section 17.0706(i)(1) which states that retail buildings shall be permitted one wall sign per street frontage

If granted this variance would allow the applicant to install a total of four wall signs. Three signs will be installed on the east elevation of the building and be 196 square feet in area, 37 square feet in area, and 25 square feet in area. One wall sign will be installed on the west elevation of the building and be 144 square feet in area.

Included in your packet are illustrations showing the location, size, and number of signs being proposed. The existing bullseye and channel letter “target” sign will be removed and replaced with a 196 square-foot bullseye on the east elevation. The existing CVS wall sign will remain “as-is”. A third wall sign located on the east elevation will be a channel letter sign similar to the CVS wall sign and be 25 square feet in area and located near the entrance of the building. The maximum number of wall signs for this parcel is two, therefore a variance is being requested.

On the west elevation, the applicant is proposing a 144 square-foot (12-foot diameter) bullseye. Since the building is not greater than 100 feet from the public right-of-way, a variance is required.

If the Plan Commission believes a variance is warranted, the Plan Commission can make a motion to grant a sign variance allowing the installation of four wall signs. Three signs will be located on the east elevation of the building and be 196 square feet in area, 37 square feet in area, and 25 square feet in area. One wall sign will be located on the west elevation of the building and be 144 square feet in area.

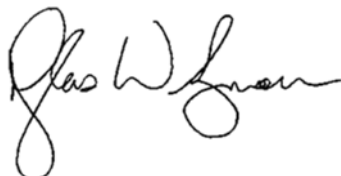
The Plan Commission in its deliberation of a variance may consider the location of the proposed sign, the height, the size, the appearance, number, and location of other signs in the vicinity of the proposed sign, and any other factor as the Plan Commission deems appropriate. When considering a variance, the Plan Commission must make the final decision on appeals using the following criteria:

- a. There shall be no public harm and there shall be a public benefit.
- b. Variance considerations shall include enhancement of the overall character of a neighborhood or mitigation of unusual site conditions.
- c. The sign will not result in an undue concentration of signage which renders it difficult or confusing to read existing signs.
- d. The effect a proposed sign may have on depreciating property values of a neighborhood.

**Options/Alternatives:** If the variance is not granted, the tenant will be limited to two wall signs and if a sign is located on the west elevation, it will be limited to 100 square feet in area.

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Respectfully submitted:



Douglas Seymour, AICP  
Director of Community Development

Prepared:



Peter Wagner, AICP  
Zoning Administrator/Planner

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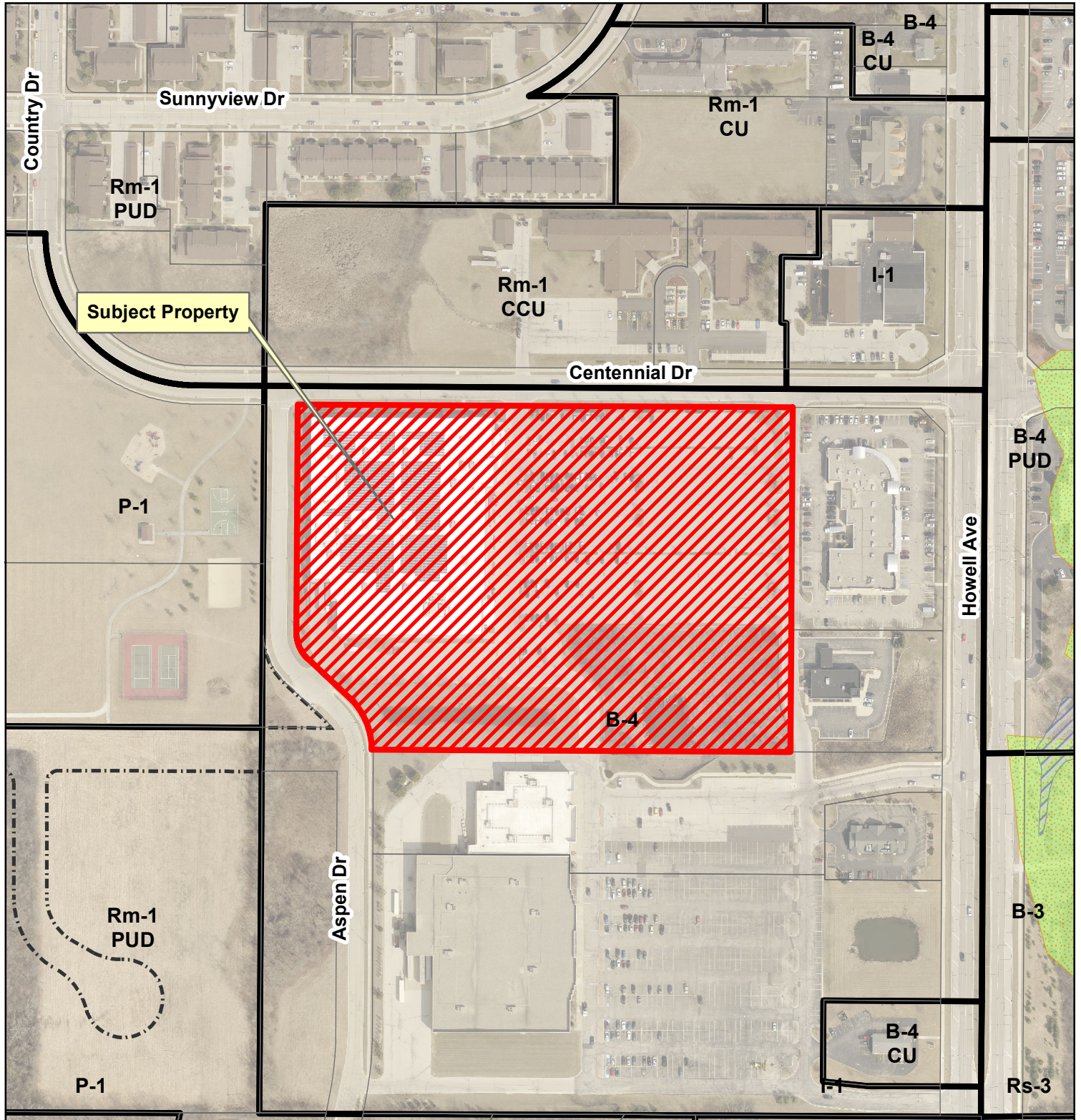
Attachments:

Location Map  
Public Hearing Notice  
Sign Graphics

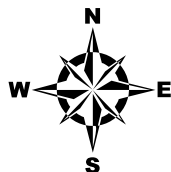






# Location Map

## 8989 S. Howell Ave.



This map is not a survey of the actual boundary of any property this map depicts.



Legend	
	8989 S. Howell Ave.
	Floodplain (2008)
	Environmental Corridor
	Officially Mapped Streets

Publish March 13, 2019

**CITY OF OAK CREEK  
NOTICE OF PUBLIC HEARING  
BEFORE THE PLAN COMMISSION**

A public hearing for a sign appeal will be held:

**Date:** Tuesday, March 26, 2019

**Time:** 6:00 p.m.

**Place:** Oak Creek City Hall  
**COMMON COUNCIL CHAMBERS**  
8040 S. 6<sup>th</sup> Street  
Oak Creek, WI 53154

**Appellant:** Target (Merlin Misialek)

**Tax Key No.** 859-9038-000

**Property location:** 8989 S. Howell Avenue

**To Request:** A variance from Section 17.0706(a) which states that a wall sign shall not exceed 100 square feet in area for buildings less than 300 feet from the right-of-way and from Section 17.0706(i)(1) which states that retail buildings shall be permitted one wall sign per street frontage.

If granted this variance would allow the applicant to install a total of four wall signs. Three signs will be installed on the east elevation of the building and be 196 square feet in area, 37 square feet in area, and 25 square feet in area. One wall sign will be installed on the west elevation of the building and be 144 square feet in area.

**Zoning of Property:** B-4 PUD, Highway Business District, Planned Unit Development

All interested persons wishing to be heard are invited to be present.

Dated this 6th Day of March 2019

PLAN COMMISSION  
CITY OF OAK CREEK, WISCONSIN

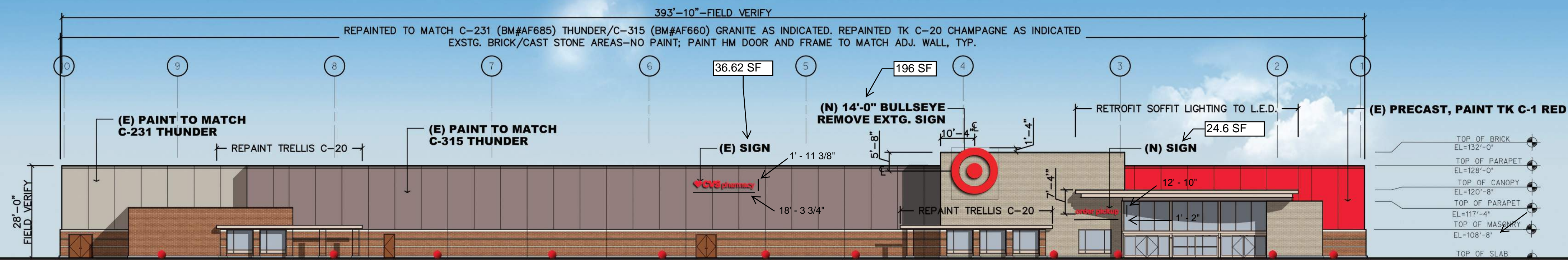
/s/ Mayor Daniel J. Bukiewicz, Chairman

Public Notice

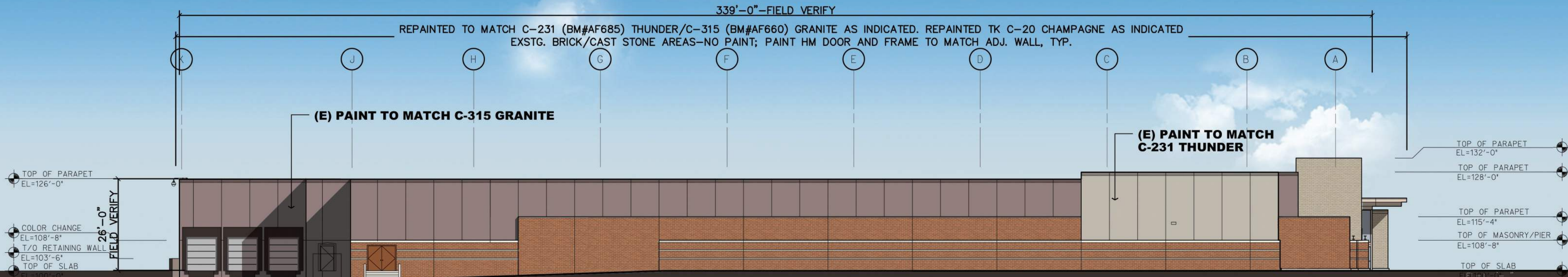
PLEASE NOTE: Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferable a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 414-766-7000, or by writing to the ADA Coordinator at the Health Department, City Hall, and 8040 South 6<sup>th</sup> Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

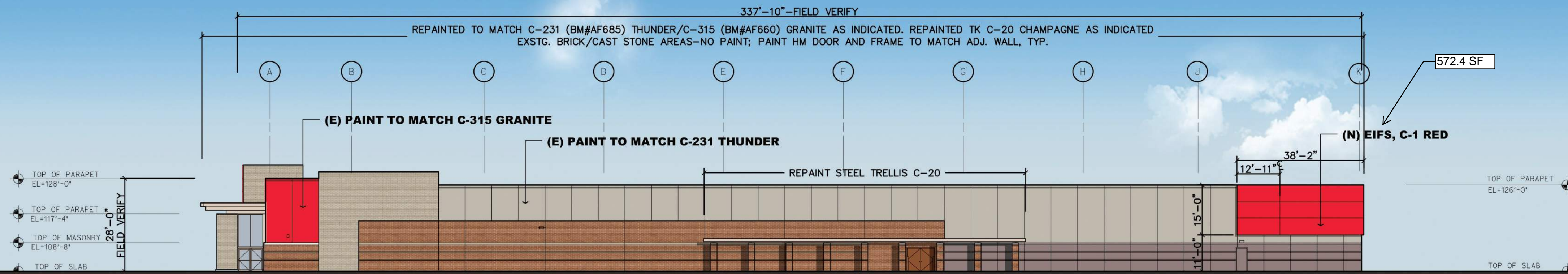




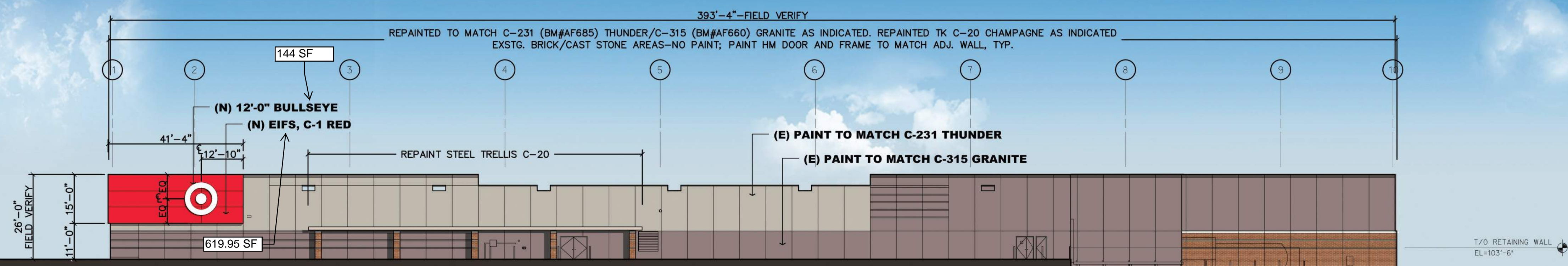
East Elevation



South Elevation



North Elevation



West Elevation

- C-231 BM #AF685 THUNDER
- C-315 BM #AF660 GRANITE
- C-1.....RED-#TK -6010-1

**NOTE:**  
 \* EXISTING BRICK AND CAST STONE AREAS-NO PAINT; PAINT HM DOOR AND FRAME TO MATCH ADJ. WALL, TYP.

\* RESEAL CAST STONE CAP.

\*STORE EXTERIOR WALLS ARE PRIMARILY PRECAST CONCRETE AND BRICK

\*BEN-2 : MODERN, COLOR.....SILVER

Proposed Elevations





## PLAN COMMISSION REPORT

Proposal: Plan Review – Exterior Building Modifications

Description: Building plan review for proposed modifications to the exterior façade of the existing building.

Applicant(s): Merlin Misialek, Target Corporation

Address(es): 8989 S. Howell Ave.

**Suggested Motion:** That the Plan Commission approves the exterior building plans submitted by Merlin Misialek, Target Corporation, for the property at 8989 S. Howell Ave. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all detailed, revised plans are submitted in digital format for review and approval by the Department of Community Development prior to submission of permit applications.

Owner(s): Target Corporation

Tax Key(s): 859-9038-000

Lot Size(s): 12.6 ac

Current Zoning District(s): B-4, Highway Business

Overlay District(s): N/A

Wetlands:  Yes  No      Floodplain:  Yes  No

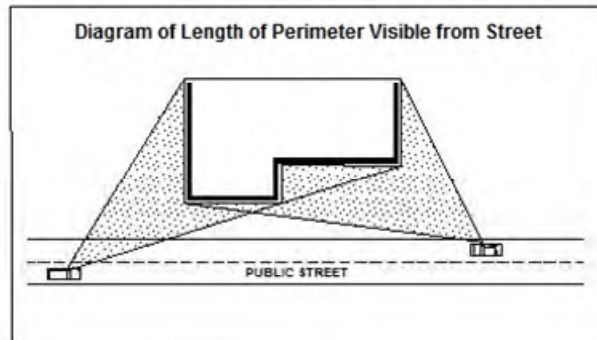
Comprehensive Plan: Planned Business

### Background:

The Applicant is requesting exterior building plan approval for modifications to the existing Target building at 8989 S. Howell Ave. Proposed modifications include painting the existing precast concrete, doors, and

steel trellises; resealing the cast stone cap; and adding EIFS accents to the northwest corner of the building. Plan Commissioners will recall that the PUD affecting this property was amended in January/February of this year to allow for the use of additional exterior building materials. Conditions and Restrictions for the amended PUD are included with this report for reference.

Per Code, EIFS may be allowed “as an accent material comprising no more than 25 percent of the visible perimeter of the building.”



As stated in the submitted narrative, the north elevation will include 572.4 square feet of EIFS panel, and the west elevation will include 619.95 square feet of EIFS panel. Since the north elevation is approximately 9,300 square feet, and the west elevation is approximately 10,200 square feet, the EIFS is well below the maximum 25% allowed. Therefore, staff has no objection to the proposed modifications.

**Options/Alternatives:** The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

Respectfully submitted:

Douglas Seymour, AICP  
Director of Community Development

Prepared:

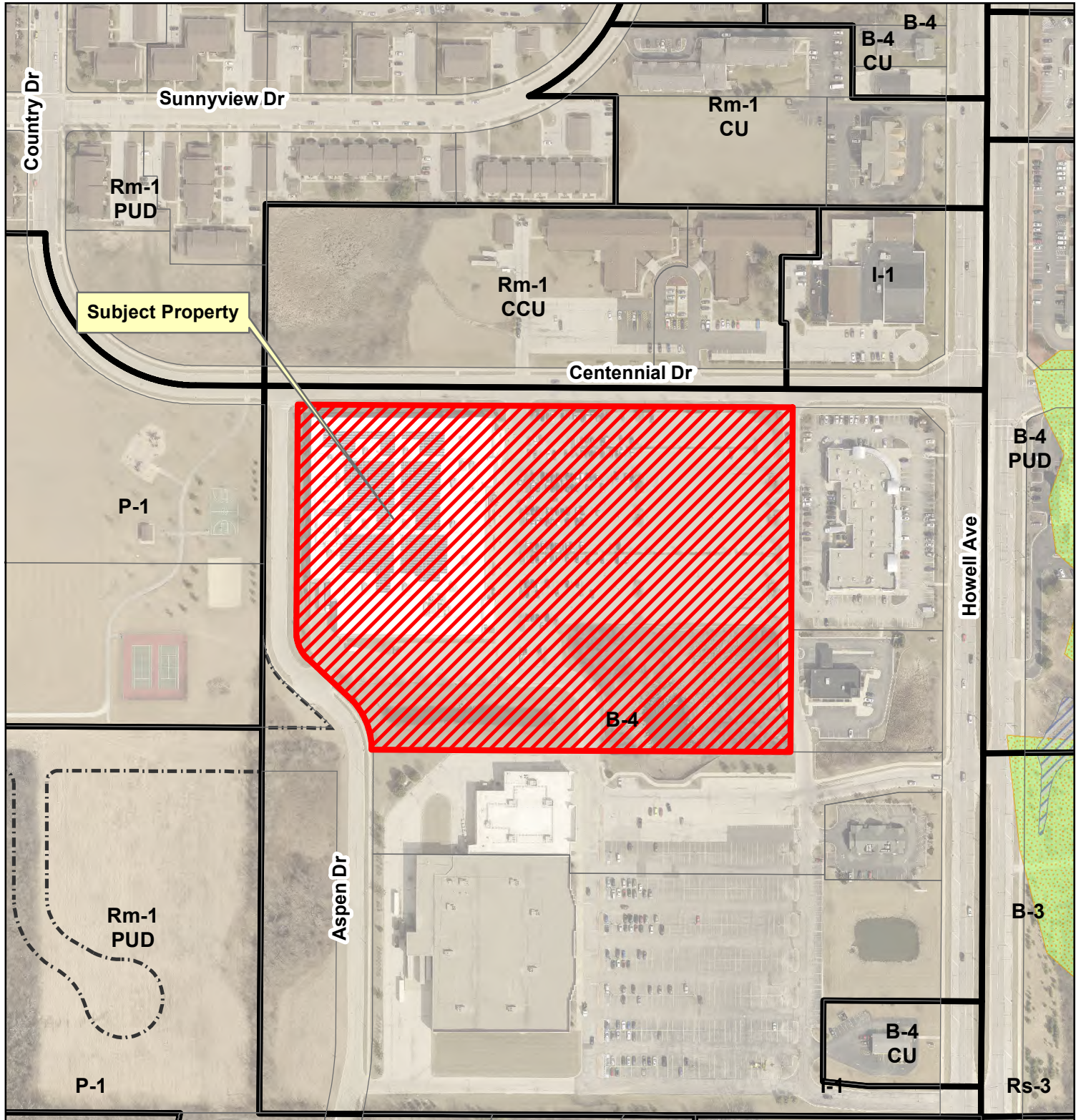
Kari Papelbon, CFM, AICP  
Planner

**Attachments:**

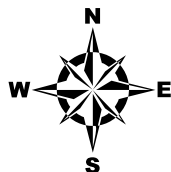
- Location Map
- Amended PUD Conditions and Restrictions (Ord. 2930)
- Description of Proposal (2 pages)
- Elevations (2 pages)





# Location Map

## 8989 S. Howell Ave.



This map is not a survey of the actual boundary of any property this map depicts.



Legend	
	8989 S. Howell Ave.
	Floodplain (2008)
	Environmental Corridor
	Officially Mapped Streets

**City of Oak Creek – Amended Planned Unit Development (PUD)  
Conditions and Restrictions**

**Applicant:** Target Corporation  
**Property Address(es):** 8907, 8995, **8989 S. Howell Ave.**  
**Tax Key Number(s):** 859-9042-001, 859-9043-000,  
**859-9038-000**

**Approved by Plan Commission:** 1-8-19  
**Approved by Common Council:** 2-5-19  
(Ord. 2930, Amending Ord. 2276)

1. LEGAL DESCRIPTION

- 8907 S. Howell Ave., Tax Key # 859-9042-001

CSM NO 7627 NE 1/4 SEC 20-5-22 PARCEL 1 (2.5704 ACS) EXC PTS CONV TO DOT IN DOC NO 10306978 FOR ST.

- 8995 S. Howell Ave, Tax Key # 859-9043-000

CSM NO 7627 NE 1/4 SEC 20-5-22 PARCEL 2 (1.4082 ACS).

- 8989 S. Howell Ave, Tax Key # 859-9038-000

CSM NO 7434 PARCEL 1 NE 1/4 SEC 20-5-22 (12.6002 ACS).

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.
- B. All requirements of the Conditions and Restrictions approved as part of Ord. 2276 are in effect except as specifically amended herein.
- C. A General Development Plan (see EXHIBIT "A") for the planned unit development shall be approved by the City of Oak Creek Common Council upon recommendation of the Plan Commission. Any addition or substantive change to a planned unit development subsequent to construction and occupancy shall be considered a new and separate proposal, and shall be required to comply with all of the review and approval requirements of this district, including the requirement for submittal of development plans and the conduct of public hearings. The determination as to what constitutes a substantive change shall be made by the Director of Community Development. Alterations to the individual site design of the commercial outlots are not considered a substantive change.
- D. A precise detailed site plan for each developable parcel within the Planned Unit Development shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) **General Development Plan**

- a) Detailed building locations with setbacks
- b) Square footage of buildings
- c) Areas for future expansion
- d) Area to be paved
- e) Access drives (width and location)
- f) Sidewalk locations
- g) Parking layout and traffic circulation
  - i) Number of employees
  - ii) Number of spaces
  - iii) Dimensions

2) **Landscape Plan**

- a) Screening for outdoor storage
- b) Number, initial size, and types of plantings
- c) Parking lot screening/berming

3) **Building Plan**

- a) Architectural elevations
- b) Building floor plans
- c) Materials of construction

4) **Lighting Plan**

- a) Types of fixtures
- b) Mounting heights



- iv) Setbacks
- h) Location(s) of loading berths
- i) Location of sanitary sewer (existing & proposed)
- j) Location of water (existing & proposed)
- k) Location of storm sewer (existing & proposed) including detention/retention basins if needed
- l) Location of outdoor storage
- m) Location of wetlands (field verified)
- n) Location, square footage and height of signs
- c) Types of poles
- d) Photometrics of proposed fixtures
- 5) Grading, Drainage and Stormwater Management Plan**
  - a) Contours (existing & proposed)
  - b) Location of storm sewer (existing and proposed)
  - c) Location(s) of stormwater management structures and basins (if required)
- 6) Fire Protection**
  - a) Location of existing & proposed fire hydrants
  - b) Interior floor plan
  - c) Materials of construction

- E. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.
- F. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits. The owner/developer shall be responsible for the long-term maintenance of the detention basins and other common areas.
- G. A Development Agreement shall be completed between the owner and the City, if deemed necessary by the City Engineer, so as to ensure the construction or installation of public or other required improvements. All public improvements specified under the development agreement, including those required by the Wisconsin Department of Transportation in their review of the traffic impact analysis, shall be the sole responsibility of the property owner/developer.
- H. Plans and specifications for any necessary public improvements within developed areas (e.g. sanitary sewer, water main, storm sewer, roadway improvements, etc.) shall be subject to approval by the City Engineer.
- I. If required by the City of Oak Creek, public easements for telephone, electric power, sanitary sewer, storm sewer and water main shall be granted. Said easements shall be maintained free and clear of any buildings, structures, trees or accessory outdoor appurtenances. Shrubbery type plantings shall be permitted; provided there is access to each of the aforementioned systems and their appurtenances.
- J. If there are any future land divisions, a plat or certified survey map shall be prepared, submitted for approval and recorded.
- K. All electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.
- L. For each stage of development, detailed landscaping plans showing location, types and initial plant sizes of all evergreens, deciduous trees and shrubs, and other landscape features such as statuary, art forms, water fountains, retaining walls, etc., shall be submitted to the Plan Commission for approval prior to the issuance of a building permit.
- M. The Landscaping Plan must be reviewed and approved by the City Forester.

### 3. PARKING AND ACCESS

- A. Off street parking for sites within this planned unit development shall be provided based five (5) parking spaces per 1000 square feet of gross floor area.

- B. All parking areas shall be designed in accordance with Section 17.0403(j) of the Municipal Code and the City of Oak Creek Engineering Design Manual.
- C. Other parking arrangements, showing traffic circulation and dimensions, shall be submitted to the Plan Commission for approval.
- D. All off street parking areas shall be landscaped in accordance with Sections 17.1010 of the Municipal Code.
- E. Access easements shall be provided for the benefit of all parcels within this planned unit development.
- F. An access easement shall be provided at a minimum of one location between this planned unit development and the existing commercial development to the south.

4. LIGHTING

All plans for new outdoor lighting shall be reviewed and approved by the Plan Commission or their designee. For each stage of the development, the plan shall show the location of all lights, type of fixture and poles, mounting height and photometrics of the fixture and shall be in accord with Section 17.0808 of the Municipal Code. Wooden light poles may not be used.

5. LANDSCAPING

A. Parking Lot Screening. Those parking areas for five (5) or more vehicles if adjoining a residential zoning district line or public right-of-way shall be screened from casual view by an earth berm, a solid wall, fence, evergreen planting of equivalent visual density or other effective means approved by the City Plan Commission. Such fence or berm and landscaping together shall be an average of three (3) feet in height between the parking and the street right-of-way and six (6) feet in height between the parking and any adjacent residential property line. All screening materials shall be placed and maintained at a minimum height of three (3) feet. The Plan Commission may require greater screening requirements for parking of large trucks, semi-trailers and large equipment.

- 1. At least one ornamental deciduous tree, no less than 2.5" caliper, shall be incorporated into the design for every 35 linear feet of public street frontage.
- 2. At least 25% of the total green space area shall be landscaped utilizing plant materials, other than maintained turf, that contribute to ground coverage.
- 3. For purposes of determining the number of plants necessary to meet the minimum 25% ground coverage requirement, plant types are categorized by their general size and potential mature at-grade coverage area.

<u>Plant Type</u>	<u>Area of Coverage Provided</u>
Evergreen Tree (>8' Dia.)	75 sq. ft.
Large Shrub (6-8' Dia.)	38 sq. ft.
Medium Shrub (4-6' Dia.)	20 sq. ft.
Small Shrub (2-4' Dia.)	12 sq. ft.
Perennial (4.5" Pot)	6 sq. ft.

\* Note shade and ornamental trees are not considered a plant type contributing to "at grade" coverage.

- 4. To assure a diversity of color, texture and year-round interest, the total number of plant

materials must be comprised of a minimum 25% evergreens, but no more than 70%.

- B. Interior Landscape Area. All public off-street parking lots which serve five (5) vehicles or more shall be provided with accessory landscaped areas; which may be landscape is-lands, landscape peninsulas or peripheral plantings totaling not less than five (5) percent of the surfaced area. Landscape islands or peninsulas shall be dispersed throughout the off-street parking area. Landscape islands shall provide a minimum 30-inch clear area for vehicle overhang and snow storage. One shade tree shall be provided within the interior planting area for every 300 square feet of interior landscaping. For parking lots designed for twenty-five (25) parking spaces or more, interior parking lot landscaping shall be provided at the following rates. Each of the individual commercial outlots shall be treated as a separate parking lot for the purposes of determining interior landscape requirements.

PERCENTAGE OF PARKING LOT TO  
BE COVERED BY INTERIOR PLANTINGS

Total paved area of lot	Percent of the total paved area which must be interior planting area
0-49,999 sq. ft.	5%
50,000 sq. ft. or larger	10%

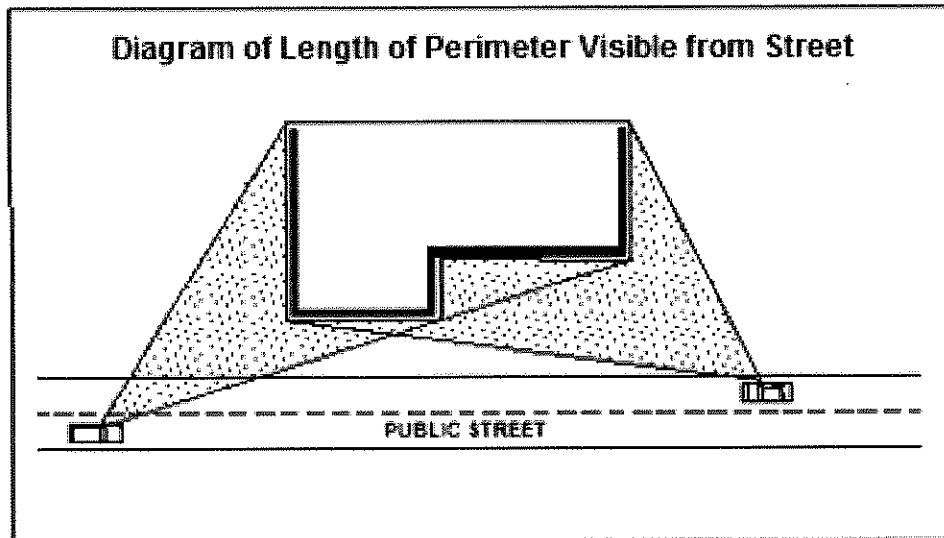
- C. Perimeter Landscape Area. In an effort to prevent adjacent parking lots from becoming one large expanse of paving, perimeter landscaping shall be required. The perimeter strip shall be a minimum 5 feet in width. A minimum of one tree and five shrubs is required for every 35 linear feet of the perimeter of the parking area and located within the perimeter landscape area.
- D. Landscaping Adjacent to Buildings. There shall be landscaped area provided between the edge of pavement and the entrance elevation of the building.
- E. Screening of Trash. Trash receptacles shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- F. Screening of Ground Mounted Mechanical Equipment. Ground mounted mechanical equipment shall not be located within the front or street yard, and shall be screened from casual view by means of screening that is compatible with the main building/structure and landscaping.
- G. Screening of Roof Mounted Mechanical Equipment - Roof mounted mechanical equipment shall be screened from casual view.
- H. Retaining Walls. No retaining wall shall exceed four (4) feet in height unless it has been designed and its construction supervised by a Professional Engineer. A retaining wall may be stepped to achieve greater height. Each step of the wall shall be no more than four (4) feet in height and shall be set back a minimum of three (3) feet from the previous step. Acceptable materials for retaining walls are: segmental masonry type, timber, railroad ties, or concrete. If the retaining wall is constructed of concrete, landscaping must accompany the design of the retaining wall.
- I. Berms. Side slopes of berms shall not exceed a gradient of 1-ft. vertical to 3-ft. horizontal unless approved by the City Engineer.
- J. Buffer Yards. No buffer yards shall be required between this development and the lands zoned Park and Institutional as set forth in Section 17.0205 (d) of the Municipal Code.

- K. Submittal Requirements. A Landscape Plan (to scale) must be submitted which includes details of all proposed landscaping, buffering and screening, including the estimated cost of the landscaping. These plans shall be prepared by a landscape professional and show the location and dimensions of all existing and proposed structures, parking, drives, right-of-ways and any other permanent features, and all other information required by the Plan Commission, including but not limited to the following:
- (1) A plant list and coverage chart showing the location, quantity, size (at time of planting and at maturity), spacing and the scientific and common names of all landscape materials used.
  - (2) The location and type of existing trees over four (4) inches in diameter (measured six (6) inches above the ground) within the area to be developed.
  - (3) The location and percent of slope of all proposed berms using one (1) foot contours.
  - (4) Detailed sections showing elevations of all proposed architectural features, such as walls, lighting or water features.
  - (5) Methods used in staking, mulching, wrapping or any other early tree care used.
  - (6) The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule; as well as the approved protection of the identified wetlands and woodlands on the approved plan.
- L. Maintenance. All landscaping installed to implement the approved landscaping plan shall be continuously maintained by the property owner.
- M. As part of the first development phase, landscaping, in accordance with the approved plan, shall be placed within the Howell Avenue and Centennial Drive setback areas for the commercial outlots.

## 6. ARCHITECTURAL STANDARDS

- A. No building shall be permitted if the design or exterior appearance is of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
- B. No building shall be permitted where any exposed facade is not constructed or faced with a finished material which is aesthetically compatible with the other facades of surrounding properties and presents an attractive appearance to the public. Predominant exterior building materials must be of high quality. These include, but are not limited to brick, stone and tinted/textured concrete masonry units (CMU's). Smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel panels are not permitted as a primary exterior building material.
- C. The facade of a manufacturing, commercial or office, building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter of the principal building at 8989 S. Howell Ave. (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material. For all other buildings, the total exterior wall surface shall be finished with glass, brick or decorative masonry material.





- D. Material and color samples shall be submitted to the Plan Commission for review and approval.
- E. The Plan Commission has the discretion to adjust this minimum for building additions.
- F. The relative proportion of a building to its neighboring buildings or to other existing buildings shall be maintained or enhanced when new buildings are built or when existing buildings are remodeled or altered.
- G. The visual continuity of roofs of neighboring buildings and their contributing elements (parapet walls, coping, and cornices) shall be maintained wherever possible in building development and redevelopment. A flat roof appearance is not permitted in commercial or office and professional business zoning districts. There must be some type of visible roof form (parapets, overhanging eaves, sloped roofs) incorporated into the design of the building.
- H. Buildings shall be designed in such a manner that long expanses of blank wall are broken up by the use of windows, articulation or modulation of the building footprint and/or changes in building materials and colors. Visible building facades in excess of 100 feet in length must incorporate recesses and projections along the length of the facade. Windows, awnings, and arcades must be an integral part of the facade abutting a public street. This provision applies to building facades abutting S. Howell Avenue, West Centennial Drive and the extension to South Aspen Drive.
- I. Each principal building shall have a clearly defined, highly visible customer entrance with features such as canopies or porticos, arcades, arches, wing walls, and integral planters.
- J. Sides of a building that are visible from adjoining residential properties and/or public streets should contribute to the pleasing scale features of the building by featuring characteristics similar to the front façade of the building.
- K. Each retail or service establishment in excess of 25,000 square feet gross floor area must contribute to the establishment or enhancement of community and public spaces by providing a community amenity on the premises such as a patio/seating area, water feature, clock tower, or pedestrian plaza with benches. Retail establishments in excess of 100,000 square feet gross floor area must provide at least two of these amenities.
- L. Sidewalks shall be provided along all sides of the lot that abut a public street, and a continuous

internal pedestrian walkway must be provided from the perimeter public sidewalk to the principal customer entrance. The internal pedestrian walkways must be distinguished from driving surfaces through the use of contrasting materials to enhance pedestrian safety. Examples of acceptable materials include, but are not limited special pavers, bricks, or scored concrete.

- M. Dumpsters and other trash receptacles shall be provided in an appropriate number and location and they shall be fenced and/or screened from view from street rights-of-way and adjacent residential and park uses.
- N. The Plan Commission shall impose time schedules for the completion of buildings, parking areas, open space utilization, and landscaping. The Plan Commission may require appropriate sureties to guarantee that improvements will be completed on schedule.

7. BUILDING AND PARKING SETBACKS

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure	25 ft	25 ft	20 ft
Accessory Structure	25 ft	25 ft	20 ft
Off-street Parking	10 ft.	5 ft.	5 ft.

8. MAINTENANCE AND OPERATION

- A. The number, size, location and screening of appropriate solid waste collection units shall be subject to approval of the Plan Commission as part of the required site plan. Solid waste collection and recycling shall be the responsibility of the owner.
- B. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the owners.
- C. There shall be no outdoor storage or display of merchandise permitted as part of this planned unit development.
- D. No 24-hour businesses are permitted to operate within this planned unit development.
- E. There shall be a pedestrian walkway developed between this planned unit development and the existing commercial property to the south.

9. SIGNS

- A. One pole sign shall be permitted as part of this planned unit development. This pole sign may be placed on any of the properties within the PUD provided that a 20-foot setback is maintained from all property lines.
- B. Wall signage on the principal building at 8989 S. Howell Ave. (Target) shall be limited to the following:
  - 1. One (1) primary logo sign not to exceed 200 square feet in area on the east elevation.

2. One (1) secondary pharmacy sign (existing) not to exceed 36 square feet in area.
3. One (1) primary logo sign not to exceed 144 square feet in area on the west elevation.
4. If approved by the Plan Commission through the required Sign Appeal process, one (1) additional secondary sign related to the principal business not to exceed 25 square feet may be allowed on the east elevation.

No wall signage is permitted on the north elevation of the building facing a residential zoning district. All signs shall comply with review requirements in accordance with Sections 17.0706-17.0715.

- C. Each of the commercial outlots may have one ground sign. Individual businesses within the planned unit development may also have one wall sign facing Howell Avenue and one wall sign facing the interior parking lot. The details of the signage, including maximum size of the signs, for the outlots shall be approved by the Plan Commission as part of an overall signage plan.

#### 10. PERMITTED USES

- A. All permitted uses in the B-4, Highway Business zoning district.
- B. Usual and customary accessory uses to the above listed permitted uses.

#### 11. TIME OF COMPLIANCE (ORIGINAL)

The operator of the planned unit development shall begin installing or constructing the elements required in these conditions and restrictions for the planned development within twelve (12) months from the date of adoption of the ordinance authorizing the planned unit development. The approval of the General Development Plan shall expire within forty-eight (48) months after commencing construction, if the structure(s) for which an approval has been issued are not substantially completed. The applicant shall re-apply for approval of the General Development Plan prior to recommencing work or construction. The development of the outlots shall not be subject to this limitation.

#### 12. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, Code, ordinances, and orders, as amended, not heretofore stated or referenced, is mandatory.

#### 13. VIOLATIONS & PENALTIES

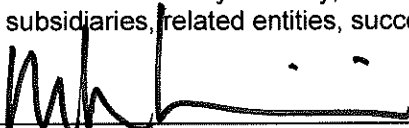
Any violations of the terms of this Planned Unit Development shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances (as amended). If the owner, applicant or operator of the Planned Unit Development is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the City shall have the right to revoke this Planned Unit Development, subject to the provisions of paragraph 10 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Planned Unit Development or to seek an injunction regarding any violation of this Planned Unit Development or any other City ordinances.

#### 14. REVOCAION

Should an applicant, their heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Planned Unit Development approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Planned Unit Development as set forth in Section 17.1007 of the Municipal Code (as amended).

15. ACKNOWLEDGEMENT

The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

  
\_\_\_\_\_  
Owner / Authorized Representative Signature

2.20.2019  
Date

MERLIN MISIALEK  
(please print name)



February 13, 2019

Kari Papelbon  
City of Oak Creek  
8040 S 6<sup>th</sup> St  
Oak Creek, WI 53154

Re: **Target Store (T1925) Oak Creek, WI – Plan Review and Sign Appeal Applications**

Dear Kari,

Kimley-Horn is requesting a Planning Commission review for two applications on behalf of Target Corporation for the Target store located at 8989 S Howell Avenue, Oak Creek, WI 53154. The requested Plan Review application and Sign Appeal application are for both an increase in the number, placement, and area of wall signs allowed on the building and for the addition of EIFS panels to the existing façade.

Currently, there are two signs on the front elevation of the building, comprised of the “bulls-eye” logo and “TARGET” letters at 216 square feet (SF) and a “CVS Pharmacy” sign to the left of the entrance at 36.6 SF. The total area of this existing signage is 252.6 SF.

Target is proposing to refresh the Oak Creek store with signage and façade improvements as part of a national effort to refresh the Target brand to a more contemporary appearance. The proposed signage on the front elevation of the building consists of replacing the existing logo with a 14’ diameter “bulls-eye” (196 SF, calculated to the smallest regular polygon), retention the existing 36.6 SF “CVS Pharmacy” sign, and the addition of an “order pickup” sign at 24.6 SF. The total area of the proposed signage for the front elevation is 257.2 SF. The proposed signage on the western side elevation of the building consists of a single 12’ diameter “bulls-eye” logo. The total area of this proposed sign (calculated to the smallest regular polygon) is 144 SF.

In addition to these signage changes, Target is also proposing to add EIFS panels at the northwestern corner of the store. On the north elevation, the panel proposed is a total of 572.4 SF. On the west, the panel is 619.95 SF. The total area of EIFS proposed is 1,192.35 SF.

This site is located within a PUD which has been approved for amendment per the February 7<sup>th</sup>, 2019 Common Council meeting to allow for the placement of signs at the proposed size and location and for the addition of the EIFS panels to the façade.

Per section 17.0706.(a). of the Oak Creek City Code, *“wall signs ... shall not exceed 20% of the wall area on which the sign is located, but shall be no more than 100 square feet for buildings less than 300 feet from the right-of-way or 200 square feet for buildings more than 300 feet from the street or interstate right-of-way; shall not exceed ten (10) feet in height”* Additionally, in section 17.0706.(i) *“...the total number of signs on any one premise shall be limited as follows: (1) Single and two (2) tenant office, retail, or manufacturing buildings shall be permitted one wall sign per tenant per street frontage.”*



Regarding the use of materials on building exteriors, the code states in section 17.1009.(a).(2). *“...materials such as smooth-faced concrete block, EIFS products (such as Dryvit) or pre-fabricated steel panels are not permitted as a primary exterior building material and shall only be allowed as an accent material comprising no more than 25 percent of the visible perimeter of the building.”*

Kimley-Horn is seeking a Sign Appeal due to the difficulty in properly advertising with such limited signage amounts and area. Though the building faces S Howell Avenue, it is both recessed from the main road and faces other businesses which limit the visibility of advertising restricted to the front of the store. Adding an additional “bulls-eye” sign at the rear improves this store’s advertising capabilities, particularly to W Centennial Dr and S Aspen Dr, which are secondary, but still public roads. On both the front and rear, the signage being proposed is comparable to the size of building it is being added to. It provides appropriate advertising for a business that is not only recessed from road frontage, but also visible from three public roads.

The EIFS panel at the northwest elevation serves to break up the linear nature of the west and rear facades and also provides a visually interesting alternative to painted cast stone on the rest of the building. At 1,192.35 SF, it is well below the city’s code which limits the use of EIFS to 25% of the perimeter visible to the road (in this case, the combined perimeter of the east and north elevations). That combined area is 18,148 SF, the proposed EIFS being 6.57% of the allowable area.

The signage and façade proposed is in-line with the overall intent of the existing Target business. The “bulls-eye” logo and “order pickup” letters are being used to refresh the Target brand to have a contemporary and consistent appearance with other Target stores nationwide. The new “order pickup” sign in particular will be added to enhance the omnichannel approach and to help customers identify the entry point for collecting merchandise ordered online. The requested variation will not be injurious to public health, safety, or welfare. The signs coupled with exterior improvements will further continue to enhance the aesthetics of the shopping area, which ultimately benefits the community.

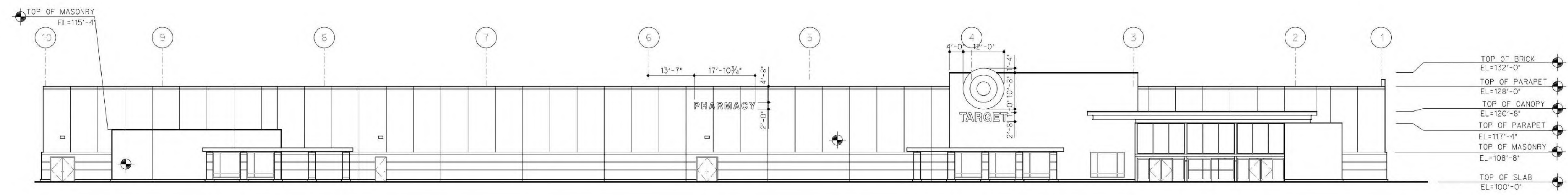
Thank you for your consideration on both the Sign Appeal and Plan Review proposals and we look forward to your decision. If you have any more questions or require any additional information, please feel free to contact me at 612-503-8528 or [rebecca.roberts@kimley-horn.com](mailto:rebecca.roberts@kimley-horn.com).

Regards,

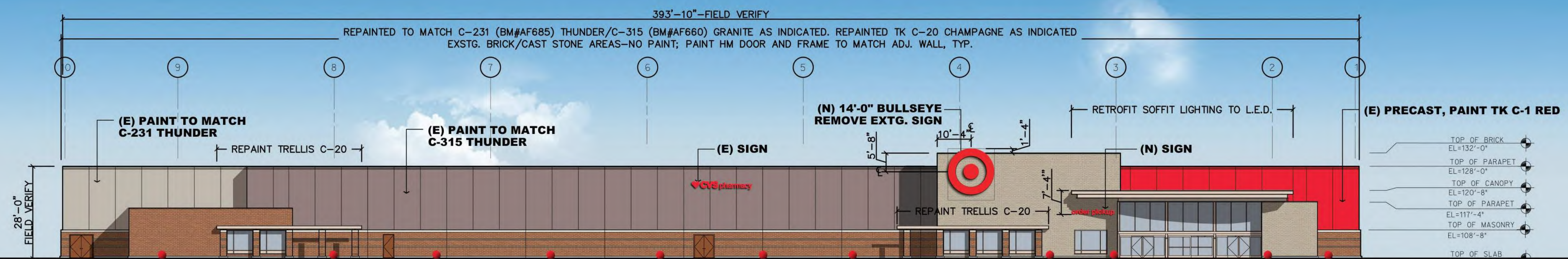


Rebecca Roberts





Existing Condition

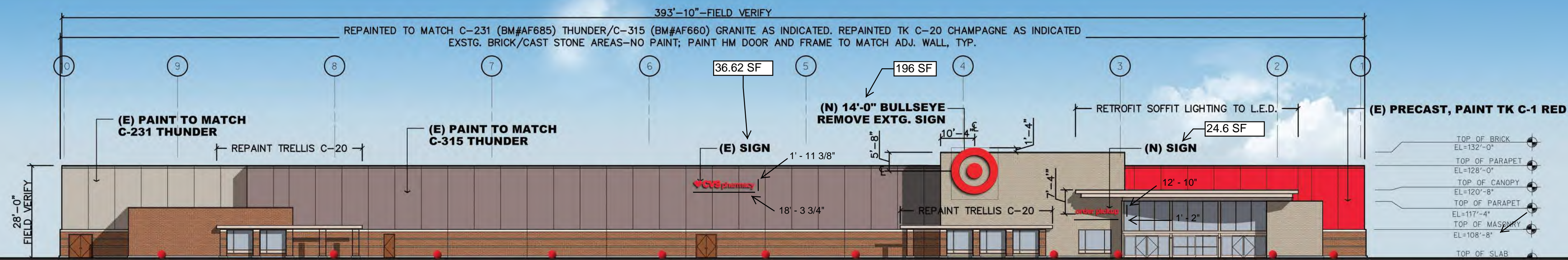


Proposed Front Elevation

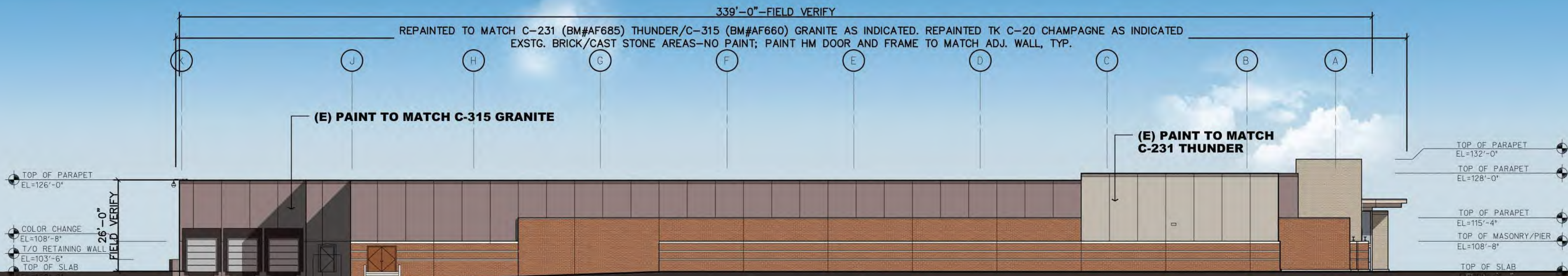
# T-1925 Oak Creek, WI: Exterior Elevation Refresh

December 05, 2018

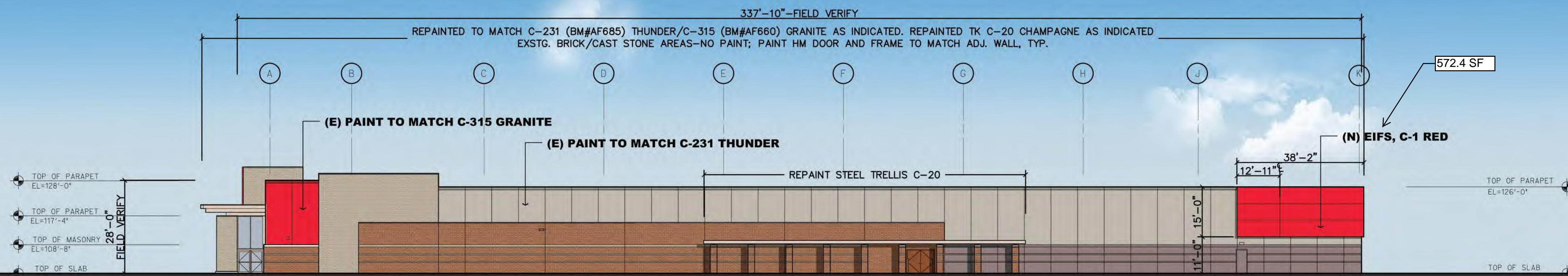




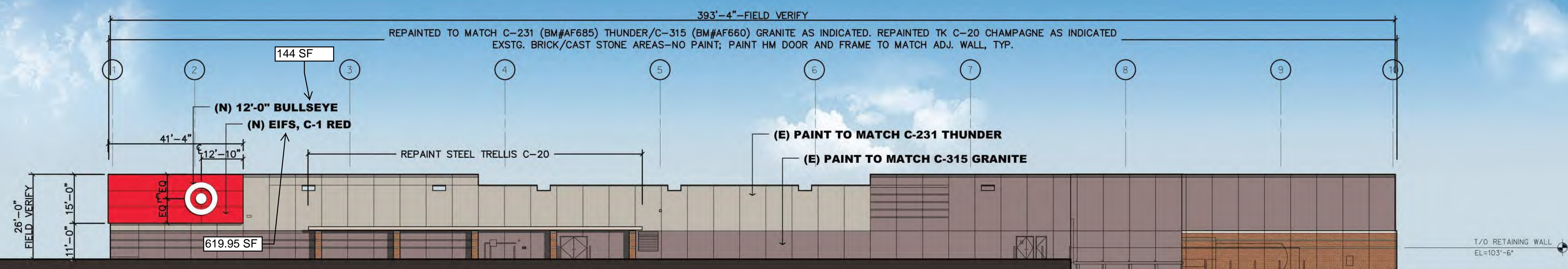
East Elevation



South Elevation



North Elevation



West Elevation

- C-231 BM #AF685 THUNDER
- C-315 BM #AF660 GRANITE
- C-1.....RED-#TK -6010-1

**NOTE:**  
 \* EXISTING BRICK AND CAST STONE AREAS-NO PAINT; PAINT HM DOOR AND FRAME TO MATCH ADJ. WALL, TYP.

\* RESEAL CAST STONE CAP.

\*STORE EXTERIOR WALLS ARE PRIMARILY PRECAST CONCRETE AND BRICK

\*BEN-2 : MODERN, COLOR.....SILVER

Proposed Elevations





## PLAN COMMISSION REPORT

Proposal: Certified Survey Map

Description: Review of a Certified Survey Map request to divide the parcel at 9620 S. Shepard Ave.

Applicant(s): Brad Schmidt, Brad Schmidt Properties LLC

Address(es): 9620 S. Shepard Ave.

**Suggested Motion:** That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by Brad Schmidt, Brad Schmidt Properties LLC, for the property at 9620 S. Shepard Ave. be approved with the following conditions:

1. That the 30-foot-wide future road reservation along South Wintergreen Drive is removed from the map prior to recording.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Owner(s): John Filak (Estate)

Tax Key(s): 908-9008-000

Lot Size(s): Lot 1 = 0.35 ac, Lot 2 = 0.35 ac

Current Zoning District(s): Rs-3, Single Family Residential

Overlay District(s): N/A

Wetlands:  Yes  No      Floodplain:  Yes  No

Comprehensive Plan: Planned Residential

### Background:

The Applicants are requesting approval of a Certified Survey Map (CSM) to divide the property at 9620 S. Shepard Ave. into two (2) conforming single-family residential lots. Each lot will be 0.35 acres post-division,

and Lot 1 will retain the existing dwelling. Utility laterals will need to be installed, and a grading plan submitted, for Lot 2. Additionally, staff has noted that the existing home on Lot 1 experiences drainage issues. It is recommended that a private system to address this issue is installed.

Plan Commissioners will note that the CSM includes a 30-foot-wide road reservation along S. Wintergreen Drive per CSM 1047. This reservation is not the same as a dedication, nor does it appear on the Official Map. After discussion with the Engineering Department, it was determined that this road reservation is no longer needed. Therefore, the CSM may be revised to remove the reservation.

**Options/Alternatives:** The Plan Commission may recommend Common Council approval of the proposed CSM with specified conditions, or that the Common Council not approve of the proposed CSM. Disapproval will likely result in the existing condition of the property to remain as a single, developed lot.

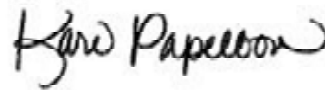
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Respectfully submitted:



Douglas Seymour, AICP  
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP  
Planner

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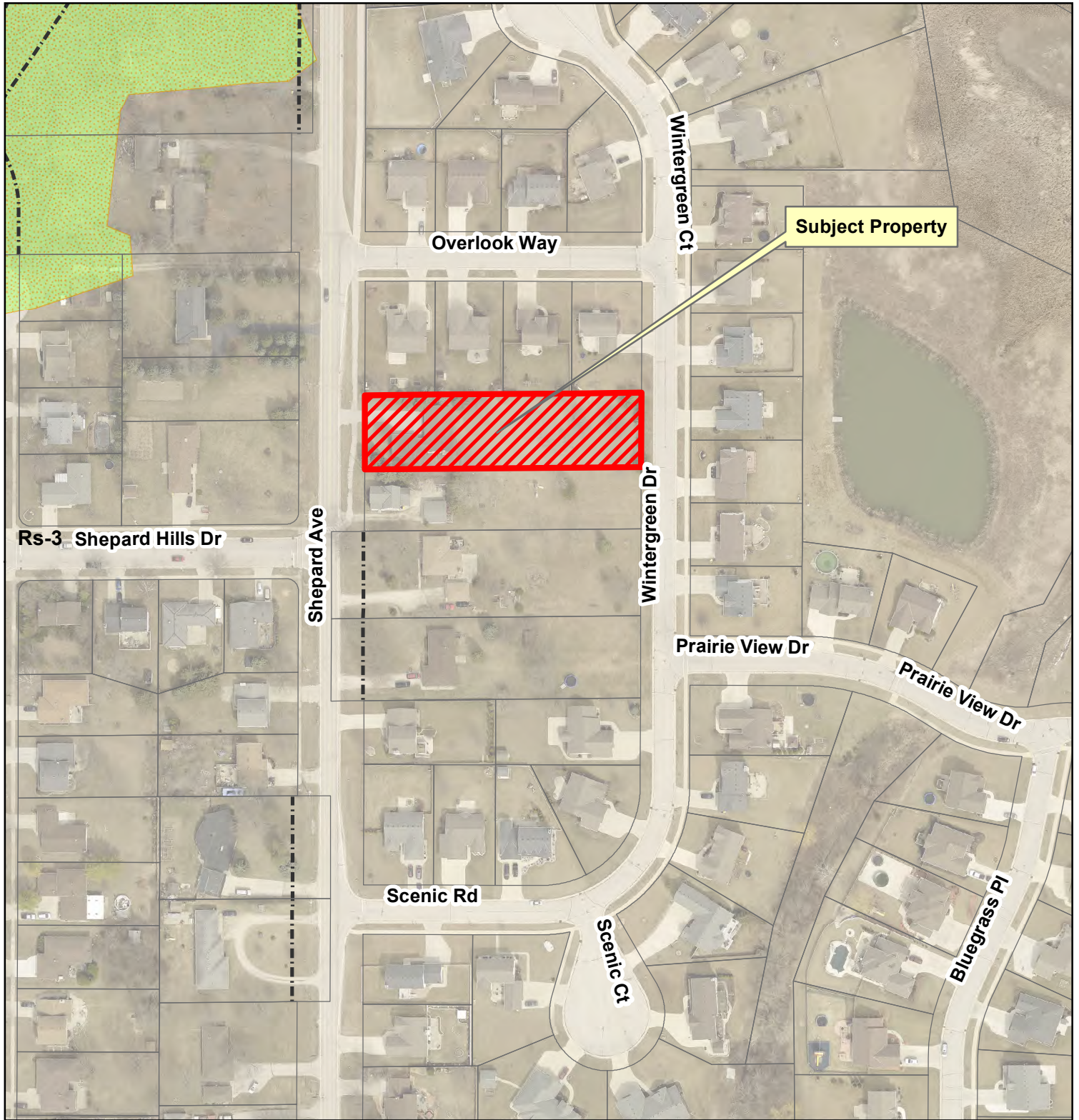
Attachments:

Location Map

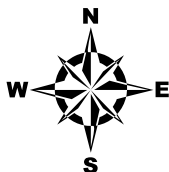
CSM (3 pages)

# Location Map

## 9620 S. Shepard Ave.



This map is not a survey of the actual boundary of any property this map depicts.



**Legend**

-  9620 S. Shepard Ave.
-  Environmental Corridor
-  Officially Mapped Streets

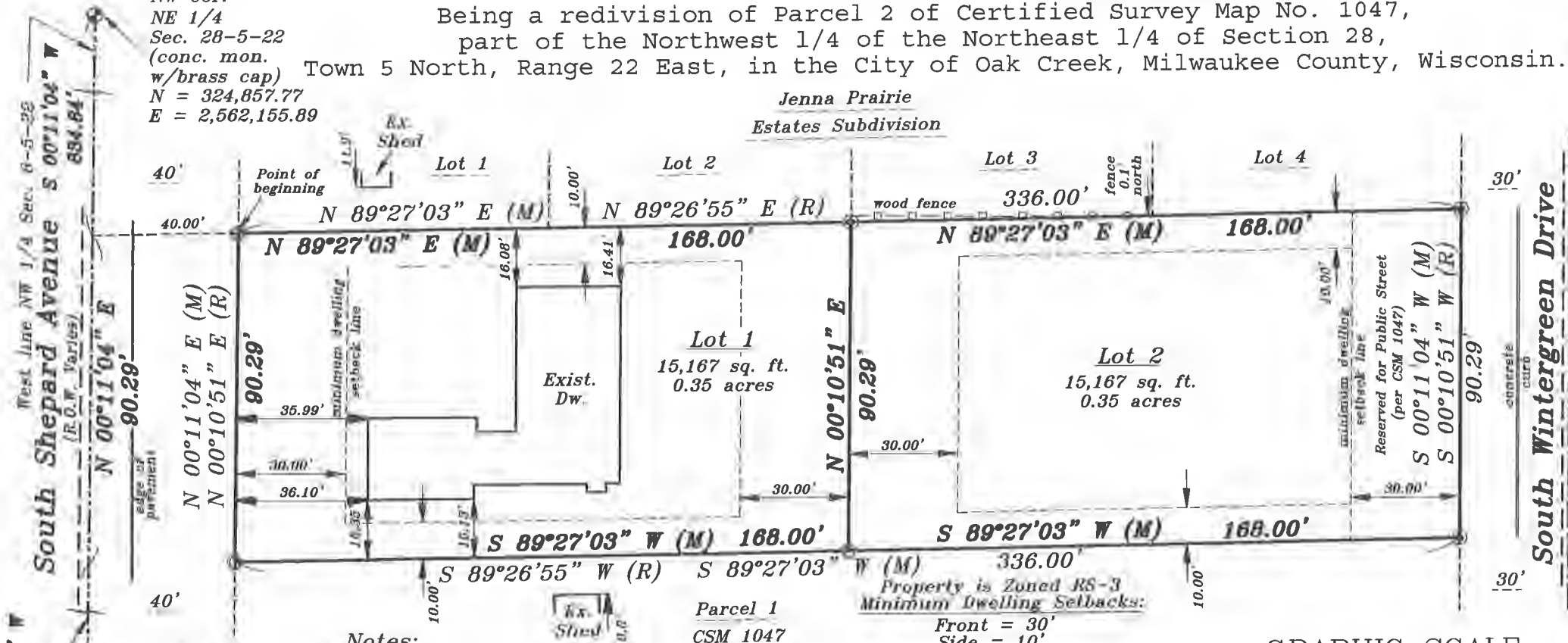


CERTIFIED SURVEY MAP NO. \_\_\_\_\_

NW Cor.  
NE 1/4  
Sec. 28-5-22  
(conc. mon.  
w/brass cap)  
N = 324,857.77  
E = 2,562,155.89

Being a redivision of Parcel 2 of Certified Survey Map No. 1047,  
part of the Northwest 1/4 of the Northeast 1/4 of Section 28,  
Town 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

Jenna Prairie  
Estates Subdivision



West line NW 1/4 Sec. 6-5-22  
South Shepard Avenue S 00°11'04\" W  
854.84'  
S 00°11'04\" W  
1716.69'  
N 00°11'04\" E  
90.29'  
N 00°11'04\" E (M)  
N 00°10'51\" E (R)  
90.29'  
35.99'  
36.10'  
10.00'  
10.35'  
16.19'10.00'

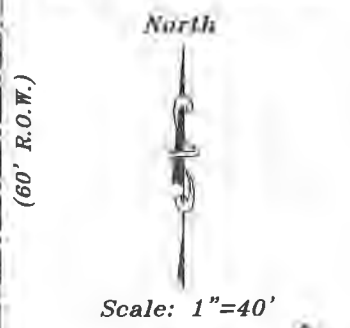
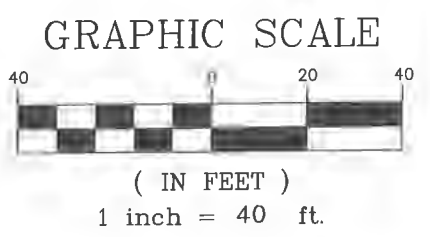
SW Cor.  
NE 1/4  
Sec. 28-5-22  
(conc. mon.  
w/brass cap)  
N = 322,216.11  
E = 2,562,147.39

- Notes:
- Denotes 1" iron pipe found and accepted.
  - Denotes 1"x24" iron pipe, 1.13 lbs/lin. ft. set.
  - (M)-Measured bearing
  - (R)-Recorded bearing(per CSM 1047)

Parcel 1  
CSM 1047

Property is Zoned RS-3  
Minimum Dwelling Setbacks:  
Front = 30'  
Side = 10'  
Rear = 30'

Map bearings refer to Grid North of the Wisconsin State Plane Coordinate System, South Zone (NAD-27)(Jan. 2017) with the West line of the NE 1/4 of Sec. 28-5-22 having an assumed bearing of N 0°11'04" E.



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a Redivision of Parcel 2 of Certified Survey Map NO. 1047, part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

SURVEYOR'S CERTIFICATE

I, Dennis C. Sauer, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped a redivision of Parcel 2 of Certified Survey Map No. 1047, part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin, bounded & described as follows:

Commencing at the Northwest corner of said Northeast 1/4; thence S00°11'04"W along the West line of said Northeast 1/4, 834.84 feet; thence N89°27'03"E, 40.00 feet to a point on the east right-of-way line of South Shepard Avenue and the point of beginning; thence continuing N89°27'03"E, 336.00 feet; thence S00°11'04"W, 90.29 feet; thence S89°27'03"W, 336.00 feet; thence N00°11'04"E, 90.29 feet to the point of beginning.

Said lands containing 30,334 square feet (0.70 acres).

That I have made such survey, land division and map by the direction of Bradley Schmidt, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin State Statutes and Chapter 14 of the Municipal Code of the City of Oak Creek in surveying, dividing and mapping the same.

February 14, 2019

Date



Dennis C. Sauer  
Professional Land Surveyor S-2421



PREPARED FOR:  
Bradley Schmidt  
810 East Oakwood Road  
Oak Creek, WI 53154

PREPARED BY: Dennis C Sauer  
Metropolitan Survey Service, Inc.  
9415 W Forest Home Ave, #202  
Hales Corners, WI 53130

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a Redivision of Parcel 2 of Certified Survey Map NO. 1047, part of the Northwest 1/4 of the Northeast 1/4 of Section 28, Town 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

OWNER'S CERTIFICATE

Bradley Schmidt, as owner, do hereby certify that I have caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the provisions of Chapter 236.34 of the Wisconsin State Statutes and Chapter 14 of the Municipal Code of the City of Oak Creek.

WITNESS the hand and seal of said owners this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Bradley Schmidt, Owner

STATE OF WISCONSIN)  
MILWAUKEE COUNTY ) SS

PERSONALLY came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, Bradley Schmidt, Owner, to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public-State of Wisconsin  
My Commission Expires: \_\_\_\_\_

PLAN COMMISSION APPROVAL

APPROVED by the Plan Commission of the City of Oak Creek on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
Daniel J Bukiewicz, Chairman  
City of Oak Creek

\_\_\_\_\_  
Douglas W. Seymour, Corresponding  
Secretary, City of Oak Creek

COMMON COUNCIL APPROVAL

APPROVED and accepted by the Common Council of the City of Oak Creek on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, by Resolution No. \_\_\_\_\_

\_\_\_\_\_  
Daniel J Bukiewicz, Mayor  
City of Oak Creek

\_\_\_\_\_  
Catherine A. Roeske, Clerk  
City of Oak Creek

THIS INSTRUMENT WAS DRAFTED BY:  
Dennis C. Sauer, P.L.S. S-2421





## PLAN COMMISSION REPORT

Proposal: Planned Unit Development - Highgate

Description: Review a request to establish a Planned Unit Development (PUD) on the properties at 7705, 7725, 7751, 7781, 7811, 7831, and 7869 S. 13<sup>th</sup> St.

Applicant(s): John Thomsen, Highgate LLC

Address(es): 7705, 7725, 7751, 7781, 7811, 7831, and 7869 S. 13<sup>th</sup> St.

**Suggested Motion:** That the Plan Commission recommends approval of the planned unit development submitted by John Thomsen, Highgate LLC, for the properties at 7705, 7725, 7751, 7781, 7811, 7831, and 7869 S. 13<sup>th</sup> St. after a public hearing and subject to conditions and restrictions that will be prepared for the Commission’s review at their next meeting (April 9, 2019).

Owner(s): Drexel Commercial LP, Highgate LLC

Tax Key(s): 784-9020-000, 784-9019-000, 784-9003-000, 784-9991-000, 784-9990-001, 784-9001-000, 784-9993-002

Lot Size(s): +/- 27 ac (combined)

Current Zoning District(s): B-4, Highway Business

Overlay District(s): N/A

Wetlands:  Yes  No      Floodplain:  Yes  No

Comprehensive Plan: Planned Mixed Use

### Background:

The Applicant is requesting recommendation of approval for a Planned Unit Development over the properties listed above. Plan Commissioners will recall that the properties were included in several CSMs to combine and redivide for a previously-approved hospital facility and a previously-approved financial institution. This PUD anticipates the remaining lands to be divided for future development with commercial, retail, and hospitality uses on approximately 5 parcels.

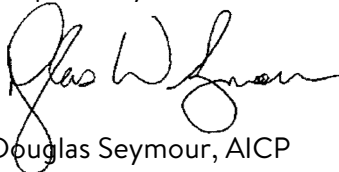
As depicted on the concept plan, two (2) access points to S. 13<sup>th</sup> St. are proposed: on the north between the stormwater and wetland parcel and a commercial lot, and in the center between the parcel identified as “Adjacent Property Owner” and a commercial lot. No additional vehicular access to S. 13<sup>th</sup> Street or W. Drexel Ave. will be allowed. Internal access drives will connect the development parcels as well as the parcel to the north. Along portions of those internal access drives will be a public recreation trail, providing continuous access from the parcel to the north of the development south to W. Drexel Ave.

Details for the building design and architecture, signage, and site design anticipated for the PUD proposal are included with this report, and will be considered within the Conditions and Restrictions if recommended for approval.

**Options/Alternatives:** The Plan Commission may recommend Common Council approval of the proposed PUD request, or that the Common Council not approve of the proposed request. Disapproval of the PUD may result in the existing conditions of the remaining lands for the foreseeable future, and may affect potential development proposals.

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Respectfully submitted:



Douglas Seymour, AICP  
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP  
Planner

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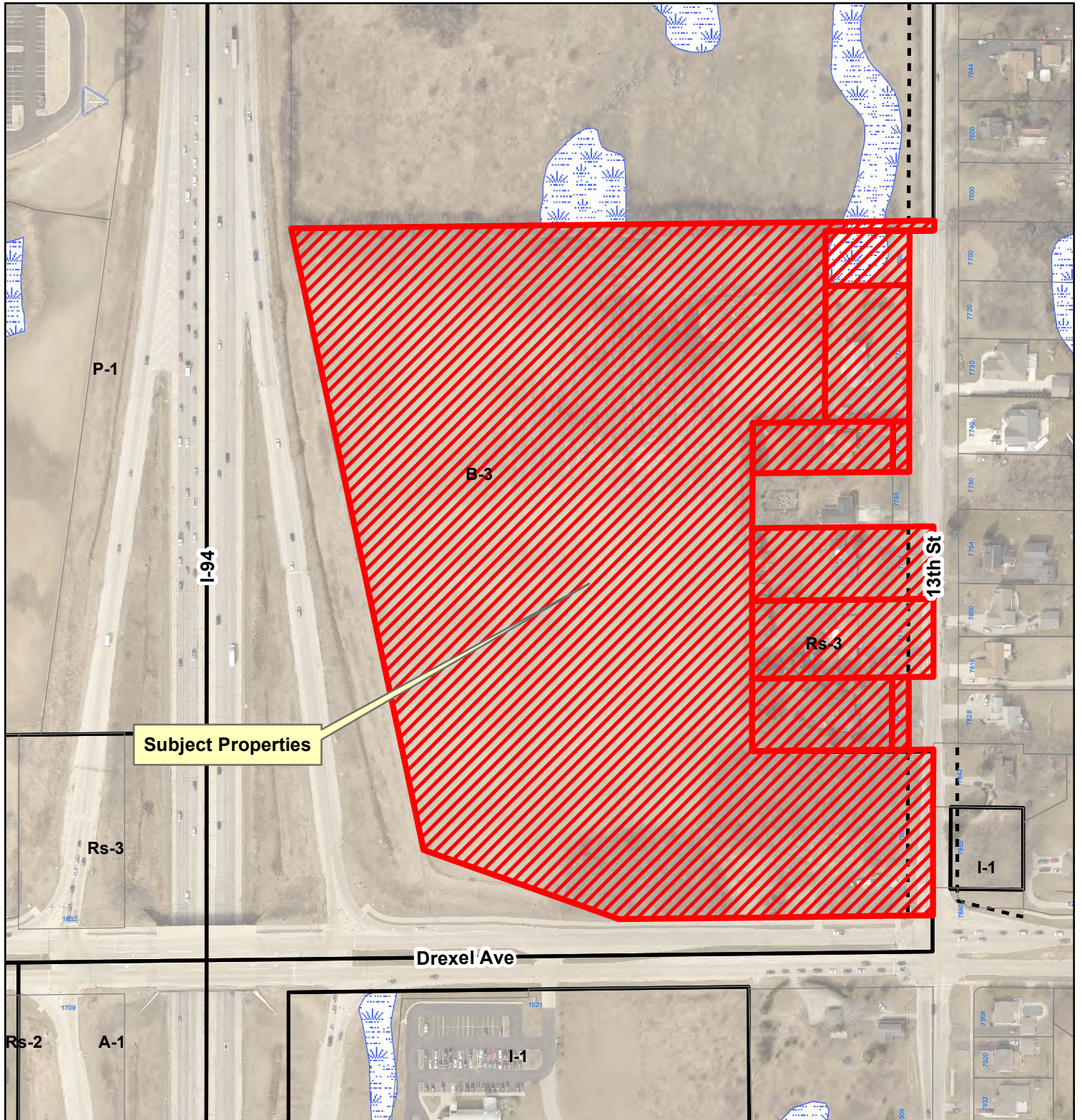
Attachments:

- Location Map
  - Project Summary and General Development Plan (4 pages)
-



# Location Map

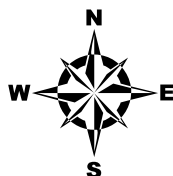
## 7869 S. 13th St.






This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



### Legend

-  7869 S. 13th St.
-  Officially Mapped Streets
-  DNR Wetlands Inventory





**DSD**

**HIGHGATE**  
OAK CREEK

## Project Summary

### Introduction

The following design guidelines have been prepared for the PUD for the overall development of the property comprised of the following existing Tax Keys: 7849993001, 7849020000, 7849019000, 7849003000, 7849001000, 7849991000, 7849990000. A Certified Survey Map delineating the various parcel splits has been approved and will be recorded. The development comprises ±27 acres of unimproved land located at the northwest corner of Drexel Avenue and South 13th Street. Highgate is projected to have primarily commercial, retail and compatible uses with approximately 150,000 square feet of buildings with a forecast market value of approximately \$35 to \$45 million. The guidelines detailed herein provide general recommendations for the PUD.

### General Development Plan and Zoning

A General Development Plan (GDP) showing the intended Highgate LLC development boundaries and uses is attached. Eight (8) of the nine (9) parcels of the development are zoned B-4, Highway Business. The ninth parcel, which is intended for use as a neighborhood hospital, was rezoned to I-1, Institutional in 2018. Summit Credit Union, adjacent to the neighborhood hospital along Drexel Avenue, has recently been approved for a Conditional Use Permit (CUP). This PUD application is requesting approval of a PUD overlay for all the subject land, including the neighborhood hospital and credit union parcels. The GDP provides for the infrastructure to accommodate the proposed improvements. The parcel layout is shown purely for hypothetical sizes, but is configured to be able to respond to a variety of medium size buildings as well as the ability to handle a few smaller buildings along 13th Street. The GDP is designed to best position the development for likely transactions that are "in market."

### Public Improvements

Proposed public improvements include public water and sanitary sewer main extensions to service the parcels throughout the Development. Off-site improvements include modifications to both Drexel Avenue and 13th Street to accommodate the projected traffic generation from the development.

### Development Features

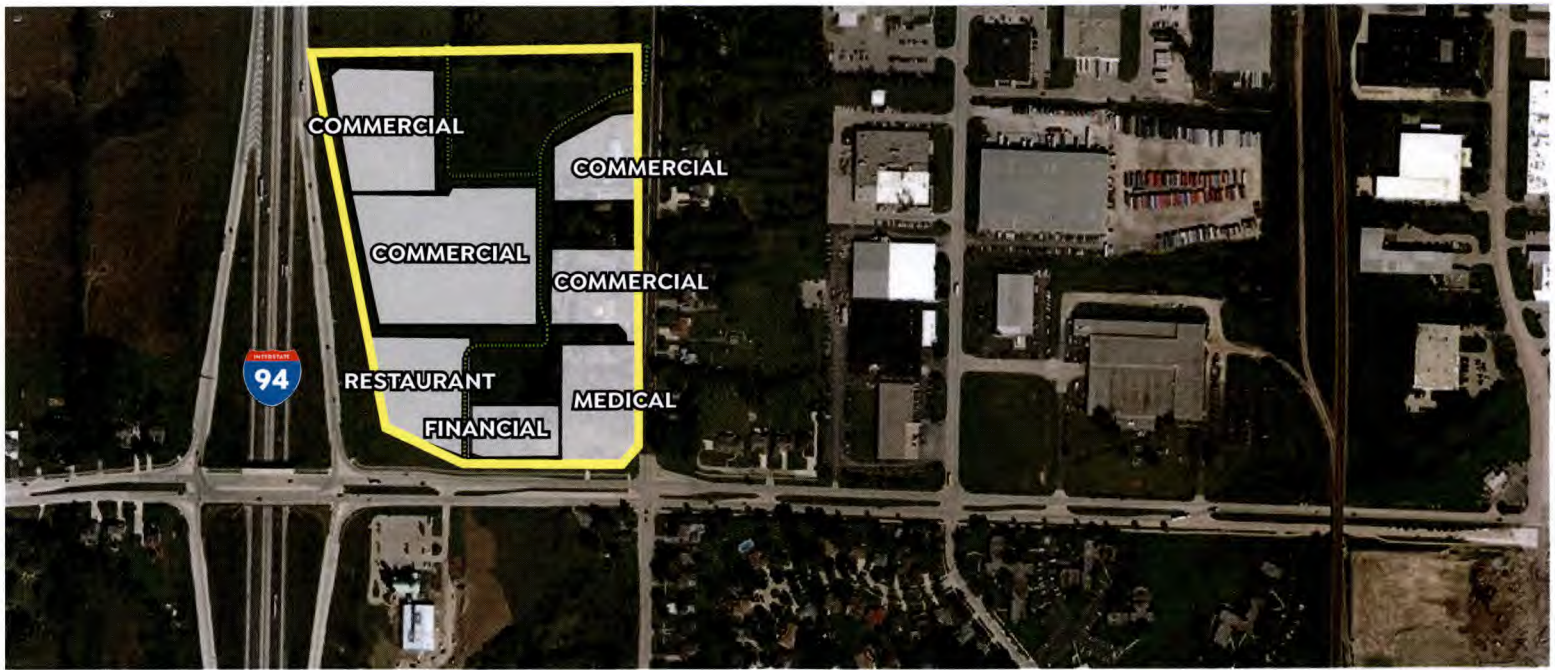
General landscape and lighting requirements are provided on the GDP and shall follow standards established by the Municipal Code. A recreational path will be provided through the development which will provide connectivity to the Oak Leaf Trail along Drexel Avenue. Vehicular access throughout the development will be provided by common roads leading to surface parking lots on each parcel. Shared parking is not contemplated at this time. Parking lot geometry will generally comply with City of Oak Creek requirements. Storm water management will be accomplished by two facilities (one in the south and one in the north). An existing wetland complex is located in the northern portion of the site. The development is not anticipating any wetland fill permitting.

### General Building Design Guidelines

General building design guidelines will focus on creating complementary buildings with details and proportions that are scaled to the pedestrian. The intent is to encourage users to provide building and site designs that match the City's overall design character through the use of materials, roof lines, signage, and proportions and to create architectural interest through the creative use of cornices, friezes, pilasters, arcades, piers, brick patterns, lintels, sills, special roof features, special door and window features, mullions, porticos, and medallions.







### **Architectural Style and Character**

No one architectural style is required for the PUD. Architectural style and character should be based upon the suitability of a building for its purposes, legibility of the building's use, the building's proposed massing, proportion, scale, orientation to public spaces and other buildings, use of materials, and other attributes which may significantly represent the character of the proposed development. However, buildings should be compatible with each other and share a common architectural language. This includes incorporating common design elements such as varied roof forms, minimized setbacks, scaling, massing, materials and architectural detailing as discussed herein. It is not the intent of these guidelines to encourage duplication and repetition of existing structures. Rather, these guidelines provide a framework to allow for inventive solutions and distinctive buildings that will not detract from each other.

### **Acceptable Primary Building Materials**

The following is a list of building materials that are acceptable. Primary materials are those that make up at least 70% of the solid (non-window) portion of any elevation.

- Metal panels or metal panel systems are acceptable for the construction of all building types.
- Common size brick is acceptable for the construction of all building types. Special sizes and shapes are acceptable for the construction of all building types.
- Native Stone including limestone, fieldstone or lannon stone is acceptable on any building type.
- Cedar Siding or cement resin siding may be used in combination with brick or other accepted masonry.

### **Acceptable Accent and Secondary Materials**

The following materials are allowable secondary materials. Accents and secondary materials comprise less than 30% of the solid portion of any elevation.

- Precast Concrete and Cast Stone are acceptable when used as accents, lintels, sills or decorations. Other uses shall be considered on a case by case basis.
- Terra Cotta is an acceptable material as cladding or accent.
- Stucco is acceptable as a wall finish material on upper floors and gables
- Wood Shingle Siding is acceptable on upper floors and gable ends or as roofing material
- Ornamental Metals are acceptable as accent materials such as grills, railing, panels, gutters, etc.
- Decorative Concrete Block is acceptable only when used as a secondary building material or accent. It is considered most appropriate as a material found in the base portion of building. The use of standard, plain gray block or glazed block is not acceptable. Other uses will be reviewed on a case by case basis.

### **Material Changes**

Building material changes should always occur at inside corners to give the materials a sense of permanence and thickness. A change at an exterior corner does not provide this sense and additionally, may create an unprotected seam vulnerable to damage and peeling. In most cases, it is recommended that primary facade materials turn corners at exterior corners. Material changes may also occur horizontally. In these cases, heavier material should generally appear below lighter material.

**Building Heights**

The height of any structure shall not exceed 50 feet.

**Roof Forms and Materials**

The following roof forms are allowed:

1. Gabled roofs. These roofs should have a minimum 6 inches rise for 12 inches of run.
2. Flat roofs with extended parapets. Parapets are extended walls that give height and shape to the roof line. These are an acceptable roof expression.
3. Combination flat and gabled roofs or hip roofs. Flat roofs are acceptable on commercial and larger buildings when done in conjunction with gabled roofs, hip roof dormers, or articulated parapet walls. If a long roof paralleling the street is unavoidable, large gables facing the street should be used to help maintain the rhythm of gables facing the street. The following roof materials are acceptable:
  - Clay Tiles
  - Wood Shingles
  - Slate
  - Asphalt Shingles
  - Standing Seam Metal Roof
  - EPDM, TPO/Ballasted or non-ballasted with a parapet

**Large Development Projects**

1. New buildings occupying 100 feet or more of street frontage should be designed with recesses and projections, material changes, or other articulation every 30 to 60 feet, to break up large masses and create the appearance of smaller buildings and individual storefronts.
2. Scaling features such as a horizontal banding, columns, sills, lintels, and other features should be used to emphasize window openings, changes in color, material, and texture.
3. Smaller retail stores that are part of a larger principal building should have display windows and separate outside entrances.
4. Flat roofs are acceptable on commercial and larger buildings when done in conjunction with gabled roofs, dormer or articulated parapet walls. If a long roof paralleling the street is unavoidable, large gables or similar treatments facing the street will be required.
5. Include sidewalks along the full length of any facade featuring a customer entrance.

**Signage**

Building signage should fit with and enhance the character of a building and the overall PUD. Signage for the PUD shall comply with the City of Oak Creek zoning ordinances for a B-4, Highway Business District. The project contemplates the inclusion of three (3) monument signs as depicted in the Proposed Site Plan. Individual signage at each building shall be reviewed separately.

**General Site Design Guidelines**

Attention should be focused on the physical arrangement of buildings, walkway, parking lots, lighting, landscaping and other elements on a property. The following site design guidelines are proposed:

1. Move parking to the sides and rears of buildings when possible.
2. Trash and utility areas should be screened.
3. In cases where buildings are set back, dense landscaping or decorative fencing should be used to help define the street edges and to soften the visual impact.

**Minimum Building Offset**

No principal building or structure shall be placed closer than 10 feet to a side or 20 feet to a rear lot line.

**Minimum Building Setback**

Building set backs shall conform with pertinent zoning ordinances.

**Site and Structure Design Criteria**

Parking for this PUD shall comply with relevant sections of the City of Oak Creek Zoning Code as it pertains to the respective use of each parcel. This PUD shall not have cross access easement but not shared parking between the parcels. Landscaping, outdoor lighting, fencing shall comply with City of Oak Creek zoning ordinances.

**Permitted Uses**

Uses of each commercial parcel shall comply with Section 17.0315 of the City of Oak Creek zoning code for B-4, Highway Business Districts. Lot 2 located at the northwest corner of 13th Street and Drexel Avenue will conform with those approved uses as defined in Section 17.0318 of the City of Oak Creek zoning code for I-1, Institutional Districts.

**Lot Size**

The various lot sizes are predetermined by PUD Site Plan.

**Building Size/Parking Requirements**

The building size and parking ratios for each individual lot are generally anticipated as follows:

USE	BUILDING SF	PARKING	ACRES
Commercial	±7,000	140	2.02
Financial	±3,500	20	1.30
Medical	±18,500	29	2.14
Commercial	±5,000	50	1.59
Commercial	±5,000	50	1.56
Commercial	±57,600	212	2.87
Commercial	±50,000	300	5.68
	<b>±146,600</b>	<b>±675</b>	<b>17.16</b>



I.S.H. 94

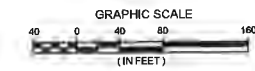


### GENERAL LANDSCAPE REQUIREMENTS

General Conditions for the landscape development shall meet the standard requirements for site development as per the municipal code – Chapter 17.1010 Landscape Zoning Code.

At least 30% of the total developed area for this site shall be landscaped green space.

- Provide Parking Lot Screening as per code to include earth berms, a solid walls, fences, evergreen plantings. At least 25% of the total green space shall be landscaped with plant material, other than maintained turf, that contributes to ground coverage.
- Interior Landscape Areas which shall include landscape islands, landscape peninsulas and/or peripheral plantings totaling not less than 5% of the surface area.
- Perimeter landscape areas, landscaping adjacent to buildings, screening of trash receptacles, screening of ground mounted mechanical equipment, and buffer yards shall comply with the zoning requirements of section 17.1010 of the municipal codes.



N

### GENERAL LIGHTING REQUIREMENTS

General conditions for overall lighting shall follow standards established by Section 17.0808 of the Municipal Code. All plans for outdoor lighting for each outparcel shall be reviewed and approved by the Plan Commission; the Commission has the discretion to delegate this review and approval to the Electrical Inspector.

Considerations:

Appropriate illumination of a building and adjacent spaces can emphasize building elements and spaces, while creating a sense of security and intimacy. The use of several types of lighting are encouraged to maintain activity spaces into the night. Outdoor site and parking areas should provide a safe and inviting environment for users. If outdoor seating areas are proposed, they should include pedestrian-level lighting at comfortable illumination levels.

Storefronts should be illuminated allowing light to softly illuminate adjacent walkways and spaces. Wall-mounted and ground light fixtures should be used to highlight architectural elements and enliven facades. These can also illuminate community areas adjacent to the building. All lighting, including external lighting of signage, should be a consistent color per development.

Lighting fixtures should conceal the light source and provide diffused or soft reflected light. All lighting fixtures should be selected to avoid negative impacts on neighboring properties. Given the close proximity of residential properties to commercial uses, it is essential that site lighting be controlled to prevent excessive glare onto adjacent properties or the public right-of-way.

- Suggested limits on height: 15 feet–18 feet maximum height for pedestrian lights; 18 feet–25 feet maximum height for the outermost bank of lights and a height limit of 35 feet for the other interior parking lot lights.
- All lighting to be either LED or Metal Halide (MH).
- Suggested color temperature range of lighting: both LED and/or MH should fall in the range of 4100–4300 Kelvin (K) for a warm white appearance.

PROPOSED ROADWAY IMPROVEMENTS  
FULL BUILD-OUT CONDITION  
(MILWAUKEE COUNTY PERMIT REQUIRED)

DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 791-1000  
rs-smith.com

**rsSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Appleton, WI | Madison, WI | Cedarburg, WI | Mount Pleasant, WI  
Naperville, IL | Pittsburgh, PA | Irvine, CA

7869 SOUTH 13TH STREET  
OAK CREEK, WI

**GENERAL DEVELOPMENT PLAN**

© COPYRIGHT 2019 R.A. Smith, Inc.
DATE: 02/26/2019
SCALE: 1" = 80'
JOB NO. 3170211
PROJECT MANAGER: ROBERT J. HARLEY, P.E.
DESIGNED BY: CBW
CHECKED BY: RJH
<b>SHEET NUMBER</b> GDP-1





## PLAN COMMISSION REPORT

Proposal: Plan Review – Parking Lot Addition

Description: Site plan review for a proposed addition to the existing parking area.

Applicant(s): Jerry Erdmann, The Property Advisor

Address(es): 9911 S. Howell Ave.

**Suggested Motion:** That the Plan Commission approves the site plans submitted by Jerry Erdmann, The Property Advisor, for the property at 9911 S. Howell Ave. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That a landscape plan for the expanded stalls is submitted for review and approval by the Director of Community Development prior to submission of permit applications.
3. That an electrical easement for future street lighting along Howell Avenue as previously required is prepared and submitted for approval prior to submission of permit applications.
4. That all revised plans (site, building, landscaping, east elevation, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of permit applications.

Owner(s): 9911 Howell, LLC

Tax Key(s): 924-9008-000

Lot Size(s): 3.192 ac

Current Zoning District(s): M-1, Manufacturing

Overlay District(s): N/A

Wetlands:  Yes  No

Floodplain:  Yes  No

Comprehensive      Planned Industrial  
Plan:

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**Background:**

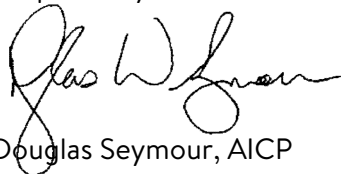
The Applicant is requesting site plan approval for a proposed 7,894 square-foot asphalt addition to the existing parking lot on the property at 9911 S. Howell Ave. The expansion will provide an additional 29 parking stalls on the west side of the existing building for employees. No additional employees are anticipated. Rather, the request for a parking lot expansion is due to an easement dispute with the adjacent landowner that affects shared parking on the parcel to the west.

Setbacks appear to be met with the proposal. No landscape plans have been submitted and will be required for the expanded parking area. Previous approvals for the site required an electrical easement along Howell Avenue for future street lights. As of writing this report, no such easement has been created. Staff has included a condition of approval for this easement for Plan Commission consideration.

**Options/Alternatives:** The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

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Respectfully submitted:



Douglas Seymour, AICP  
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP  
Planner

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**Attachments:**

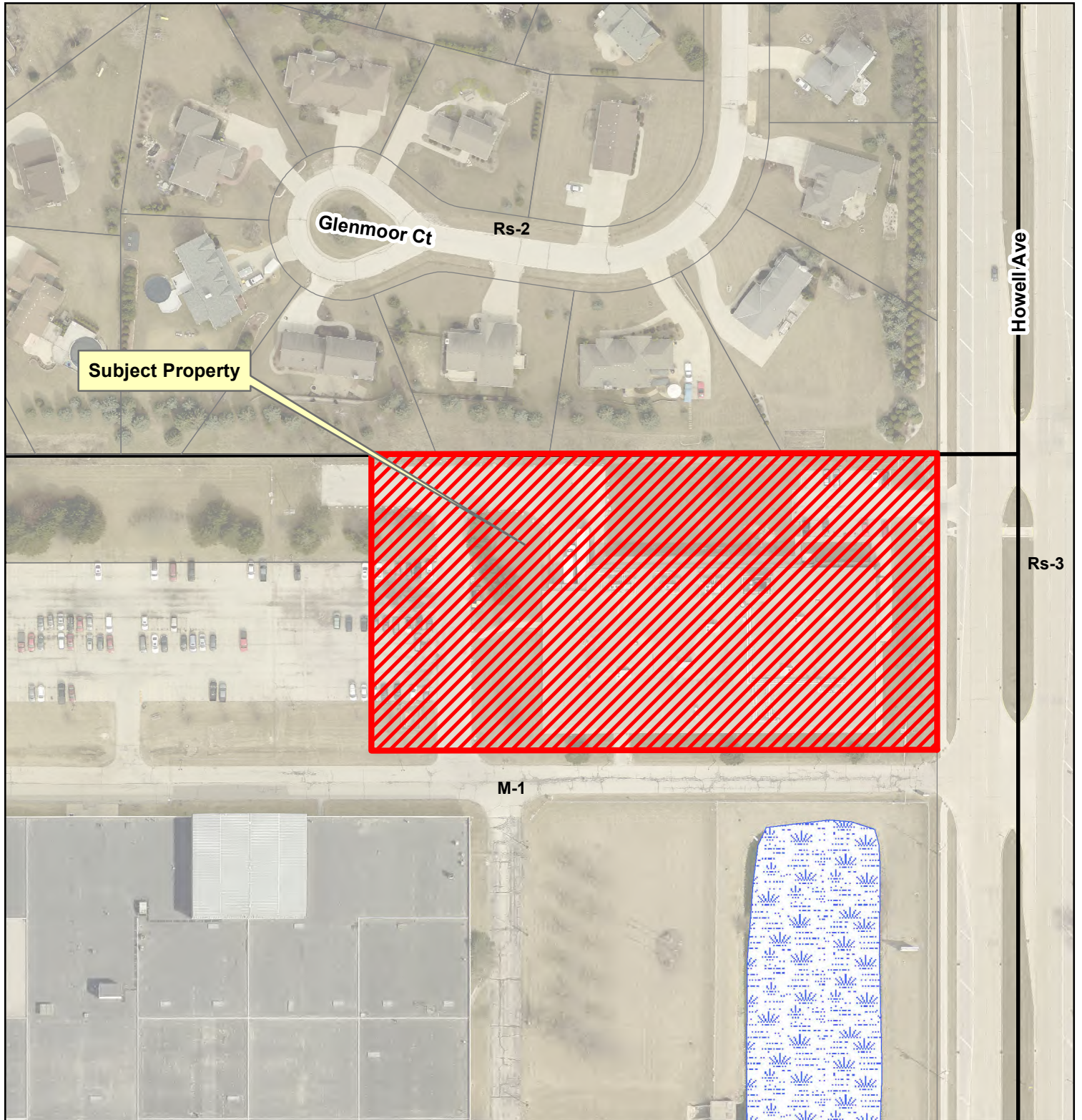
Location Map  
Alta Survey / Proposal (1 page)

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# Location Map

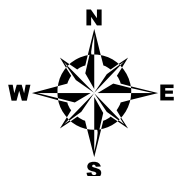
## 9911 S. Howell Ave.






This map is not a survey of the actual boundary of any property this map depicts.



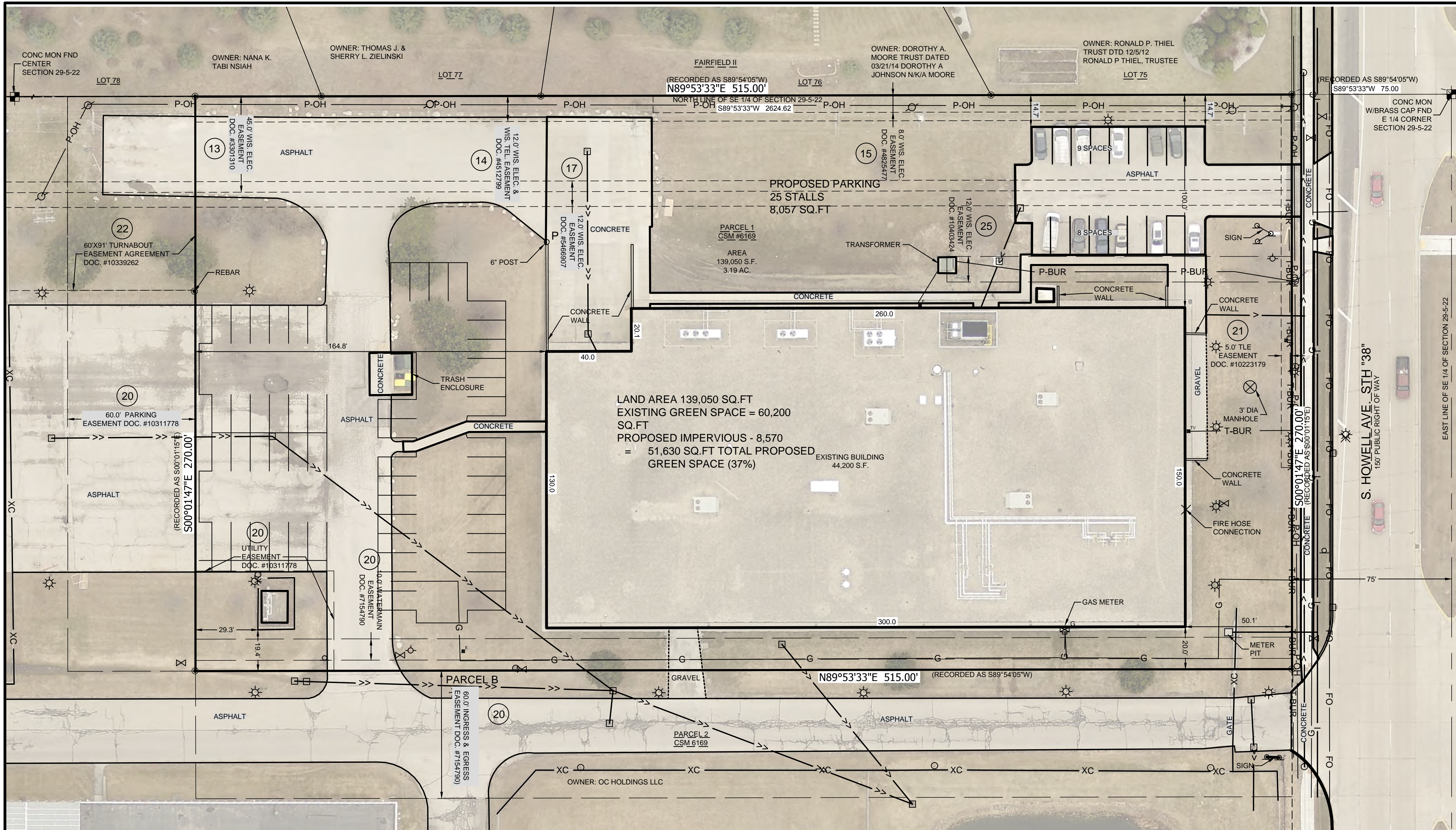
Department of Community Development



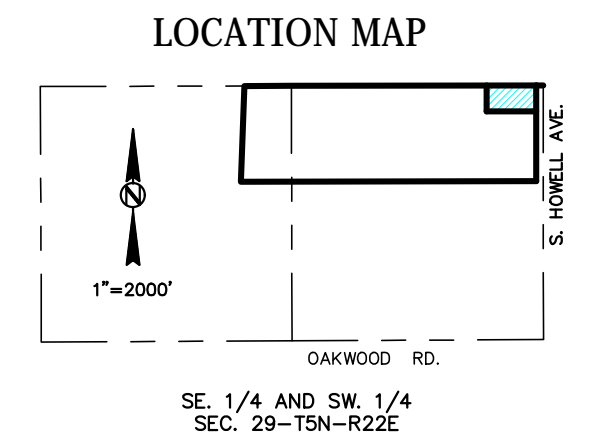
### Legend

-  9911 S. Howell Ave.
-  Officially Mapped Streets
-  DNR Wetlands Inventory





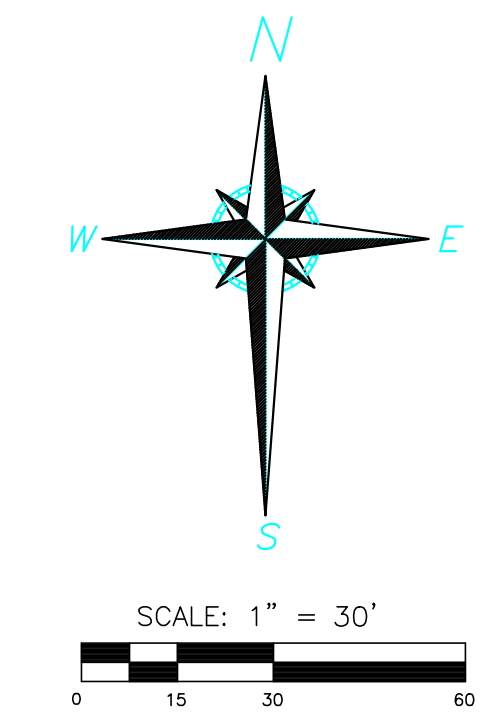
**SURVEYOR:**  
 KEITH A. KINDRED, PLS S-2082  
 SEH, INC.  
 501 MAPLE AVE.  
 DELAFIELD, WI 53018  
 (414) 949-8919  
 KKKINDRED@SEHINC.COM



**SURVEY FOR:**  
 JERRY ERDMANN  
 970 S. SILVER LAKE ST.  
 OCONOMOWOC, WI, 53066  
 (262) 719-4635

**LEGEND**

- - 11/16" REBAR SET AT ALL OTHER LOT & OUTLOT CORNERS, WT. = 1.13 LBS./LIN. FT.
- - CONCRETE MONUMENT W/ BRASS CAP FOUND
- - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- - STORM INLET
- - STORM SEWER



**GENERAL NOTES:**

1. EASEMENT LOCATIONS BASED ON INFORMATION FURNISHED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, INC., TITLE POLICY NO. F-354960, DATED MAY 21, 2018.
2. THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION. THE SURVEYOR WILL NOT ENTER ANY BUILDINGS ON OR OFF SITE.
3. SITE FALLS WITHIN ZONE X, AREAS OF MINIMAL FLOODING PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 55079C0231E, DATED 9/26/2008.
4. THE MISSING LOT CORNER MONUMENTS WERE NOT RESET AT THIS TIME PER THE CLIENT'S REQUEST. SIGNED LOT MONUMENT PLACEMENT WAIVER ON FILE IN ACCORDANCE WITH AE 7.01(2) OF WISCONSIN ADMINISTRATIVE CODE.
5. UNDERGROUND UTILITY LOCATIONS MARKED BY DIGGER'S HOTLINE PER TICKET #20182715984, DATED 7/16/2018. SURVEYOR TAKES NO RESPONSIBILITY FOR UTILITIES NOT MARKED IN FIELD BY DIGGERS HOTLINE.
6. THERE IS NO RECENT EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

**LEGAL DESCRIPTION**

PER COMMITMENT NO: F-354960  
 Parcel A: Parcel 1 of Certified Survey Map No. 6169, recorded on November 24, 1995 as Document No. 7154789, being a redivision of Parcel 2 of Certified Survey Map No. 5002, recorded on August 28, 1987, as Document No. 6100395, being in the Northeast 1/4 and the Northwest 1/4 of the Southeast 1/4 and the Northeast 1/4 of the Southwest 1/4 of Section 29, Town 5 North, Range 22 East, in the City of Oak Creek, County of Milwaukee, State of Wisconsin.  
 Parcel B: A non-exclusive Easement for the benefit of Parcel A above as set forth in Declaration of Easements recorded as Document No. 7154790 and as amended by Amendment to Declaration of Easement recorded as Document No. 10311778.

**ZONING REPORT**

RE: Zoning Request Letter  
 9911 S. Howell Avenue  
 Tax Key No. 924-9008-000  
 This letter is in response to your request for a zoning letter for the aforementioned address.  
 1. The current zoning classification for the subject property is: M-1, Manufacturing District.  
 2. Setbacks for the M-1 District:  
 a. 40-foot front setback from the public right-of-way  
 b. 20-foot side setback unless abutting a railroad right-of-way or storm water drainage channel which reduces the side setback to 15 feet.  
 c. 20-foot rear setback unless abutting a railroad right-of-way or storm water drainage channel which reduces the rear setback to 10 feet.  
 d. No building within 100 feet of a residential district boundary.  
 3. The land conforms to all applicable zoning ordinances, including but not limited to those ordinances limiting the use of the real estate.  
 4. If the building were to be destroyed, it would be able to be rebuilt.  
 5. A review of the file shows no open permits or outstanding code violations. However, this does not mean that other code violations do not exist. A site inspection was not conducted for this review.

**EXCEPTIONS:**

- PER COMMITMENT NO: F-354960
11. Easement in favor of The Milwaukee Electric Railway and Light Company filed of record December 4, 1925 as Document No. 1397860. (NOT GRAPHICALLY REPRODUCIBLE.)
  12. Easement in favor of The Milwaukee Electric Railway and Light Company filed of record December 4, 1925 as Document No. 1397861. (NOT GRAPHICALLY REPRODUCIBLE.)
  13. Easement in favor of Wisconsin Electric Power Company filed of record June 9, 1954 as Document No. 3301310. (SHOWN.)
  14. Easement in favor of Wisconsin Electric Power Company and Wisconsin Telephone Company filed of record February 25, 1970 as Document No. 4512799. (SHOWN.)
  15. Easement in favor of Wisconsin Electric Power Company filed of record March 8, 1974 as Document No. 4825477. (SHOWN.)
  16. Development Agreement by and between Allen-Bradley Company, Incorporated and the City of Oak Creek, Wisconsin municipal corporation recorded September 28, 1979 as Document No. 5351991. (NOT GRAPHICALLY REPRODUCIBLE.)
  17. Easement in favor of Wisconsin Electric Power Company filed of record April 8, 1981 as Document No. 5466907. (SHOWN.)
  18. Development Agreement by and between Allen-Bradley Company, Incorporated and the City of Oak Creek, Wisconsin municipal corporation recorded August 27, 1987 as Document No. 6099636. (NOT GRAPHICALLY REPRODUCIBLE.)
  19. Declaration of Restriction recorded September 1, 1997, as Document No. 6101269. (NOT GRAPHICALLY REPRODUCIBLE.)
  20. Terms, Conditions and Provisions in relation to, including but limited to the maintenance of the easement described as Parcel B of the subject premises as set forth in Declaration of Easements recorded November 24, 1995 as Document No. 7154790 and as amended by Amendment to Declaration of Easement recorded November 11, 2013 as Document No. 10311778. (SHOWN.)
  21. Easement as set forth on Transportation Project Plat recorded March 6, 2013 as Document No. 10223179. (SHOWN.)
  22. Ingress/Egress, Parking and Turnabout Easement Agreement dated February 27, 2014 by and between Howell Avenue Oak Creek LLC and F.M. Management Company Limited Partnership, recorded on February 28, 2014 as Document No. 10339262. (SHOWN.)
  25. Distribution Easement Underground in favor of Wisconsin Electric Power Company filed of record October 14, 2014 as Document No. 10403424. (SHOWN.)

To: Alesana Investments, LLC and or Assigns  
 Howell Avenue Oak Creek LLC, a Wisconsin limited liability company  
 Fidelity National Title Insurance Company  
 9911 Howell, LLC  
 Tri-City National Bank, their successors and/or assigns

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 11, 13, 14, 16, 17 and 19 of Table A thereof. The field work was completed on 7/16/2018.

DATED THIS 19TH DAY OF JULY, 2018.  
 REVISED THIS 23RD DAY OF JULY, 2018.

KEITH A. KINDRED, PLS S-2082

NO.	BY	DATE	REVISIONS
1	DW	7/23/18	REVIEW COMMENTS

SEH FILE NO.	PROPA
147133	147133

PROJECT NO.	ISSUE DATE
7/19/18	7/19/18

DRAWN BY:	DESIGNED BY:	CHECKED BY:
DW	---	KAK

PHONE: 414.949.8962  
 501 MAPLE AVENUE  
 DELAFIELD, WI 53018-9351  
 www.sehinc.com

ALTA/NSPS LAND TITLE SURVEY  
 PARCEL 1 OF CERTIFIED SURVEY MAP NO. 6169, BEING A  
 PART OF THE NE. 1/4 AND NW. 1/4 OF THE SE. 1/4 AND  
 THE NE. 1/4 OF THE SW. 1/4 OF SECTION 29, T.5N., R.22E.,  
 CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.





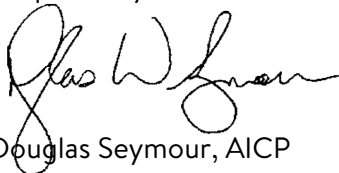
site plans for the property at 7020 S. 27<sup>th</sup> St. Plan Commissioners will recall that the original plans included a parking lot on the southern portion of the property for customers and display of vehicles for sale. The proposal is to reserve this parking area for future construction, which would reduce the initial number of parking stalls for both employees and display vehicles from 326 to 202. Postponement of the construction of the additional parking stalls will not affect the overall operations for the facility. Landscaping plans accommodating this reconfiguration have been submitted, along with updated lighting plans.

Finally, the Applicant is proposing one minor modification to the previously-approved building. Plan Commissioners will recall that a private car wash bay was included on the east side of the building in the original plans. The bay has been moved interior to the building, so the east elevation will no longer have the “bump-out.” Removal of this feature will not affect the approved building materials for this elevation, nor the overall operations for the facility.

**Options/Alternatives:** The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

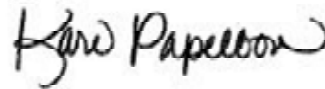
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Respectfully submitted:



Douglas Seymour, AICP  
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP  
Planner

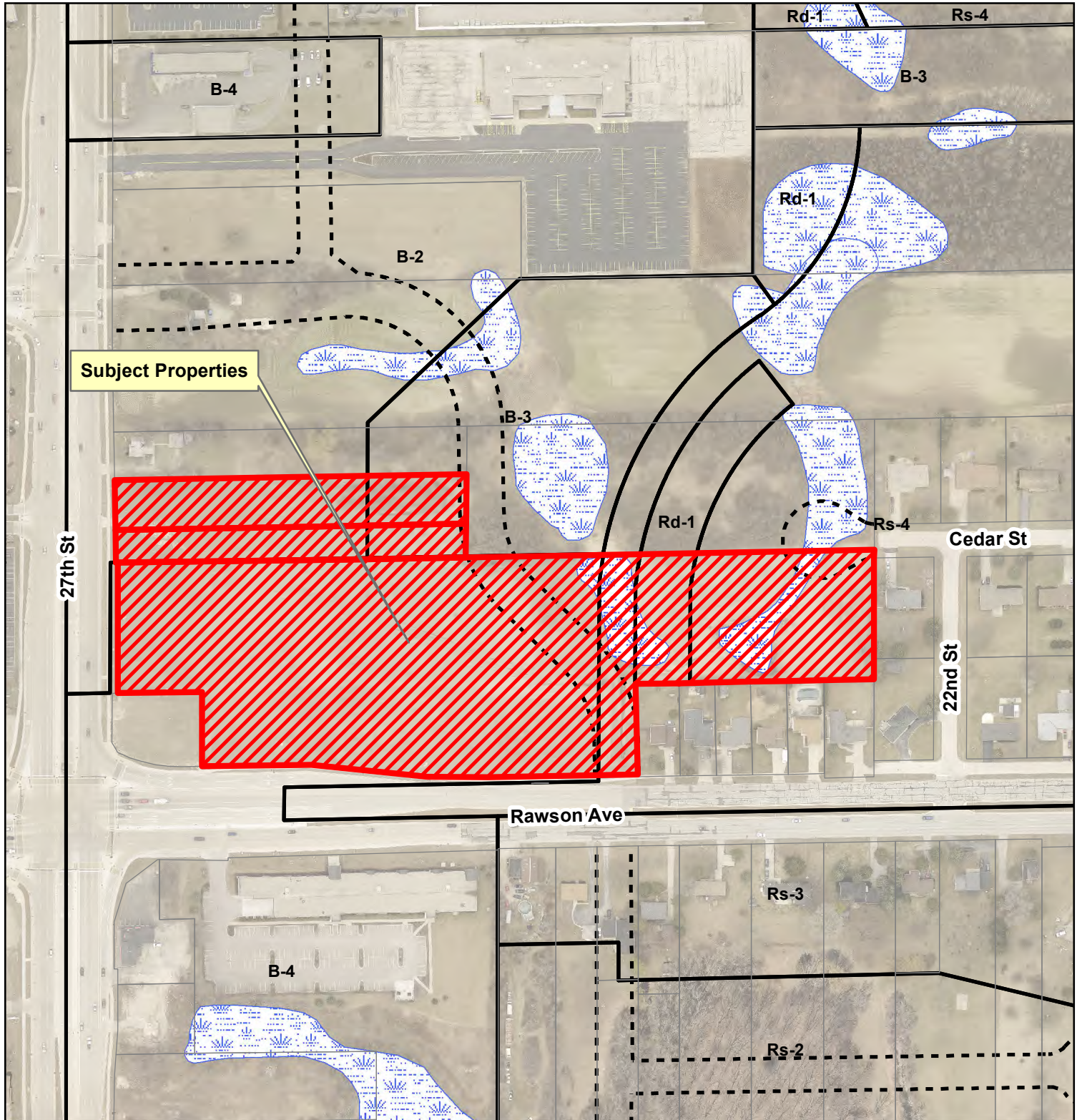
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**Attachments:**

- Location Map
  - Approved Site Plan Sheet C300
  - Plans (6 pages)
-

# Location Map

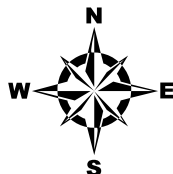
## 7008-7018 S. 27th St.






This map is not a survey of the actual boundary of any property this map depicts.



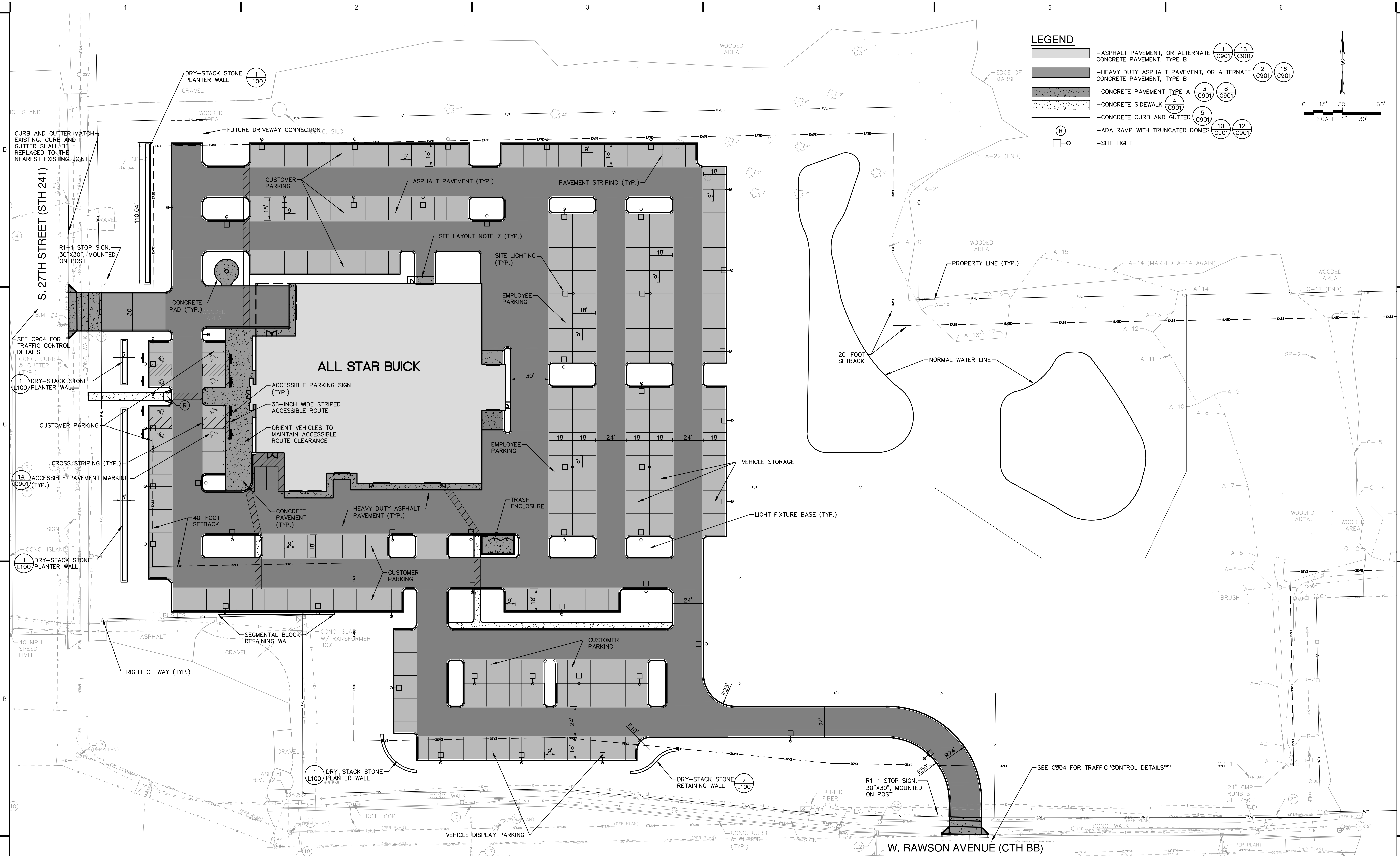
Department of Community Development



### Legend

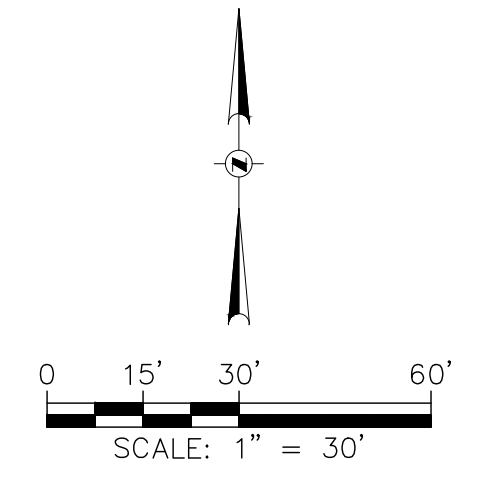
-  7008-7018 S. 27th St
-  Officially Mapped Streets
-  DNR Wetlands Inventory





**LEGEND**

- ASPHALT PAVEMENT, OR ALTERNATE CONCRETE PAVEMENT, TYPE B
- HEAVY DUTY ASPHALT PAVEMENT, OR ALTERNATE CONCRETE PAVEMENT, TYPE B
- CONCRETE PAVEMENT TYPE A
- CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER
- ADA RAMP WITH TRUNCATED DOMES
- SITE LIGHT



One Honey Creek Corporate Center  
125 South 84th Street, Suite 401  
Milwaukee, WI 53214-1469  
414 / 259 1500  
414 / 259 0037 fax

www.graef-usa.com

CONSULTANTS:

PROJECT TITLE:  
OAK CREEK BUICK GMC

OAK CREEK, WISCONSIN

NO.	DATE	REVISIONS	ISSUE BY

FOR CONSTRUCTION  
DOT REVIEWED

**WORK WITHIN RAWSON AVENUE RIGHT-OF-WAY**

- RESTORE GRASSED AREAS WITH SOD AND TOPSOIL.
- CURB AND GUTTER WITHIN THE MILWAUKEE COUNTY HIGHWAY RIGHT-OF-WAY SHALL BE 31-INCH, PER THE ENCLOSED DETAIL DRAWING.
- ALL PAVEMENT MARKINGS REMOVED, ALTERED OR OBTUSCURED BY PAVEMENT REMOVAL SHALL BE REPLACED WITH EPOXY PAVEMENT MARKINGS BY THE PERMITTEE AFTER PERMANENT PAVEMENT RESTORATION IS COMPLETED. IF A TEMPORARY PAVEMENT SURFACE IS IN PLACE FOR MORE THAN THREE (3) DAYS BEFORE THE PERMANENT SURFACE IS TO BE PLACED, TEMPORARY PAVEMENT MARKINGS SHALL ALSO BE PLACED. PERMANENT PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MUTCD, THE WISCONSIN SUPPLEMENT TO THE MUTCD, SECTIONS 646 AND 647 OF THE WISDOT STANDARD SPECIFICATIONS AND MILWAUKEE COUNTY REQUIREMENTS AND SPECIFICATIONS. TEMPORARY PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 649 OF THE WISDOT STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE MILWAUKEE COUNTY WITH A 24-HOUR CONTACT NUMBER IN CASE ANY PROBLEMS OCCUR DURING NON-WORKING HOURS. IF THE COUNTY IS UNABLE TO REACH THE CONTACT PERSON, THE COUNTY WILL PERFORM ANY WORK NECESSARY TO SAFEGUARD THE PUBLIC AND BILL THE CONTRACTOR FOR THE COST OF SAID WORK. NO PERMIT DEPOSITS WILL BE RETURNED UNTIL ALL SUCH BILLS ARE PAID IN FULL.
- COUNTY TRUNK HIGHWAY SHALL BE SWEEPED AS NEEDED AND AT THE END OF EACH DAY.
- MILWAUKEE COUNTY IS THE CONTROLLING AUTHORITY FOR W. RAWSON AVE (CTH BB). THERE IS A THREE-YEAR MORATORIUM ON PAVEMENT CUTS IN W. RAWSON AVE (CTH BB). NO PAVEMENT CUTS WILL BE PERMITTED, EXCEPT IN

- CASES OF EMERGENCY, IF MILWAUKEE COUNTY DETERMINES THAT A CUT WILL BE PERMITTED, IT WILL DIRECT THE LIMITS AND TYPE OF RESTORATION TO BE PERFORMED.
- WHEN IT IS REQUIRED TO REMOVE CONCRETE PAVEMENT AND/OR CONCRETE CURB AND GUTTER, THE CONCRETE SHALL BE SAW-CUT FULL DEPTH. THE REMOVAL SHALL BE FROM JOINT TO JOINT LONGITUDINALLY AS WELL AS TRANSVERSELY (THE ENTIRE SLAB).
  - THE CONCRETE CURB AND GUTTER REPLACEMENT SHALL BE DOWELED TO THE EXISTING PAVEMENT WITH DRILLED AND DRIVEN NO. 4 EPOXY-COATED, 24-INCH DEFORMED BARS PLACED 36 INCHES C-C.
  - THE CONCRETE PAVEMENT REPLACEMENT SHALL BE DOWELED TO THE EXISTING PAVEMENT WITH DRILLED AND DRIVEN NO. 4 EPOXY-COATED, 24-INCH DEFORMED BARS PLACED 36 INCHES C-C, EXCEPT IN WHEEL PATHS, WHERE FOUR 1 1/4" DOWELS, 15 INCHES C-C, SHALL BE PLACED.
  - ALL REPLACEMENT PAVEMENT JOINTS SHALL BE PARALLEL WITH EXISTING JOINTS. DIAGONAL, ANGLED OR ARCED JOINTS ARE NOT ALLOWED.
  - THE REPLACEMENT PAVEMENT SHALL BE THE SAME THICKNESS AS THE ADJACENT PAVEMENT AND THE PAVEMENT REPLACEMENT MIX SHALL BE HIGH EARLY, (7 BAG MIX) PORTLAND CEMENT CONCRETE.
  - ALL EXCAVATED AREAS UNDER PAVEMENT SHALL BE BACKFILLED WITH SLURRY (GAS COMPANY SLURRY AGGREGATE MIX NO. 2). THE CONTRACTOR SHALL MAINTAIN THE PAVEMENT TRENCH SURFACE WITH A TEMPORARY ASPHALT SURFACE UNTIL SUCH TIME AS THE CONTRACTOR PLACES THE PERMANENT PORTLAND CEMENT CONCRETE PAVEMENT.

- GRASSED AREAS SHALL BE RESTORED WITH A MINIMUM OF THREE INCHES OF TOPSOIL AND SOD AND WATERED FOR A PERIOD OF NOT LESS THAN 14 DAYS.
- SIGNPOST AND SIGN INSTALLATION IN THE PUBLIC WAY SHALL CONFORM TO MILWAUKEE COUNTY DEPARTMENT OF TRANSPORTATION - TRANSPORTATION SERVICES SPECIFICATIONS. THE POSTS SHALL BE U-CHANNEL, GALVANIZED STEEL POSTS, TYPE 'H', 2.5 LB. / FT.
- CONSTRUCTION METHODS. SIGN POSTS SHALL BE A TWO-PART BREAKAWAY ASSEMBLY. THE IN-GROUND (LOWER) SECTION SHALL HAVE A LENGTH OF NOT LESS THAN 4 FEET. THE UPPER SECTION SHALL BE OF SUFFICIENT LENGTH TO MEET THE REQUIREMENTS FOR VERTICAL CLEARANCES FOR SIGN INSTALLATION IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THE TWO SECTIONS SHALL BE FASTENED TOGETHER WITH STAINLESS STEEL BOLTS, NUTS AND WASHERS.
- ALL PAVEMENT MARKINGS REMOVED, ALTERED OR OBTUSCURED BY PAVEMENT REMOVAL SHALL BE REPLACED WITH EPOXY PAVEMENT MARKINGS BY THE PERMITTEE AFTER PERMANENT PAVEMENT RESTORATION IS COMPLETED. IF A TEMPORARY PAVEMENT SURFACE IS IN PLACE FOR MORE THAN THREE (3) DAYS BEFORE THE PERMANENT SURFACE IS TO BE PLACED, TEMPORARY PAVEMENT MARKINGS SHALL ALSO BE PLACED. PERMANENT PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MUTCD, THE WISCONSIN SUPPLEMENT TO THE MUTCD, SECTIONS 646 AND 647 OF THE WISDOT STANDARD SPECIFICATIONS AND MILWAUKEE COUNTY REQUIREMENTS AND SPECIFICATIONS. TEMPORARY PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF SECTION 649 OF THE WISDOT STANDARD SPECIFICATIONS.

**SITE AREAS**

TOTAL SITE AREA = 339,286 SF  
BUILDING FOOTPRINT = 26,403.4 SF

PARKING LOT  
PARKING LOT PAVEMENT = 146,461.8 SF  
PARKING LOT LANDSCAPE = 17,793.1 SF  
TOTAL PARKING LOT AREA = 164,254.9 SF  
PARKING LOT PERCENT GREEN SPACE = 10.83%

SITE DRIVEWAYS = 8,306.1 SF

PERIMETER LANDSCAPE/OPEN AREA  
PERIMETER PARKING LOT LANDSCAPE + STORMWATER POND + OPEN AREA = 140,321.6 SF

**PARKING COUNT**

NUMBER OF EMPLOYEES PER SHIFT = 37  
REGULAR STALLS = 318  
HANDICAP STALLS = 8  
TOTAL STALLS = 326

**GENERAL NOTES**

- SEE C100 FOR GENERAL NOTES
- SEE C904 FOR TRAFFIC CONTROL DETAILS

**LAYOUT NOTES**

- THE BUILDING OUTLINES SHOWN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR STAKING PURPOSES. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER ON THE STAKING OF THE BUILDING.
- ALL DIMENSIONS SHOWN ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB WHERE CONCRETE CURB IS SHOWN.
- ALL PAVEMENT STRIPING SHALL BE WHITE IN COLOR.
- REFER TO LANDSCAPING PLANS FOR SITE RESTORATION INFORMATION AND DETAILS.
- HANDICAP PARKING STALLS SHALL BE FURNISHED WITH A CONCRETE WHEEL STOP WHEN ADJACENT TO FLUSH CONCRETE CURB AND GUTTER.
- CONTRACTOR SHALL SUBMIT A CONCRETE JOINTING PLAN TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION. JOINTING PLAN SHALL INDICATE: POUR SEQUENCE, LOCATION OF CONSTRUCTION, ISOLATION, CONTRACTION JOINTS, AND TYPE OF REINFORCEMENT.
- ALL CONCRETE PAVEMENT ABUTTING ASPHALT PAVEMENT SHALL BE THICKENED EDGE CONCRETE PER DETAIL 8 SHEET C901.
- PROVIDE ALTERNATE PRICE FOR CONCRETE PAVEMENT IN LIEU OF ASPHALT PAVEMENT

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**PROJECT INFORMATION:**

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DRAWN BY: MAC  
CHECKED BY: JPH  
APPROVED BY: JPH  
SCALE: AS NOTED

**SHEET TITLE:**

SITE LAYOUT PLAN

**SHEET NUMBER:**

**C300**



FOR CONSTRUCTION  
CITY SUBMITTAL



PROJECT INFORMATION

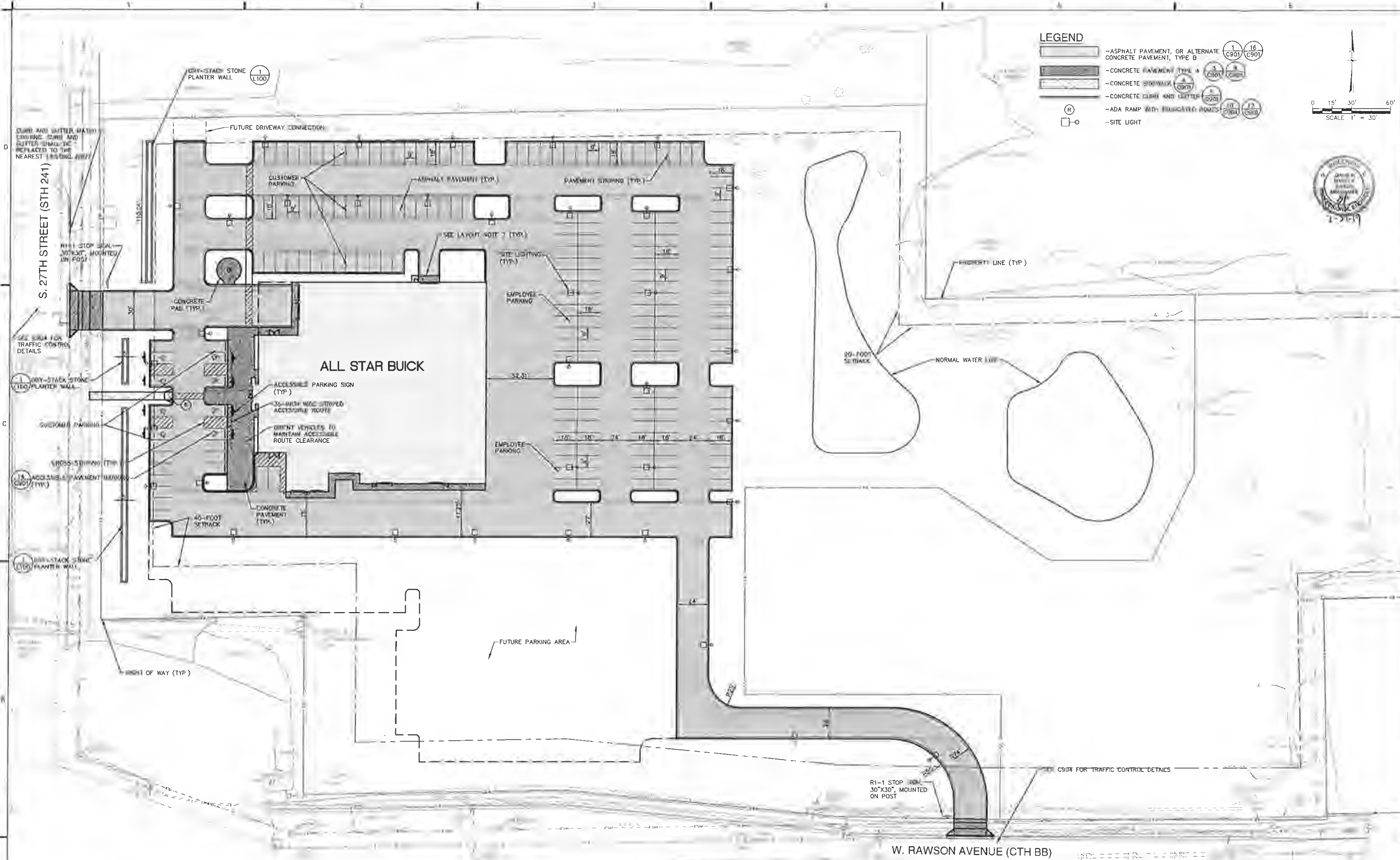
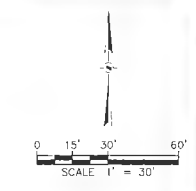
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CHECKED BY: JPH  
APPROVED BY: JPH  
SCALE: AS NOTED

SHEET TITLE:  
SITE LAYOUT PLAN

SHEET NUMBER:

**LEGEND**

- ASPHALT PAVEMENT, OR ALTERNATE CONCRETE PAVEMENT, TYPE B
- CONCRETE PAVEMENT TYPE A
- CONCRETE SIDEWALK
- CONCRETE CURB AND GUTTER
- ADA RAMP WITH IMPROVED SURFACE
- SITE LIGHT



**GENERAL NOTES**

- SEE C100 FOR GENERAL NOTES
- SEE C904 FOR TRAFFIC CONTROL DETAILS

**LAYOUT NOTES**

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**WORK WITHIN RAWSON AVENUE RIGHT-OF-WAY**

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- CURB AND GUTTER WITHIN THE MILWAUKEE COUNTY HIGHWAY RIGHT-OF-WAY SHALL BE 31-INCH, PER THE ENCLOSED DETAIL DRAWING
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- THE CONCRETE PAVEMENT REPLACEMENT SHALL BE DOWELED TO THE EXISTING PAVEMENT WITH DRILLED AND DRIVEN NO. 6 EPOXY-COATED, 24-INCH DEFORMED BARS PLACED 36 INCHES C-C, EXCEPT IN WHEEL PATHS, WHERE FOUR 1X DOWELS, 15 INCHES C-C, SHALL BE PLACED
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- CONSTRUCTION METHODS SIGN POSTS SHALL BE A TWO-PART BREAKAWAY ASSEMBLY. THE IN-GROUND (LOWER) SECTION SHALL HAVE A LENGTH OF NOT LESS THAN 4 FEET. THE UPPER SECTION SHALL BE OF SUFFICIENT LENGTH TO MEET THE REQUIREMENTS FOR VERTICAL CLEARANCES FOR SIGN INSTALLATION IN THE MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES. THE TWO SECTIONS SHALL BE FASTENED TOGETHER WITH STAINLESS STEEL BOLTS, NUTS AND WASHERS
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**SITE AREAS**

TOTAL SITE AREA = 339,285.9 SF  
BUILDING FOOTPRINT = 25,751.6 SF

PARKING LOT  
PARKING LOT PAVEMENT = 101,657.1 SF  
PARKING LOT LANDSCAPE = 8,719.6 SF  
TOTAL PARKING LOT = 110,376.7 SF  
PARKING LOT % GREEN SPACE = 7.90%

SITE DRIVEWAYS = 11,956.7 SF

PERIMETER LANDSCAPE/OPEN AREA  
PERIMETER PARKING LOT LANDSCAPE + STORMWATER POND + OPEN AREA = 191,200.9 SF

**PARKING COUNT**

NUMBER OF EMPLOYEES PER SHIFT = 37  
REGULAR STALLS = 194  
HANDICAP STALLS = 8  
TOTAL STALLS = 202

**ULTIMATE SITE AREAS**

TOTAL SITE AREA = 339,285.9 SF  
BUILDING FOOTPRINT = 25,751.6 SF

PARKING LOT  
PARKING LOT PAVEMENT = 146,658.2 SF  
PARKING LOT LANDSCAPE = 15,296.5 SF  
TOTAL PARKING LOT AREA = 162,954.7 SF  
PARKING LOT % GREEN SPACE = 10%

SITE DRIVEWAYS = 8,048.6 SF

PERIMETER LANDSCAPE/OPEN AREA  
PERIMETER PARKING LOT LANDSCAPE + STORMWATER POND + OPEN AREA = 142,521.0 SF

**ULTIMATE PARKING COUNT**

NUMBER OF EMPLOYEES PER SHIFT = 37  
REGULAR STALLS = 318  
HANDICAP STALLS = 8  
TOTAL STALLS = 326

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FOR CONSTRUCTION  
CITY SUBMITTAL



PROJECT INFORMATION

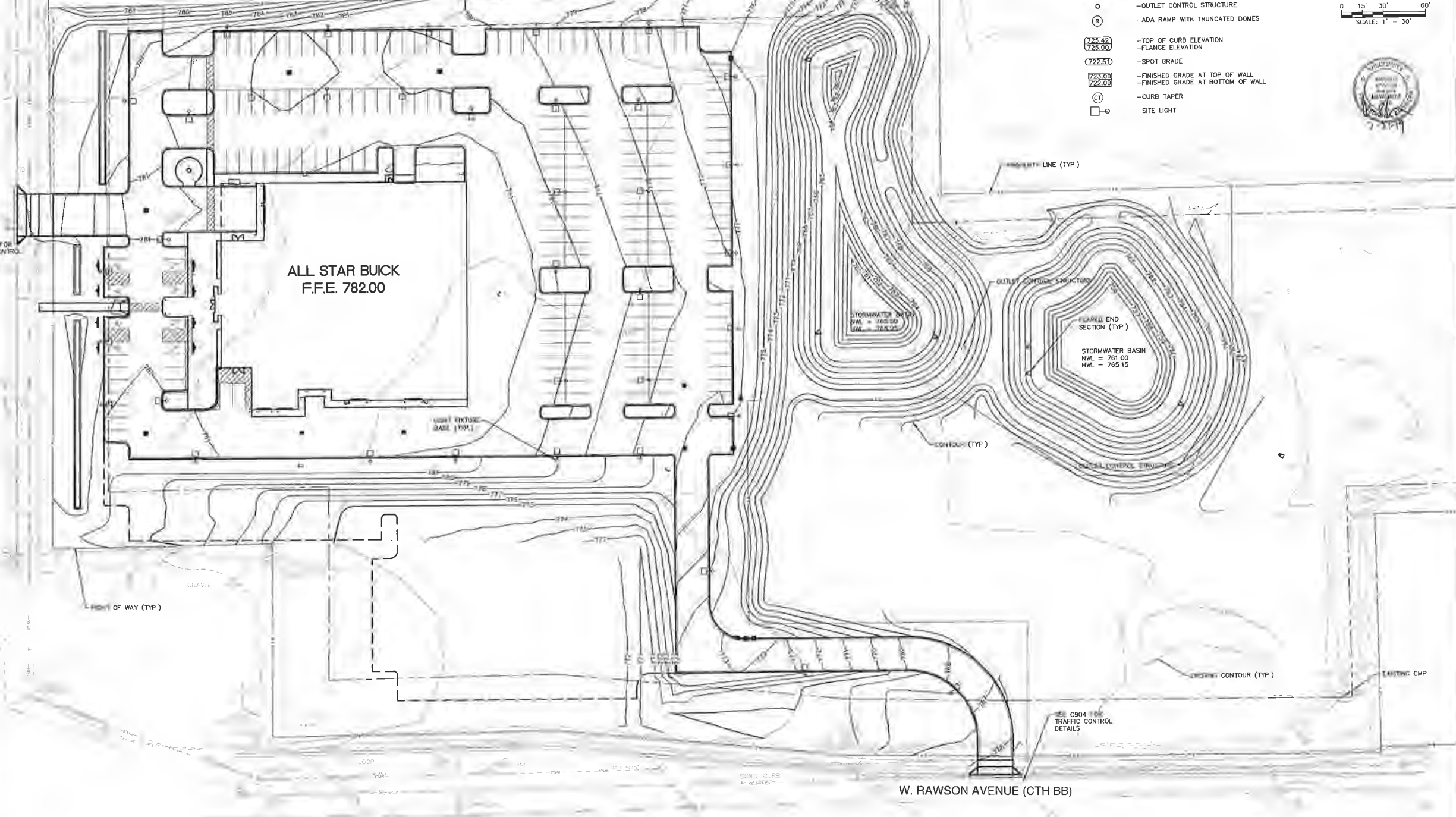
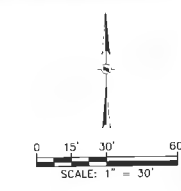
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DATE: 10/30/2018  
DRAWN BY: MAC  
CHECKED BY: JPH  
APPROVED BY: JPH  
SCALE: AS NOTED

SHEET TITLE:  
SITE GRADING OVERALL

SHEET NUMBER:

**C400**

- LEGEND**
- EXISTING CONTOUR
  - CONTOUR
  - CONCRETE CURB AND GUTTER
  - MANHOLE
  - INLET
  - OUTLET CONTROL STRUCTURE
  - ADA RAMP WITH TRUNCATED DOMES
  - TOP OF CURB ELEVATION
  - FLANGE ELEVATION
  - SPOT GRADE
  - FINISHED GRADE AT TOP OF WALL
  - FINISHED GRADE AT BOTTOM OF WALL
  - CURB TAPER
  - SITE LIGHT



**GENERAL NOTES**

- 1 SEE C100 FOR GENERAL NOTES
- 2 SEE C904 FOR TRAFFIC CONTROL DETAILS

**GRADING NOTES**

- 1 ADA COMPLIANT RAMPING WITH MAXIMUM SLOPE OF 1:20 (5%) USING THE LENGTH OF THE RAMPWAY RATHER THAN A GRADIENT SLOPE OF 1:50 (2%) ACROSS THE WIDTH OF THE ACCESSIBLE WALKWAY. ADA RAMPWAYS SHALL HAVE A MAXIMUM SLOPE OF 1 TO 125 IN ALL DIRECTIONS WITHIN AN ADA MARKING STALL AND ADJACENT UNPAVED ZONE.
- 2 RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES



FOR CONSTRUCTION  
CITY SUBMITTAL



PROJECT INFORMATION:

PROJECT NUMBER: 20160053 00  
DATE: 10/30/2018  
DRAWN BY: MAC  
CHECKED BY: JPH  
APPROVED BY: JPH  
SCALE: AS NOTED

SHEET TITLE:

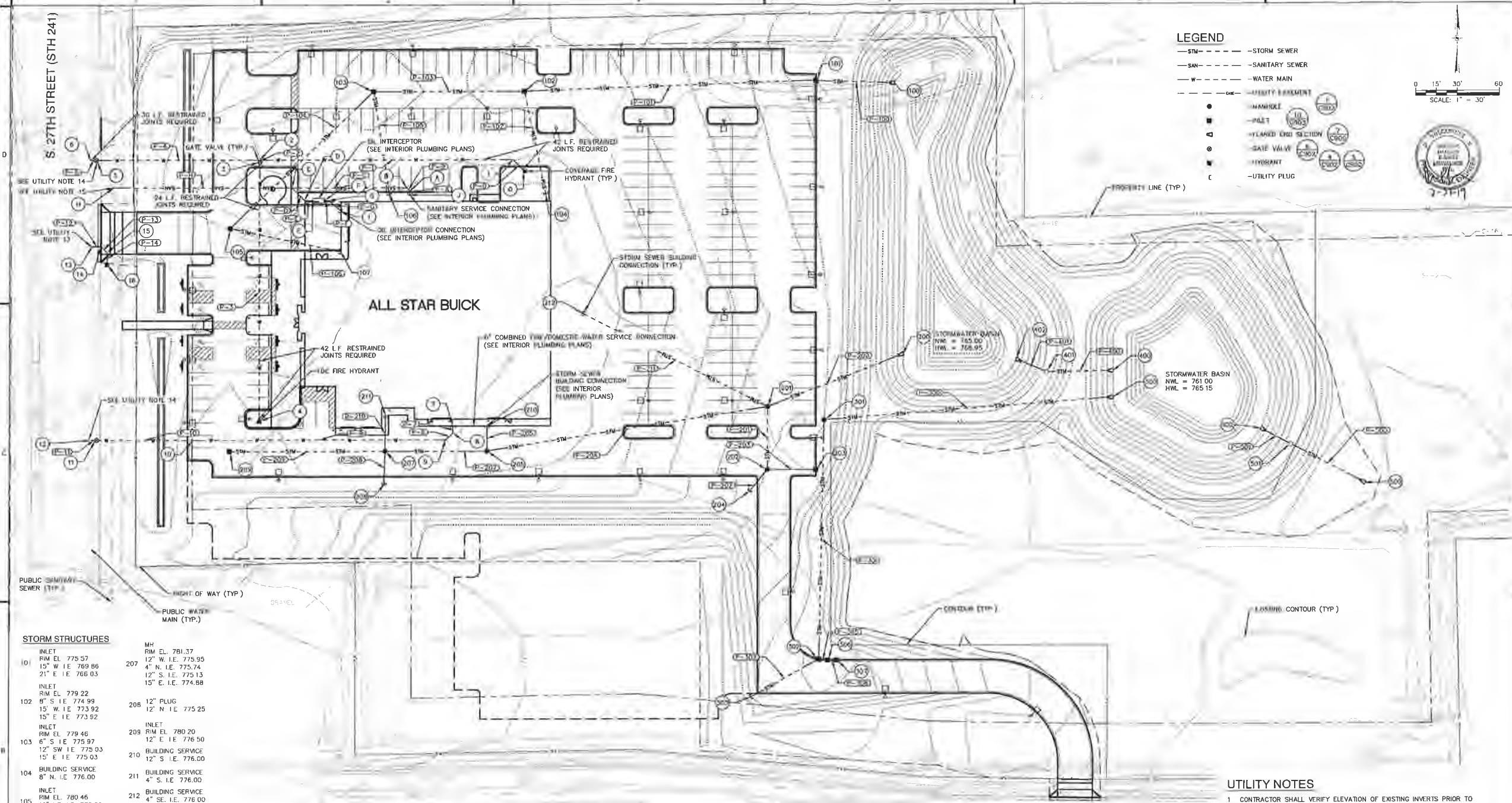
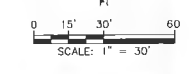
SITE UTILITY PLAN

SHEET NUMBER:

## C500

### LEGEND

- STW --- STORM SEWER
- SAN --- SANITARY SEWER
- W --- WATER MAIN
- C --- UTILITY EASEMENT
- MANHOLE
- PLUG
- FLANKED END SECTION
- GATE VALVE
- HYDRANT
- UTILITY PLUG



### STORM STRUCTURES

101	INLET RIM EL. 775.57 15' W I.E. 769.86 21' E I.E. 766.03	MH RIM EL. 781.37 12' W I.E. 775.95 4' N I.E. 775.74 12' S I.E. 775.13 15' E I.E. 774.88
102	INLET RIM EL. 779.22 8' S I.E. 774.99 15' W I.E. 773.92 15' E I.E. 773.92	12" PLUG 12' N I.E. 775.25
103	INLET RIM EL. 779.46 6' S I.E. 775.97 12' SW I.E. 775.03 15' E I.E. 775.03	209 RIM EL. 780.20 12' E I.E. 776.50
104	BUILDING SERVICE 8' N I.E. 776.00	210 BUILDING SERVICE 12' S I.E. 776.00
105	INLET RIM EL. 780.46 12' NE I.E. 776.80 8' E I.E. 776.82	211 BUILDING SERVICE 4' S I.E. 776.00
106	BUILDING SERVICE 6' N I.E. 776.50	212 BUILDING SERVICE 4' SE I.E. 776.00
107	BUILDING SERVICE 8' W I.E. 777.78	MH RIM EL. 776.10 21' S I.E. 764.08 21' E I.E. 764.08
201	MH RIM EL. 777.54 4' NW I.E. 773.54 15' S I.E. 771.15 15' W I.E. 771.30 18' E I.E. 766.47	MH-INLET RIM EL. 772.61 302 18' SW I.E. 768.27 12' E I.E. 768.34 21' N I.E. 765.37
202	MH RIM EL. 776.96 12' SW I.E. 772.69 12' E I.E. 771.67 15' N I.E. 771.42	303 18" PLUG 18' NE I.E. 769.17
203	INLET RIM EL. 776.04 12' W I.E. 771.94	306 INLET RIM EL. 772.61 12' W I.E. 768.40 12' E I.E. 768.37
204	12" PLUG 12' NE I.E. 772.79	307 INLET RIM EL. 772.61 12' W I.E. 768.40
205	MH RIM EL. 781.42 6' N I.E. 775.76 15' W I.E. 774.52 15' E I.E. 774.15	308 OUTLET CONTROL STRUCTURE RIM EL. 770.50 12' NW I.E. 765.00 12' E I.E. 765.00
		309 OUTLET CONTROL STRUCTURE RIM EL. 768.50 12' NW I.E. 761.00 12' SE I.E. 761.00

### STORM F.E.S.

100	18" F.E.S. 18' W I.E. 763.00
200	18" F.E.S. 18' W I.E. 765.00
300	21" F.E.S. 21' W I.E. 761.00
400	12" F.E.S. 12' W I.E. 761.00
402	2" F.E.S. 2' SE I.E. 765.00
500	2" F.E.S. 2' NW I.E. 760.52
502	2" F.E.S. 2' SE I.E. 761.00

### STORM PIPES

P-100	58.80 L.F. - 18" RCP @ S=0.0181'
P-101	209.28 L.F. - 15" @ S=0.0194'
P-102	75.44 L.F. - 8" @ S=0.0133'
P-103	107.99 L.F. - 15" @ S=0.0103'
P-104	141.71 L.F. - 12" @ S=0.0125'
P-105	74.72 L.F. - 6" @ S=0.0071'
P-106	80.69 L.F. - 8" @ S=0.0113'

### SANITARY STRUCTURES

B 6"x45"	104 93 L.F. - 18" RCP @ S=0.0140'
A 6"x45"	45.00 L.F. - 15" @ S=0.0060'
6" NW I.E. 775.97	20.00 L.F. - 12" @ S=0.0050'
B 6"x45"	35.00 L.F. - 12" @ S=0.0075'
RIM EL. 781.04	203 42 L.F. - 15" @ S=0.0140'
6" SE I.E. 775.94	18.09 L.F. - 6" @ S=0.0135'
6' W I.E. 775.94	72.92 L.F. - 15" @ S=0.0050'
WYE 6"x6"	24.00 L.F. - 12" @ S=0.0050'
RIM EL. 781.52	110.98 L.F. - 12" @ S=0.0050'
6' E I.E. 775.12	25.42 L.F. - 4" @ S=0.0103'
6' SE I.E. 775.12	148.42 L.F. - 4" @ S=0.0166'
6' W I.E. 775.12	
B 6"x45"	208 38 L.F. - 21" RCP @ S=0.0148'
RIM EL. 781.76	172.00 L.F. - 18" RCP @ S=0.0075'
6' E I.E. 775.62	56.00 L.F. - 18" RCP @ S=0.0160'
6' NW I.E. 775.62	
B 6"x45"	6.00 L.F. - 12" RCP @ S=0.0050'
RIM EL. 781.76	6.00 L.F. - 12" RCP @ S=0.0050'
6' SE I.E. 775.88	48.18 L.F. - 12" RCP @ S=0.0830'
6' W I.E. 775.88	23.57 L.F. - 12" RCP @ S=0.0000'
CONNECT TO EX SANITARY SEWER	60.00 L.F. - 12" RCP @ S=0.0080'
EX 8" N 85 I.E. 772.24/-	24.35 L.F. - 12" RCP @ S=0.0000'
PR 6" E I.E. 773.84 (RISER)	
PR 6" E I.E. 772.70 (PIPE)	
6" PLUG	
RIM EL. 781.84	
6' NW I.E. 776.00	
6" PLUG	
RIM EL. 781.75	
6' N I.E. 776.00	

### SANITARY PIPES

P-A	2.86 L.F. - 6" @ S=0.0100'
P-B	2.83 L.F. - 6" @ S=0.0100'
P-C	82.43 L.F. - 6" @ S=0.0100'
P-D	12.76 L.F. - 6" @ S=0.0389'
P-E	6.00 L.F. - 6" @ S=0.0389'
P-F	3.00 L.F. - 6" @ S=0.0100'
P-G	11.85 L.F. - 6" @ S=0.0100'
P-H	127.70 L.F. - 6" @ S=0.0100'

### WATERMAIN HYDRANTS/VALVES/FITTINGS

PROP HYD #1	HYD 7'-6" BURY DEPTH GRADE AT HYD EL. 781.67 6' I.E. 773.44
B 6"x45"	6' I.E. 773.38
T 6"x6"	6' I.E. 772.48
G.V. 6"	6' I.E. 772.50
PROP HYD #2	HYD 7'-0" BURY DEPTH GRADE AT HYD EL. 781.33 6' I.E. 774.50
G.V. 6"	6' I.E. 777.55
CONNECT TO EX WATER MAIN	12"x6" 6' I.E. 777.72

### W. RAWSON AVENUE (CTH BB)

BUILDING SERVICE	6" I.E. 774.80
B 6"x45"	6" I.E. 774.76
B 6"x45"	6" I.E. 774.71
B 6"x45"	6" I.E. 774.71
VERT. GRD. BRK	6" I.E. 773.33
C.V. 6"	6" I.E. 775.48
CONNECT TO EXIST 12" WM	1' 12"x6" (ROTATE TEE EAST) 6" I.E. 775.60
CONNECT TO EXIST 6" G.V.	6" I.E. 777.40
B 6"x45"	6" I.E. 777.40
B 6"x45"	6" I.E. 777.40
B 6"x45"	6" I.E. 777.40
PROP HYD #3	HYD 5'-6" BURY DEPTH GRADE AT HYD EL. 782.60 6" I.E. 777.40

### WATERMAIN PIPES

P-0	12.00 L.F. - 6" @ S=0.0050'
P-1	108.72 L.F. - 6" @ S=0.0050'
P-2	1.57 L.F. - 6" @ S=0.0115'
P-3	185.55 L.F. - 6" @ S=0.0108'
P-4	117.24 L.F. - 6" @ S=0.0432'
P-5	4.00 L.F. - 6" @ S=0.0433'
P-7	5.08 L.F. - 6" @ S=0.0076'
P-8	7.07 L.F. - 6" @ S=0.0076'
P-9	180.73 L.F. - 6" @ S=0.0076'
P-10	68.92 L.F. - 6" @ S=0.0311'
P-11	3.99 L.F. - 6" @ S=0.0311'
P-12	6.23 L.F. - 6" AWWA C900, CLASS 200, DR-14 @ S=0.0000'
P-13	5.98 L.F. - 6" AWWA C900, CLASS 200, DR-14 @ S=0.0000'
P-14	0.85 L.F. - 6" AWWA C900, CLASS 200, DR-14 @ S=0.0000'

### UTILITY NOTES

- CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
- BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR SHALL STUB LATERAL TO 5 FEET OUTSIDE BUILDING. SEE INTERIOR PLUMBING PLANS FOR CONTINUATION OF PIPING INTO BUILDING BY BUILDING PLUMBING CONTRACTOR IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION.
- CONTRACTOR SHALL CENTER ONE FULL LENGTH OF WATER PIPE ON SEWER AT WATER MAIN CROSSINGS, THAT BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
- SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35 UNLESS INDICATED OTHERWISE.
- WATER MAIN SHALL BE AWWA C900, CLASS 150, DR-18 PVC UNLESS INDICATED OTHERWISE.
- ALL SANITARY PRECAST MANHOLES SHALL CONFORM TO ASTM C-478 AND SHALL BE A MINIMUM OF 48-INCH DIAMETER WITH ECCENTRIC CONE TYPE PRECAST TOPS AND SHALL BE FITTED WITH AN EXTERNAL SEAL. FLAT TOP SLABS SHALL BE USED ONLY WITH APPROVAL OF THE VILLAGE ENGINEER.
- PROVIDE 20' OF DRAIN TILE AT ALL PROPOSED CATCH BASINS, IN EACH UPSTREAM DIRECTION.
- BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
- RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
- PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
- CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
- STORM SEWER MAY BE PVC OR HDPE OR OTHERWISE NOTED AS RCP.
- CONTRACTOR TO VERIFY ELEVATION OF EXISTING 6" G.V. AND NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO INSTALLATION OF WATER MAIN AND HYDRANT. MEGALUG JOINT RESTRAINT AND INSULATION REQUIRED OVER ENTIRE LENGTH OF HYDRANT LEAD. INSTALL TEMPORARY 6" PLUG W/2" A.V. DO NOT REMOVE PLUG AND A.V. UNTIL A PRESSURE TEST IS COMPLETE AND A SAFE WATER SAMPLE IS OBTAINED. REMOVE/SALVAGE 6" PLUG, 2" A.V.
- LIVE CONNECTION TO EX 12" WATER MAIN 12"x6" TAPPING SLEEVE AND 6" TAPPING VALVE. PROVIDE JOINT RESTRAINT ON 12" WATER MAIN, EITHER SIDE TEMP. 6" PLUG WITH 2" A.V. DO NOT REMOVE PLUG AND A.V. UNTIL A PRESSURE TEST IS COMPLETE AND A SAFE WATER SAMPLE IS OBTAINED. REMOVE/SALVAGE 6" PLUG, 2" A.V.
- CONNECT TO EXIST 8" SANITARY SEWER WITH RISER AND WYE CONNECTION.

### GENERAL NOTES

- SEE SHEET C100 FOR GENERAL NOTES



**LANDSCAPE REQUIREMENTS:**

- SCREENING FOR PARKING AREAS ADJACENT TO PUBLIC RIGHT-OF-WAYS SHALL PROVIDE PLANTINGS WITH AN AVERAGE HEIGHT OF THREE FEET**
- PARKING LOT SCREENING REQUIREMENTS**
- 1 SCREENING FOR PARKING AREAS ADJACENT TO PUBLIC RIGHT-OF-WAYS SHALL PROVIDE PLANTINGS WITH AN AVERAGE HEIGHT OF THREE FEET
  - 2 PARKING LOT SCREENING REQUIRES ONE ORNAMENTAL DECIDUOUS TREE FOR EVERY 35 LINEAR FEET OF PUBLIC STREET FRONTAGE
    - 11 TREES REQUIRED ALONG SOUTH 27TH STREET / 11 PROVIDED
    - 18 TREES REQUIRED ALONG WEST RAWSON AVENUE / 18 PROVIDED

- LANDSCAPE AREA REQUIREMENTS**
- 1 AT LEAST 25% OF THE TOTAL GREEN SPACE AREA SHALL BE LANDSCAPED UTILIZING PLANT MATERIALS, OTHER THAN MAINTAINED TURF, THAT CONTRIBUTE TO GROUND COVERAGE.
  - TOTAL GREEN SPACE AREA: 158,114.7 SF
  - AREA OF COVERAGE OTHER THAN MAINTAINED TURF = 75,940 SF
  - 48% LANDSCAPE AREA PROVIDED (UTILIZING PLANT MATERIALS OTHER THAN MAINTAINED TURF)

- PLANT MATERIAL REQUIREMENTS**
- 11 PLANT DIVERSITY REQUIREMENT: PLANT MATERIAL SHALL CONTAIN A MINIMUM OF 24% AND MAXIMUM OF 75% EVERGREEN PLANTINGS LANDSCAPE PLAN PROVIDES 39% EVERGREEN PLANTINGS

- LANDSCAPE AREA AND PLANTING REQUIREMENTS**
- PARKING AREAS GREATER THAN 50,000 SF REQUIRE MIN 10% INTERIOR LANDSCAPE AREAS
  - PARKING LOT PAVEMENT = 164,254.9 SF
  - INTERIOR PARKING LOT LANDSCAPE AREA = 17,793.1 SF (10.83%)
  - 2 ONE SHADE TREE IS REQUIRED FOR EVERY 300 SF OF INTERIOR LANDSCAPING
  - INTERIOR PARKING LOT LANDSCAPE AREA = 17,793.1 SF.
  - 59 SHADE TREES REQUIRED / 59 TREES PROVIDED

- LANDSCAPE PERIMETER REQUIREMENTS**
- 1 ONE TREE AND 5 SHRUBS TO BE PROVIDED FOR EVERY 35 LINEAR FEET OF PERIMETER PARKING MINIMUM 5' WIDTH
  - NORTH PERIMETER: 12 TREES & 60 SHRUBS REQUIRED / 16 TREES & 107 SHRUBS PROVIDED
  - NOTE: AT THE REQUEST OF THE PLAN COMMISSION, AN ADDITIONAL ROW OF EVERGREEN PLANTINGS HAS BEEN PROVIDED AS A LANDSCAPE BUFFER ALONG THE ADJACENT RESIDENTIAL DEVELOPMENT
  - SOUTH PERIMETER: 11 TREES & 55 SHRUBS REQUIRED / 11 TREES & 71 SHRUBS PROVIDED
  - EAST PERIMETER: 9 TREES & 45 SHRUBS REQUIRED / 10 TREES & 55 SHRUBS PROVIDED
  - WEST PERIMETER: 11 TREES & 55 SHRUBS REQUIRED / 11 TREES PROVIDED TO MEET CODE DRY-STACKED STONE PLANTER WALL AND PLANTINGS (BY OWNER) TO BE PROVIDED IN LIEU OF REQUIRED SHRUBS AS AGREED UPON BY CITY STAFF

**LANDSCAPING NOTES:**

- 1 PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, ABBREVIATIONS, BOTANICAL/Common NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS
- 2 PLANT MATERIALS ARE TO BE FURNISHED FREE OF PESTS OR PLANT DISEASES. PLANTS ARE SUBJECT TO OWNER'S ACCEPTANCE PRIOR TO INSTALLATION
- 3 PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3' DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH
- 4 FORM 72-INCH, OR AS OTHERWISE INDICATED, WATERING BASIN AROUND ALL TREES NOT INSTALLED IN PAVED AREAS
- 5 MAINTAIN 72-INCH DIAMETER MINIMUM CLEAR SOIL AREA AROUND TREES IN MANICURED TURF AREAS. MULCH TREE RING WITH SPECIFIED DEPTH OF HARDWOOD BARK MULCH. SEE PLANTING DETAILS
- 6 UNLESS OTHERWISE INDICATED, PLACE SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES IN STRAIGHT ROWS, EQUALLY SPACED
- 15 PLANTING AREAS, INCLUDING PREPARED BEDS, SHALL RECEIVE AMENDED PLANTING SOIL
- 16 SEPARATE PLANTING BEDS FROM ADJACENT TURF AREAS WITH ALUMINUM EDGING
- 19 PLANT MATERIAL SOURCE REQUIREMENT: ALL B&B STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 60 MILES OF OAK CREEK TO THE NORTH OR WEST OR, 60 MILES TO THE SOUTH, IN A ZONE COMPATIBLE WITH USDA HARDNESS ZONE 5B. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS THE LANDSCAPE CONTRACTOR CAN DEMONSTRATE THE PLANTS ARE NOT AVAILABLE FROM NURSERY SOURCES LOCATED WITHIN THESE SPECIFIED DISTANCES FROM THE PROJECT SITE. ANY PROPOSED PLANT SUBSTITUTION WILL REQUIRE PRIOR REVIEW AND WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT
- 20 PROVIDE TREE STAKING FOR ALL SHADE TREES
- 21 MAINTAIN 30" CLEAR BARK MULCH AREA ALONG ALL PARKING LOT PERIMETER AREAS

LANDSCAPE REQUIREMENT CALCULATIONS ARE BASED OFF OF FULL BUILD-OUT WHICH INCLUDES THE FUTURE PARKING LOT AREA LOCATED TO THE SOUTH OF THE SITE.

**PERMANENT SEASONAL ANNUAL PLANTINGS BY OWNER**

- PETUNIA
- CHOLEUS
- FALL MUMS
- SNAPDRAGONS
- PANSIES
- ORNAMENTAL GRASSES
- SHRUBS: HYDRANGEA, BURNING BUSH, & CLOVE GARDEN

**PROVIDE SHOP DRAWINGS**

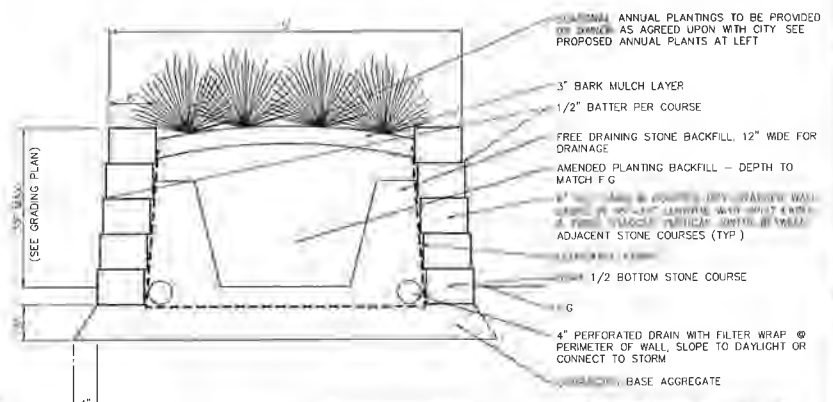
1. INDICATE LENGTH AND DIMENSIONS OF ALL STONE WALL INCLUDING AT LEAST ONE CROSS SECTION VIEW SHOWING ALL PIECES OF THE WALL SYSTEM INCLUDING COMPACTED BASE AGGREGATE AND PERFORATED DRAIN.

2. SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

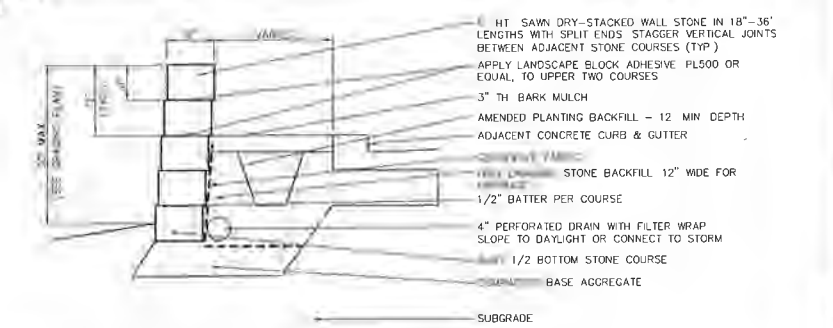
**Wisconsin Department of Transportation Highway Seed Mix #10**

SPECIES	PURITY (minimum %)	GERMINATION (minimum %)	SEED (LBS PER 1000 SEEDS)
Kentucky Bluegrass	98	85	40
Red Fescue	97	85	25
Ryegrass	92	85	5
Perennial Ryegrass	97	90	20
White Clover	95	90	10

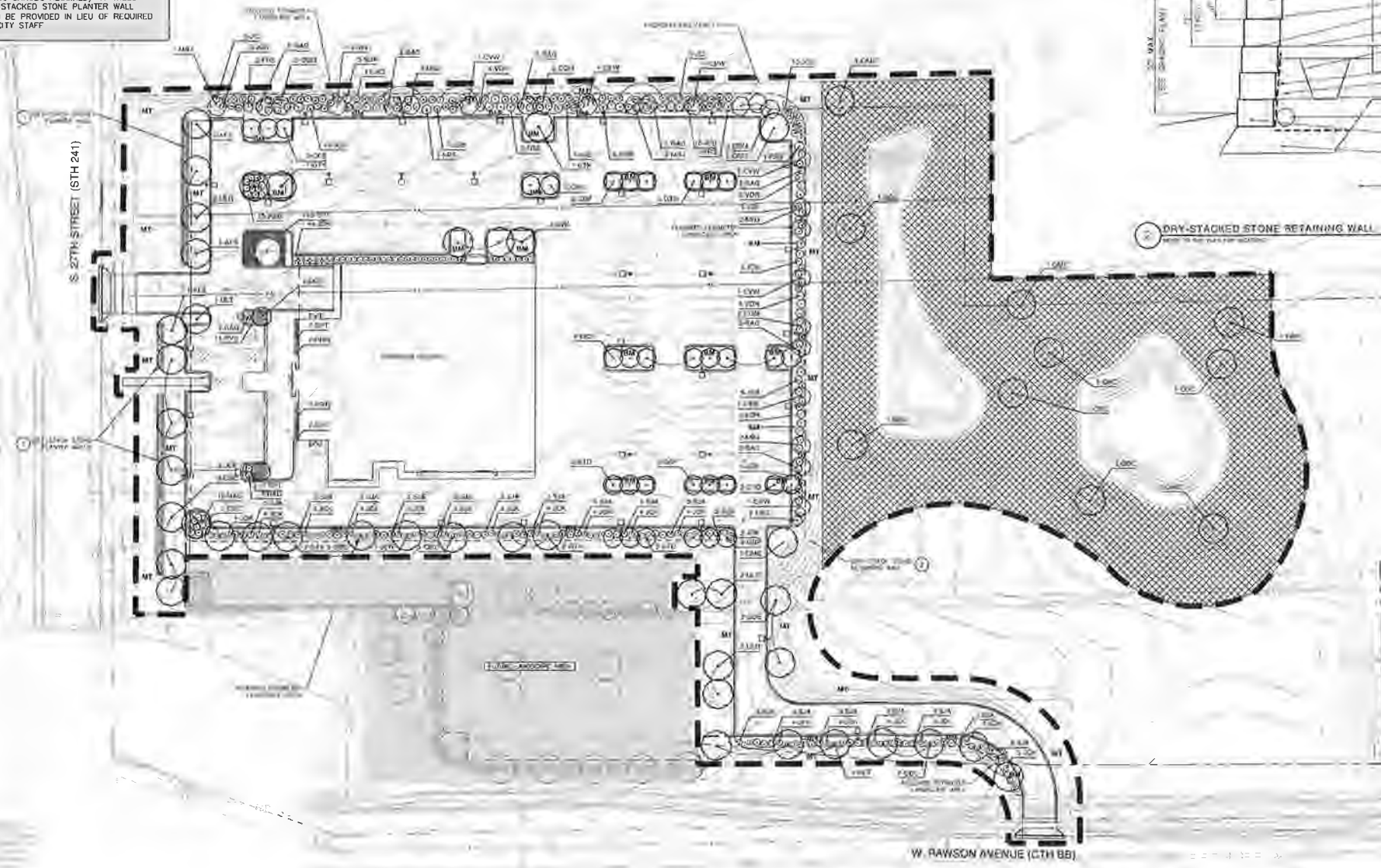
Note: See within specifications for seeding rate  
See current edition of Wisconsin Department of Transportation Standard Specifications for Highway and Structure Construction for further planting detail



**1 DRY-STACKED STONE PLANTER WALL**  
SEE SPECIFICATIONS FOR CONSTRUCTION

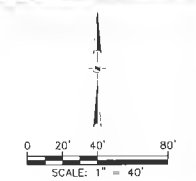


**2 DRY-STACKED STONE RETAINING WALL**  
SEE SPECIFICATIONS FOR CONSTRUCTION



**LANDSCAPE LEGEND**

- LIMIT OF LANDSCAPE CONSTRUCTION
- - - - PROPOSED ALUMINUM EDGER
- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIALS
- MT MANICURED TURF - SEED
- BM SHREDDED BARK MULCH
- SEASONAL ANNUAL PLANTINGS
- WISDOT HIGHWAY SEED MIX #10 AT GREEN SPACE AREA AND STORMWATER PONDS TO BE MAINTAINED ALONG WITH MANICURED TURF AREAS



One Honey Creek Corporate Center  
125 South 84th Street, Suite 401  
Milwaukee, WI 53214-1469  
414 / 259 1500  
414 / 259 0037 fax

www.graef-usa.com

CONSULTANTS:

PROJECT TITLE:

OAK CREEK BUICK GMC

OAK CREEK, WISCONSIN

ISSUE:

NO DATE REVISIONS BY

FOR CONSTRUCTION  
CITY SUBMITTAL



PROJECT INFORMATION:

PROJECT NUMBER: 20160053 00  
DATE: 10/30/2018  
DRAWN BY: MAC  
CHECKED BY: JPH  
APPROVED BY: JPH  
SCALE: AS NOTED

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

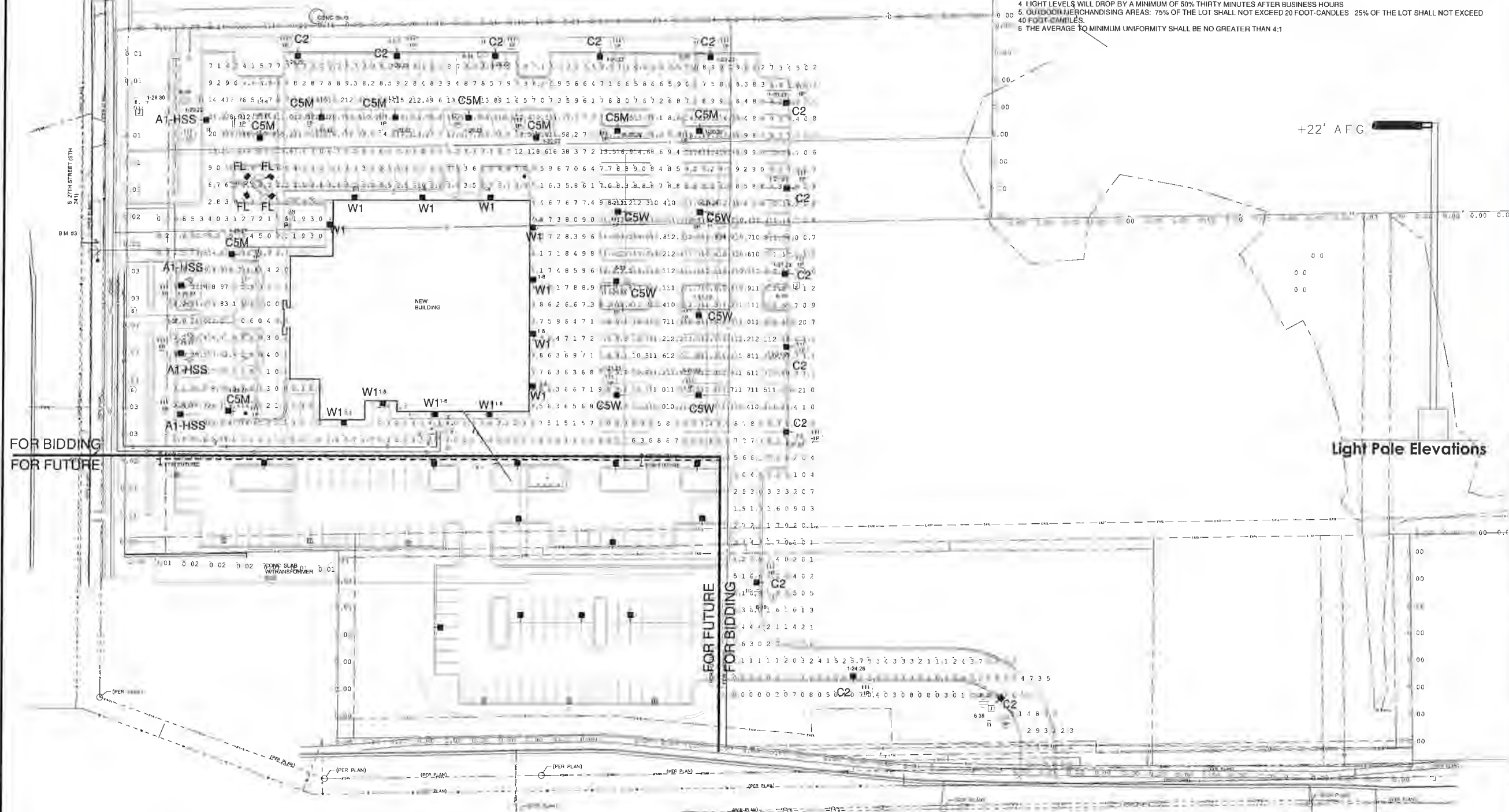
**L100**





**SITE LIGHTING CODE COMPLIANCE WITH CHAPTER 17-101 PERFORMANCE STANDARDS:**

1. PROPERTY LINE FOOT-CANDLE VALUES ARE HORIZONTAL AND CALCULATED 4' A F G
2. LIGHT SOURCES ARE FULL CUT-OFF AND SHIELDED AT PERIMETER POLE LOCATIONS
3. SOLID STATE L.E.D. LIGHT EMITTING DIODE TECHNOLOGY IS USED.
4. LIGHT LEVELS WILL DROP BY A MINIMUM OF 50% THIRTY MINUTES AFTER BUSINESS HOURS
5. OUTDOOR MERCHANDISING AREAS: 75% OF THE LOT SHALL NOT EXCEED 20 FOOT-CANDELS 25% OF THE LOT SHALL NOT EXCEED 40 FOOT-CANDELS.
6. THE AVERAGE TO MINIMUM UNIFORMITY SHALL BE NO GREATER THAN 4:1



**RECEIVED**  
CITY OF OAK CREEK  
COMMUNITY DEVELOPMENT

FOR BIDDING  
FOR FUTURE

FOR FUTURE  
FOR BIDDING

Light Pole Elevations

REVISIONS

#1	01/21/2018	REVISED SITE PLAN
#2	05/07/2018	REVISED SITE PLAN
#3	06/21/2017	REVISED SITE PLAN
#4	07/28/2017	REVISED SITE PLAN
#5	05/21/2018	check

**All-Star Buick GMC**  
Custom Facilities  
70087016 S 27th Street, Oak Creek WI 53154  
SCHEMATIC DRAWINGS  
**SITE LIGHTING PHOTOMETRY PLAN**

**SITE LIGHTING PHOTOMETRY PLAN**  
SCALE: 1"=30'

**SITE LIGHTING NOTES:**

1. FOOT-CANDLE VALUES ARE MAINTAINED AND CALCULATED 3' A F G (PROPERTY LINE VALUES ARE 4' A F G)
2. LIGHT POLES ARE 20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A F G
3. WALL PACKS ARE MOUNTED 20' A F F SEE ELECTRICAL ENGINEER'S LIGHTING PLANS FOR EXACT LOCATIONS
4. PERIMETER LIGHTING TO HAVE BACK/GLARE SHIELDS INSTALLED BY E C

FOR INFORMATION REGARDING THE LIGHTING PACKAGE CONTACT::

Teclight USA  
National Accounts  
Dennis Schoggin  
713-467-0330  
dennisschoggin@teclightusa.com

Item	Qty	Label	Assignment	Unit	Description	Notes
W1	1	W1	WALL PACK	EA	LMW-1C10TH WALL MOUNTED 20' A F F	
C2	1	C2	CANOPY	EA	20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A F G	
C5M	1	C5M	CANOPY	EA	20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A F G	
W1	1	W1	WALL PACK	EA	20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A F G	
C2	1	C2	CANOPY	EA	20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A F G	
C5M	1	C5M	CANOPY	EA	20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A F G	
W1	1	W1	WALL PACK	EA	20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A F G	
C2	1	C2	CANOPY	EA	20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A F G	
C5M	1	C5M	CANOPY	EA	20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A F G	

SCHEMATIC DRAWINGS  
03 30 16

VERSION	JOB NO
3042	01240
DRAWN BY	CHECKED BY
BLC	BW
SHEET NO	
<b>SL1</b>	



TYPE A1-HSS POLE LIGHT

**LSMT SERIES**

**FEATURES & SPECIFICATIONS**

**APPLICATION** - The high lumen output luminaire is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**CONSTRUCTION** - The heavy duty housing is constructed of cast aluminum and is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**ORDERING INFORMATION**

Model: LSMTCT2HW1-02

7 PIN TWIST LOCK W/ SHORTING CAP

TYPE A2-HSS POLE LIGHT

**LSMT SERIES**

**FEATURES & SPECIFICATIONS**

**APPLICATION** - The high lumen output luminaire is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**CONSTRUCTION** - The heavy duty housing is constructed of cast aluminum and is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**ORDERING INFORMATION**

Model: LSMTCT2HW1-02

7 PIN TWIST LOCK W/ SHORTING CAP

TYPE C2 POLE LIGHT

**LSMT SERIES**

**FEATURES & SPECIFICATIONS**

**APPLICATION** - The high lumen output luminaire is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**CONSTRUCTION** - The heavy duty housing is constructed of cast aluminum and is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**ORDERING INFORMATION**

Model: LSMTCT2HW1-02

7 PIN TWIST LOCK W/ SHORTING CAP

TYPE C5W POLE LIGHT

**LSMT SERIES**

**FEATURES & SPECIFICATIONS**

**APPLICATION** - The high lumen output luminaire is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**CONSTRUCTION** - The heavy duty housing is constructed of cast aluminum and is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**ORDERING INFORMATION**

Model: LSMTCT2HW1-02

7 PIN TWIST LOCK W/ SHORTING CAP

TYPE C5M POLE LIGHT

**LSMT SERIES**

**FEATURES & SPECIFICATIONS**

**APPLICATION** - The high lumen output luminaire is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**CONSTRUCTION** - The heavy duty housing is constructed of cast aluminum and is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**ORDERING INFORMATION**

Model: LSMTCT2HW1-02

7 PIN TWIST LOCK W/ SHORTING CAP

TYPE A1-HSS, A2-HSS, C2, AND C5W WATTAGE/LUMEN TABLE

**LSMT Similar High Lumen Output Area Light**

**LUMINAIRE CHARACTERISTICS**

Model	Wattage	Lumen	Beam Angle	Height
LSMTCT2HW1-02	100W	10,000	120°	20'
LSMTCT2HW1-02	150W	15,000	120°	20'
LSMTCT2HW1-02	200W	20,000	120°	20'
LSMTCT2HW1-02	300W	30,000	120°	20'
LSMTCT2HW1-02	400W	40,000	120°	20'
LSMTCT2HW1-02	500W	50,000	120°	20'
LSMTCT2HW1-02	600W	60,000	120°	20'
LSMTCT2HW1-02	700W	70,000	120°	20'
LSMTCT2HW1-02	800W	80,000	120°	20'
LSMTCT2HW1-02	900W	90,000	120°	20'
LSMTCT2HW1-02	1000W	100,000	120°	20'

TYPE C2 & C5M WATTAGE/LUMEN TABLE

**LSMT Similar High Lumen Output Area Light**

**LUMINAIRE CHARACTERISTICS**

Model	Wattage	Lumen	Beam Angle	Height
LSMTCT2HW1-02	100W	10,000	120°	20'
LSMTCT2HW1-02	150W	15,000	120°	20'
LSMTCT2HW1-02	200W	20,000	120°	20'
LSMTCT2HW1-02	300W	30,000	120°	20'
LSMTCT2HW1-02	400W	40,000	120°	20'
LSMTCT2HW1-02	500W	50,000	120°	20'
LSMTCT2HW1-02	600W	60,000	120°	20'
LSMTCT2HW1-02	700W	70,000	120°	20'
LSMTCT2HW1-02	800W	80,000	120°	20'
LSMTCT2HW1-02	900W	90,000	120°	20'
LSMTCT2HW1-02	1000W	100,000	120°	20'

TYPE W1 - WALL MOUNTED LIGHT

**LHMWP SERIES**

**FEATURES & SPECIFICATIONS**

**APPLICATION** - The high lumen output luminaire is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**CONSTRUCTION** - The heavy duty housing is constructed of cast aluminum and is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**ORDERING INFORMATION**

Model: LHMWP1CT2HW1-02

7 PIN TWIST LOCK W/ SHORTING CAP

TYPE FL - GROUND MOUNTED FLOOD LIGHT

**LLRF SERIES**

**FEATURES & SPECIFICATIONS**

**APPLICATION** - The high lumen output luminaire is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

**CONSTRUCTION** - The heavy duty housing is constructed of cast aluminum and is designed to be a replacement for 100 Watt up to 1000W in a variety of lighting applications where high lumen output and compact size are required. The luminaire is designed for use in a variety of lighting applications where high lumen output and compact size are required.

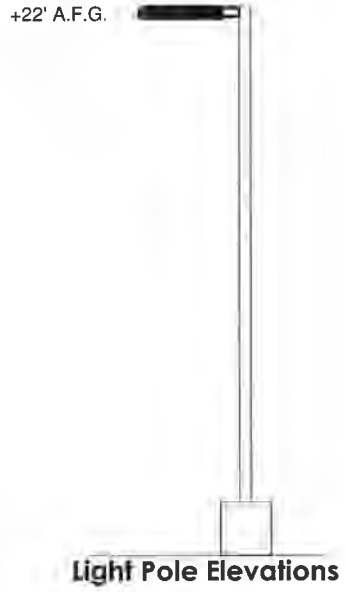
**ORDERING INFORMATION**

Model: LLRF1CT2HW1-02

7 PIN TWIST LOCK W/ SHORTING CAP

- SITE LIGHTING NOTES:**
- FOOTCANDLE VALUES ARE MAINTAINED AND CALCULATED 3' A.F.G. (PROPERTY LINE VALUES ARE 4' A.F.G.)
  - LIGHT POLES ARE 20' TALL MOUNTED ON 2' BASES, OVERALL HEIGHT IS 24' A.F.G.
  - WALL PACKS ARE MOUNTED 20' A.F.F. SEE ELECTRICAL ENGINEER'S LIGHTING PLANS FOR EXACT LOCATIONS
  - PERIMETER LIGHTING TO HAVE BACK/GLARE SHIELDS INSTALLED BY E.C.

FOR INFORMATION REGARDING THE LIGHTING PACKAGE CONTACT:  
 Techlight USA  
 National Accounts  
 Dennis Schoggin  
 713-467-0330  
 dennischoggin@techlightusa.com



CUSTOM FACILITIES  
 6296 Rucker Rd. Suite C  
 Indianapolis, IN 46220  
 www.customfacilities.com  
 tel: (317) 259-0038  
 fax: (317) 259-4785

RECEIVED  
 FEB 22 2019  
 CITY OF OAK CREEK  
 COMMUNITY DEVELOPMENT

REVISIONS

#1	03/22/2017	REVISED SITE PLAN
#2	06/21/2017	REVISED SITE PLAN
#3	07/29/2017	REVISED SITE PLAN
#4	05/21/2018	check
#5	05/22/2018	Landscape

All-Star Buick GMC  
 Custom Facilities  
 7008/7016 S 27th Street, Oak Creek, WI 53154  
 -SCHEDULED-DRAWING-  
**SITE LIGHTING PHOTOMETRY PLAN**

SCHEMATIC DRAWINGS  
 03.30.16

VERSION	3042	JOB NO	01240
DRAWN BY	BLC	CHECKED BY	BW
SHEET NO. <b>SL2</b>			



## PLAN COMMISSION REPORT

Proposal: Certified Survey Map

Description: Review of a Certified Survey Map request to divide and reconfigure the parcels at 10650 S. Oakview Parkway, and 200 & 280 W. Oakview Parkway.

Applicant(s): Erica-Nicole Harris, Wispark LLC

Address(es): 10650 S. Oakview Parkway, and 200 & 280 W. Oakview Parkway.

**Suggested Motion:** That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by Erica-Nicole Harris, Wispark LLC, for the properties at 10650 S. Oakview Parkway, and 200 & 280 W. Oakview Parkway. be approved with the following condition:

That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Owner(s): Wispark LLC

Tax Key(s): TBD

Lot Size(s): Lot 1 = 6.9267 ac, Lot 2 = 3.9788 ac, Lot 3 = 8.2197 ac

Current Zoning District(s): M-1, Manufacturing

Overlay District(s): PUD

Wetlands:  Yes  No Floodplain:  Yes  No

Comprehensive Plan: Planned Industrial

### Background:

The Applicant is requesting recommendation of approval for a Certified Survey Map (CSM) to divide and reconfigure the properties at 10650 S. Oakview Parkway, and 200 & 280 W. Oakview Parkway into three (3) conforming manufacturing/industrial development lots. Lots 1 and 2 will be created from the larger

parcel (Lot 3 of CSM 9044); and the boundary line for Lot 3 will be moved slightly west (by 40 feet), thus increasing the size of the existing lot by just under one (1) acre. The CSM does not make mention of tree preservation areas as part of the overall PUD, particularly in the vicinity of Mardeand Park; however, the Applicant is aware of this and researching as of writing this report.

**Options/Alternatives:** The Plan Commission may recommend Common Council approval of the proposed CSM with specified conditions, or that the Common Council not approve of the proposed CSM. Disapproval will likely result in the existing condition of the property to remain as two undeveloped industrial lots.

---

Respectfully submitted:



Douglas Seymour, AICP  
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP  
Planner

---

**Attachments:**

Location Map

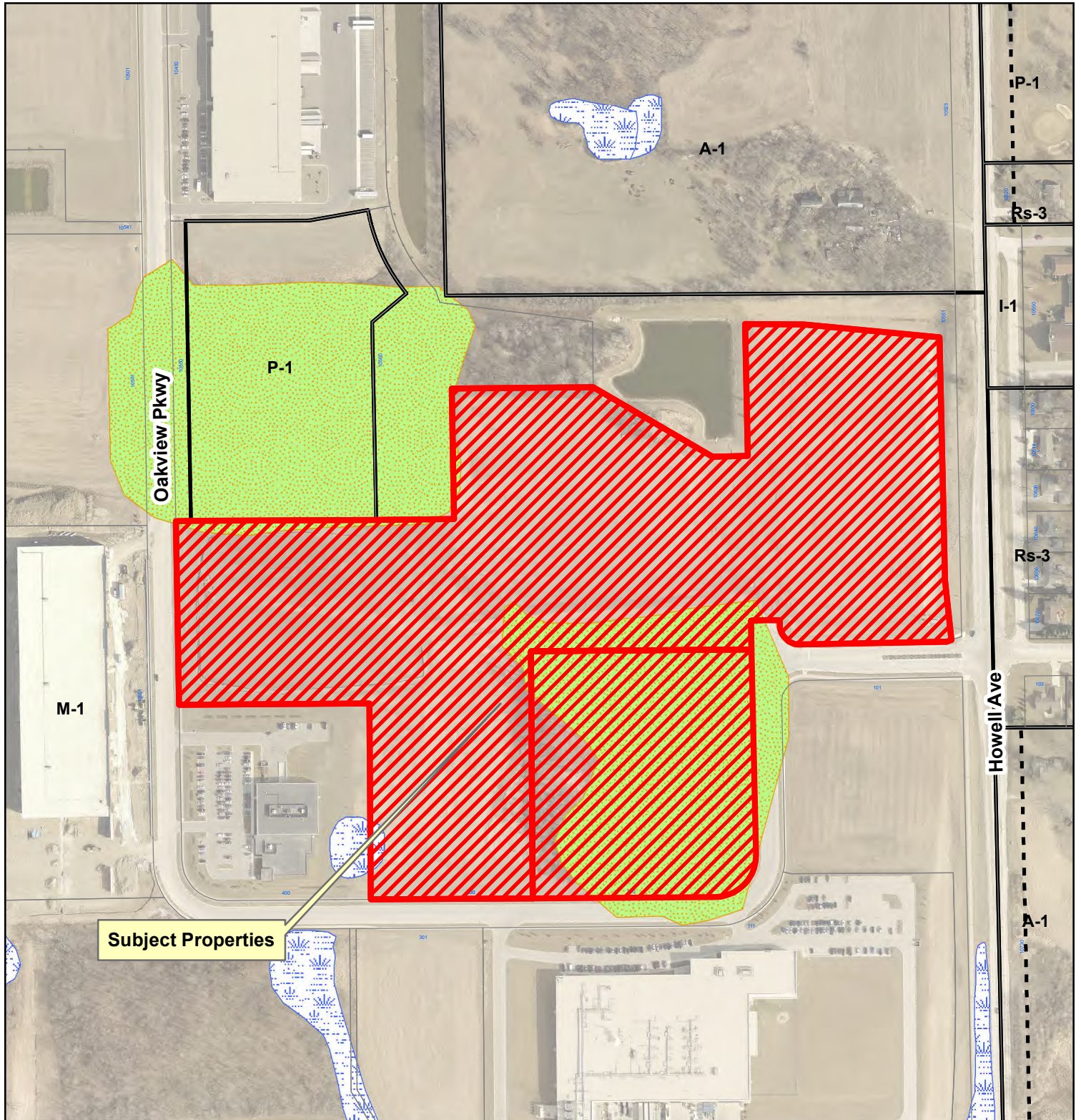
CSM 9044 (for reference)

CSM (5 pages)



# Location Map

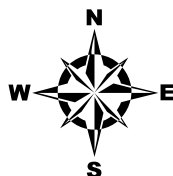
## 280 W. Oakview Parkway



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend	
	280 W. Oakview Parkway
	Officially Mapped Streets
	DNR Wetlands Inventory
	Environmental Corridor

FOR REFERENCE

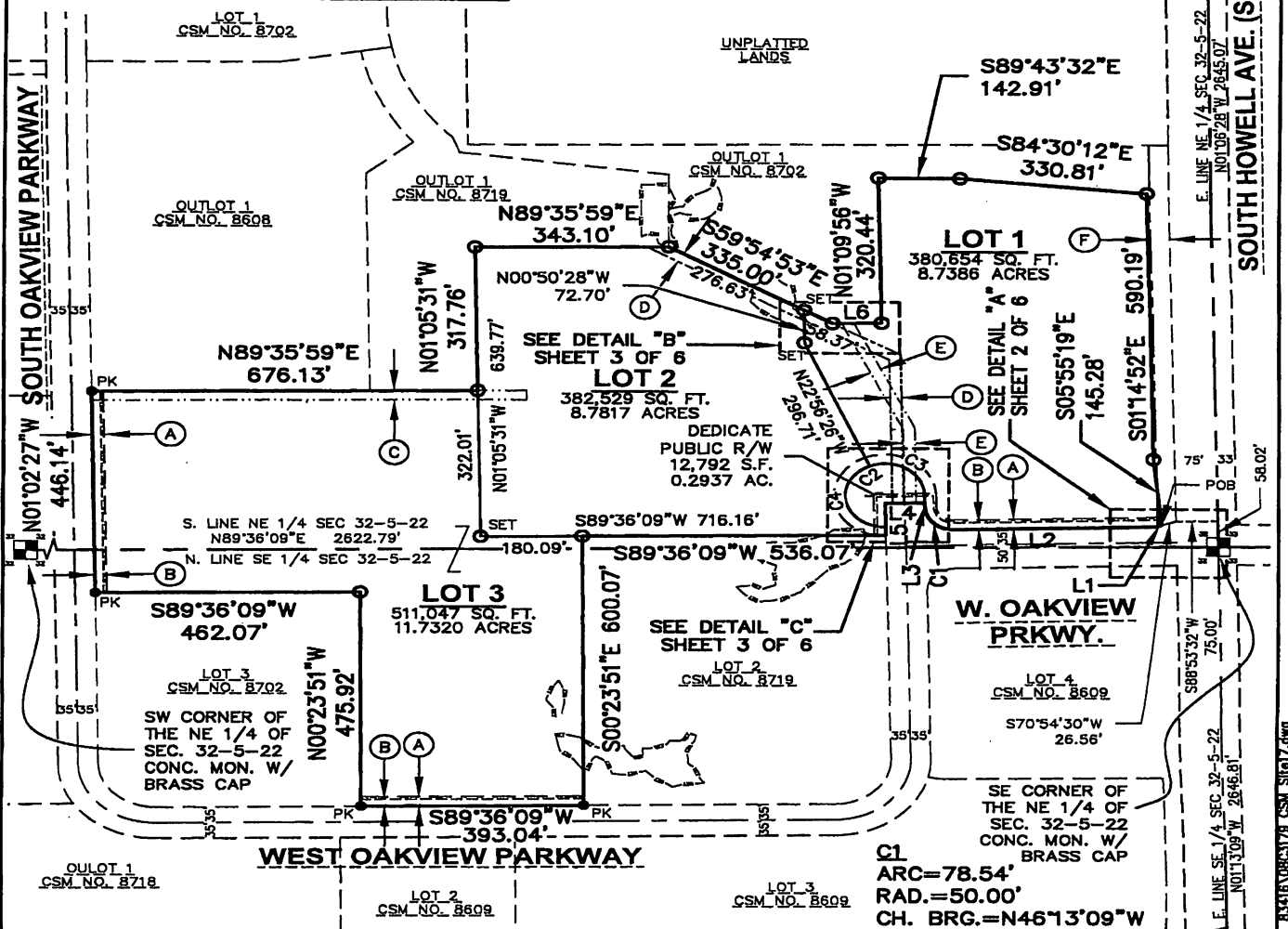
CERTIFIED SURVEY MAP No. 9044

BEING A REDIVISION OF ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8719, LOCATED IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4; AND THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

LINE TABLE		
LINE	BEARING	LENGTH
L1	S70°54'30"W	10.83'
L2	S88°46'51"W	354.51'
L3	N01°13'09"W	10.00'
L4	S88°46'51"W	70.00'
L5	S01°13'09"E	70.22'
L6	N89°09'32"E	86.28'



NE CORNER OF THE NE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP



- (A) 20' WIDE GENERAL UTILITY AND SIDEWALK/PATH EASEMENT PER CSM NO. 8608
- (B) 15' ELECTRIC AND COMMUNICATIONS DISTRIBUTION EASEMENT PER DOC. NO. 10385343
- (C) 20' SANITARY SEWER EASEMENT PER CSM NO. 8608
- (D) 20' WATER MAIN EASEMENT PER CSM NO. 8608
- (E) STORM POND, DRAINAGE AND STORM SEWER EASEMENT PER CSM NO. 8608
- (F) WISDOT ROAD RESERVATION PER CSM NO. 8608

C1  
 ARC=78.54'  
 RAD.=50.00'  
 CH. BRG.=N46°13'09"W  
 CH. L.=70.71'  
 Δ=90°00'00"

SE CORNER OF THE SE 1/4 OF SEC. 32-5-22 CONC. MON. W/ BRASS CAP



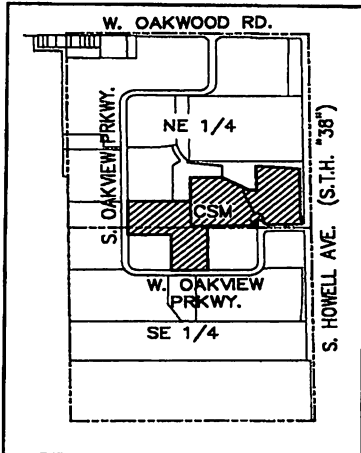
DATED THIS 20th DAY OF MAY, 2018  
 THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738



**FOR REFERENCE**

**CERTIFIED SURVEY MAP No. 9044**

BEING A REDIVISION OF ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8719, LOCATED IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4; AND THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



**VICINITY MAP**

NE 1/4 SEC. 32-5-22  
SE 1/4 SEC. 32-5-22  
SCALE: 1"=2000'

- LEGEND:**
- 1" IRON PIPE FOUND & ACCEPTED
  - 3/4" REBAR FOUND & ACCEPTED
  - PK NAIL ON PAVEMENT FOUND & ACCEPTED
  - 1"x18" IRON PIPE SET WT. 1.13 LBS/LIN. FT.
  - PK NAIL SET ON PAVEMENT
  - WETLAND, SEE NOTE BELOW SEE DETAILS ON SHEET 4 OF 6

**PREPARED FOR:**

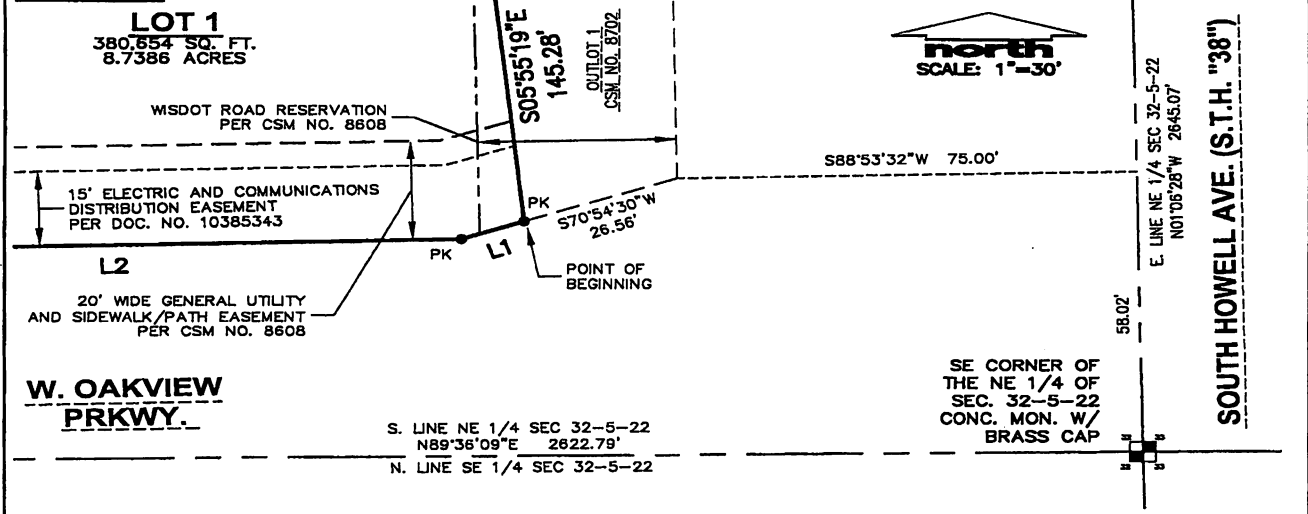
WISPARK LLC  
301 WEST WISCONSIN AVENUE  
SUITE 400  
MILWAUKEE, WI 53203

**PREPARED BY:**

**JSD** Professional Services, Inc.  
Engineers • Surveyors • Planners  
MILWAUKEE REGIONAL OFFICE  
1738 N1510 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53186  
262.513.0686 PHONE | 262.513.1232 FAX

CURVE TABLE						
CURVE	LOT	ARC	RADIUS	CHORD BEARING	CHORD	CENTRAL ANGLE
C2	R/W	329.87'	70.00'	S43°46'51"W	98.99'	270°00'00"
C3	LOT 1	136.49'	70.00'	N57°04'47.5"W	115.87'	111°43'17"
C4	LOT 2	193.37'	70.00'	S12°04'47.5"E	137.49'	158°16'43"

**DETAIL "A"**



**NOTES:**

CERTIFIED SURVEY MAP NO. 8719 RECORDED ON AUGUST 31, 2015 AT MILWAUKEE CO. REGISTER'S OFFICE AS DOC. 1049459D.  
WETLAND LOCATIONS BASED ON WETLAND DELINEATION REPORT DATED DECEMBER 11, 2017 AS PREPARED BY DAVE MEYER, WETLAND & WATERWAY CONSULTING, LLC.  
THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER FEMA MAP PANEL NUMBER 55079C0231E, EFFECTIVE DATE: SEPTEMBER 26, 2008.

**BEARING BASIS:**

ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, WAS USED AS NORTH 01°06'28" WEST.  
PROJECT CONVERSION FACTOR: GRID/0.999994301 = GROUND  
SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.  
ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.  
ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

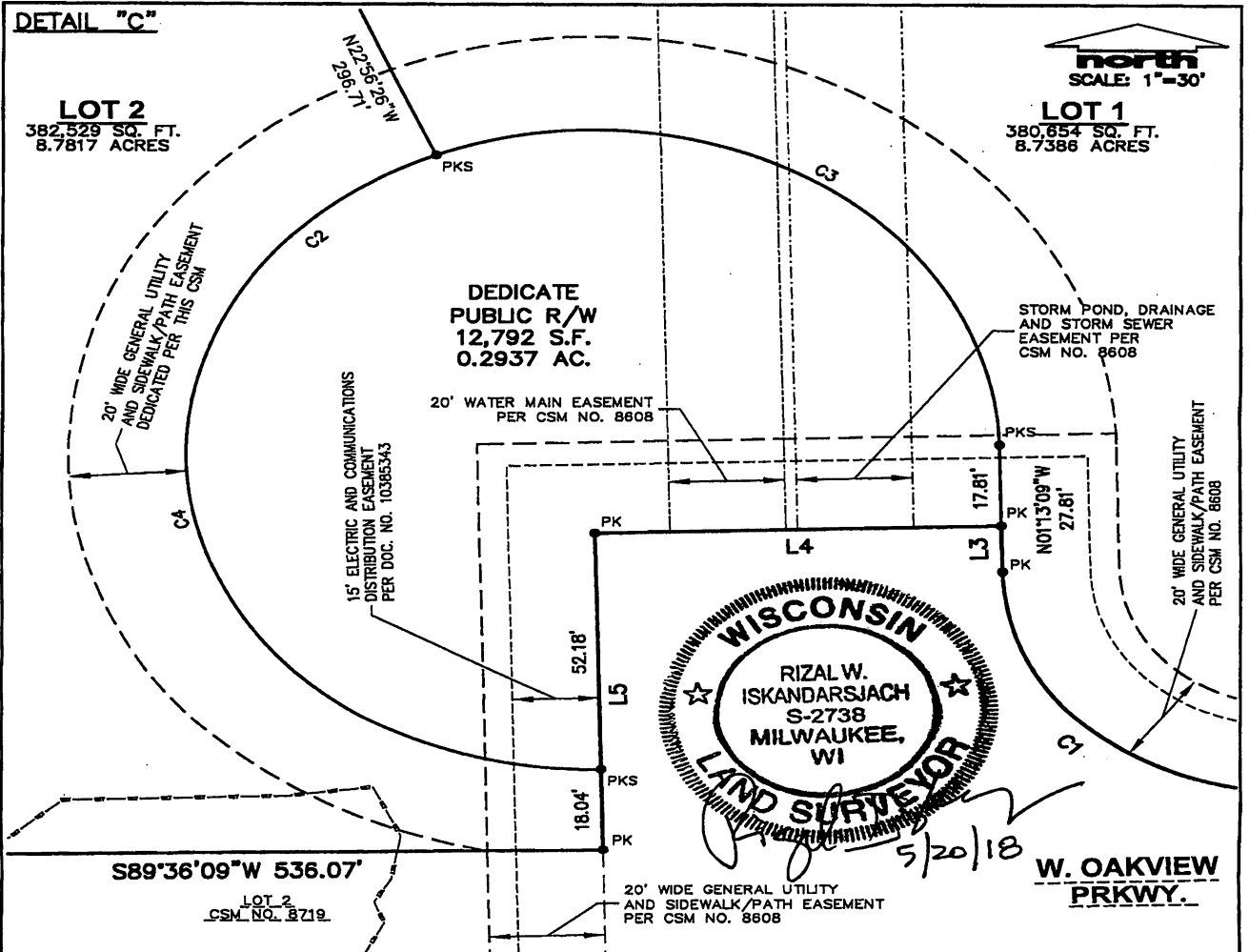
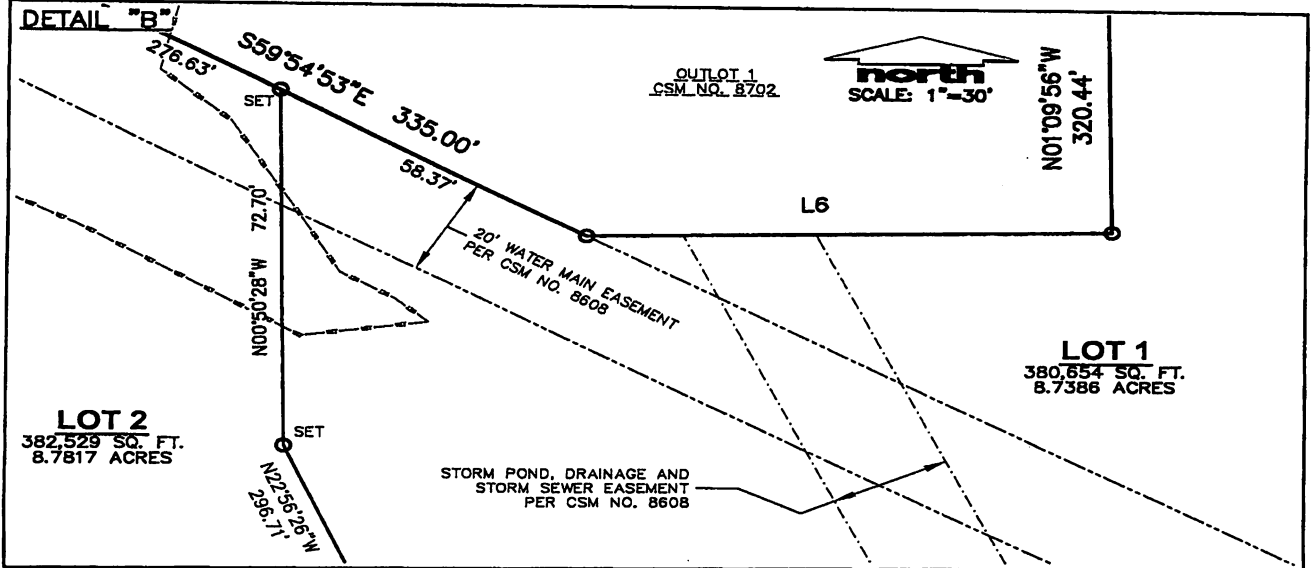
DATED THIS 20th DAY OF MAY, 2018  
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738



FOR REFERENCE

CERTIFIED SURVEY MAP No. 9044

BEING A REDIVISION OF ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8719, LOCATED IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4; AND THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



DATED THIS 20th DAY OF MAY, 2018  
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

SHEET 3 OF 6

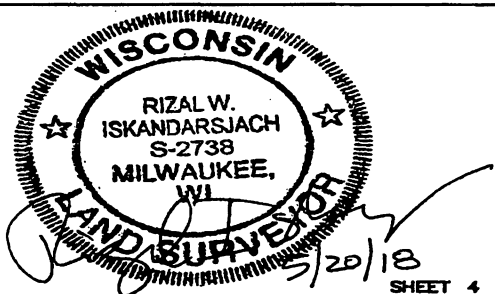
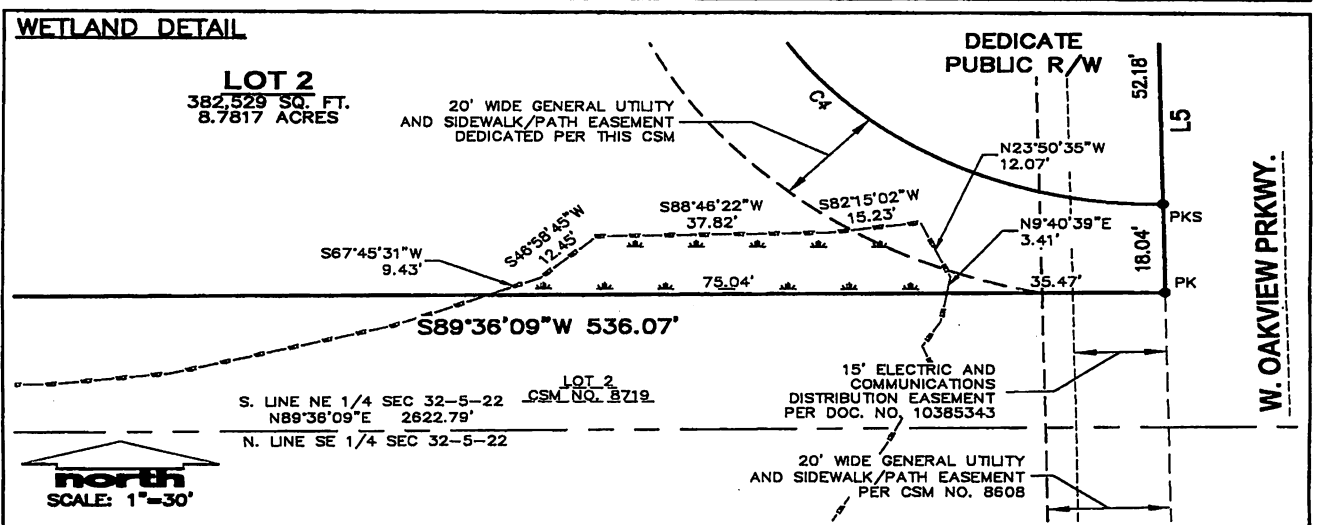
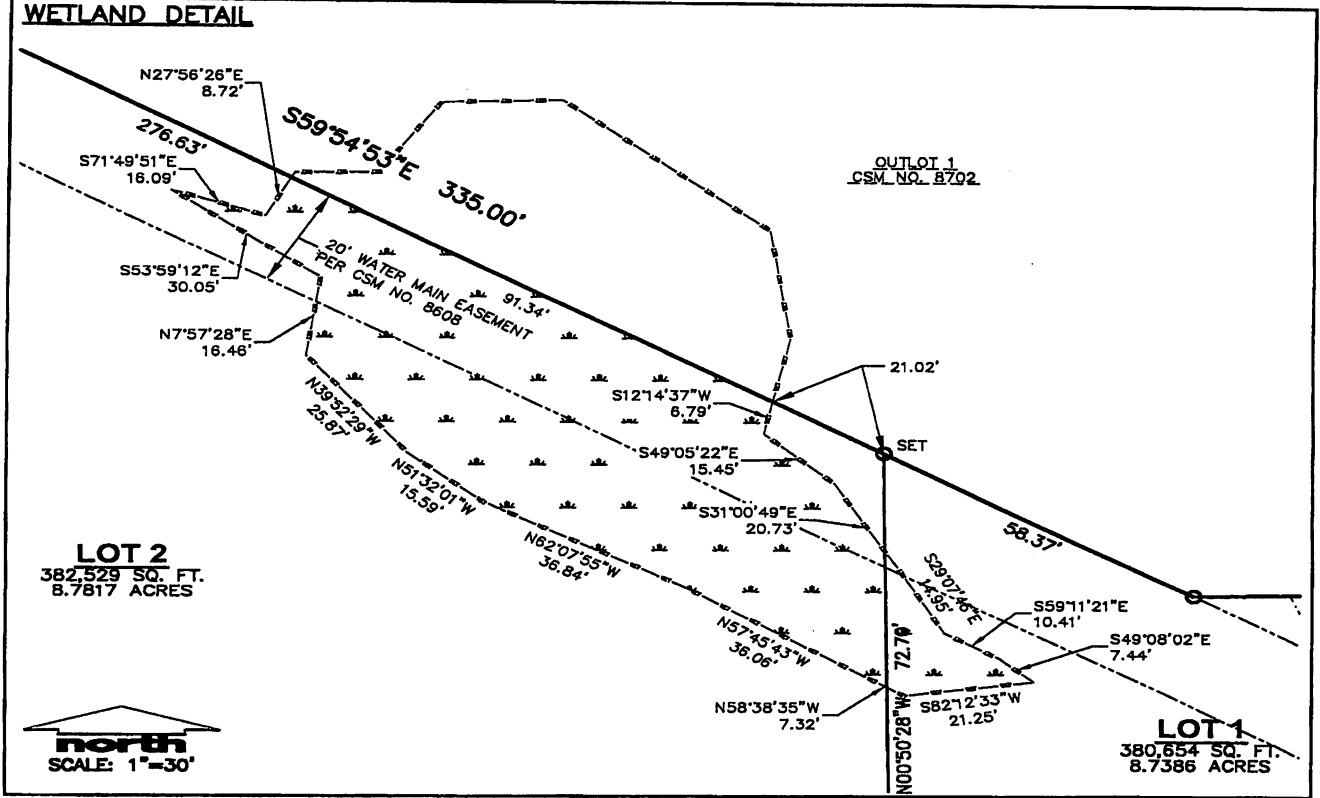
C:\Users\RizalW\Documents\Projects\Oak Creek\9044\904416\904416\_CSM\_S1617.dwg



FOR REFERENCE

CERTIFIED SURVEY MAP No. 9044

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DATED THIS 20th DAY OF MAY, 2018  
 THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

SHEET 4 OF 6

C:\Users\Rizal\Documents\Projects\Local\Temp\AcPublish\3416\08C3179\_CSM\_Site17.dwg





FOR REFERENCE

CERTIFIED SURVEY MAP No. 9044

BEING A REDIVISION OF ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8719, LOCATED IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4; AND THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

OWNERS' CERTIFICATES

WISPARK LLC, a Wisconsin limited liability company, as owner, does hereby certify that said company caused the land described in the foregoing affidavit of Rizal W. Iskandarsjach, to be surveyed, divided and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Section 14.82 of the City of Oak Creek requirements for Certified Survey Maps.

WISPARK LLC

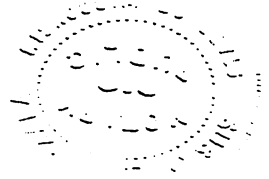
Scott J. Lauber  
Scott J. Lauber, President

May 29, 2018  
Date

State of Wisconsin )  
Milwaukee County ) SS

Personally came before me this 29 day of May, 2018, the above named Scott J. Lauber, the President of the above named company and acknowledged that they executed the foregoing instrument as such officers as the deed of said company, as Manager, by its authority.

Susan L. Warzala (sign)  
Susan L. Warzala (print)  
Notary Public, Milwaukee County, Wisconsin  
My Commission Expires 2/2/2021



PLAN COMMISSION APPROVAL

This Certified Survey Map is hereby approved by the Plan Commission of the City of Oak Creek, on this 24<sup>th</sup> day of April, 2018.

Daniel J. Bukiewicz  
Dan Bukiewicz, Chairman 6/1/18  
Date

Douglas Seymour  
Douglas Seymour, Secretary 6/1/18  
Date

COMMON COUNCIL APPROVAL

This Certified Survey Map is approved and public right-of-way dedication is accepted by the Common Council of the City of Oak Creek, on this 1<sup>st</sup> day of May, 2018 by Resolution Number 11938-050118.

Daniel J. Bukiewicz  
Dan Bukiewicz, Mayor 6/1/18  
Date

Catherine Roeske  
Catherine Roeske, City Clerk 6/1/18  
Date

DOC. # 10786045

RECORDED:  
06/18/2018 08:45 AM  
JOHN LA FAVE  
REGISTER OF DEEDS  
MILWAUKEE COUNTY, WI  
AMOUNT: 30.00



DATED THIS 20<sup>th</sup> DAY OF MAY, 2018  
THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738

SHEET 6 OF 6

C:\Users\Iskandarsjach\AppData\Local\Temp\WCF\public\B34918\Qlccs3179\_CSN\_Site17.dwg

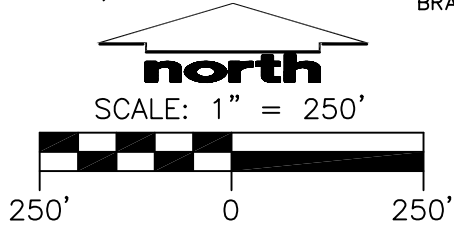
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- (A) 20' WIDE GENERAL UTILITY AND SIDEWALK/PATH EASEMENT PER CSM NO. 8608 (DOC. NO. 10364225)
- (B) 15' ELECTRIC AND COMMUNICATIONS DISTRIBUTION EASEMENT PER DOC. NO. 10385343
- (C) 20' SANITARY SEWER EASEMENT PER CSM NO. 8608 (DOC. NO. 10364225)

**PREPARED FOR:**  
 WISPARK LLC  
 231 W. MICHIGAN ST.  
 P423  
 MILWAUKEE, WI 53203

**PREPARED BY:**  
  
 Engineers • Surveyors • Planners  
 MILWAUKEE REGIONAL OFFICE  
 W238 N1610 BUSSE ROAD, SUITE 100  
 WAUKESHA, WISCONSIN 53188  
 262.513.0666 PHONE | 262.513.1232 FAX

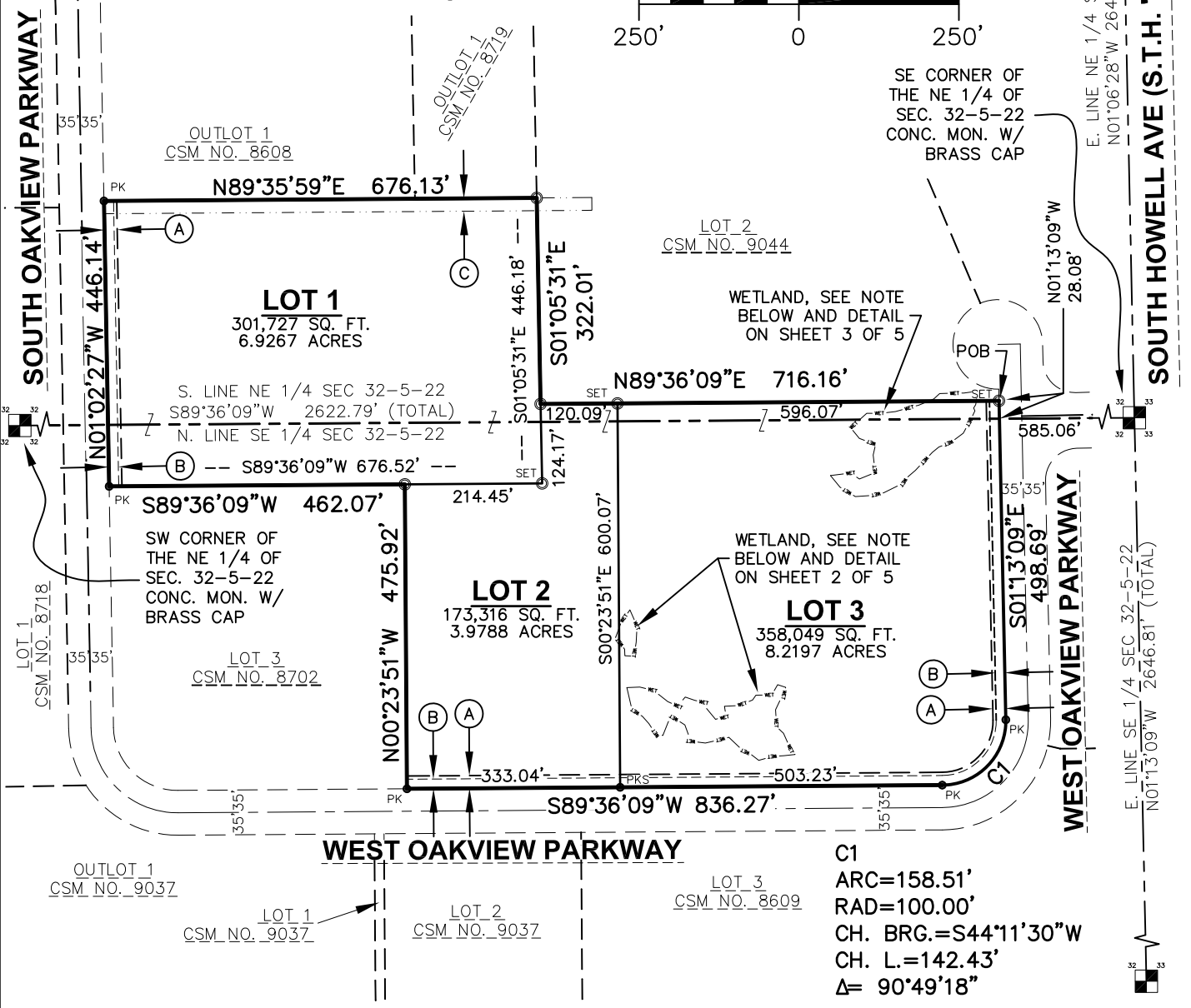


NE CORNER OF  
 THE NE 1/4 OF  
 SEC. 32-5-22  
 CONC. MON. W/  
 BRASS CAP

SE CORNER OF  
 THE NE 1/4 OF  
 SEC. 32-5-22  
 CONC. MON. W/  
 BRASS CAP

E. LINE NE 1/4 SEC 32-5-22  
 N01°06'28"W 2645.07' (TOTAL)

SOUTH HOWELL AVE (S.T.H. "38")



C1  
 ARC=158.51'  
 RAD=100.00'  
 CH. BRG.=S44°11'30"W  
 CH. L.=142.43'  
 Δ= 90°49'18"

SE CORNER OF  
 THE SE 1/4 OF  
 SEC. 32-5-22  
 CONC. MON. W/  
 BRASS CAP

**NOTES:**

CERTIFIED SURVEY MAP NO. 9044 RECORDED ON JUNE 6, 2018 AT MILWAUKEE CO. REGISTER'S OFFICE AS DOC. NO. 10786045.  
 CERTIFIED SURVEY MAP NO. 8719 RECORDED ON AUGUST 31, 2015 AT MILWAUKEE CO. REGISTER'S OFFICE AS DOC. NO. 10494590.  
 CERTIFIED SURVEY MAP NO. 8702 RECORDED ON JUNE 15, 2015 AT MILWAUKEE CO. REGISTER'S OFFICE AS DOC. NO. 10470264.  
 WETLAND LOCATION BASED ON WETLAND DELINEATION REPORT DATED DECEMBER 11, 2017 AS PREPARED BY DAVE MEYER, WETLAND & WATERWAY CONSULTING, LLC.  
 THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER FEMA MAP PANEL NUMBER 55079C0231E, EFFECTIVE DATE: SEPTEMBER 26, 2008.

**BEARING BASIS:**

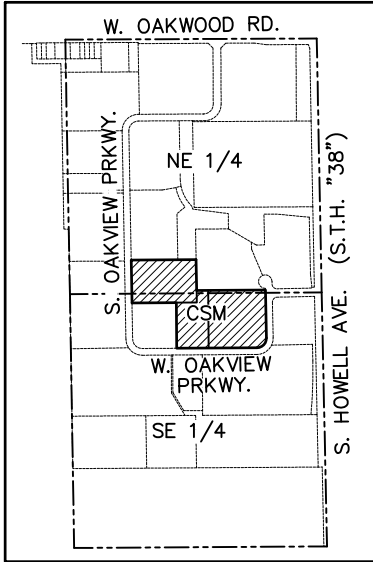
ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, WAS USED AS NORTH 01°06'28" WEST.  
 PROJECT CONVERSION FACTOR: GRID/0.999994301 = GROUND  
 SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.  
 ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.  
 ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

DATED THIS \_\_\_\_ DAY OF MARCH, 2019  
 THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738



**CERTIFIED SURVEY MAP No. \_\_\_\_\_**

BEING A REDIVISION OF ALL OF LOT 3 OF CERTIFIED SURVEY MAP NO. 9044, A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8719; AND ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8719, A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8702; LOCATED IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4; AND THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



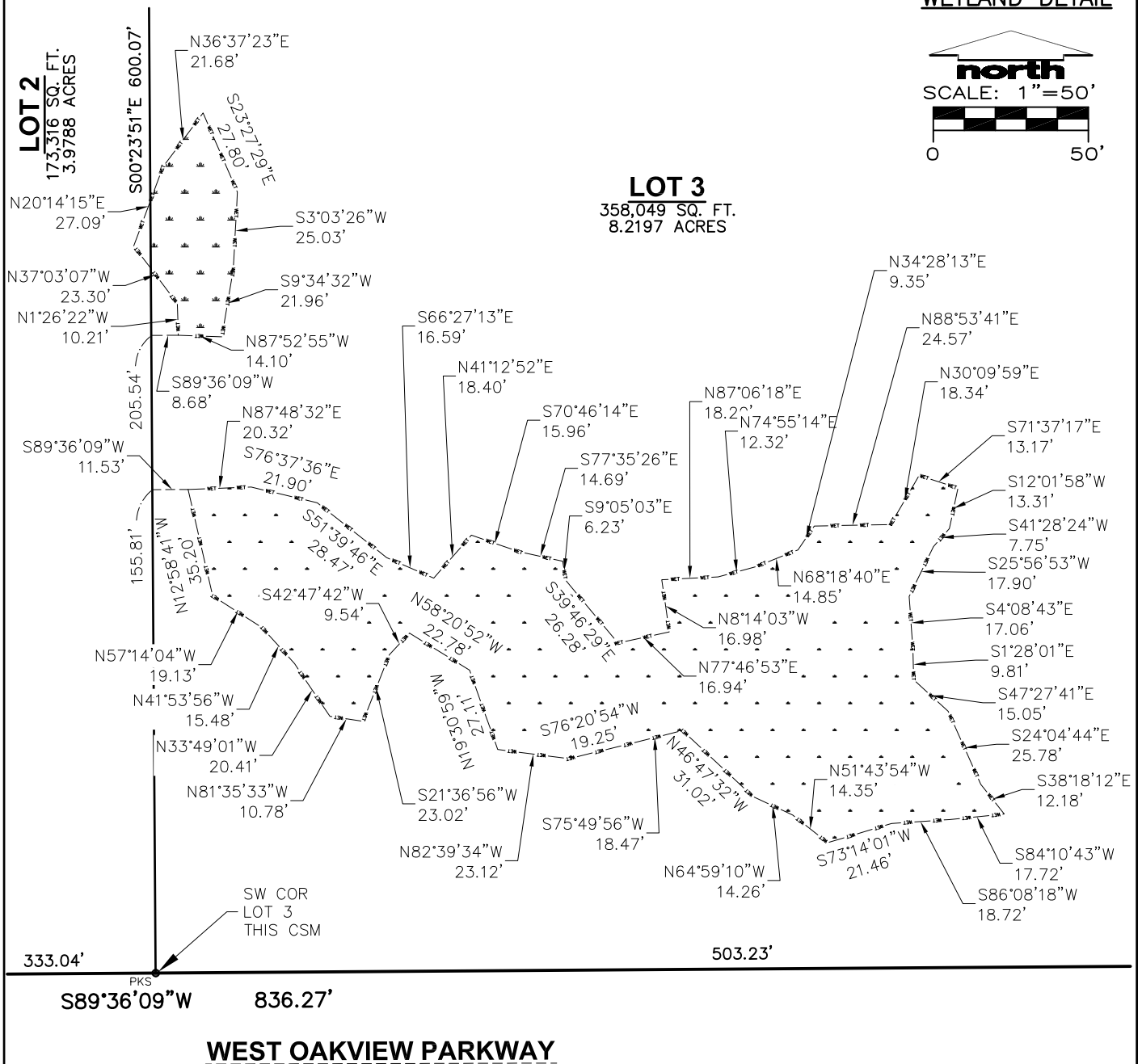
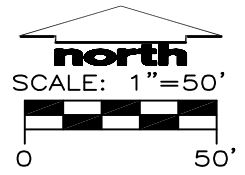
**VICINITY MAP**

NE 1/4 & SE 1/4 SEC. 32-5-22  
SCALE: 1"=2000'

**LEGEND:**

- 1" IRON PIPE FOUND & ACCEPTED
- 3/4" REBAR FOUND & ACCEPTED
- PK ● PK NAIL ON PAVEMENT FOUND & ACCEPTED
- SET ○ 1"X18" IRON PIPE SET WT. 1.13 LBS/LIN. FT.
- PKS ● PK NAIL SET ON PAVEMENT
- DELINEATED WETLAND

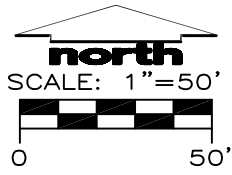
**WETLAND DETAIL**



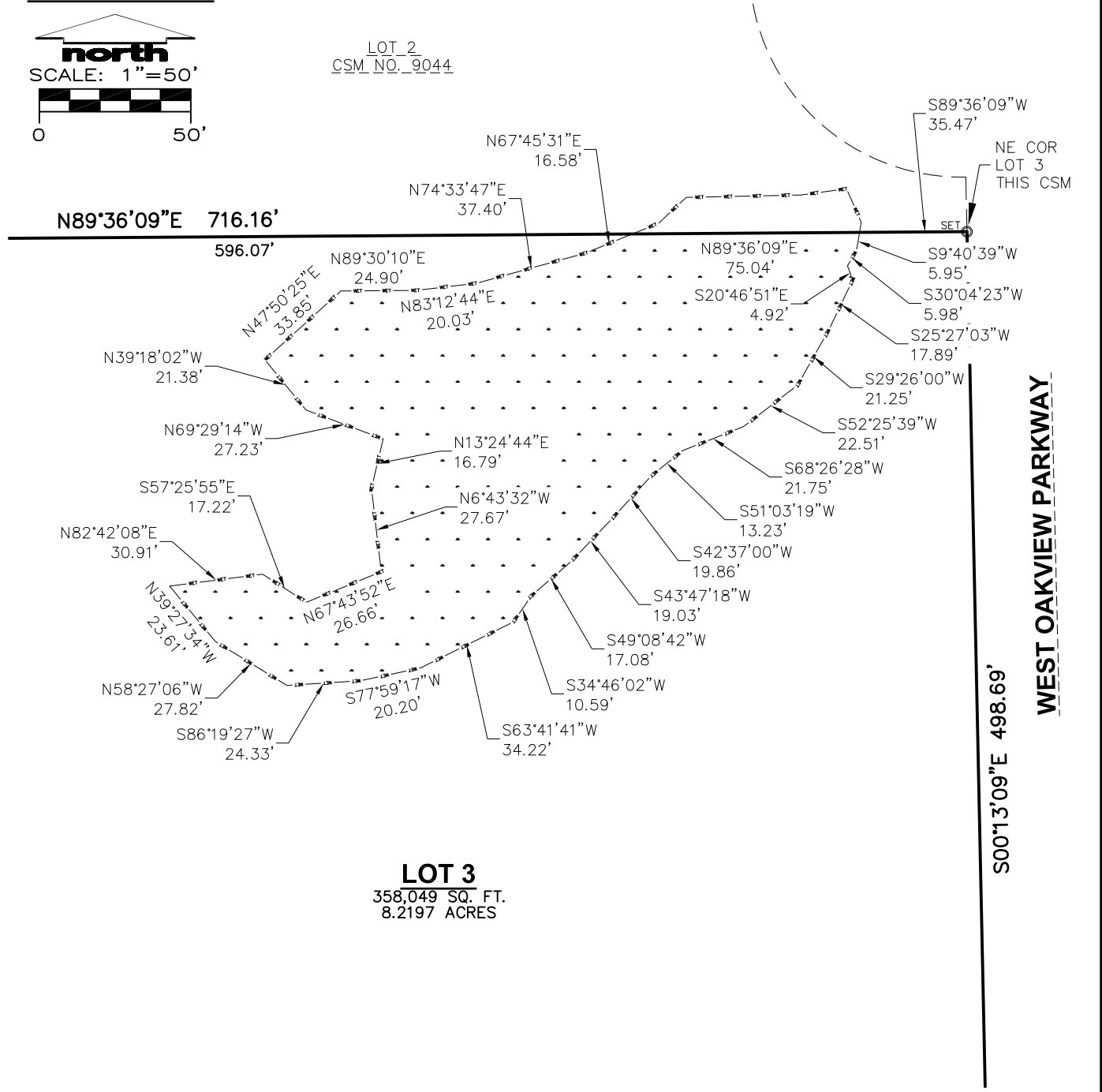
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BEING A REDIVISION OF ALL OF LOT 3 OF CERTIFIED SURVEY MAP NO. 9044, A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8719; AND ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8719, A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8702; LOCATED IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4; AND THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

**WETLAND DETAIL**



LOT 2  
CSM NO. 9044



**LOT 3**  
358,049 SQ. FT.  
8.2197 ACRES





**CERTIFIED SURVEY MAP No. \_\_\_\_\_**

BEING A REDIVISION OF ALL OF LOT 3 OF CERTIFIED SURVEY MAP NO. 9044, A REDIVISION OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8719; AND ALL OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8719, A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 8702; LOCATED IN THE SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE NORTHEAST 1/4; AND THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.

**OWNERS' CERTIFICATES**

Wispark LLC, a Wisconsin limited liability company, as owner, does hereby certify that said company caused the land described in the foregoing affidavit of Rizal W. Iskandarsjach, to be surveyed, divided and mapped as represented on this map, in accordance with the provisions of Chapter 236 of the Wisconsin Statutes and the Section 14.82 of the City of Oak Creek requirements for Certified Survey Maps.

Wispark LLC

\_\_\_\_\_  
Scott J. Lauber, President Date \_\_\_\_\_

State of Wisconsin )  
                                  ) SS  
\_\_\_\_\_ County )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_, the above named Scott J. Lauber, the President of the above named company and acknowledged that they executed the foregoing instrument as such officers as the deed of said company, as Manager, by its authority.

\_\_\_\_\_  
\_\_\_\_\_  
(sign)  
(print)  
Notary Public, \_\_\_\_\_ County, \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

**PLAN COMMISSION APPROVAL**

This Certified Survey Map is hereby approved by the Plan Commission of the City of Oak Creek, on this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_.

\_\_\_\_\_  
Dan Bukiewicz, Chairman Date \_\_\_\_\_

\_\_\_\_\_  
Douglas Seymour, Secretary Date \_\_\_\_\_

**COMMON COUNCIL APPROVAL**

This Certified Survey Map is approved by the Common Council of the City of Oak Creek, on this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_ by Resolution Number \_\_\_\_\_.

\_\_\_\_\_  
Dan Bukiewicz, Mayor Date \_\_\_\_\_

\_\_\_\_\_  
Catherine Roeske, City Clerk Date \_\_\_\_\_