



PLAN COMMISSION

October 9, 2018

6:00 P.M.

Common Council Chambers

8040 S. 6TH Street
Oak Creek, WI 53154
(414) 766-7000

Daniel Bukiewicz - Chair
Dawn Carrillo
Chaucey Chandler
Patrick Correll
Chris Guzikowski
Brian Johnston
Gregory Loreck
Fred Siepert
Christine Hanna
Edward Ciechanowski – ex-officio
Doug Seymour – ex-officio

The City's Vision

Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – September 25, 2018
4. Significant Common Council Actions – NONE
5. 6:00 Public Hearing
 - a. Hold a public hearing on a proposed sign appeal for the property at 8645 S. Howell Ave. submitted by Kelvin Schroeder, Kelvin Schroeder Jewelers, that would allow installation of one wall sign that is 60 square feet in area for one tenant that occupies both tenant space B & C as identified in the master sign plan (Tax Key No. 828-9001-000). Follow this item on Twitter **@OakCreekPC#OCPCSchroeder**.
6. New Business
 - a. SIGN APPEAL - Consider a request for a sign appeal for the property at 8645 S. Howell Ave. submitted by Kelvin Schroeder, Kelvin Schroeder Jewelers, that would allow installation of one wall sign that is 60 square feet in area for one tenant that occupies both tenant space B & C as identified in the master sign plan (Tax Key No. 828-9001-000). Follow this item on Twitter **@OakCreekPC#OCPCSchroeder**.
 - b. PLAN COMMISSION CONSULTATION – Discussion of a proposed multifamily residential development on the properties at 8100 & 8146 S. 27th St. and 8100 S. Orchard Way (Tax Key Nos. 810-9012-001, 810-9005-000, and 810-9013-001). No action will be taken on this item. Follow this item on Twitter **@OakCreekPC#OCPCDecker1**.
 - c. PLAN COMMISSION CONSULTATION – Discussion of a proposed multifamily residential development on the property at 441 W. Ryan Rd. (Tax Key No. 906-9028-001). No action will be taken on this item. Follow this item on Twitter **@OakCreekPC#OCPCDecker2**.
 - d. CERTIFIED SURVEY MAP – Review a certified survey map submitted by Jimmy Rosen, Highgate, LLC, dividing the property at 7869 S. 13th St. (Tax Key No. 784-9993-001). Follow this item on Twitter **@OakCreekPC#OCPCHighgateCSM**.

Visit our website at www.oakcreekwi.org for the agenda and accompanying Plan Commission reports.

- e. PLAN REVIEW – Review site, building, landscaping, and related plans submitted by Brett Ippolite, Camp Bow Wow, for an addition to the existing building on the property at 8411 S. Liberty Ln. (Tax Key No. 828-0001-000). Follow this item on Twitter **@OakCreekPC#OCPCCampBowWow**.
- f. ZONING TEXT AMENDMENT – Review an amendment to the required parking setbacks in Section 17.03170(i) of the City's Zoning Ordinance. Follow this item on Twitter **@OakCreekPC#TextAmend**.
- g. REZONE – Review a request by the City of Oak Creek to rezone the properties at 2600 W. Southbranch Blvd. and 9810 S. 27th St. from M-1 (PUD), Manufacturing and OO, Mixed Use Office Overlay to M-1 (PUD), Manufacturing (Tax Key Nos. 903-9023-000 & 903-9015-000). Follow this item on Twitter **@OakCreekPC#OCPCRezone**.

Adjournment.

Dated this 5th day of October, 2018

Posted 10/5/18 (jtf)

Public Notice

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice

**DRAFT MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, SEPTEMBER 25, 2018**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Johnston, Commissioner Carrillo, Alderman Loreck, Alderman Guzikowski, Commissioner Correll, Commissioner Siepert and Commissioner Chandler. Also present: Kari Papelbon, Planner; Director of Community Development Doug Seymour.

Minutes of the September 11, 2018 meeting

Commissioner Siepert moved to approve the minutes of the September 11, 2018 meeting, as amended. Commissioner Chandler seconded. On roll call: all voted aye, except Commissioner Correll (abstained). Motion carried.

**PUBLIC HEARING
COMPREHENSIVE PLAN AMENDMENT
UPDATE PLANNED LAND USE CATEGORY AND MAP 2 FROM “PLANNED INDUSTRIAL”
TO “MIXED RESIDENTIAL”
7266 & 7328 S. HOWELL AVE.
TAX KEY NOS. 766-0014-000 AND 766-0015-000**

Planner Papelbon read the public hearing notice into the record.

Planner Papelbon provided more details of the proposed amendment. It is a proposal to change the land use category in the Comprehensive Plan from “Planned Industrial” to “Mixed Residential.” The intention is for the properties to be developed in the future with workforce multifamily residential housing on the properties. It would also require a future rezoning and potentially a PUD or Conditional Use permit depending on the density of the development itself. To the north, there is Planned Industrial and Planned Office categories in the Comprehensive Plan. Existing uses within a ¼ mile of these two properties include a gas station, quick service restaurant with drive through, party supply store, various manufacturing uses, residential and the St. John property multi-tenant office and warehouse development to the north along Rawson Avenue. There is the Oak Creek Commerce and Industrial Park to the south, manufacturing and industrial uses, a salon and spa, bowling alley, vehicle repair center, daycare and indoor playground to the southwest. Mixed residential would allow for the future development of a variety of residential housing types including multifamily. Affordable mixed residential housing is needed in the area to provide housing options for employees for the existing and new business development in the community. Along Howell Avenue, this is a bus route and there are bus stops within ½ mile, possibly less. It is isolated from existing residential neighborhoods, although there is residential in the area. It is adjacent to the Northbranch Industrial Park and the Oak Creek Commerce Park.

Planner Papelbon further explained that the dimensions of these lots are slightly difficult for industrial development, which is what they are currently slated for conforming to the surrounding area. Although there are residential properties to the north, the area to the east is something that the Plan Commission may want to consider looking at for changing in the Comprehensive Plan in the future. The State of Wisconsin Smart Growth Plan requires that all local land use decisions after January 1, 2010 be consistent with the objectives, goals, and policies contained

within the Comprehensive Plan. Approval of these changes to the Comprehensive Plan would bring the plan in line with the intent and goals for future development of the properties. Mayor Bukiewicz made a call for public comment.

Janice Wilinski, 7240 S. Howell Avenue, inquired about what type of housing is being considered for that property. Mayor Bukiewicz responded that at this time this is a rezoning request. Multi-family would be a consideration. Ms. Wilinski stated that there is not enough room for that development. Planner Papelbon stated that this is not a rezone request. It is a request to change the future land use category in the Comprehensive Plan. A rezone would come after that. The request is for mixed residential, so they could actually include anything from single family up to multifamily. The applicant is looking to develop what is called workforce multi-family development. However, they could include a range of housing types within their development and that would be at the developer's discretion.

Ms. Wilinski asked if there is someone that is looking at having this rezoned. Planner Papelbon responded that that would be the next step following the Comprehensive Plan change if that were to be approved.

Mayor Bukiewicz invited the applicant to the podium. Hume An, Senior Vice President at MVAH Partners, developer of workforce and senior housing, gave an history/overview of his company as well as a preliminary proposal of the housing units and major employers with workers who would qualify for this housing.

Mayor Bukiewicz made a second and third call for public comments. Seeing none, the public hearing was declared closed.

**COMPREHENSIVE PLAN AMENDMENT
UPDATE PLANNED LAND USE CATEGORY AND MAP 2 FROM "PLANNED INDUSTRIAL"
TO "MIXED RESIDENTIAL"
7266 & 7328 S. HOWELL AVE.
TAX KEY NOS. 766-0014-000 AND 766-0015-000**

Commissioner Siepert asked about the size of the lot. Mr. An responded that it is about 2.45 acres.

Commissioner Correll asked what the density would be. Mayor Bukiewicz responded that the item being discussed is actually for the Comprehensive Plan amendment from Planned Industrial to Mixed Residential. He stated that the focus of discussion should be about if it should be kept Planned Industrial or changed to Mixed Residential.

Director of Community Development Doug Seymour stated that this "pocket" of land should be considered as a whole and the land use should be supportive of that. Given the configuration of those lots, it does not set itself up very well for Planned Industrial. It makes sense to consider workforce housing because of its proximity to substantial businesses in the Northbranch Industrial Park and Oak Creek Commerce Park.

Commissioner Correll stated that carving out this triangle of land is difficult as the entire area potentially fitting into the Comprehensive Plan makes more sense. Maybe a mixed use development would make more sense. He personally thinks that that use does not fit there; maybe looking at the bigger parcel makes more sense. He stated that he has a hard time approving the change, even though mixed multi-family may fit, but he is not in favor of just

carving out this piece.

Commissioner Chandler comment/question inaudible. Planner Papelbon stated that the area that goes into a point closest to Rawson Avenue is the area that is being discussed. That is not the entire area because the discussion is based on only two parcels within that triangle. The consideration would be in the future to determine whether or not those parcels going north of the subject parcels to Rawson Avenue should also be included, possibly even going a little bit outside of that triangle; specifically within that triangle area. It is not necessarily part of the discussion at hand because those areas were not part of the notice. The City is in the process of redoing the entire Comprehensive Plan and not just the triangular area.

Planner Papelbon further explained that Planned Industrial would be for things like manufacturing, so the M-1 zoning district or the LM-1 district would be appropriate. Mixed Residential allows for a variety of housing types within a development. That would include things like a mixed residential Planned Unit Development where there are a variety of single-family, possibly two-family condominiums up to an apartment complex.

Planner Papelbon stated that there are a variety of zoning districts around the proposed site. There is RS-3 and P-1, Parkland; Agricultural is to the east. There, of course, is the manufacturing, mixed zoning to the north, west and the south.

Alderman Guzikowski concurred with Commissioner Correll on not wanting to carve pieces of land out. Commissioner Loreck concurred with Alderman Guzikowski and Commissioner Correll.

Commissioner Johnston stated that this is a difficult site to development. There are several grade elevations. The south parcels have a retaining wall along Howell Avenue. The north parcels are down in the hole along Howell Avenue, so there are significant grade changes. These are going to be challenging pieces of property to develop due to the County owning the parkland to the east, the size of these lots, and the access to Howell Avenue. Commissioner Johnston further stated his concern that the Comprehensive Plan has it listed as Planned Industrial, but the sites are not big enough for this use. The highest and best use of this land is industrial just because it is the biggest in size without combining the other parcels. It is a difficult decision to make without including the rest of the "point" because without the rest of it, there is spot designation in the Comprehensive Plan.

Commissioner Hanna questions inaudible because she was not speaking into the microphone.

Mayor Bukiewicz concurred with Commissioner Johnston because it is a difficult piece to foster into industrial. It kind of acts as a buffer to the RS-3 zoning going forward. He does not like the idea of carving out this area. He also stated his concern about accessing the site from Howell Avenue.

Commissioner Correll stated his concern with direct access to residential from Howell Avenue.

Planner Papelbon asked if there would be the same concerns if it were a series of condos or side-by-sides or single family or if it stayed industrial and had trucking operations. Commissioner Correll stated that a lot of those things cause concern until seeing exactly how it will work. Planner Papelbon stated that access concerns are more for site plan review, possibly even conditional use, if necessary. Those are things that the applicant would have to clear with the state.

Commissioner Siefert stated that he could go either way; however, it is a very hard decision. If it is changed, the little triangle in the corner north of these lots should be taken with it. Director Seymour stated that staff will check with the City Attorney on the limitations and options available to the Common Council with respect to enlarging the area being requested to be amended.

Commissioner Chandler asked why the applicant is requesting a Comprehensive Plan amendment rather than just a rezoning request. Planner Papelbon responded that the Comprehensive Plan must change to allow for zoning to change. The zoning in general has to match what the Comprehensive Plan says is appropriate for future land use.

Planner Papelbon stated that the sequence of approvals is first a Comprehensive Plan Amendment, second a rezoning request, and third a site plan review. Commissioner Chandler asked if that is part of the consideration to include the narrow piece of land that abuts Rawson Avenue.

Planner Papelbon clarified that the Plan Commission is being asked to take action on a request that is limited to the two parcels. If the Plan Commission directs staff to look at changing the Comprehensive Plan for additional parcels, that would be something that would be done as a separate request. The City Attorney may make a determination that the Common Council could make that extension if the Plan Commission recommends approval of this amendment.

Commissioner Hanna stated that the majority of the parcels surrounding this amendment request are either industrial, manufacturing or agriculture. Planner Papelbon responded that the parcels that are zoned A-1 to the east of a drainage area used to be a platted residential development from the 1920s. It never developed that way. It is all under one ownership and the status of the plat is unknown. That subdivision never came to be. Agricultural zoning is kind of a placeholder. It was never looked at for another development, and it is not uncommon for those types of things to be rezoned to A-1 for consideration of a future development.

Director Seymour stated that in the Comprehensive Plan, this shows up as Planned Office and the basis for that is that these areas fall within certain noise contours from the airport from the runway approaches such that it is heavily suggested that no single family residential development takes place there. That is why when the Comprehensive Plan showed this as Planned Office, it was curious given the fact that there is no office market and certainly not along East Rawson Avenue that deep. It was something that was accounting to the fact that single family residential was not appropriate in the eyes of the Common Council at that point in time given the proximity to the airport.

Commissioner Loreck moved that the Plan Commission adopts Resolution 2018-07, amending the Comprehensive Plan and Planned Land Use map to reflect the changes in land use from "Planned Industrial" to "Mixed Residential" for 7266 & 7328 S. Howell Ave. following review and adoption by the Common Council. Commissioner Correll seconded. On roll call: Commissioner Hanna, Commissioner Johnston, Alderman Guzikowski, Commissioner Siefert, and Commissioner Chandler voted no. Commissioner Carrillo, Commissioner Loreck, Mayor Bukiewicz, and Commissioner Correll voted aye. Motion denied.

Director Seymour stated that the Common Council could still review this given the Plan Commission recommendation to not change the land use.

**PLAN REVIEW
PPG INDUSTRIES
10600 S. 13TH ST.
TAX KEY NO. 954-9996-006**

Planner Papelbon provided an overview of the plan review for an addition to an existing parking lot. (See Staff report for details.)

Brian Schroeder, 910 W. Finch Court, stated his concern is that the proposed parking is getting very close to 13th Street. It is not consistent with the rest of their parking. He recommended that they do an expansion of the main parking lot to push out toward their visitor parking so that they can keep a consistent parking line.

Mr. Schroeder stated another concern is the people parking in this portion of the parking lot. He recommended that something be adopted that would allow a few spots where their employees can park and smoke cigarettes. Currently the employees are parking on 13th Street, which is a very busy road, and it is a safety and littering issue.

Joe Ehlinger, Plan Engineer, PPG Industries, 10800 S. 13th Street, stated that the smoking situation brought up by Mr. Schroeder is a fair assessment and they will consider making an improvement.

Mr. Ehlinger stated that as far as the suggestion of moving it to another location, they do have wetlands and physical requirement/barriers in other areas off of that parking lot. That is why this was the one location deemed most easily accessible from a construction standpoint. They are working with the stormwater planners to address the stormwater runoff on the small parcel.

When asked why this expansion is being requested, Mr. Ehlinger answered that this expansion is necessary because the company is growing.

Commissioner Siefert asked what is located north of the parking lot. Planner Papelbon stated it is open land that PPG owns. There are residential portions surrounding the site. However, this expansion is located in the southwest corner of the property.

Commissioner Hanna asked if the number of trucks traveling to this facility will increase due to the company's growth. Mr. Ehlinger responded that the project going on right now is an IT project, so there are a lot of visitors coming in. The production is slowly growing, but will not increase the number of trucks on the road.

Commissioner Loreck asked if there will be enough room for any right-of-way if they do redo 13th Street and add sidewalks along that portion of 13th Street. Director Seymour responded that the minimum required setback for parking for manufacturing districts is 40 feet. This should present plenty of space to do that. Planner Papelbon stated that the parking setback is 30 feet to where the pavement is going. Commissioner Johnston clarified that the right-of-way is 40 feet wide, and the setback from the right-of-way to the parking lot is 30 feet.

Commissioner Siefert moved that the Plan Commission approves the site plans submitted by Joe Ehlinger, PPG Industries, for the property at 10600 S. 13th St. with the following conditions:

1. That landscape plans incorporating perimeter and interior landscape elements in conformance with Code requirements are submitted for review and approval to the

Department of Community Development prior to the submission of building permit applications.

2. That stormwater plans are submitted for review and approval by the Engineering Department prior to the submission of building permit applications.
3. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.

Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW
CROISSANT, ETC. CORP.
7195 S. 1ST ST.
TAX KEY NO. 765-9037-000**

Planner Papelbon provided an overview of the request for an addition to an existing building. (See staff report for details.)

Seeing as there were no comments or questions, Mayor Bukiewicz called for a motion.

Commissioner Correll moved that the Plan Commission approves the site plans submitted by Mark Carollo, Croissant Etc. Corp., for the property at 7195 S. 1st St. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.

Alderman Guzikowski seconded. On roll call: all voted aye.

**REZONE
M & M TRUCK CENTER, INC.
9840 AND 9872 S. 27TH ST.
TAX KEY NO. 903-9030-000 AND 903-9989-000**

Planner Papelbon provided an overview of the rezoning request from M-1 Manufacturing and OO, Mixed Use Office Overlay to M-1 Manufacturing. (See staff report for details.)

Planner Papelbon summarized that that the Plan Commission is being asked to consider taking the overlay district off of these two parcels. The M-1 PUD zoning would remain. It would no longer be in the overlay district.

Director Seymour stated that the office overlay district in this area is one of four different overlay districts that were adopted as part of the 27th Street area planning in conjunction with the City of Franklin in approximately 2006 or 2007. In recognition of what everyone thought would be a very vibrant corridor and one that offered a great deal of potential (and still does), the timing of development along the corridor has been challenging given the events that have occurred in the

economy easily subsequent to the adoption of the overlay districts. The thought was that with the office overlay that it would transition, where possible, away from some of the older, more storage, outdoor storage and display-intensive industrial uses towards that which was more office oriented. It was more prevalent and directed at those areas which were Greenfields and didn't have a lot of investment already on the property. It is certainly a lot more challenging where you have existing brick and mortar that would need to transition over to that use. It is not an easy transition to make from 1960s-style manufacturing to an office district. This request does not throw out the overlay district. However, it recognizes the existing realities of those brick and mortar businesses within the Southbranch Industrial Park. There is some merit with reevaluating the office overlay district in light of where it makes sense given the existing development versus Greenfield development. For example, the Liberty Trust buildings south along Corporate Preserve Drive are suitable candidates and have been developed for offices. We are not suggesting that there is no room for offices along S. 27th Street. We are providing some insight as to the fact that it will be challenging to make a transition from the types of brick and mortar businesses that are within the Southbranch Industrial Park to an office overlay under the standards that are in the code. The City strives to work with the property owners to make that transition, but at the same time to not allow those uses which are within the base zoning districts. Certainly it causes some questions and challenges for those people who own those properties.

Planner Papelbon stated that the two properties are owned by the applicant for which there is a request to be changed out of the office overlay district. Staff is asking the Plan Commission to direct them to take those additional properties to the north (two properties straddling Southbranch Boulevard) out of the office overlay district as well, because those are being used currently for industrial manufacturing uses. The one that is immediately north is a self-storage facility and it is part of the Southbranch Industrial Park. The properties to the south have been developed with some office uses, so the potential for those properties to the south to further develop that way still has merit so the overlay district would not be changed in those areas.

Alderman Guzikowski stated that by removing this in these areas, it makes it more restrictive potentially for what they would like to do at some of these properties.

Commissioner Johnston thought it might be an issue if gaps are created in the overlay, but suggested looking at the properties to the north and then continue everything to the south.

Planner Papelbon stated that those areas have to be rezoned if they are taking out of the overlay district, but at last the Comprehensive Plan will provide some idea of what they would think would develop along that southern corridor. It would inform the decision for moving forward with rezoning.

Commissioner Carrillo asked if the City of Franklin is going through these same changes. Planner Papelbon stated that on a case-by-case basis they are rezoning in a similar manner to Oak Creek. Director Seymour stated the City of Franklin's uses are different that occur on the east side of the street so it is difficult to make the comparison of the individual actions and requests that each of the Council's will be faced with. The City of Oak Creek is still invested in the Corridor and with making good development happen in the Corridor. The City of Oak Creek wants to make sure there are policies that encourage investment rather than disinvestment. This has the potential in certain situations to encourage disinvestment given that it really did remove from the spectrum a lot of the things that could be done with existing properties.

Mayor Bukiewicz does like the idea of the overlay having consistency and requested staff to

look at this going north. He would like to maintain the front of the building. Planner Papelbon responded that an appropriate conditional use permit (put on hold by the Plan Commission to review the proposed trucking business) would allow the Plan Commission to declare where the trucks will be parked such as behind a fence or other appropriate screening. There will still be setback requirements in the M-1 District.

Joe Cincotta, attorney for the trucking business, stated it was a pleasure to work with staff on this project and the conditional use is the next step. They will be able to manage with the M-1 regulations and with the conditional use on top of that and it should be good.

Commissioner Siepert moved that the Plan Commission recommends to the Common Council that the properties at 9840 and 9872 S. 27th St. be rezoned from M-1 (PUD), Manufacturing and OO, Mixed Use Office Overlay district to M-1 (PUD), Manufacturing after a public hearing. Commissioner Correll seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn the meeting. Commissioner Siepert seconded. On roll call: all voted aye. Motion carried. The meeting was adjourned at 7:11 p.m.

ATTEST:

Douglas Seymour, Plan Commission Secretary

October 2, 2018

Date



PLAN COMMISSION REPORT

Proposal: Sign Appeal

Description: Request for a variance allowing the applicant to install a 60 square-foot wall sign for a tenant occupying two of five tenant spaces located at 8645 S. Howell Avenue.

Applicant(s): Kelvin Schroeder Jewelers

Address(es): 8645 S. Howell Avenue

Suggested Motion: Staff does not make provide a suggested motion for a sign appeal.

Owner(s): South Shore Group LLC

Tax Key(s): 828-9001-000

Lot Size(s): 0.574 acres

Current Zoning District(s): B-4, Highway Business

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Planned Mixed Use

Background: The applicant is requesting a variance from the Municipal Code Section 17.0706(j)(2) which states that the area of a wall sign within a planned sign program for a 3 or more tenant development, shall equal one square-foot of signage per lineal frontage of tenant space with a maximum of 100 square feet.

The applicant is proposing a 60 square-foot, channel letter, wall sign. The lineal frontage of both tenant spaces is 38 square feet, thus limiting the tenant to a 38 square-foot wall sign. Included with this report is a letter from the applicant stating why the requested variance should be granted.

The proposed sign does meet the remaining sign code requirements such as design, number, and location.

If the Plan Commission believes a variance is warranted, the Plan Commission can make a motion to grant a sign variance allowing the installation of a 60 square-foot wall sign for one tenant that occupies both

tenant spaces B & C as identified in the master sign plan for the development located at 8645 S. Howell Avenue.

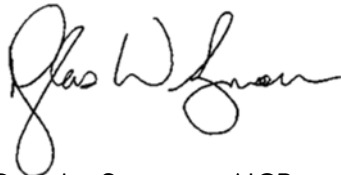
This motion would allow a wall sign up to 60 square feet only if a tenant occupies both tenant spaces B & C. If, in the future, the tenant spaces are occupied by two different businesses, those businesses would be limited to the lineal frontage regulation for each tenant space.

The Plan Commission in its deliberation of a variance may consider the location of the proposed sign, the height, the size, the appearance, number, and location of other signs in the vicinity of the proposed sign, and any other factor as the Plan Commission deems appropriate. When considering a variance, the Plan Commission must make the final decision on appeals using the following criteria:

- a. There shall be no public harm and there shall be a public benefit.
- b. Variance considerations shall include enhancement of the overall character of a neighborhood or mitigation of unusual site conditions.
- c. The sign will not result in an undue concentration of signage which renders it difficult or confusing to read existing signs.
- d. The effect a proposed sign may have on depreciating property values of a neighborhood.

Options/Alternatives: If the variance is not granted, the tenant will be limited to a 38 square-foot wall sign.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



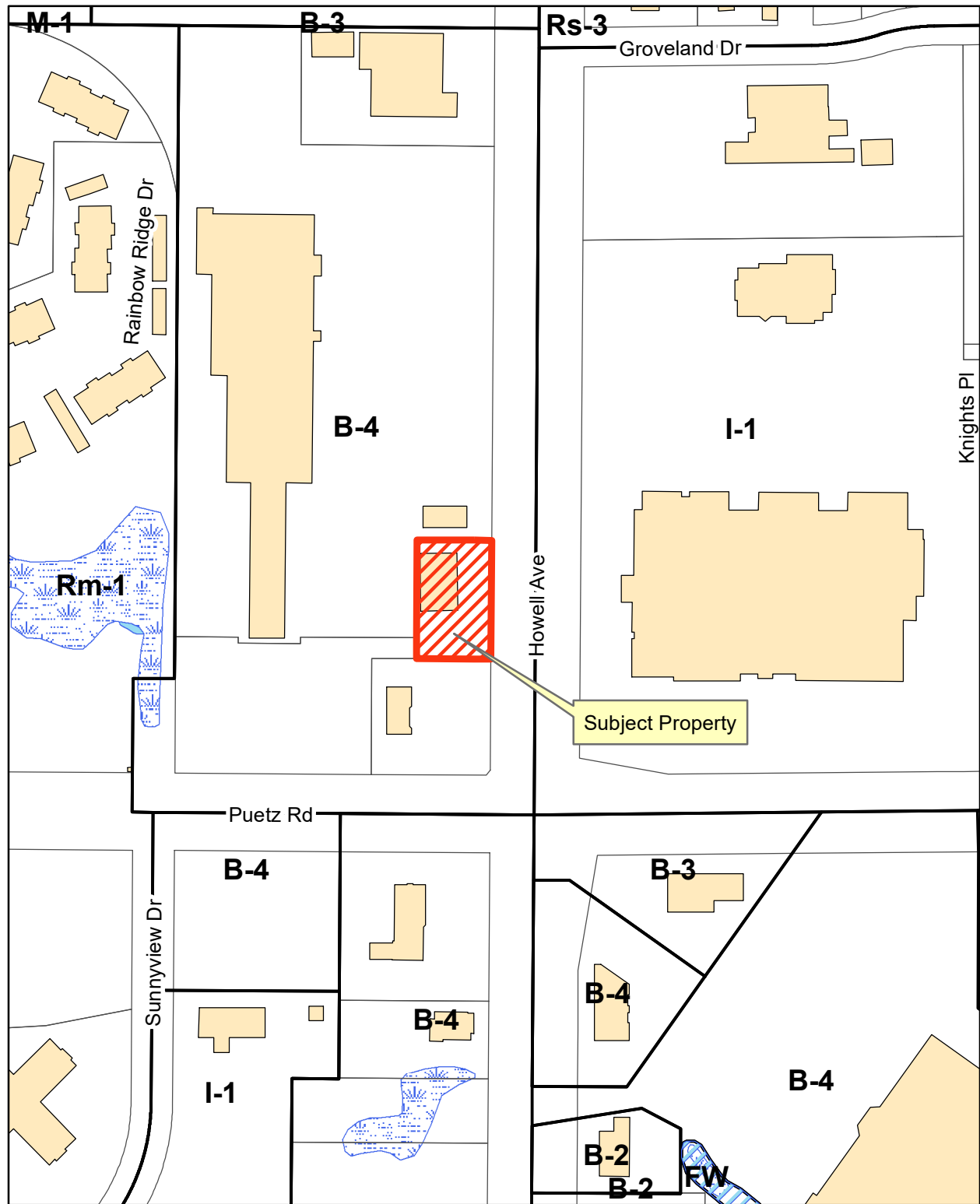
Peter Wagner, AICP
Zoning Administrator/Planner

Attachments:

- Location Map
- Public Hearing Notice
- Master Sign Plan
- Sign Graphics
- Narrative

Location Map

8645 S. Howell Ave.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

- Officially Mapped Streets
- Subject Property
- Floodplain 2008
- DNR Wetlands Inventory
- Waterbodies

Zoning Overlays

- C-1-Shoreland Wetland
- FF-Flood Fringe
- Lakefront Overlay
- NO-Mixed Use Neighborhood
- OO-Mixed Use Office
- RR-Regional Retail

Publish September 26, 2018

**CITY OF OAK CREEK
NOTICE OF PUBLIC HEARING
BEFORE THE PLAN COMMISSION**

A public hearing for a sign appeal will be held:

Date: Tuesday, October 9, 2018

Time: 6:00 p.m.

Place: Oak Creek City Hall
COMMON COUNCIL CHAMBERS
8040 S. 6th Street
Oak Creek, WI 53154

Appellant: Kelvin Schroeder Jewelers

Tax Key No. 828-9001-000

Property location: 8645 S. Howell Avenue

To Request: A variance from Section 17.0706(j)(2) which states that the area of a wall sign within a planned sign program shall equal one square foot of signage per lineal frontage of tenant space with a maximum of 100 square feet. Signs shall not be internally illuminated box signs.

If granted this variance would allow the applicant to install one wall sign that is 60 square feet in area for one tenant that occupies both tenant space B & C as identified in the master sign plan for the development located at 8645 S. Howell Avenue.

Zoning of Property: B-4, Highway Commercial District

All interested persons wishing to be heard are invited to be present.

Dated this 19th Day of September, 2018

PLAN COMMISSION
CITY OF OAK CREEK, WISCONSIN

/s/ Mayor Daniel J. Bukiewicz, Chairman

Public Notice

PLEASE NOTE: Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible, preferable a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 414-766-7000, or by writing to the ADA Coordinator at the Health Department, City Hall, and 8040 South 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.



Request for Variance

September 11, 2018

City of Oak Creek
Plan Commission
8040 S. 6th Street
Oak Creek, WI 53154

Dear Plan Commission Members,

We are requesting a variance to allow a wall sign that exceeds the allowed square footage. Kelvin Schroeder Jewelers is in unique situation as an existing tenant in his multi-tenant building has grandfathered signage. The grandfathered signage is much larger than the Master Sign Plan allows for Kelvin Schroeder's own signage. This gives the building an unbalanced look and does not present Kelvin Schroeder as the focal center. Kelvin Schroeder will be taking up two suites and will be occupying the largest space in the building with 38 feet of lineal frontage.

The variance requested is not contrary to the public interest and will not endanger public safety and welfare because the signage proposed will be done so that it is tasteful and high quality. As the building is owner occupied they want to appear classy and assure you that they will in no way allow future tenants distasteful or inappropriately large signs.

The variance requested is in accord with the spirit of the zoning ordinance. The proposed square footage may sound large but when you actually see it on the main sign band section of the building it fits perfectly and appears no larger than the Mattress Firm sign it replaces.

Kelvin Schroeder Jewelers is a family run shop that has been a fixture of the community having been in business over 80 years, and proudly serving Oak Creek for over 28 years. They have put a great deal of hard work and personal expense behind their upcoming move to the 8645 property and will be disheartened if they are not able to have a beautiful sign that is prominent and easy to read when driving by, like many neighboring shops in Oak Creek were allowed.

Kelvin Schroeder hopes that you consider them a valued retail asset in Oak Creek and will work with them to make their building look attractive for the community. We appreciate your consideration in this matter.

Sincerely,

Jaime Dieman

Innovative Signs

CITY OF OAK CREEK

SEP 11 2018

RECEIVED

CITY OF OAK CREEK

SEP 11 2018

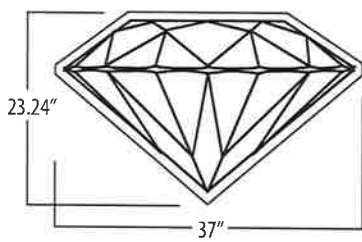
RECEIVED



Day



Night



Letter Height: 13.46"
KELVIN SCHROEDER
10.83"
JEWELERS
17.46"

41.6"

207.75"



www.innovative-signs.com

Client
Kelvin Schroeder
Jewelers
EST/INV #
EST-651

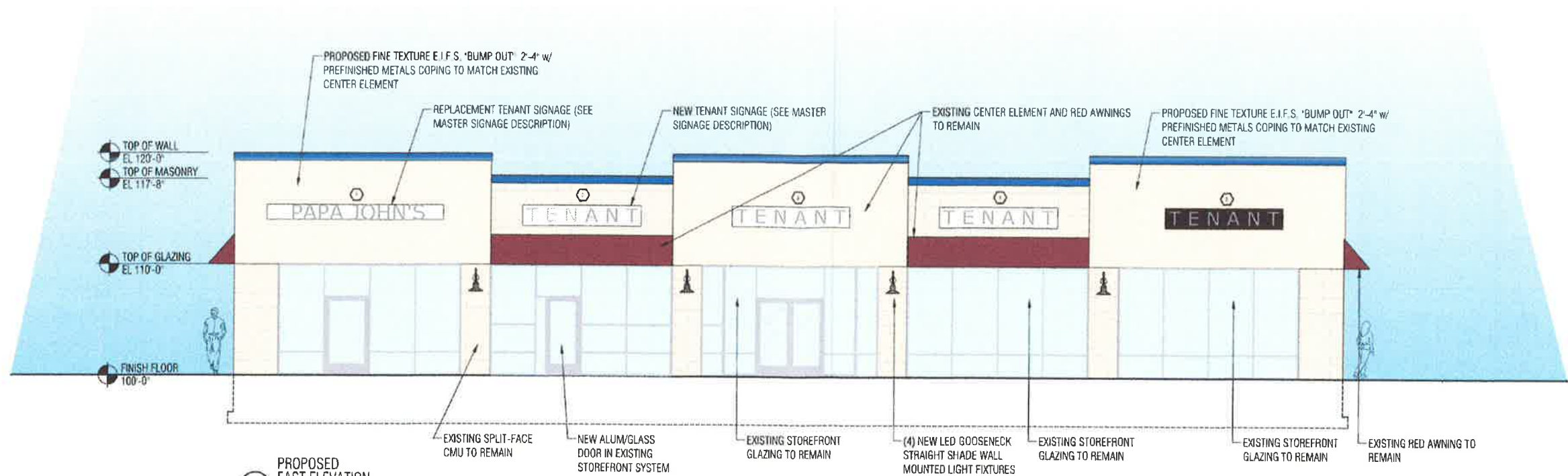
Size
See Above
Quantity
 1 2 3 4 5 88

Materials & Specs
LED Face & Halo Lit
Raceway Mounted
- Painted to Match Building
- White faces on Letters
- Black Trim Cap & Returns
- Blue Halo lighting

Colors
 White Face
 Black-Out Vinyl (Diamond Lines)

Revisions
 REVISION
 REVISION
 REVISION
 REVISION
 REVISION

Representative
Beth D.
Designer
Brian Harrigan
Date: 08/10/2018



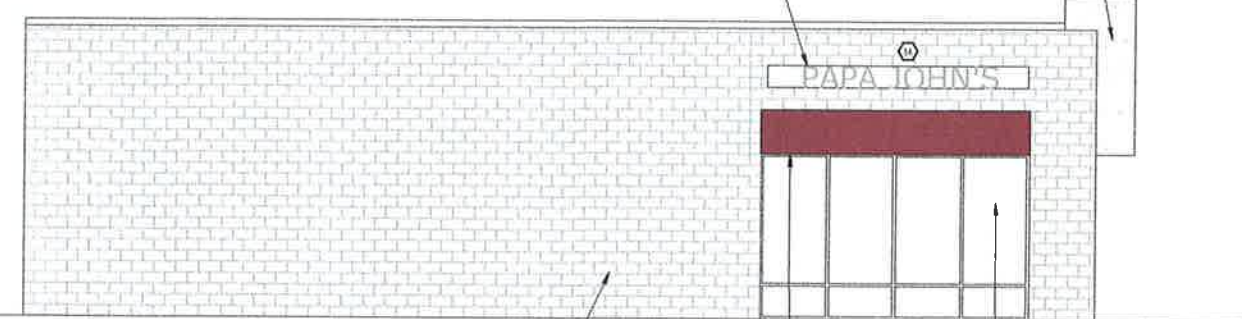
1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED LIGHT FIXTURE
SCALE: NONE



3 EXISTING SOUTH FACADE BUILDING PHOTOGRAPH
SCALE: NONE



4 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

FACADE IMPROVEMENT AREA CALCULATIONS
CURRENT OAK CREEK ORDINANCE PERMITS UP TO 25% OF VISIBLE PERIMETER (OAK CREEK ORD 17.1009) TO BE EIFS

FACADE AREA CALCULATIONS

CURRENT (EAST AND SOUTH SIDES)	2,946 SF TOTAL 100%	GLASS 979 SF 33%	EIFS 206 SF 7%	CMU 1,761 SF 60%
PROPOSED (EAST AND SOUTH SIDES)	3,047 SF TOTAL 100%	GLASS 979 SF 32%	EIFS 696 SF 23%	CMU 1,408 SF 45%

MASTER SIGN PROGRAM FOR MULTI-TENANT BUILDING PER OAK CREEK ORD 17.0706		ALL SIGNS SHALL BE INDIVIDUALLY MOUNTED, INTERNALLY ILLUMINATED CHANNEL-STYLE LETTERS WITH A MAX. DEPTH OF 12" 17.0706A (ILLUMINATED PLASTIC BOX SIGNS NOT PERMITTED PER OAK CREEK CODE)		
MARK	SIGN SIZE	SIGN SIZE PERMITTED - CITY OF OAK CREEK	SIGN QUANTITY PERMITTED	SIGN SIZE PERMITTED - HOWELL OAKS SHOPPING CENTER
1	PAPA JOHN'S PIZZA 21 S.F.	21 FT OF LINEAL FRONTAGE = 21 S.F. (NOT TO EXCEED 100 S.F.) (CITY OF OAK CREEK 17.0706(1)(2))	SINGLE SIGN FOR EA TENANT ON EAST FACADE (CITY OF OAK CREEK 17.0706(1)(2))	LETTER HEIGHT NOT TO EXCEED 1'-4". CENTER SIGN IN FACADE AT HEIGHT AS SHOWN. COLOR, STYLE AND DESIGN AT TENANT DISCRETION AS APPROVED BY LANDLORD. APPROVAL BY LANDLORD AND CITY REQUIRED.
1A	PAPA JOHN'S PIZZA END CAP NO GREATER THAN EXISTING	NO GREATER THAN EXISTING AS PERMITTED ALLOWED BY SPECIFIC PLAN COMMISSION APPROVAL	REPLACEMENT OF EXISTING PAPA JOHN'S SOUTH FACADE END CAP PERMITTED PER (CITY OF OAK CREEK 17.0706(1)(2))	LETTER HEIGHT NOT TO EXCEED 1'-4". CENTER SIGN IN FACADE AT HEIGHT AS SHOWN. COLOR, STYLE AND DESIGN AT TENANT DISCRETION AS APPROVED BY LANDLORD. APPROVAL BY LANDLORD AND CITY REQUIRED.
2	TENANT "A" 19.4 S.F.	19.4 FT OF LINEAL FRONTAGE = 19.4 S.F. (NOT TO EXCEED 100 S.F.) (CITY OF OAK CREEK 17.0706(1)(2))	SINGLE SIGN FOR EA TENANT ON EAST FACADE (CITY OF OAK CREEK 17.0706(1)(2))	LETTER HEIGHT NOT TO EXCEED 1'-4". CENTER SIGN IN FACADE AT HEIGHT AS SHOWN. COLOR, STYLE AND DESIGN AT TENANT DISCRETION AS APPROVED BY LANDLORD. APPROVAL BY LANDLORD AND CITY REQUIRED.
3	TENANT "B" 19.0 S.F.	19 FT OF LINEAL FRONTAGE = 19 S.F. (NOT TO EXCEED 100 S.F.) (CITY OF OAK CREEK 17.0706(1)(2))	SINGLE SIGN FOR EA TENANT ON EAST FACADE (CITY OF OAK CREEK 17.0706(1)(2))	LETTER HEIGHT NOT TO EXCEED 1'-4". CENTER SIGN IN FACADE AT HEIGHT AS SHOWN. COLOR, STYLE AND DESIGN AT TENANT DISCRETION AS APPROVED BY LANDLORD. APPROVAL BY LANDLORD AND CITY REQUIRED.
4	TENANT "C" 19.0 S.F.	19 FT OF LINEAL FRONTAGE = 19 S.F. (NOT TO EXCEED 100 S.F.) (CITY OF OAK CREEK 17.0706(1)(2))	SINGLE SIGN FOR EA TENANT ON EAST FACADE (CITY OF OAK CREEK 17.0706(1)(2))	LETTER HEIGHT NOT TO EXCEED 1'-4". CENTER SIGN IN FACADE AT HEIGHT AS SHOWN. COLOR, STYLE AND DESIGN AT TENANT DISCRETION AS APPROVED BY LANDLORD. APPROVAL BY LANDLORD AND CITY REQUIRED.
5	TENANT "D" 21.7 S.F.	21.7 FT OF LINEAL FRONTAGE = 21.7 S.F. (NOT TO EXCEED 100 S.F.) (CITY OF OAK CREEK 17.0706(1)(2))	SINGLE SIGN FOR EA TENANT ON EAST FACADE (CITY OF OAK CREEK 17.0706(1)(2))	LETTER HEIGHT NOT TO EXCEED 1'-4". CENTER SIGN IN FACADE AT HEIGHT AS SHOWN. COLOR, STYLE AND DESIGN AT TENANT DISCRETION AS APPROVED BY LANDLORD. APPROVAL BY LANDLORD AND CITY REQUIRED.
6	EXISTING Pylon SIGN	EXISTING	EXISTING	EXISTING PANEL FACE TO BE REPLACED WITH PROPERTY NAME & ADDRESS IN TOP PORTION UP TO 5 INDIVIDUAL TENANT PANELS (OF EQUAL SIZE) LETTERING, SPACINGS AND DESIGN TO BE APPROVED BY LANDLORD

NOTE:
- SIGN SIZES ARE BASED OFF OF CURRENT PROPOSED TENANT DEMISING WALLS & LOCATIONS. THESE WALLS & LOCATIONS MAY CHANGE/VARY ONCE TENANT SPACES ARE BUILT OUT BASED ON TENANT NEEDS. IF SUCH SCENARIO OCCURS, THE SIGN SIZES WILL SLIGHTLY VARY FROM THIS DRAWING.
- ANY VARIATIONS FROM THIS DOCUMENT SHALL FOLLOW CITY OF OAK CREEK AND THIS MASTER SIGN PROGRAM REQUIREMENTS AS WELL AS DESIGN INTENT.
- RACEWAYS ARE NOT PERMITTED EXCEPT WHERE TENANT SIGNS ON A CMU OR EIFS SURFACE, TO WHICH A RACEWAY SHALL BE ATTACHED, BUT MUST BE PAINTED TO RESEMBLE THE BASE WALL MATERIAL.
- WINDOW SIGNS PERMITTED PER OAK CREEK 17.0706A



5 EXISTING PYLON SIGN PHOTOGRAPH
SCALE: NONE



6 EXISTING EAST FACADE BUILDING PHOTOGRAPH
SCALE: NONE

CITY OF OAK CREEK

OCT 27 2016

RECEIVED

Project:
DEMICHELE - 8645 S HOWELL RETAIL

8645 S HOWELL AVE
Location
OAK CREEK WI 53154



DEMICHELE Co.
COMMERCIAL
REAL ESTATE SERVICES
MILWAUKEE

Sheet:
PROPOSED ELEVATIONS

Date:	10/16/16
2016-10-26 Ex Alteration & Master Signage	

Date:
SEPTEMBER 9, 2016

Project No.:
0016-19

Sheet No.:

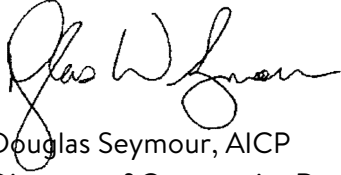
A4.1

- Staff has concerns regarding the proposed density, scale of buildings and configuration referenced in the proposal.
- The proposal for larger (27-unit, 33-unit, and 48-unit) buildings does not appear to be complimentary to building types and sizes more commonly found in traditional mixed residential settings, such as the nearby Colonial Woods (8 and 16 units), Orchard Ridge (14 and 20 units) and Chateau condominiums (8 units).
- The proposal calls for underground parking, which is positive. However the density and overall unit count necessitate substantial amounts of surface parking (or in some cases accessory garages) which should be minimized.
- Due to the proposed density – 294 units in 27-unit, 33-unit, and 48-unit buildings on approximately 17 non-wetland acres - a Conditional Use Permit or Planned Unit Development will be required. It should be noted that a modification to the minimum lot area per unit will be required.
- Per Section 17.1009(a)(25), “[w]etlands may be used in the density calculation of a development, but in no case shall they constitute more than twenty-five (25) percent of the minimum lot area required.”
- A CSM to combine and reconfigure the properties will be required.
- Per the submitted narrative, the development would be combined in multiple phases beginning at the 27th St. entrance and proceeding east. Staff has concerns for this approach as the public road extension of Orchard Way is along the east and should be included in Phase 1 of the development.
- For Plan Commission reference, the recently-approved Orchard Hills multifamily residential development south of this and the Colonial Woods development included 225 units on approximately 17 non-wetland acres. A maximum of 20 units per building was approved.
- A large wetland exists in the middle of the property. No decks, walks, stoops or patios are allowed in the wetland protective area between the wetlands and the buildings. No impervious drainage will be permitted to drain directly to wetlands or protective areas.
- A Traffic Impact Analysis is required.
- Orchard Way needs to be built to public roadway standards. If the public road is not extended to 27th St. a permanent cul-de- sac needs to be constructed.
- Emergency access must be maintained on this site, which will require coordination with and approval by the Fire Department. This may have additional implications for the layout of access drives and buildings.

- All access to S. 27th St. must be approved by the Wisconsin Department of Transportation.
- Access to Orchard Way should be minimized and traffic (by design) encouraged to use 27th Street as its primary access.
- Water will be public and will need an easement throughout the development. Sewer will be private interceptor, possibly the section in Orchard way being left public. Sanitary sewer will flow east and south to an existing sanitary connection.
- Each building around the wetland is showing a 10-foot exposure (or retaining wall), and there is at least one (1) retaining wall proposed to be between 3 and 10 feet in height. Per Section 17.1009(a)(2), “[n]o building shall be permitted where any exposed façade is not constructed or faced with a finished material which is aesthetically compatible with the other facades of surrounding properties and presents an attractive appearance to the public.” Likewise, Section 17.1009(a)(8) states that “[s]ides of a building that are visible from adjoining residential properties and/or public streets should contribute to the pleasing scale features of the building by featuring characteristics similar to the front façade of the building.” A 10-foot exposure may read as a blank first floor wall to the Colonial Woods development.
- The detached garages on the north side of the development are over 90 feet to the nearest point of the nearest building. It is unclear which building or buildings these garages would be serving, there is no access around the buildings, there is no turnaround area at the east end of the garages, and there are no walkways connecting the garages to the apartment buildings. Anyone using these garages would have to walk in the drive aisle or around the southern building in order to access walkways.
- Falk Park exists to the north and east of the proposed development. Previous plans included a required tree preservation buffer along the east property line, and may be required for this development as well. Instead of integrating this development into the park, the concept shows a large detention basin that essentially serves as a barrier between this residential neighborhood and the park.
- The concept plan maximizes the unit count and density on the site, but sacrifices design elements that are essential to long term sustainability of mixed residential neighborhoods, such as designed open space, pedestrian amenities and connectivity.

Options/Alternatives: N/A. Discussion item only.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

Attachments:

Location Map

Proposal Narrative (letter dated August 28, 2018; 3 pages)

Plans

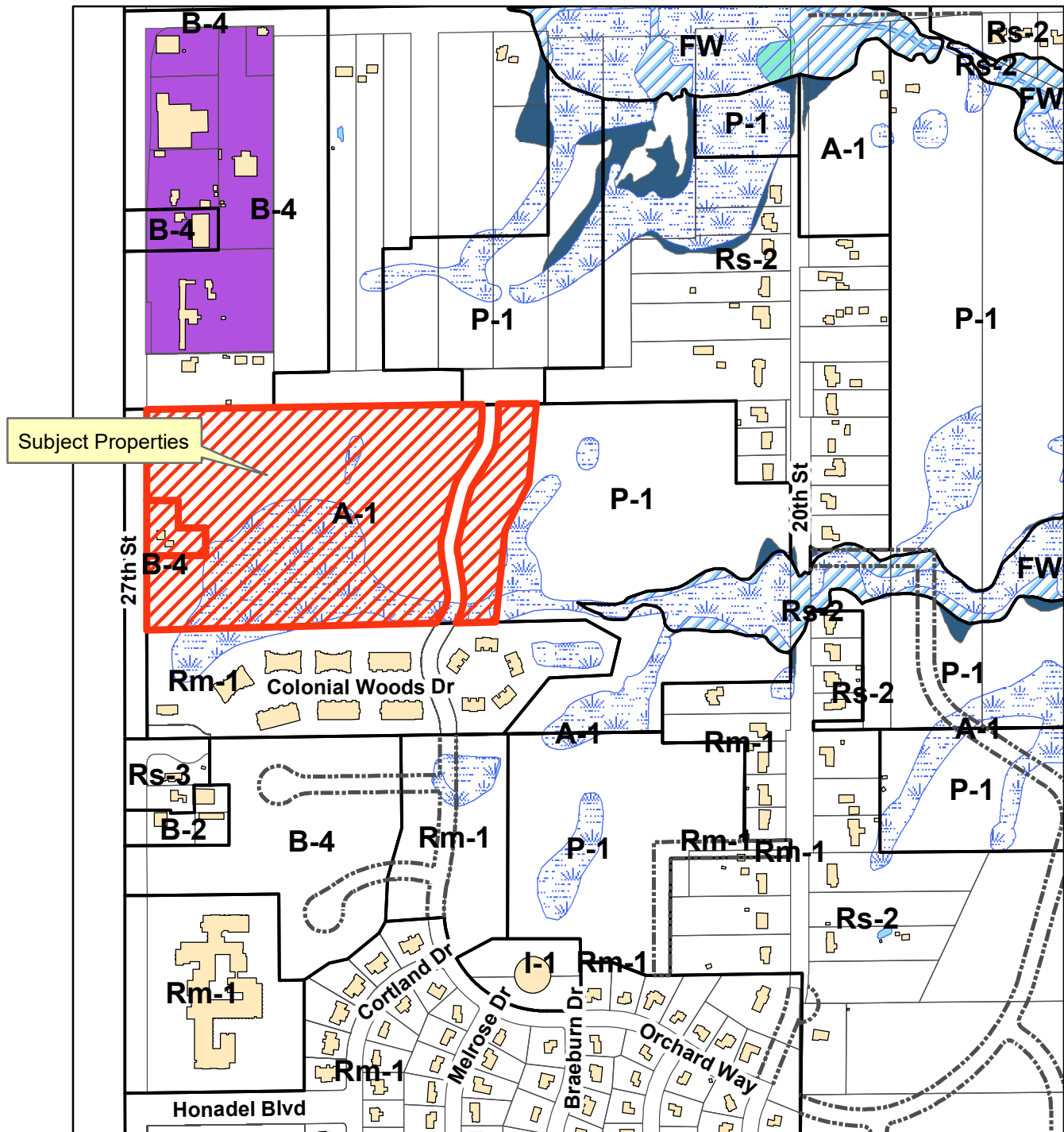
C1 - Concept Site Plan (1 page)

A1.1 – A1.3, A2.1 (4 pages)

Rendering (1 page)

Location Map

8100 & 8146 S. 27th St. & 8100 S. Orchard Way



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

- Officially Mapped Streets
- Subject Properties
- DNR Wetlands Inventory
- Floodplain 2008
- Waterbodies

Zoning Overlays

- C-1-Shoreland Wetland
- FF-Flood Fringe
- Lakefront Overlay
- NO-Mixed Use Neighborhood
- OO-Mixed Use Office
- RR-Regional Retail

DECKER PROPERTIES, INC.

250 N. Sunny Slope Road
Suite 290
Brookfield, WI 53005
(262) 785-0840
Fax (262) 785-0799

August 28, 2018

Planning Commission
City of Oak Creek
8040 S. 6th Street
Oak Creek, WI 53154

**RE: Description of Proposal
The Oaks at 8100
City of Oak Creek
8100 S. 27th Street.**

Dear Commission Members:

We are pleased to provide you with the following information regarding our proposed development in Oak Creek, WI, 'The Oaks at 8100'.

Property Location

The vacant property that is the subject of this proposed development is comprised of three (3) parcels containing a total of approximately 24.60 acres of land. The properties are located east of South 27th Street and at the north end of the terminated West Orchard Way public road. The existing property consists of a residential lot, future Orchard Way right of way, and vacant field with large wetland complex. The project will include vacating and reconfiguring the existing West Orchard Way right of way, and combining the three (3) parcels via a Certified Survey Map. As part of the approval process the project will require an amendment to the Comprehensive Plan and Rezoning to PUD with site plan approval to follow. Pending positive response from the Planning Commission the applicant will start the submittal process for the above mentioned items.

Development Description

The overall development will be completed in multiple phases. The development will consist of 9 multifamily buildings with underground parking. The development will also provide a centralized clubhouse, additional garages and outdoor parking areas. A pond will be constructed on the site to treat the development's runoff and recreation areas will be constructed around the pond area. West Orchard Way will require a public road extension to the north lot line. This road will need to be reconfigured because its original layout extends through an existing wetland. Construction is planned to begin in Spring of 2019 and be

completed in phases with final completion anticipated November 2021. Phasing of construction will start at the 27th Street entrance and continue east.

The buildings will be three story wood frame over one story of below grade parking for the residents. The dwelling units will be a mix of one, two, and three bedroom units with two full bathrooms provided in the two and three bedroom units. They will offer central air conditioning and individual forced air heat, with in-unit washer and dryer and upgraded appliances. The attractive exterior will consist of brick veneer, cement board siding, and asphalt shingled roof. Varying color schemes will be used for the buildings. Please refer to the architectural floor plans and building elevations included with the application submittal.

The site design elements of the proposed multifamily development are based upon the standards found in the City of Oak Creek Municipal Code for the RM-1 Base zoning and the parking and access standards found in the City's municipal code. The existing property has multiple limiting site constraints: topography change, wetlands, public road extension, 50' tree buffer, and limited access on S. 27th Street. The proposed layout helps maximize the sites potential to incorporate these constraints. The units will be designed to surround the wetland to maximize resident's views of the protected and woodland areas. The buildings will have full exposures to help transition the topography change on the site. Orchard Way will be relocated to avoid the existing wetland that was delineated. The pond area will be constructed on the east side along the existing woodland to help protect the tree buffer.

The layout works with the site's constraint to help provide an efficient layout that works to meet the owner's and city's needs. The layout is below the required maximum lot coverage when excluding wetlands and public road right of way. The development density is less than the code calculated density requirement. See site data tables on the concept plan for calculation summary. Public water and sanitary mains will be routed through the site to connect to S. 27th Street and West Orchard Way. Private hydrant locations on the site will be coordinated with the Fire Department. The development will have a sign placed at the main entrance. Dumpster locations are shown at various locations on the site plan. Final refuse disposal process to be determined. Coordination with WI DOT will be made to coordinate and permit an access point onto S. 27th Street.

The property will have on-site staff and maintenance personnel. Potential tenants must meet rigorous standards set by Decker Properties, Inc.

Decker Properties, Inc.

Decker Properties traces its beginnings to the acquisition of it's first apartment building in 1986. David Decker has published two books about real estate, has lectured across the US on various real estate topics and has been quoted in the national media.

Decker Properties takes a buy and hold approach to real estate investing and development and has continued ownership of various locations up to 30 years.

Once a development is complete, it is not unusual for municipal leadership to invite Decker Properties to participate in further development in the community.

Sincerely,

David J. Decker

PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
THE OAKS AT 8100
 S. 27TH STREET • OAK CREEK, WI

PROFESSIONAL SEAL

PRELIMINARY DATES
 APR. 13, 2018
 MAY 21, 2018
 AUG. 28, 2018

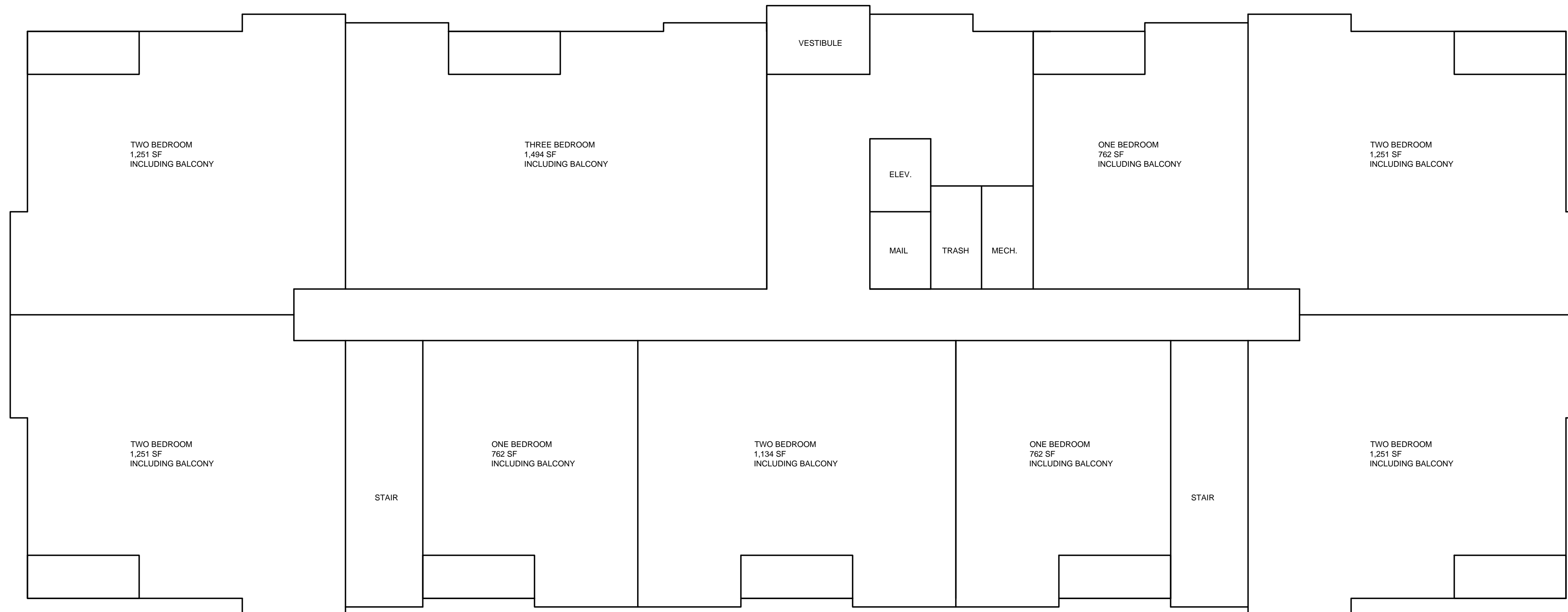
NOT FOR CONSTRUCTION

SHEET INFORMATION

FIRST FLOOR PLAN

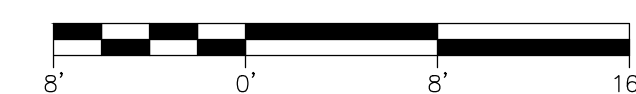
SHEET NUMBER

A1.1



FIRST FLOOR PLAN – 27 UNIT BUILDING

SCALE: 1/8" = 1'-0"



PROFESSIONAL SEAL

PRELIMINARY DATES

MAY 21, 2018
 AUG. 28, 2018

NOT FOR CONSTRUCTION

SHEET INFORMATION

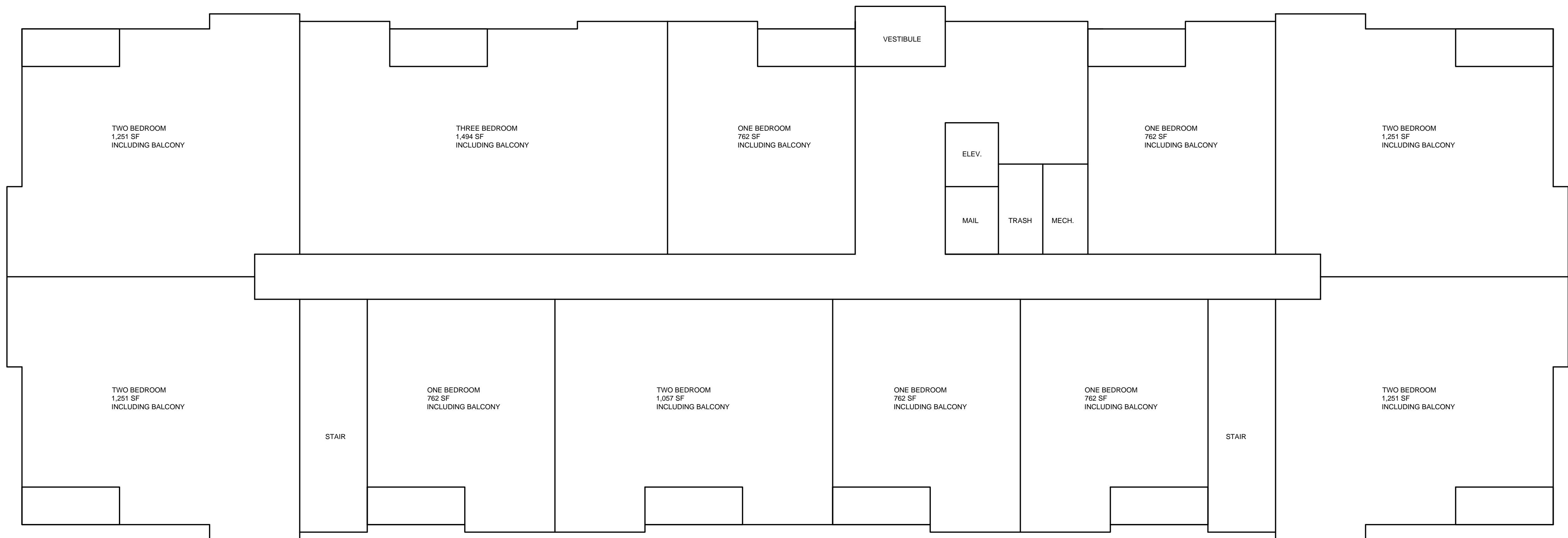
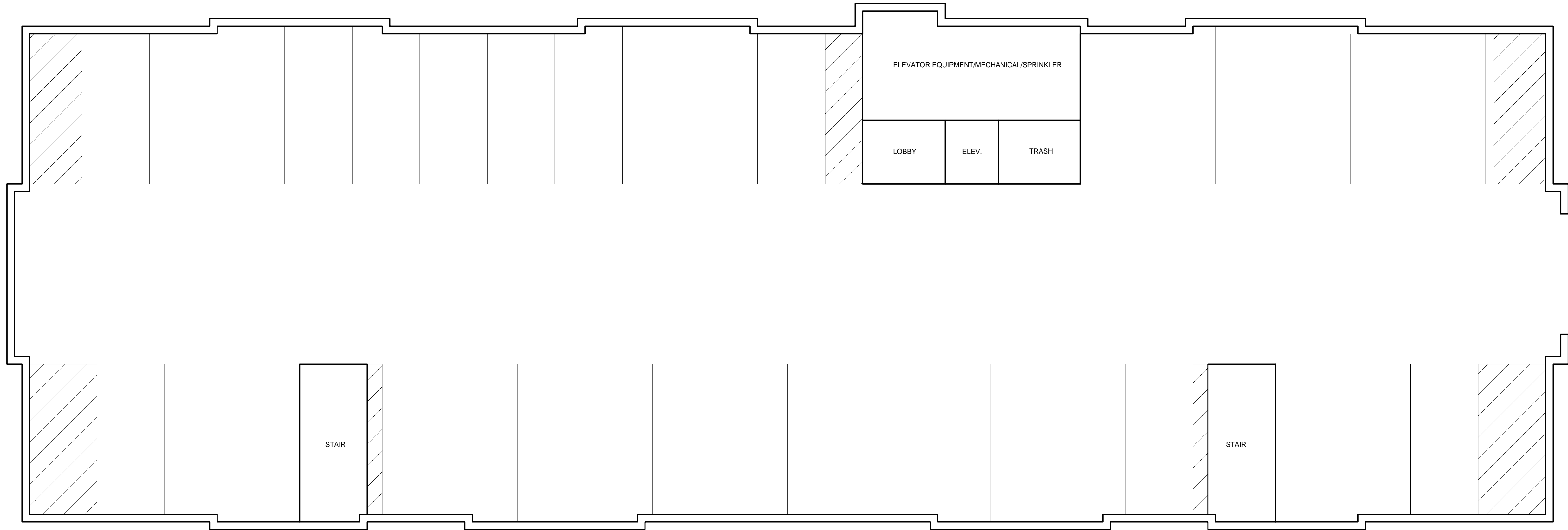
FIRST FLOOR PLAN

SHEET NUMBER

A1.2



FIRST FLOOR PLAN – 48 UNIT BUILDING
 SCALE: 1/8" = 1'-0"
 8' 0' 8' 16'



FIRST FLOOR PLAN – 33 UNIT BUILDING
SCALE: 1/8" = 1'-0"



BUILDING INFORMATION

TOTAL SF PER FLOOR	12,168
TOTAL NUMBER OF UNITS	27
NUMBER OF 1 BEDROOM UNITS	6 TOTAL UNITS (AVG. 762 SF, 500 SF ORDINANCE MINIMUM)
NUMBER OF 2 BEDROOM UNITS	15 TOTAL UNITS (AVG. 1,228 NET SF, 700 SF ORDINANCE MINIMUM)
NUMBER OF 3 BEDROOM UNITS	3 TOTAL UNITS (AVG. 1,494 NET SF, 1,000 SF ORDINANCE MINIMUM)
AREA OF GLASS/BRICK/MASONRY	63%

FRONT ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED MULTI-FAMILY DEVELOPMENT FOR:
THE OAKS AT 8100
S. 27TH STREET • OAK CREEK, WI

PROFESSIONAL SEAL

PRELIMINARY DATES
APR. 26, 2018
MAY 21, 2018
AUG. 28, 2018

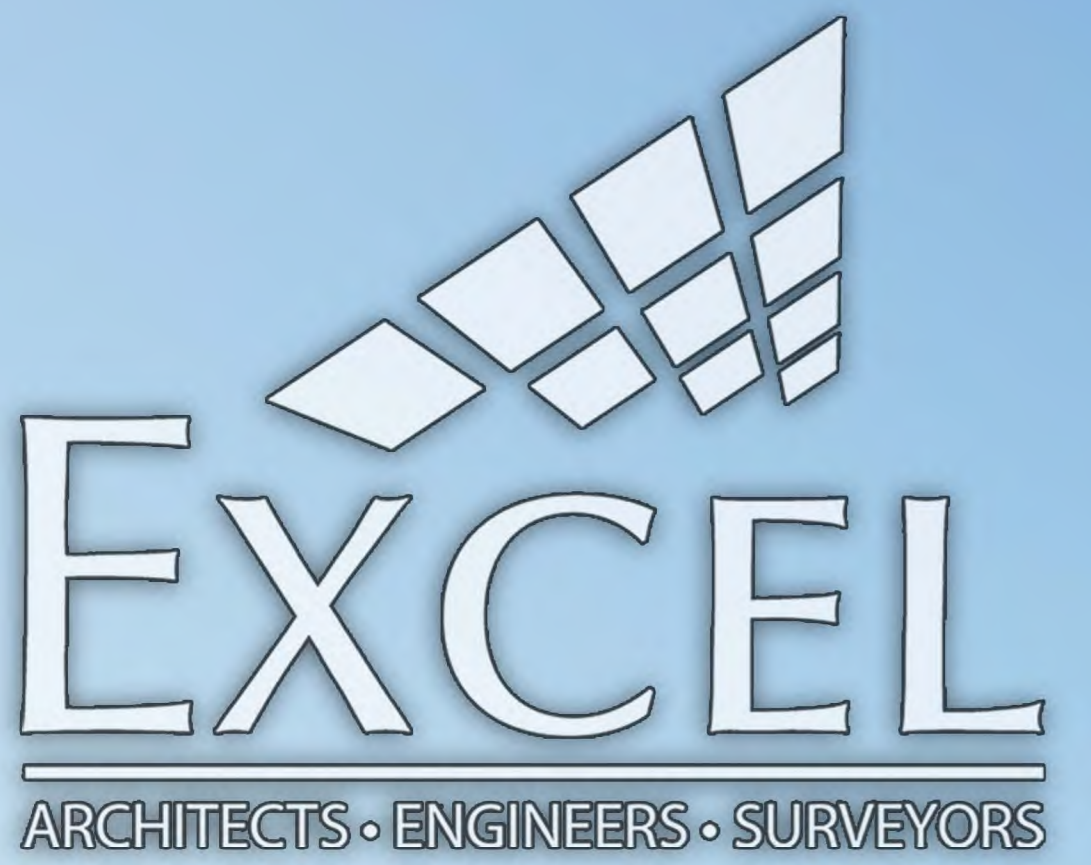
NOT FOR CONSTRUCTION

SHEET INFORMATION

EXTERIOR ELEVATIONS

SHEET NUMBER

A2.1



The Oaks at 8100 - Oak Creek, Wisconsin





PLAN COMMISSION REPORT

Proposal: Plan Commission Consultation – 441 W. Ryan Rd.

Description: Discussion of potential multifamily residential development. No action will be taken on this item.

Applicant(s): David Decker, Decker Properties, Inc.

Address(es): 441 W. Ryan Rd.

Suggested Motion: N/A

Owner(s): Parkside Land Group LLC

Tax Key(s): 906-9028-001

Lot Size(s): 10.840 ac

Current Zoning District(s): B-4, Highway Business

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Resource Protection Area

Background:

The Applicant has requested an initial meeting with the Plan Commission to discuss the conceptual plans for a multifamily residential development at 441 W. Ryan Rd. This property is located between Edgerton Contractors to the west and the Oak Creek Police Department to the east. The property is also adjacent to and north of County-owned parkland. Although no action is required of the Plan Commission for the consultation, staff would like to point out the following for consideration and future discussion:

Land Use Comments

- The future land use map adopted as part of the Comprehensive Plan illustrates this area as Planned Industrial. Both a Comprehensive Plan Amendment and rezone for a multifamily residential development would be required.
- Due to the proposed density – 192 units in 30-unit and 33-unit buildings on approximately 11 gross acres (18 units/acre) - a Conditional Use Permit or Planned Unit Development will be required. It should be noted that the proposed density is in excess of what is allowed per Code for the mix of units, and a modification to the minimum lot area per unit will be required.
- Staff has significant concerns regarding multifamily development at this location, particularly at the proposed density, scale of buildings and configuration. Moreover, this location, while adjacent to a busy State highway and a major truck route, is isolated from services and amenities with limited prospects for walkability or connectivity.
- Properties of this size and location are more appropriately held for future nonresidential development.

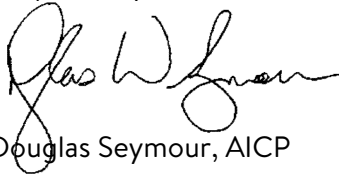
Site Comments

- Hydric soils have been identified on and around the parcel; however, a wetland delineation has not yet been conducted. Per Section 17.1009(a)(25), “[w]etlands may be used in the density calculation of a development, but in no case shall they constitute more than twenty-five (25) percent of the minimum lot area required.”
- For Plan Commission reference, the recently-approved Orchard Hills multifamily residential development on 27th Street included 225 units on approximately 17 non-wetland acres. A maximum of 20 units per building was approved.
- A Traffic Impact Analysis would be required.
- Show right-of-way on Eagle Summit Drive and extend road to the south.
- Building setbacks to the Eagle Summit Drive right-of-way must be met.
- Emergency access must be maintained on this site, which will require coordination with and approval by the Fire Department. This may have additional implications for the layout of access drives and buildings.

- Public water exists on both Ryan Road and Eagle Summit court. Internal water will be public.
- Public sewer will need to be extended across the frontage of 441 Ryan Rd.
- The detached garages on the south side of the development are isolated from the nearby buildings. It is unclear which building or buildings these garages would be serving, there is no access around 2 of the garages, there is no turnaround area, and there are no walkways connecting the garages to the apartment buildings. Anyone using these garages would have to walk in the drive aisle or cross the access to get to an apartment building.

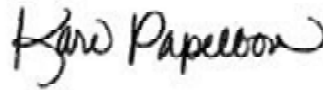
Options/Alternatives: N/A. Discussion item only.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

Attachments:

Location Map

Proposal Narrative (letter dated September 11, 2018; 3 pages)

Plans

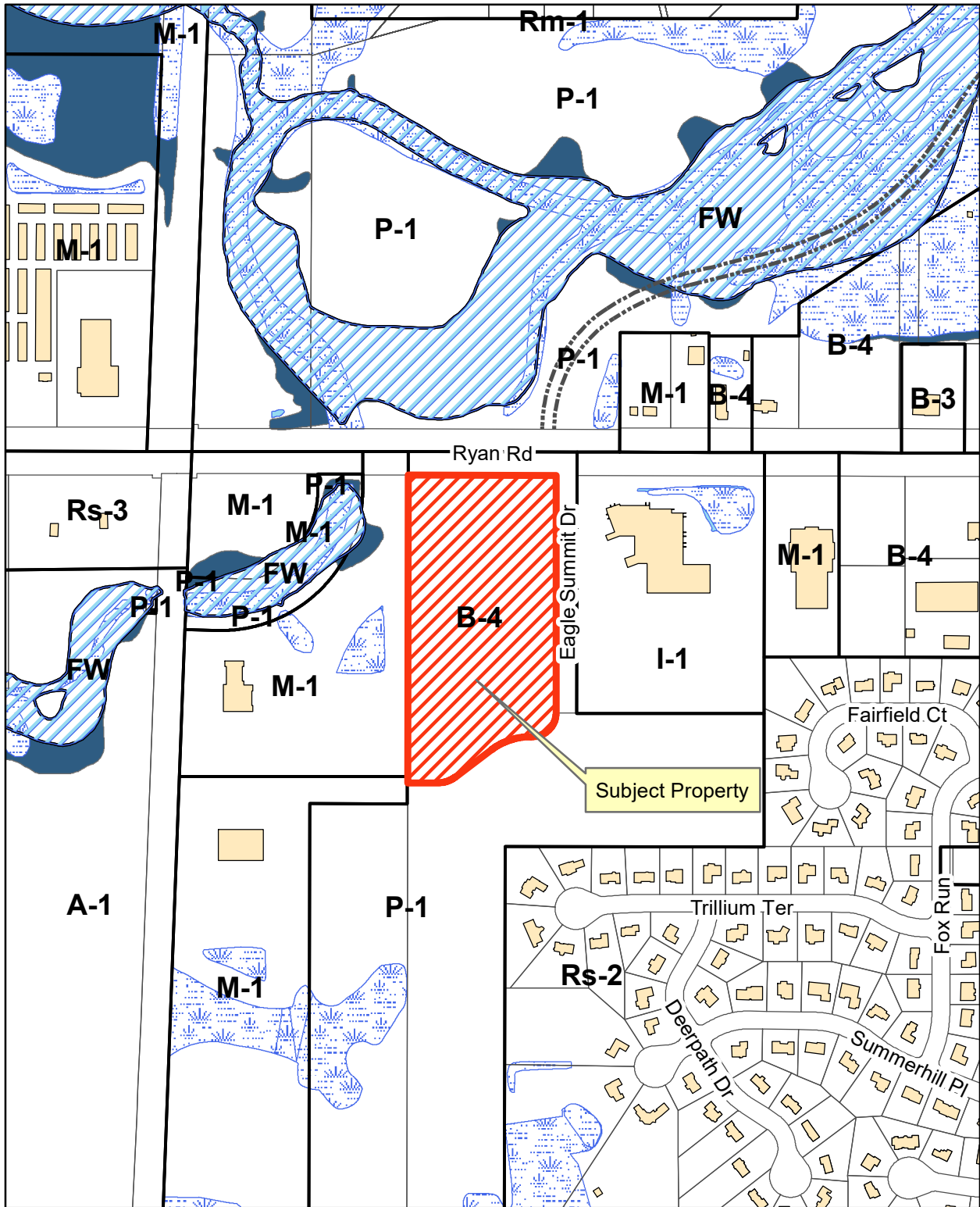
C1 - Concept Site Plan (1 page)

A1.1 – A2.1 (2 pages)

Rendering (1 page)

Location Map

441 W. Ryan Rd.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

- Officially Mapped Streets
- Subject Property
- Floodplain 2008
- DNR Wetlands Inventory
- Waterbodies

Zoning Overlays

- C-1-Shoreland Wetland
- FF-Flood Fringe
- Lakefront Overlay
- NO-Mixed Use Neighborhood
- OO-Mixed Use Office
- RR-Regional Retail

DECKER PROPERTIES, INC.

250 N. Sunny Slope Road
Suite 290
Brookfield, WI 53005
(262) 785-0840
Fax (262) 785-0799

September 11, 2018

Planning Commission
City of Oak Creek
8040 S. 6th Street
Oak Creek, WI 53154

**RE: Description of Proposal
Station 441
City of Oak Creek
441 W. Ryan Road**

Dear Commission Members:

We are pleased to provide you with the following information regarding our proposed development in Oak Creek, WI, 'Station 441'.

Property Location

The vacant property that is the subject of this proposed development is a single parcel containing a total of 10.83 acres of land. The property is located south of Ryan Road and west of Eagle Summit Drive. The existing property consists of a vacant field. The site is currently zoned B-4 Highway business and will require a rezone. The property is currently identified as Planned Industrial on the City's Comprehensive Plan. This Comprehensive Plan will need to be amended prior to rezoning. As part of the approval process the project will require an amendment to the Comprehensive Plan and Rezoning to PUD with site plan approval to follow. Pending positive response from the Planning Commission the applicant will start the submittal process for the above mentioned items.

This site is walkable to the new Industrial Park proposed just west of the subject property. One of the citizen complaints regarding this new Industrial Park has been increased vehicular traffic. It is not hard to imagine that the proximity of the subject

multifamily development will result in removing hundreds of vehicles that might have otherwise been commuting to these facilities.

Development Description

The overall development will be completed in phases. The development will consist of five multifamily buildings with underground parking. The development will also provide a centralized clubhouse, additional garages and outdoor parking areas. A pond will be constructed on the site to treat the development's runoff and recreation areas will be constructed around the pond area, including a recreational trail. Site access will be made to the existing Eagle Summit Drive Right of Way to the east. Construction is planned to begin in Spring of 2019 and be completed in phases with final completion anticipated in November 2021. Phasing of construction will start at the Eagle Summit entrance and continue south.

The buildings will be three story wood frame over one story of below grade parking for the residents. The dwelling units will be a mix of one, two, and three bedroom units with two full bathrooms provided in the two and three bedroom units. They will offer central air conditioning and individual forced air heat, with in-unit washer and dryer and upgraded finishes and appliances. The attractive exterior will consist of stone veneer, cement board siding or similar, and asphalt shingled roof. Varying color schemes will be used for the buildings. Please refer to the architectural floor plans and building elevations included with the application submittal.

The site design elements of the proposed multifamily development are based upon the standards found in the City of Oak Creek Municipal Code for the RM-1 base zoning and the parking and access standards found in the City's municipal code. The existing property has a topographic site constraint and the proposed layout helps maximize the sites potential to incorporate this topographic change with underground parking. The buildings will have some exposures to help transition the topography change on the site. The pond area will be constructed on the north side along W. Ryan Road as it is the low point on the site and will be constructed outside of the existing DOT easement.

The layout works with the site's constraint to help provide an efficient layout that works to meet the owner's and city's needs. The layout is below the required maximum lot coverage. The development density is greater than the code calculated density requirement. See site data tables on the concept plan for calculation summary. Public water and sanitary mains will be routed through the site to connect to W. Ryan Road Public Utilities. Private hydrant locations on the site will be coordinated with the Fire Department. The development will have a sign placed at the main entrance. Dumpster locations are shown at various locations on the site plan. Final refuse disposal process to be determined. The property will have on-site staff and maintenance personnel. Potential tenants must meet rigorous standards set by Decker Properties, Inc.

Decker Properties, Inc.

Decker Properties traces its beginnings to the acquisition of its first apartment building in 1986. David Decker has published two books about real estate, has lectured across the US on various real estate topics and has been quoted in the national media.

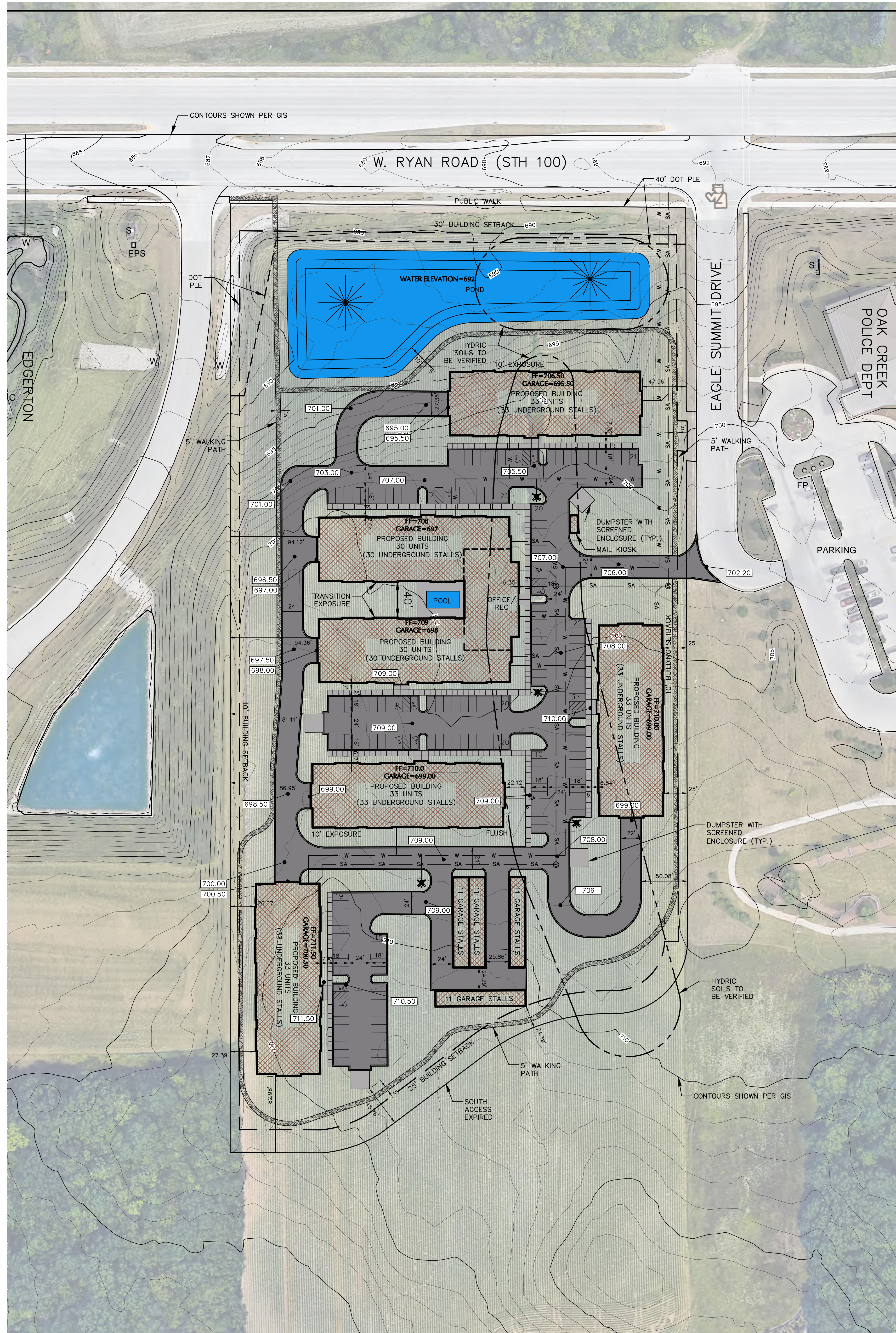
Decker Properties takes a buy and hold approach to real estate investing and development and has continued ownership of various locations up to 30 years.

Once a development is complete, it is not unusual for municipal leadership to invite Decker Properties to participate in further development in the community.

Sincerely,

David J. Decker

David J. Decker



SITE INFORMATION:

LEGAL DESCRIPTION: Part of Certified Survey Map Number 7361
Tax Key: 9069028001

PROPERTY AREA: AREA = 471,712 S.F. (10.83 ACRES).

EXISTING ZONING: B-4 - HIGHWAY BUSINESS
PROPOSED ZONING: RM-1 BASE ZONING
PROPOSED USE: MULTI-FAMILY

SETBACKS: BUILDING: FRONT = 30'
SIDE = 10'
REAR = 25'
PAVEMENT: FRONT = 25'
SIDE = 15'
REAR = 12'

PROPOSED BUILDING HEIGHT: 3 STORIES (MAX. HEIGHT: 50' OR 3 STORIES)

PARKING REQUIRED: 1.5 SPACES PER 1 BEDROOM UNIT, 2 SPACES PER 2 BEDROOM UNIT, 2.5 SPACES PER 3 BEDROOM UNIT (348 SPACES REQ.)

PARKING PROVIDED: 403 SPACES (9 (MIN) H.C. ACCESSIBLE STALLS TO BE PROVIDED) - SEE PARKING TABLE

HANDICAP STALLS REQUIRED: 13, HANDICAP STALLS TO BE PROVIDED: 9 MIN

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 25% (5% INTERIOR <50,000 SF PAVT, 10% INTERIOR >50,000 SF PAVT)

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.83	471,712	
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	0.00	0	0.0%
LANDSCAPE/ OPEN SPACE	10.83	471,712	100.0%

PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	10.83	471,712	
BUILDING FLOOR AREA	15.3	66,794	14.2%
PAVEMENT (ASP. & CONC.)	2.64	114,814	24.3%
TOTAL IMPERVIOUS	4.17	181,608	38.5%
LANDSCAPE/ OPEN SPACE	6.66	290,104	61.5%

PROPOSED BUILDING LAYOUT

PROPOSED BUILDING
33 UNITS
33 UG PARKING STALLS

33 UNITS
(15) ONE BEDS (45%)
(15) TWO BEDS (45%)
(3) THREE BEDS (10%)

PROPOSED TOTAL UNITS

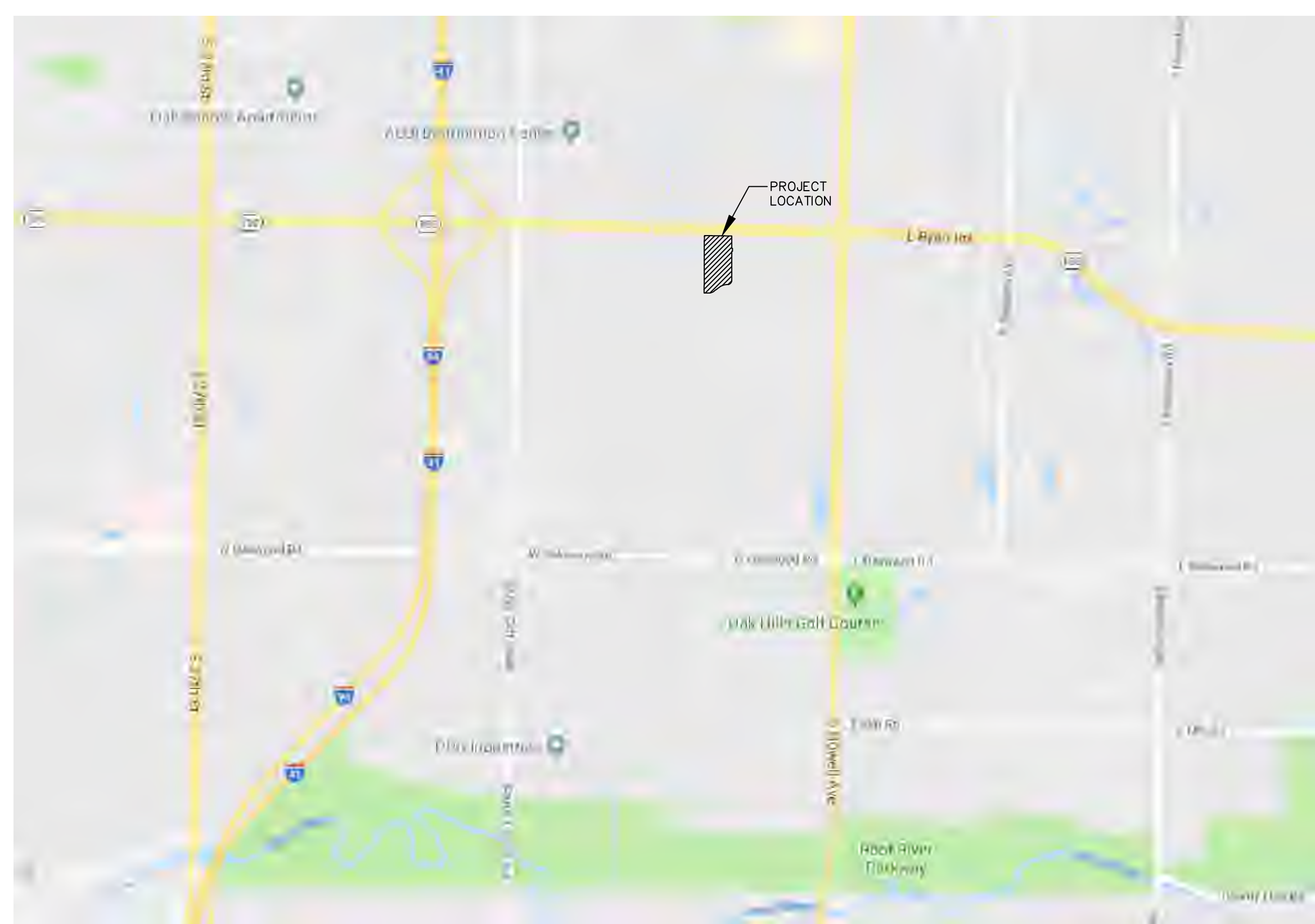
TOTAL ONE BEDROOM UNITS	90
TOTAL TWO BEDROOM UNITS	84
TOTAL THREE BEDROOM UNITS	18
TOTAL UNITS	192

OVERALL DENSITY PROVIDED:
ONE BEDROOM: 90 UNITS (45.9%) = 18,210,459=8.5 UNITS/AC
TWO BEDROOM: 84 UNITS (43.8%) = 14,570,438=6.4 UNITS/AC
THREE BEDROOM: 18 UNITS (9.4%) = 9,770,094=0.9 UNITS/AC
TOTAL: 15.8*10.83 AC=171 UNITS/TOTAL AC
TOTAL DENSITY: 192 UNITS / 10.83 AC=17.73 UNITS/AC

NOTES:
1. LANDSCAPE PLAN TO BE ADDED PER CODE.
2. CURB AND CUTTER TO BE ADDED TO PAVED AREAS.

PROPOSED PARKING SITE DATA

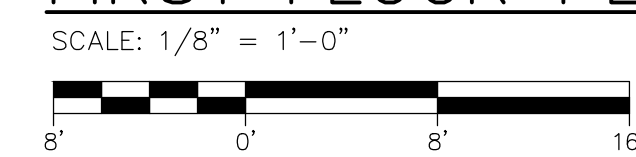
TOTAL PROPERTY = 10.83 AC	
TOTAL UNITS	192
TOTAL UNDERGROUND PARKING	192
TOTAL DETACHED GARAGE PARKING	44
TOTAL SURFACE PARKING	162
TOTAL PARKING	403



VICINITY MAP



FIRST FLOOR PLAN – 33 UNIT BUILDING



PROFESSIONAL SEAL

PRELIMINARY DATES

APR. 13, 2018
 MAY 21, 2018
 AUG. 28, 2018
 SEPT. 12, 2018

NOT FOR CONSTRUCTION

SHEET INFORMATION

FIRST FLOOR PLAN

SHEET NUMBER

A1.1

CONCEPT LAYOUT FOR:
STATION 441
 441 W. RYAN ROAD • OAK CREEK, WI

PROFESSIONAL SEAL

PRELIMINARY DATES

SEPT. 5, 2018
 SEPT. 12, 2018

NOT FOR CONSTRUCTION

SHEET INFORMATION

EXTERIOR ELEVATIONS

SHEET NUMBER

A2.1



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



Station 441
APARTMENTS
Oak Creek, Wisconsin





PLAN COMMISSION REPORT

Proposal: Certified Survey Map

Description: Review of a Certified Survey Map request divide the parcel at 7869 S. 13th St. into 3 development lots.

Applicant(s): John Thomsen, Highgate, LLC

Address(es): 7869 S. 13th St.

Suggested Motion: That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by John Thomsen, Highgate, LLC, for the property at 7869 S. 13th St. be approved with the following conditions:

1. That the CSM approved by the Common Council December 19, 2017 and the CSM approved by the Common Council on July 17, 2018 are submitted for recording prior to or concurrently with submission of this CSM for recording.
2. That the CSM is revised to incorporate all wetland areas on all sheets.
3. That easements (access, utilities, etc.) are depicted on the map prior to recording.
4. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections (as provided), and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Owner(s): Highgate, LLC

Tax Key(s): 784-9993-002

Lot Size(s): Lot 1 = 20.9421 ac, Lot 2 = 1.3008 ac, Lot 3 = 2.0249 ac (following reconfiguration)

Current Zoning District(s): B-4, Highway Business

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Planned Mixed Use

Background:

The Applicants are requesting approval of a Certified Survey Map (CSM) to divide the property at 7869 S. 13th St. into 3 lots of conforming size. Plan Commissioners may recall that a CSM was approved last year combining the properties at 7705, 7725, 7751, 7831, and 7869 S. 13th St., and that a CSM was approved in July of this year dividing the corner Lot 2. Both CSMs have yet to be recorded, and a condition of approval is included above requiring recording prior to or concurrently with the proposed CSM.

Plan Commissioners will note that the proposed Lot 2 and Lot 3 do not have access to a public street. As proposed, the lots would be accessed via a cross-access easement over Lot 1. No details for the easement or access road have been provided as of writing this report. Easements for public water and sewer are missing from the CSM and must be incorporated; otherwise, no public sewer or water can be constructed to serve the site.

Wetlands have been delineated and are shown on the northeast side of Lot 1 on Sheet 2. However, wetlands should be shown on all pages of the CSM prior to recording, and a condition of approval for such is recommended above.

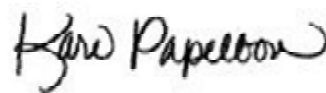
Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed CSM with specified conditions, or that the Common Council not approve of the proposed CSM. Disapproval will likely result in the existing condition of the properties to remain.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

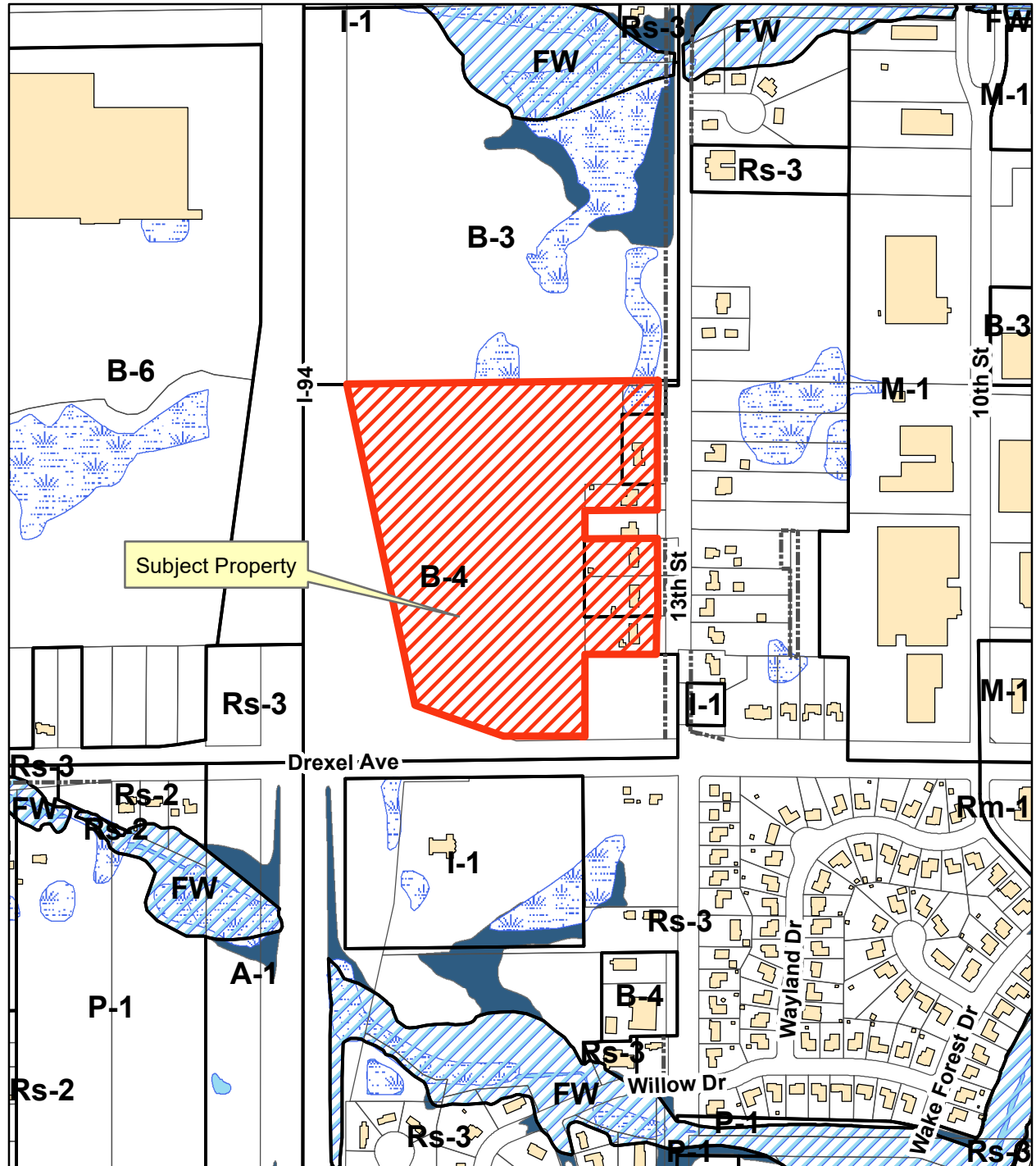
Attachments:

Location Map

CSM

Location Map

7869 S. 13th St.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

- Officially Mapped Streets
- Subject Property
- Floodplain 2008
- DNR Wetlands Inventory
- Waterbodies

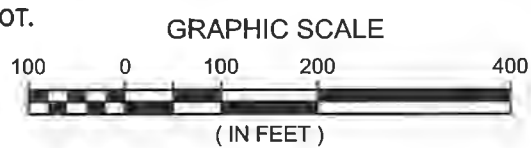
Zoning Overlays

- C-1-Shoreland Wetland
- FF-Flood Fringe
- Lakefront Overlay
- NO-Mixed Use Neighborhood
- OO-Mixed Use Office
- RR-Regional Retail

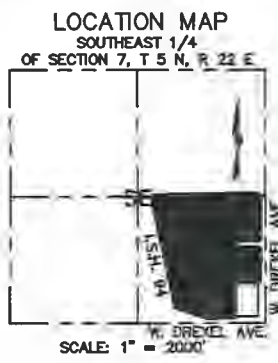
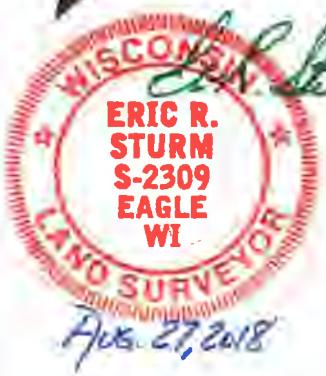
CERTIFIED SURVEY MAP NO. _____

Lot 1 of Certified Survey Map No. _____, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

- INDICATES 1" IRON PIPE (FOUND), UNLESS NOTED
- INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT.
- × INDICATES SET MAG NAIL, UNLESS NOTED



NE COR. OF SE 1/4 SEC. 7-5-22, FOUND CONC. MON. W/BRASS CAP



SEE SHEET 3 FOR EASEMENT DETAILS

ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.

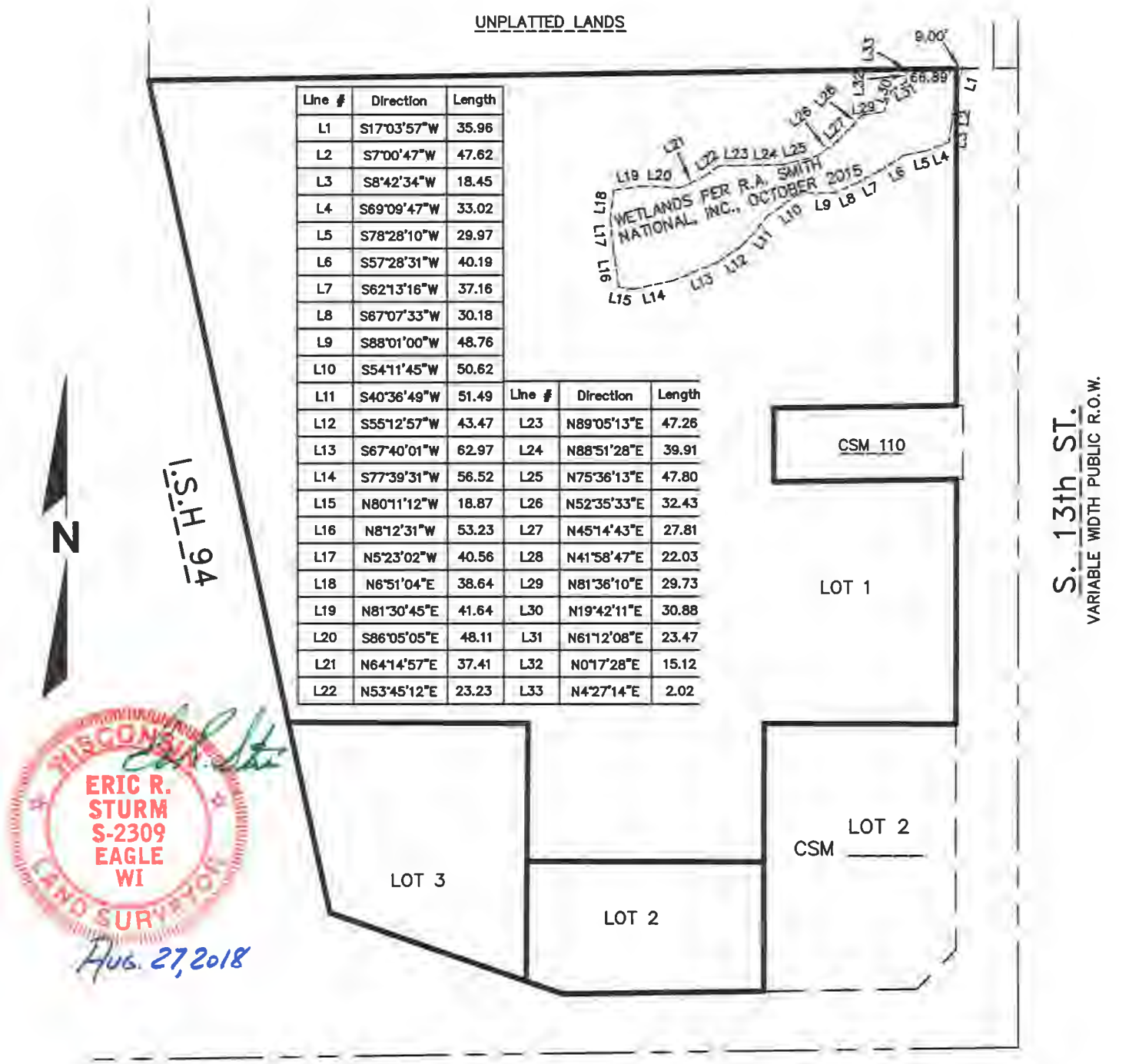
ALL BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SE 1/4 OF SECTION 7, T 5 N, R 22 E, WHICH BEARS N00°05'47"E.



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 Brookfield, WI 53005-5938
 (262) 781-1000
 rasmith.com

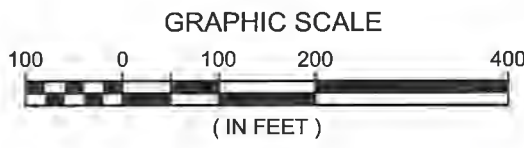
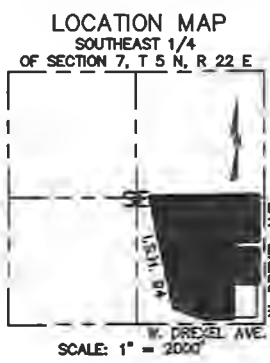
CERTIFIED SURVEY MAP NO. _____

Lot 1 of Certified Survey Map No. _____, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.



Line #	Direction	Length	Line #	Direction	Length
L1	S17°03'57"W	35.96	L23	N89°05'13"E	47.26
L2	S7°00'47"W	47.62	L24	N88°51'28"E	39.91
L3	S8°42'34"W	18.45	L25	N75°36'13"E	47.80
L4	S69°09'47"W	33.02	L26	N52°35'33"E	32.43
L5	S78°28'10"W	29.97	L27	N45°14'43"E	27.81
L6	S57°28'31"W	40.19	L28	N41°58'47"E	22.03
L7	S62°13'16"W	37.16	L29	N81°36'10"E	29.73
L8	S67°07'33"W	30.18	L30	N19°42'11"E	30.88
L9	S88°01'00"W	48.76	L31	N61°12'08"E	23.47
L10	S54°11'45"W	50.62	L32	N0°17'28"E	15.12
L11	S40°36'49"W	51.49	L33	N4°27'14"E	2.02
L12	S55°12'57"W	43.47			
L13	S67°40'01"W	62.97			
L14	S77°39'31"W	56.52			
L15	N80°11'12"W	18.87			
L16	N8°12'31"W	53.23			
L17	N5°23'02"W	40.56			
L18	N6°51'04"E	38.64			
L19	N81°30'45"E	41.64			
L20	S86°05'05"E	48.11			
L21	N64°14'57"E	37.41			
L22	N53°45'12"E	23.23			

W. DREXEL AVE.
VARIABLE WIDTH PUBLIC R.O.W.



raSmith

CREATIVITY BEYOND ENGINEERING

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rasmith.com

CERTIFIED SURVEY MAP NO. _____

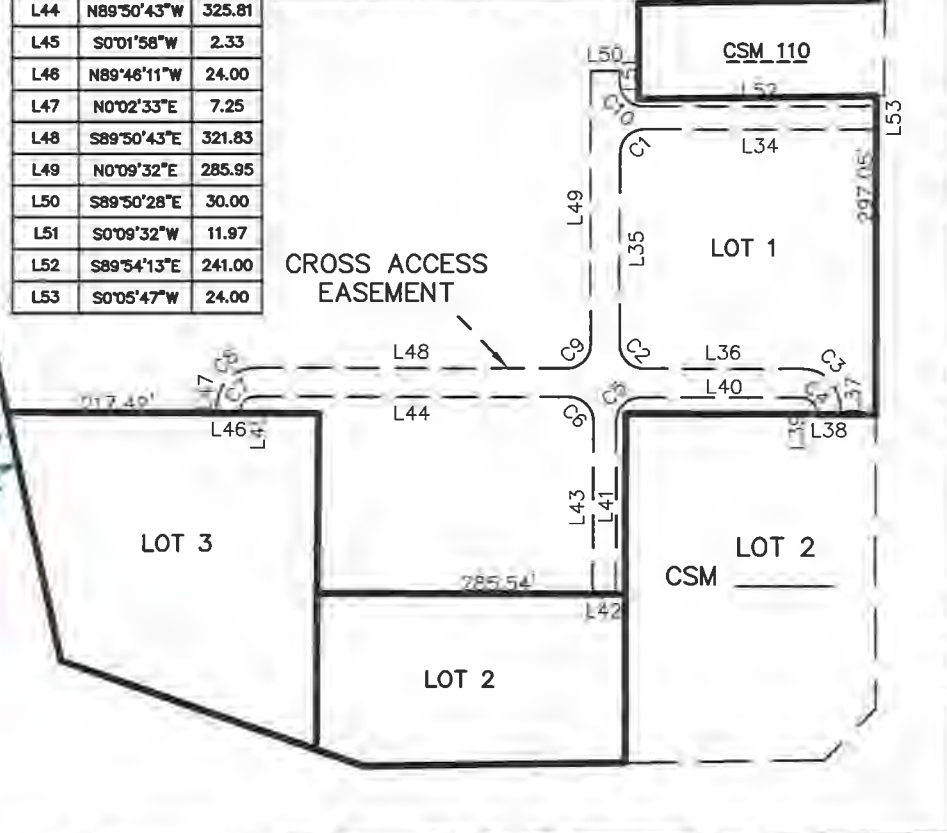
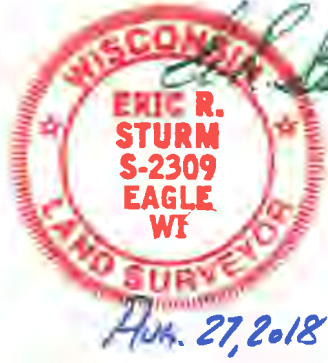
Lot 1 of Certified Survey Map No. _____, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

UNPLATTED LANDS

Line Table			Curve Table				
Line #	Direction	Length	Curve #	Length	Radius	Chord Bearing	Chord
L34	N89°54'13"W	241.08	C1	39.24	25.00	S45°07'40"W	35.34
L35	S0°09'32"W	199.97	C2	39.27	25.00	S44°50'35"E	35.36
L36	S89°50'43"E	165.33	C3	61.22	39.00	S44°52'28"E	55.13
L37	S0°05'47"W	7.89	C4	23.55	15.00	N44°52'28"W	21.20
L38	N89°52'55"W	24.00	C5	39.27	25.00	S45°09'13"W	35.36
L39	N0°07'05"E	1.88	C6	39.27	25.00	N44°50'47"W	35.35
L40	N89°50'43"W	168.34	C7	23.59	15.00	S45°05'38"W	21.24
L41	S0°09'10"W	180.08	C8	62.92	40.00	N45°05'38"E	56.63
L42	N89°50'50"W	24.00	C9	39.27	25.00	N45°09'25"E	35.35
L43	N0°09'10"E	180.09	C10	39.30	25.00	S44°52'20"E	35.37
L44	N89°50'43"W	325.81					
L45	S0°01'58"W	2.33					
L46	N89°46'11"W	24.00					
L47	N0°02'33"E	7.25					
L48	S89°50'43"E	321.83					
L49	N0°09'32"E	285.95					
L50	S89°50'28"E	30.00					
L51	S0°09'32"W	11.97					
L52	S89°54'13"E	241.00					
L53	S0°05'47"W	24.00					

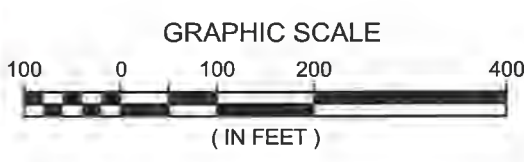


I.S.H. 94



S. 13th ST.
VARIABLE WIDTH PUBLIC R.O.W.

W. DREXEL AVE.
VARIABLE WIDTH PUBLIC R.O.W.



raSmith
CREATIVITY BEYOND ENGINEERING

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CERTIFIED SURVEY MAP NO. _____

Lot 1 of Certified Survey Map No. _____, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

CORPORATE OWNER'S CERTIFICATE

SOMERSTONE LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said corporation has caused the land described on this map to be surveyed, divided, and mapped in accordance with the requirements of Chapter 236 of the Wisconsin Statutes and Chapter 14 of the City of Oak Creek Municipal Code.

SOMERSTONE LLC, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: City of Oak Creek

IN Witness Whereof, SOMERSTONE LLC has caused these presents to be signed by _____, its _____, this _____ day of _____, 2018.

STATE OF WISCONSIN }
 :SS
MILWAUKEE COUNTY }

PERSONALLY came before me this _____ day of _____, 2018, _____, of the above named SOMERSTONE LLC, to me known to be the person who executed the foregoing instrument, and to me known to be the Mayor of the City of Oak Creek, and acknowledged that he executed the foregoing instrument as such officer as the deed of the corporation, by its authority.

_____(SEAL)
Notary Public, State of _____
My Commission Expires _____



CERTIFIED SURVEY MAP NO. _____

Lot 1 of Certified Survey Map No. _____, being part of the Southeast 1/4 of the Southeast 1/4 of Section 7, Township 5 North, Range 22 East, in the City of Oak Creek, Milwaukee County, Wisconsin.

PLANNING COMMISSION OF APPROVAL

Certified Survey Map accepted by the Planning Commission of the City of Oak Creek on this day of _____, 2018.

MAYOR DANIEL BUKIEWICZ, CHAIRMAN

DOUGLAS SEYMOUR, SECRETARY

COMMON COUNCIL APPROVAL

Certified Survey Map approved by the Common Council of the City of Oak Creek on this day of _____, 2018, by Resolution No. _____

DANIEL BUKIEWICZ, MAYOR

CATHERINE ROESKE, CITY CLERK



THIS INSTRUMENT WAS DRAFTED BY ERIC R. STURM,
PROFESSIONAL LAND SURVEYOR S-2309



PLAN COMMISSION REPORT

Proposal: Plan Review - Building Addition

Description: Site, building, landscape, and related plan review for a proposed addition to the west side of the existing building.

Applicant(s): Brett Ippolite, Camp Bow Wow

Address(es): 8411 S. Liberty Lane

Suggested Motion: That the Plan Commission approves the site plans submitted by Brett Ippolite, Camp Bow Wow, for the property at 8411 S. Liberty Lane with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That all parking areas meet the minimum required setbacks to the Liberty Lane right-of-way.
3. That landscape plans are revised to incorporate details for height of plants at installation and maturity.
4. That plans are revised to include details and elevations for the proposed dumpster enclosure.
5. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.

Owner(s): DDA OAK CREEK LLC, C/O BRETT IPPOLITE

Tax Key(s): 828-0001-000

Lot Size(s): 1.609 ac

Current Zoning District(s): M-1, Manufacturing

Overlay District(s):

Wetlands: Yes No

Floodplain: Yes No

Comprehensive Planned Industrial
Plan:

Background:

The Applicant is requesting site, building, landscape, and related plan approval for a proposed ~5,124 square-foot addition with fenced outdoor play areas to the west side of the existing building on the property at 8411 S. Liberty Ln. Plan Commissioners will recall that a Conditional Use Permit Amendment regarding the number of allowed dogs at the facility was approved by the Common Council on August 6, 2018. A copy of the Conditions and Restrictions is included with this staff report for Commissioner reference.

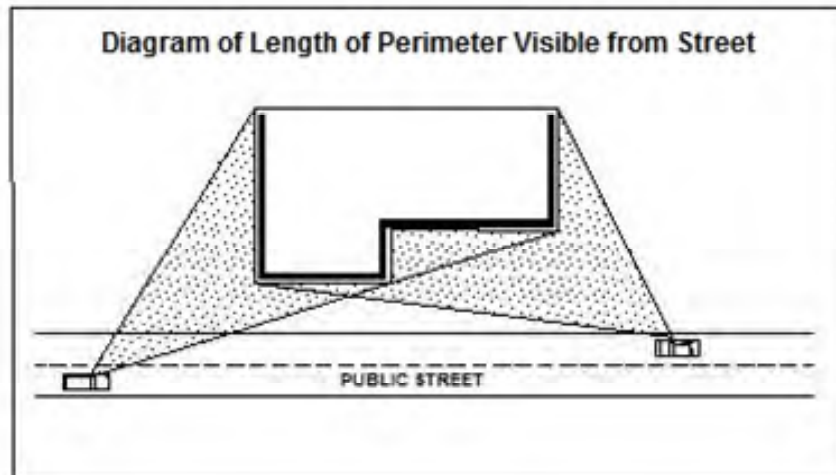
Current plans show that the addition is approximately ½-inch shy of the required setback (20 feet) on the south side of the building. Staff notes that the proposed addition is in line with the existing building, which was constructed in 2006. It is likely that the measurements for the existing building were not as precise as what is being shown today. It is not practical from a construction standpoint to set the addition back by ½ inch; therefore, staff is recommending approval of the plan as proposed.

Parking for 17 vehicles (according to the original approved plans) exists on the property north of the existing building. The plans propose to reconfigure and expand the parking to a total of 20 stalls. Part of the expansion requires the reduction of the existing landscape island separating the two driveways. However, the modification to the landscape island leaves the easternmost parking stall less than the required setback to the right-of-way. Per the Conditions and Restrictions, parking is required to be at least 40 feet from the right-of-way. This must be corrected in revised plans.

Code does not specify parking requirements for dog daycare and grooming facilities, and the requirements for animal hospitals are not applicable to this proposal. The closest applicable parking requirement would be for general retail and customer service uses, which requires 1 stall per 150 square feet of gross floor area of customer sales and service, plus 1 stall per employee at peak shift. Based on the floor plan, only the lobby/reception area is accessible to the public. While exact dimensions are not available, a rough estimate of this area is 527 square feet. This equates to 4 parking stalls for customers. Information submitted by the Applicant states that per company standards, 1 employee is required for every 25 dogs at the facility. The maximum number of dogs permitted to be at the facility at any given time is 125. This equates to 5 required parking stalls for employees, although no information has been submitted regarding reception or office staff. As previously mentioned, the existing configuration provides 17 parking stalls, exceeding the minimum requirement of 9. Any configuration for additional stalls in conformance with Code and Conditional Use Permit requirements would be in excess of the minimum requirement.

The addition is proposed to be constructed with fiber cement siding, brick, and roof to match the existing building. Per Code, the use of fiber cement products requires a ¾ majority approval of the Plan

Commission. Additionally, Section 17.1009(a)(2)(ii) states: “The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material.”



The addition is not within the visible perimeter per the above diagram. As this is a preexisting building, staff supports the plans as proposed.

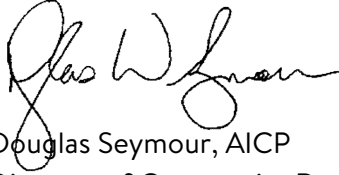
Landscape plans show enhanced planting areas along the north sides of the existing building, addition, and reconfigured parking area. Staff notes that no landscaping is proposed on the south; however, this is not an entry elevation and currently does not currently include landscaping. The exterior dog play areas are proposed to be enclosed with a new 8-foot-tall vinyl fence. Staff notes that the landscape plan is missing the height at planting and height at maturity, and details for the proposed dumpster enclosure are not included in the submitted plans. This information must be included in revised plans. Should additional modifications to the landscape plan be required, staff will work with the Applicant to ensure compliance.

Comments from the Engineering Department regarding grading and drainage have also been provided to the Applicant's consultant. No other comments were received from other departments.

With the above in mind, staff has provided a suggested motion for approval with conditions above for Plan Commission consideration.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

Attachments:

Location Map

Conditions and Restrictions

Plans

C-1.0 – C-7.0 (10 pages)

S-1 (1 page)

L-1.0 (1 page)

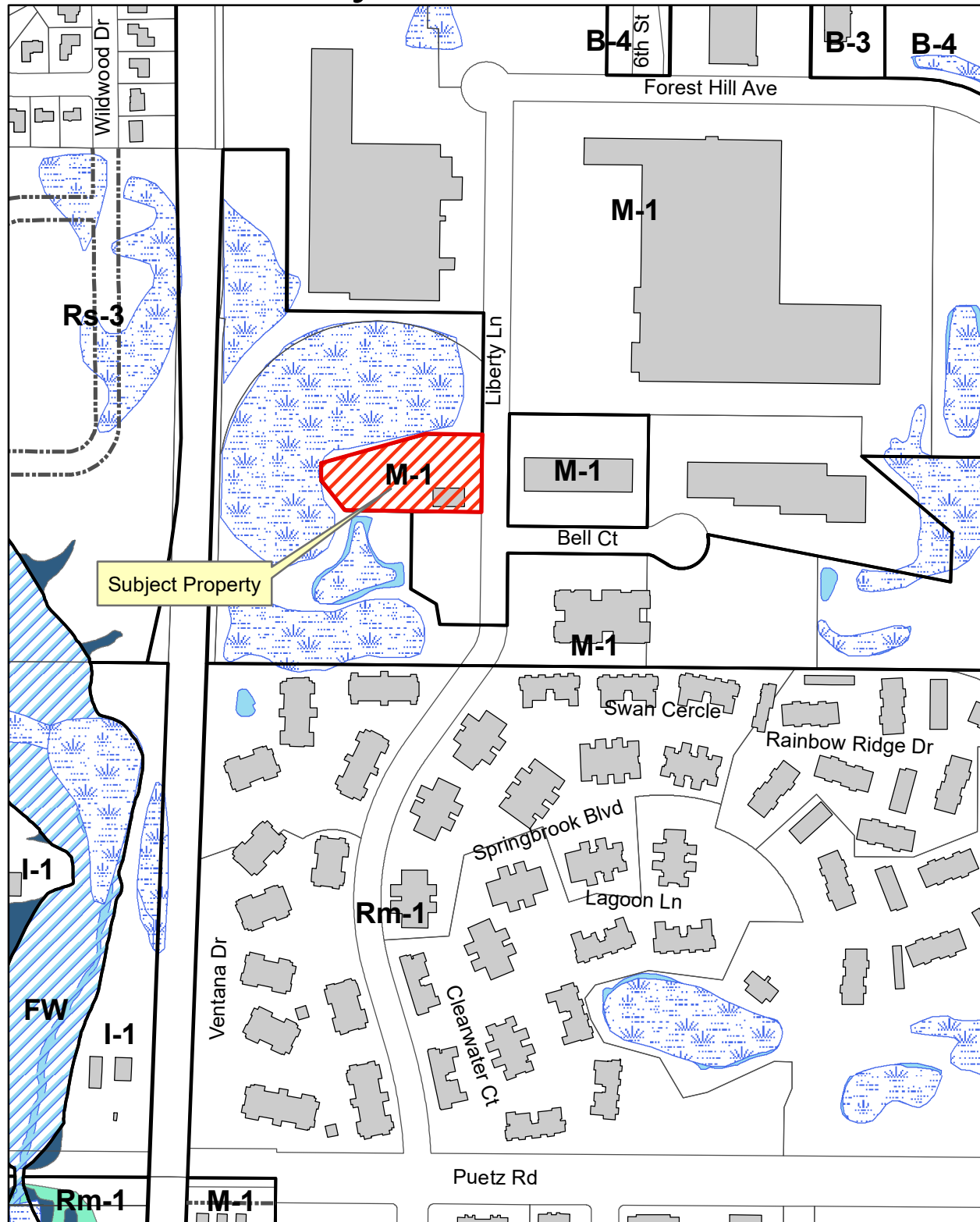
PH-1.0 (1 page)

A1.0B (1 page)

ELEV – 1 – ELEV – 2 (2 pages)

Location Map

8411 S Liberty Ln



Subject Property

This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

- Officially Mapped Streets
- Subject Property
- DNR Wetlands Inventory
- Floodplain 2008
- Waterbodies

Zoning Overlays

- C-1-Shoreland Wetland
- FF-Flood Fringe
- Lakefront Overlay
- NO-Mixed Use Neighborhood
- OO-Mixed Use Office
- RR-Regional Retail

**City of Oak Creek – Conditional Use Permit (CUP)
Amended Conditions and Restrictions**

Applicant:	Brett Ippolite, Camp Bow Wow	Approved by Plan Commission: 6-26-18
Property Address:	8411 S. Liberty Ln.	Approved by Common Council: 8-6-18
Tax Key Number(s):	828-0001-000	(Ord. 2904, Amending Ord. 2399)
Conditional Use:	Animal Boarding Kennel / Dog Day Care with Outdoor Exercise Area (increased max dogs allowed)	

1. LEGAL DESCRIPTION

LIBERTY WOODS SUBD. LOT 1 (1.609 ACS.) SE 1/4 SEC 17-5-22.

2. REQUIRED PLANS, EASEMENTS, AGREEMENTS AND PUBLIC IMPROVEMENTS

- A. All requirements of the City of Oak Creek Municipal Code, as amended, are in effect.
- B. A precise detailed site plan for the area affected by the Conditional Use shall be submitted to, and approved by, the Plan Commission prior to the issuance of any building or occupancy permits. This plan shall show and describe the following:

1) **General Development Plan**

- a) Detailed building location(s) with setbacks
- b) Square footage of all buildings/structures
- c) Area(s) for future expansion
- d) Area(s) to be paved
- e) Access drive(s) (width and location)
- f) Sidewalk location(s)
- g) Parking layout and traffic circulation
 - i) Location
 - ii) Number of employees
 - iii) Number of unit & surface spaces
 - iv) Dimensions
 - v) Setbacks
- h) Location(s) of loading berth(s)
 - i) Location of sanitary sewer (existing & proposed)
 - j) Location of water (existing & proposed)
 - k) Location of storm sewer (existing & proposed)
- l) Location(s) of wetlands (field verified)
- m) Location(s), square footage and height of sign(s) and fencing

2) **Landscape Plan**

- a) Screening plan
- b) Number, initial size and type of plantings
- c) Parking lot screening/berming & buffer yard landscaping

3) **Building Plan**

- a) Architectural elevations (w/dimensions)
- b) Building floor plans
- c) Materials of construction (including colors)

4) **Lighting Plan**

- a) Types & color of fixtures
- b) Mounting heights
- c) Types & color of poles
- d) Photometrics of proposed fixtures

5) **Grading, Drainage and Stormwater Management Plan**

- a) Contours (existing & proposed)
- b) Location(s) of storm sewer (existing and proposed)
- c) Location(s) of stormwater management structures and basins (if required)

6) **Fire Protection**

- a) Locations of existing & proposed fire hydrants
- b) Interior floor plan(s)
- c) Materials of construction

- B. All plans for new buildings, additions, or exterior remodeling shall be submitted to the Plan Commission for their review and approval prior to the issuance of a building permit.
- C. For any new buildings or structures and additions, site grading and drainage, stormwater management and erosion control plans shall be submitted to the City Engineer for approval, if required. The City Engineer's approval must be received prior to the issuance of any building permits.
- D. All electric, telephone and cable TV service wires or cable shall be installed underground within the boundaries of this property.

3. SITE & USE RESTRICTIONS, MAINTENANCE & OPERATION REQUIREMENTS

- A. One (1) animal boarding kennel/dog day care with outdoor exercise area in accordance with these Conditions and Restrictions is allowed on the property. Other uses permitted by the zoning district, in accordance with other applicable Sections of the City of Oak Creek Municipal Code and these Conditions and Restrictions, are also allowed on the property.
- B. Outdoor storage is limited to fenced outdoor play areas approved by the Plan Commission, as shown in Exhibit A. Outdoor storage of materials, other vehicles (e.g., service trucks, personal vehicles, and recreational vehicles), equipment, supplies, and merchandise is prohibited.
- C. The use of the outdoor play area shall be limited to between 6:30 AM and 8:00 PM. The facility is permitted to operate 24 hours per day, 7 days per week.
- D. There shall be no more than 125 dogs at the facility at any one time, and no more than 80 dogs boarded overnight at the facility. The maximum number of allowed dogs at the facility at any given time shall revert back to the original approval of 50 should the proposed addition to the building in Exhibit A not be constructed.
- E. Per Section 7.61 of the Municipal Code (as amended): No person shall operate a kennel unless he holds a valid license authorized by the Common Council of the City of Oak Creek. When all applicable provisions of this Section have been complied with by the applicant and such compliance has been certified by the Sanitarian and a valid occupancy permit has been issued by the Building Inspector, the Sanitarian shall issue a permit to operate upon the payment of a fee as listed in Section 3.40. Every such permit shall expire on the last day of December.
- F. Kennels shall be operated in accordance with Section 7.6 of the Municipal Code (as amended).
- G. The number, size, location, and screening of appropriate solid waste collection units shall be subject to approval of the Plan Commission as part of the required site plan(s). Solid waste collection and recycling, and pet waste removal and disposal shall be the responsibility of the owner.
- H. Removal of snow from off-street parking areas, walks and access drives shall be the responsibility of the landowner(s).

4. PARKING AND ACCESS

Parking for this development shall be provided in accordance with Sections 17.0403 & 17.0404 of the Municipal Code (as amended).

5. LIGHTING

All plans for new outdoor lighting for each stage of the development shall be reviewed and approved by the Plan Commission and Electrical Inspector in accordance with Section 17.0808 of the Municipal Code (as amended).

6. BUILDING AND PARKING SETBACKS

	Front and Street Setback	Rear Setback	Side Setback
Principal Structure(s)	40 ft	20 ft	20 ft

Accessory Structure(s)*	40 ft	5 ft	5 ft
Off-street Parking	40 ft	5 ft	5 ft

* No accessory structures shall be permitted in the front yard or in required buffer yards.

7. TIME OF COMPLIANCE

The operator of the Conditional Use shall commence work in accordance with these conditions and restrictions for the Conditional Use within twelve (12) months from the date of adoption of the ordinance authorizing the issuance of a Conditional Use Permit. This Conditional Use approval shall expire within twelve (12) months after the date of adoption of the ordinance if a building permit has not been issued for this use. The applicant shall re-apply for a Conditional Use approval prior to recommencing work or construction.

8. OTHER REGULATIONS

Compliance with all other applicable City, State, DNR and Federal regulations, laws, ordinances, and orders not heretofore stated or referenced, is mandatory.

9. VIOLATIONS & PENALTIES

Any violations of the terms of this Conditional Use Permit shall be subject to enforcement and the issuance of citations in accordance with Section 1.20 of the City of Oak Creek Code of Ordinances. If the owner, applicant or operator of the Conditional Use is convicted of two or more violations of these conditions and restrictions or any other municipal ordinances within any 12-month period the city shall have the right to revoke this Conditional Use Permit, subject to the provisions of paragraph 14 herein. Nothing herein shall preclude the City from commencing an action in Milwaukee County Circuit Court to enforce the terms of this Conditional Use Permit or to seek an injunction regarding any violation of this Conditional Use Permit or any other city ordinances.

10. REVOCAION

Should an applicant, his heirs, successors or assigns, fail to comply with the conditions and restrictions of the approval issued by the Common Council, the Conditional Use approval may be revoked. The process for revoking an approval shall generally follow the procedures for approving a Conditional Use as set forth in Section 17.1007 of the Municipal Code.

11. ACKNOWLEDGEMENT

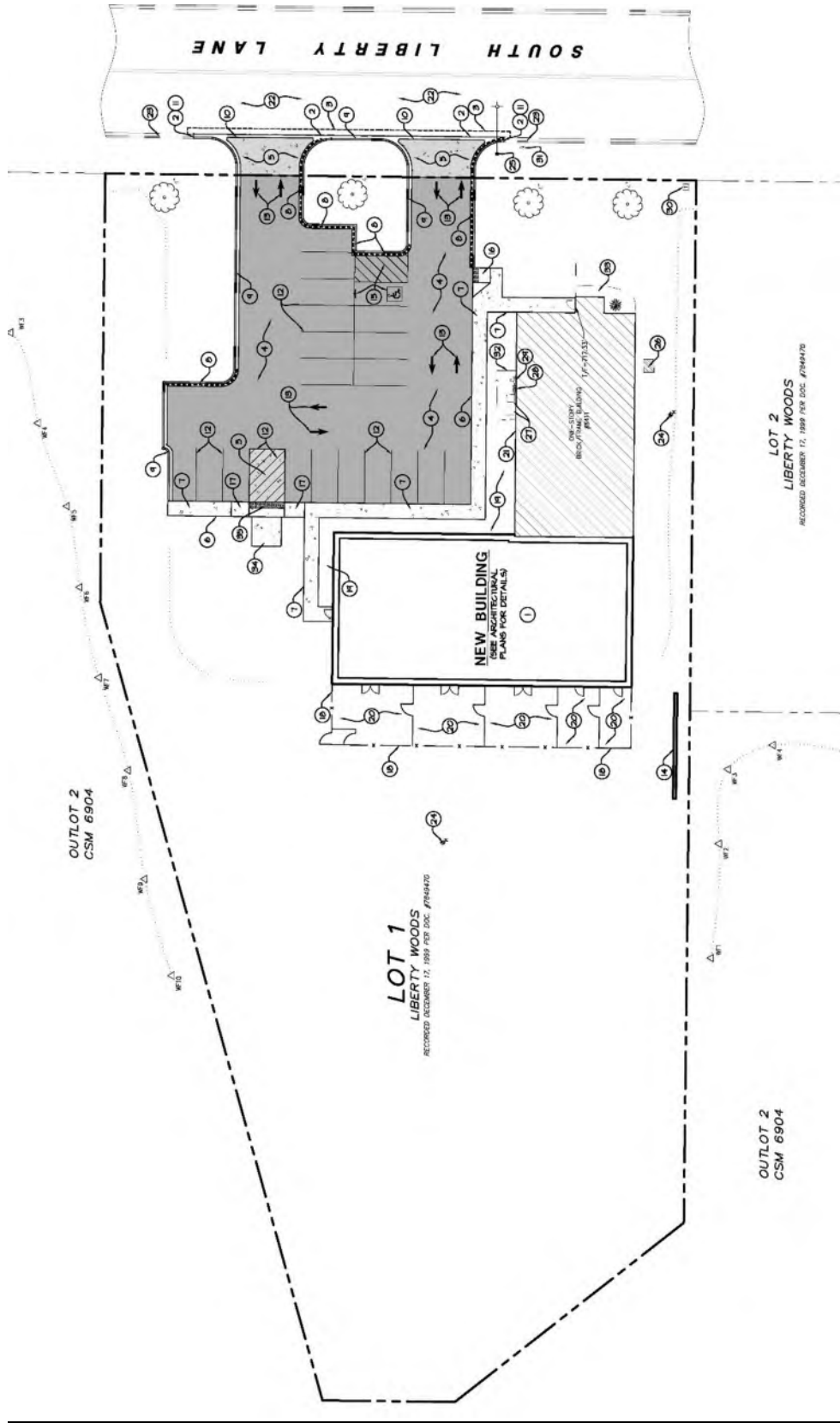
The approval and execution of these conditions and restrictions shall confirm acceptance of the terms and conditions hereof by the owner, and these conditions and restrictions shall run with the property unless revoked by the City, or terminated by mutual agreement of the City and the owner, and their subsidiaries, related entities, successors and assigns.

Brett Ippolite
 Owner / Authorized Representative Signature

10-03-18
 Date

Brett Ippolite
 (please print name)

EXHIBIT A: CONCEPT SITE PLAN (ENLARGED)

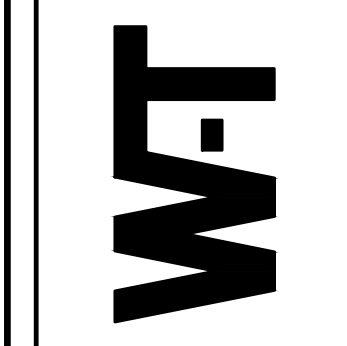


DATE	BY
5-25-18	KJM

REVISIONS FOR PERMIT

W-T CIVIL ENGINEERING, LLC
 CIVIL ENGINEERING CONSULTANTS

2675 Pratum Avenue
 Hoffman Estates, Illinois 60192
 PH: (224) 226-6444
 www.wtengineering.com



CAMP BOW WOW
 8411 SOUTH LIBERTY LANE
 OAK CREEK, WISCONSIN 53154

SITE DEMOLITION PLAN

DATE:	12-22-17
SCALE:	1" = 20'
DRAWN:	VE/DAK
CHECK:	JP6
JOB:	CEI124
SHEET	C-1.0

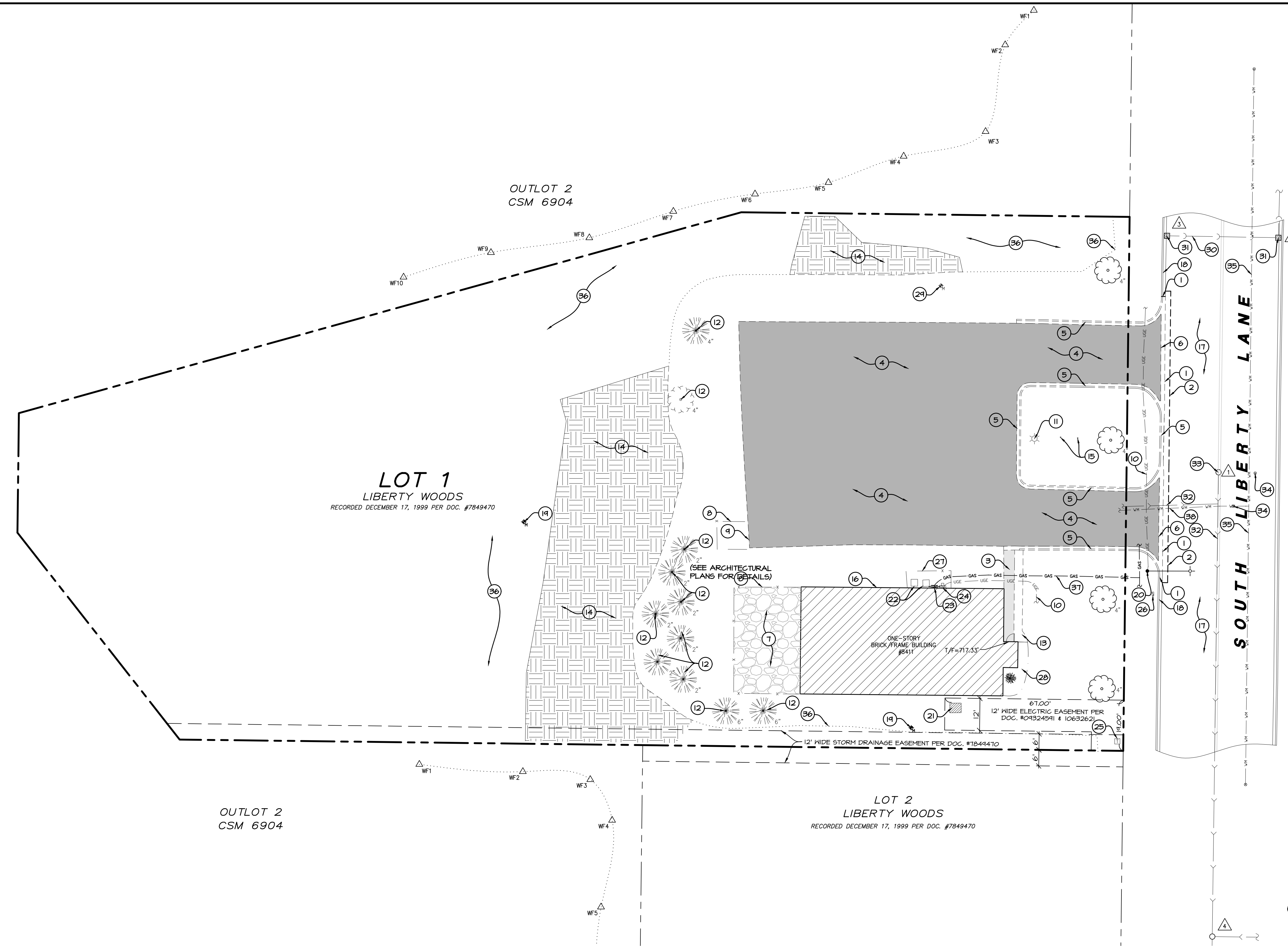
SITE DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.
- ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
- ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO, FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
- CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS SERVICES ARE UNKNOWN.
- ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
- ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORINGS AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE.
- PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTRACTOR SHALL VERIFY AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT.
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 12-4-17, PREPARED BY W-T LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SEE SHEET S-1 BOUNDARY & TOPOGRAPHIC SURVEY FOR ALL EXISTING LOCATED UTILITY DATA.
- CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.
- ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.

PROJECT NOTES:

- NEW FULL DEPTH SAWCUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
- NEW 2" WIDE BUTT JOINT.
- EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH.
- EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED.
- EXISTING DEPRESSED CONCRETE CURB AND GUTTER TO BE REMOVED.
- EXISTING GRAVEL TO BE REMOVED.
- EXISTING FENCE TO BE REMOVED.
- EXISTING GATE TO BE REMOVED.
- EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN.
- EXISTING AREA LIGHT TO BE REMOVED.
- EXISTING TREE TO BE REMOVED.
- EXISTING LANDSCAPE STONES TO BE REMOVED.
- EXISTING HIGH GRASS TO BE REMOVED. CONTRACTOR SHALL FIELD VERIFY HIGH GRASS IN THE FIELD AND INCLUDE APPROPRIATE REMOVALS IN THEIR BID.
- EXISTING WOOD POST TO BE REMOVED.
- EXISTING BUILDING TO REMAIN. (SEE ARCHITECTURAL PLANS FOR DETAILS)
- EXISTING ROADWAY PAVEMENT TO REMAIN.
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- EXISTING MONITORING WELL TO REMAIN.
- EXISTING LIGHT POLE TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING TRANSFORMER TO REMAIN.
- EXISTING AC UNIT TO REMAIN.
- EXISTING GAS METER TO REMAIN.
- EXISTING ELECTRIC METER TO REMAIN.
- EXISTING TELCO PEDESTAL TO REMAIN.
- EXISTING MAILBOX TO REMAIN.
- EXISTING FENCE TO REMAIN.
- EXISTING LANDSCAPE AREA TO REMAIN.
- EXISTING MONITORING WELL TO BE REMOVED.
- EXISTING STORM SEWER TO REMAIN.
- EXISTING STORM STRUCTURE TO REMAIN.
- EXISTING SANITARY SEWER TO REMAIN.
- EXISTING SANITARY STRUCTURE TO REMAIN.
- EXISTING B-BOX TO REMAIN.
- EXISTING WATER MAIN TO REMAIN.
- EXISTING HIGH GRASS TO REMAIN.
- EXISTING GAS LINE TO REMAIN.
- EXISTING WATER SERVICE TO REMAIN. VERIFY EXISTING ROUTING IN THE FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

BELL COURT

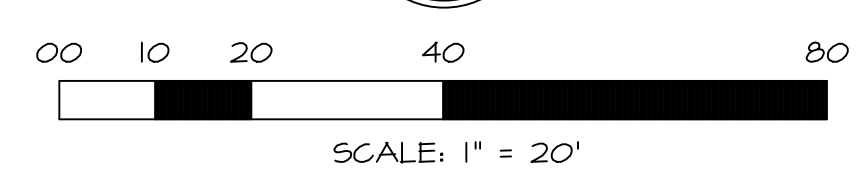


EXISTING UTILITY DATA

- △ RIM=715.92' (SANITARY)
48" CONCRETE STRUCTURE
INV=703.94' (12" PVC S)
BOTTOM OF STRUCTURE=703.99'
- △ RIM=714.69' (STORM)
36" CONCRETE STRUCTURE
INV=710.69' (15" CPP N)
INV=710.79' (12" CPP W)
BOTTOM OF STRUCTURE=710.69'
- △ RIM=714.63' (STORM)
24" x 24" CONCRETE VAULT
INV=711.26' (12" CPP E)
TOP OF WATER=711.11'
TOP OF DEBRIS=710.45'
- △ RIM=717.05' (SANITARY)
48" CONCRETE STRUCTURE
INV=703.60' (12" PVC N)
INV=703.55' (12" PVC S)
(12" PVC E)
BOTTOM OF STRUCTURE=703.55'

DEMOLITION LEGEND

- — — — — EXISTING STORM SEWER
- — — — — EXISTING SANITARY SEWER
- — — — — EXISTING WATER MAIN
- GAS — GAS — GAS — EXISTING GAS LINE
- USE — USE — USE — EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING CLOSED MANHOLE
- EXISTING GUTTER FRAME MANHOLE
- ⊙ EXISTING B-BOX
- △ WF1 EXISTING WETLAND FLAG
- ⊙ EXISTING MONITOR WELL
- ▨ EXISTING CONCRETE SIDEWALK TO BE REMOVED FULL DEPTH
- ▨ EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH
- ▨ EXISTING GRAVEL TO BE REMOVED FULL DEPTH
- ▨ EXISTING HIGH GRASS TO BE REMOVED. CONTRACTOR SHALL FIELD VERIFY HIGH GRASS IN THE FIELD AND INCLUDE APPROPRIATE REMOVALS IN THEIR BID.

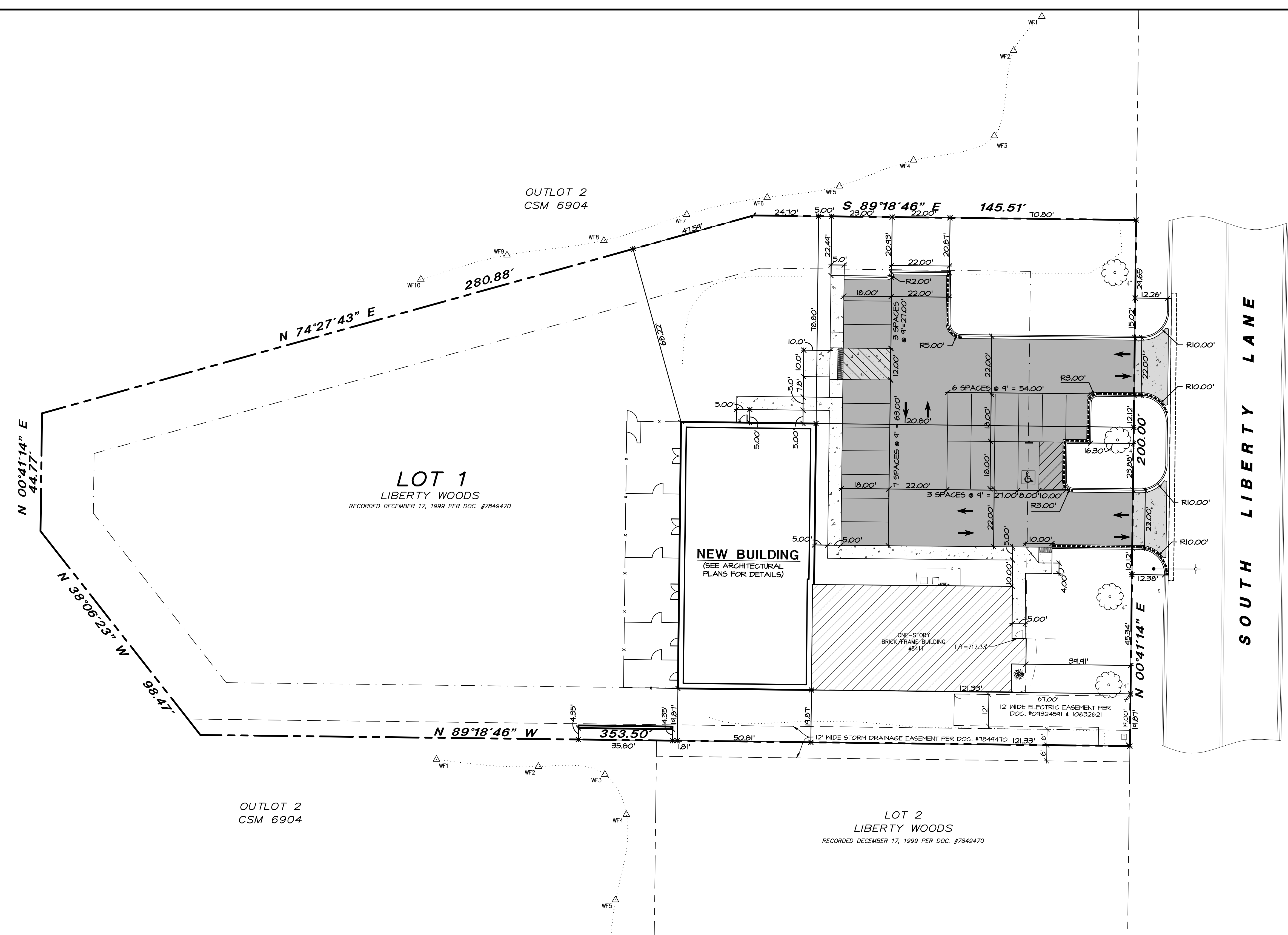


SITE GEOMETRIC NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 12-4-17, PREPARED BY W-T LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. ALL DIMENSIONS SHOWN ARE MEASURED FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT OR FACE OF CURB UNLESS OTHERWISE NOTED.
- C. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- D. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- E. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- F. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- G. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (811 OR 1-800-242-8811) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- H. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 6-50 OF THE MSDOT ROADWAY STANDARDS CONSTRUCTION AND MATERIALS MANUAL.
- I. ALL PAINTED CURB ON SITE TO BE REPAINTED FOLLOWING RESURFACING OF THE PARKING LOT. MATCH EXISTING COLOR, REPAINT WITH HIGH QUALITY PAINT.

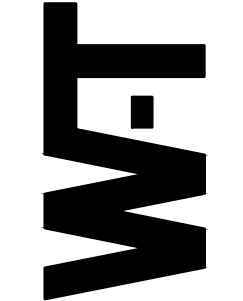
PAVEMENT SECTIONS

- NEW CONCRETE SIDEWALK**
5" PORTLAND CEMENT CONCRETE
4" OF 1-1/4-INCH BASE COURSE
- NEW FULL DEPTH ASPHALT DRIVEWAY PAVEMENT**
1-1/2" HMA SURFACE COURSE
2" HMA BINDER COURSE
8" OF 1-1/4-INCH BASE COURSE
- NEW CONCRETE PAVEMENT**
8" PORTLAND CEMENT CONCRETE
4" OF 1-1/4-INCH BASE COURSE



REVISIONS FOR PERMIT	DATE	BY
	5-25-18	KJM

W-T CIVIL ENGINEERING, LLC
CIVIL ENGINEERING CONSULTANTS
2675 Pratum Avenue
 Hoffman Estates, Illinois 60109
 PH: (224) 226-6444
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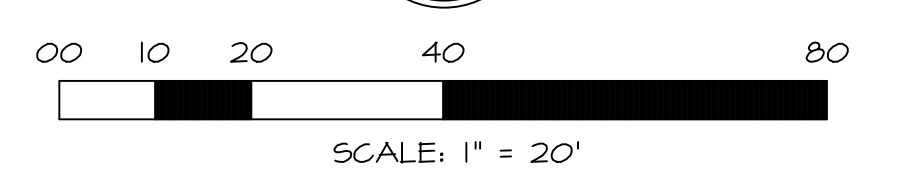


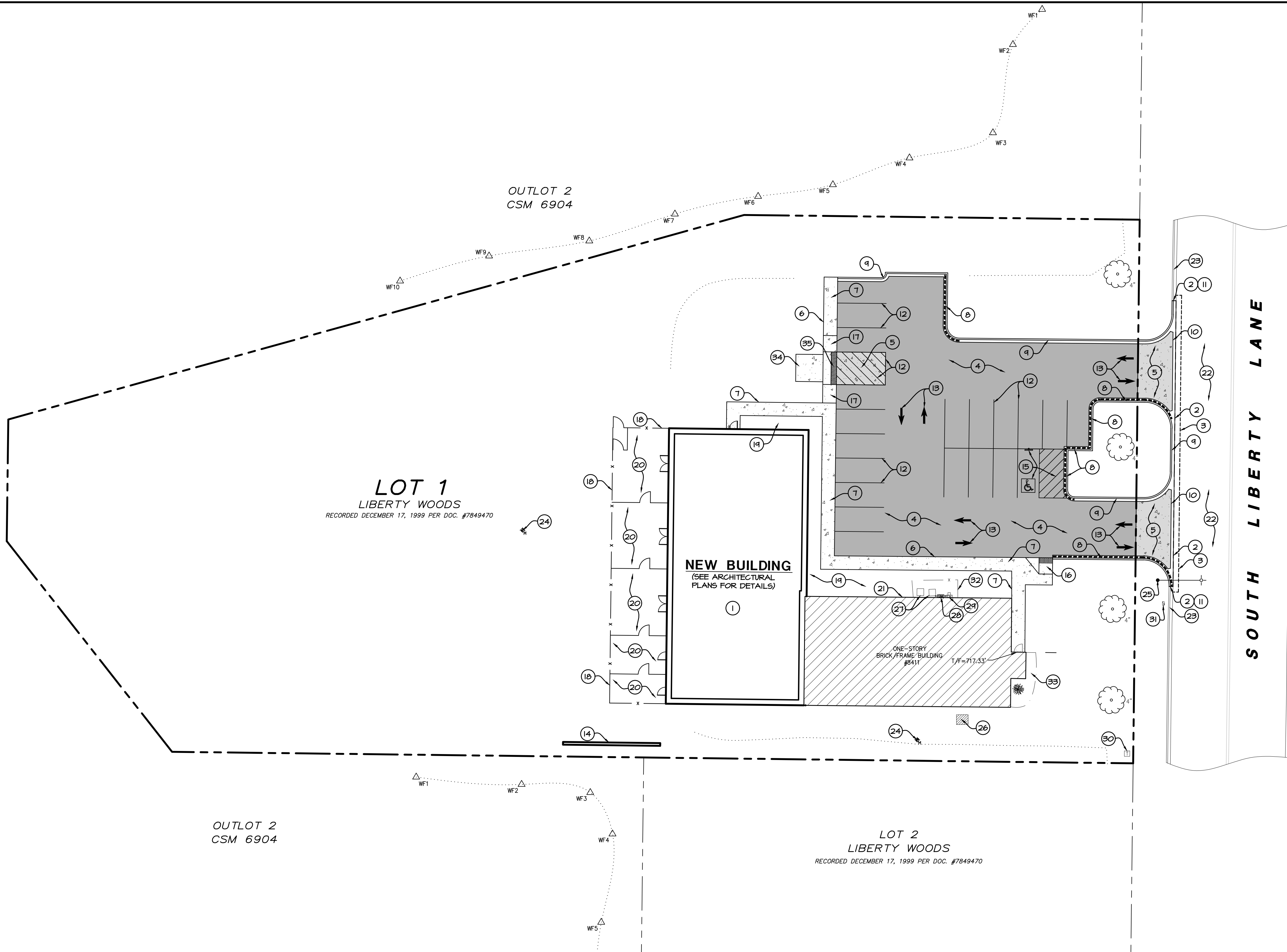
CAMP BOW WOW
8411 SOUTH LIBERTY LANE
OAK CREEK, WISCONSIN 53154

SITE GEOMETRIC PLAN

DATE: 12-22-17
SCALE: 1" = 20'
DRAWN: VE/DAK
CHECK: JPG
JOB: CEI1129
SHEET

C-2.0





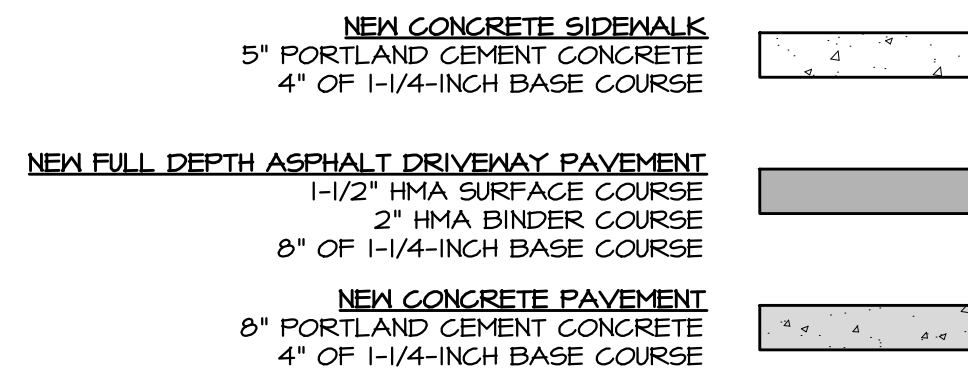
SITE DEVELOPMENT NOTES:

- A. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 12-4-17, PREPARED BY M-T LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES WITH THE ARCHITECTURAL PLANS.
- C. SEE THE ARCHITECTURAL PLANS FOR THE DESIGN OF ALL BUILDING ENTRIES.
- D. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- E. ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
- F. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- G. ASPHALT PAVEMENT MARKINGS SHALL BE MADE WITH HIGH QUALITY PAINT CONFORMING TO ARTICLE 6-50 OF THE WISDOT ROADWAY STANDARDS CONSTRUCTION AND MATERIALS MANUAL.
- H. CONTRACTOR SHALL RESTORE ALL DISTURBED GREEN SPACES WITH (6" OF TOPSOIL, SEED, AND EROSION CONTROL BLANKET).
- I. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- J. CONTRACTOR SHALL RE-STRIPE ALL STRIPING DISTURBED WITHIN THE EXISTING ROADWAY/PARKING LOT TO MATCH EXISTING.
- K. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- L. ALL ITEMS MARKED "EXISTING" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.
- M. ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.

PROJECT NOTES:

- 1. NEW BUILDING ADDITION (SEE ARCHITECTURAL PLANS FOR DETAILS).
- 2. NEW FULL DEPTH SAW CUT TO PROVIDE CLEAN CONSTRUCTION BREAK.
- 3. NEW 2" WIDE BUTT JOINT.
- 4. NEW ASPHALT PAVEMENT.
- 5. NEW 8" CONCRETE APPROACH PAVEMENT.
- 6. NEW MONOLITHIC 5" CONCRETE CURB AND SIDEWALK.
- 7. NEW 5" CONCRETE SIDEWALK.
- 8. NEW B6.12 CONCRETE CURB AND GUTTER WITH REVERSE GUTTER PITCH.
- 9. NEW B6.12 CONCRETE CURB AND GUTTER.
- 10. NEW DEPRESSED CONCRETE CURB AND GUTTER.
- 11. NEW CURB TO BE CONNECTED TO EXISTING CURB WITH DOVEL BARS AND EXPANSION JOINT FILLER MATERIAL.
- 12. NEW 4" WIDE YELLOW PAINTED PAVEMENT STRIPING.
- 13. NEW YELLOW PAINTED TRAFFIC ARROW.
- 14. NEW CONCRETE RETAINING WALL.
- 15. NEW ADA PARKING STALL WITH STRIPING, SYMBOL, AND SIGNAGE.
- 16. NEW ADA RAMP WITH 2" WIDE DETECTABLE WARNING STRIP.
- 17. NEW ADA RAMP.
- 18. NEW FENCE. (SEE ARCHITECTURAL PLANS)
- 19. NEW LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR DETAILS).
- 20. NEW DOG RUN. (SEE ARCHITECTURAL PLANS)
- 21. EXISTING BUILDING TO REMAIN. (SEE ARCHITECTURAL PLANS)
- 22. EXISTING ROADWAY PAVEMENT TO REMAIN.
- 23. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- 24. EXISTING MONITORING WELL TO REMAIN.
- 25. EXISTING STREET LIGHT TO REMAIN. PROTECT DURING CONSTRUCTION.
- 26. EXISTING TRANSFORMER TO REMAIN.
- 27. EXISTING AC UNIT TO REMAIN.
- 28. EXISTING GAS METER TO REMAIN.
- 29. EXISTING ELECTRIC METER TO REMAIN.
- 30. EXISTING TELCO PEDestal TO REMAIN.
- 31. EXISTING MAILBOX TO REMAIN.
- 32. EXISTING FENCE TO REMAIN.
- 33. EXISTING LANDSCAPE AREA TO REMAIN.
- 34. NEW TRASH ENCLOSURE.
- 35. NEW DETECTABLE WARNING PLATE.

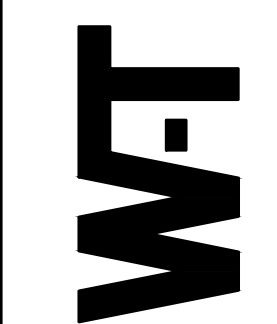
PAVEMENT SECTIONS



BELL COURT

REVISIONS FOR PERMIT	DATE	BY
	5-25-18	KJM

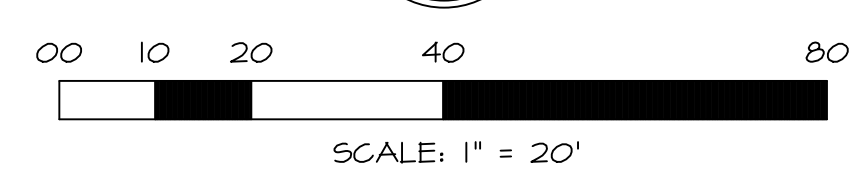
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 CIVIL ENGINEERING CONSULTANTS
 2675 Pratum Avenue
 Hoffman Estates, Illinois 60109
 PH: (224) 226-6444
 www.wtengineering.com



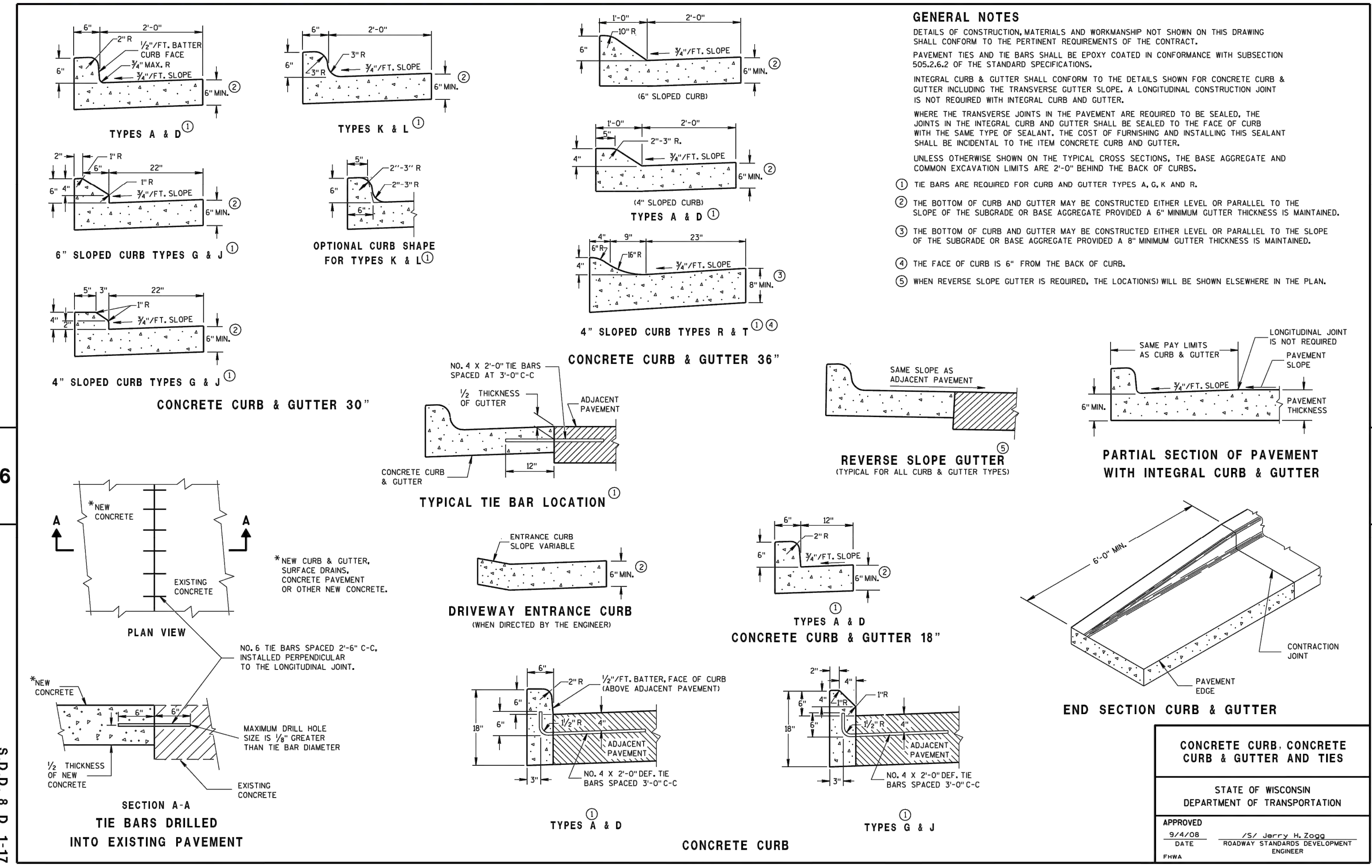
CAMP BOW WOW
 8411 SOUTH LIBERTY LANE
 OAK CREEK, WISCONSIN 53154

SITE DEVELOPMENT PLAN

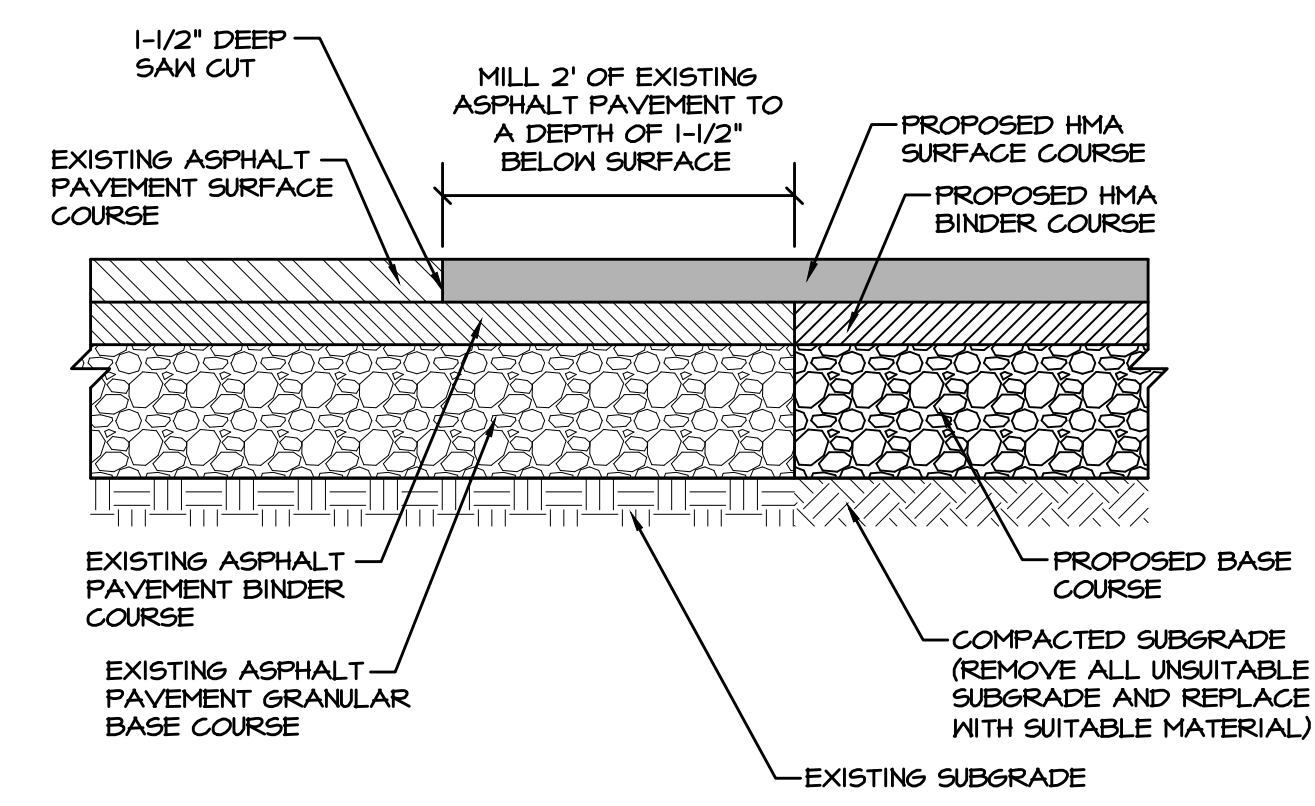
DATE: 12-22-17
 SCALE: 1" = 20'
 DRAWN: VE/DAK
 CHECK: JPG
 JOB: CE17129
 SHEET
C-3.0



8D1: Concrete Curb, Concrete Curb & Gutter and Ties

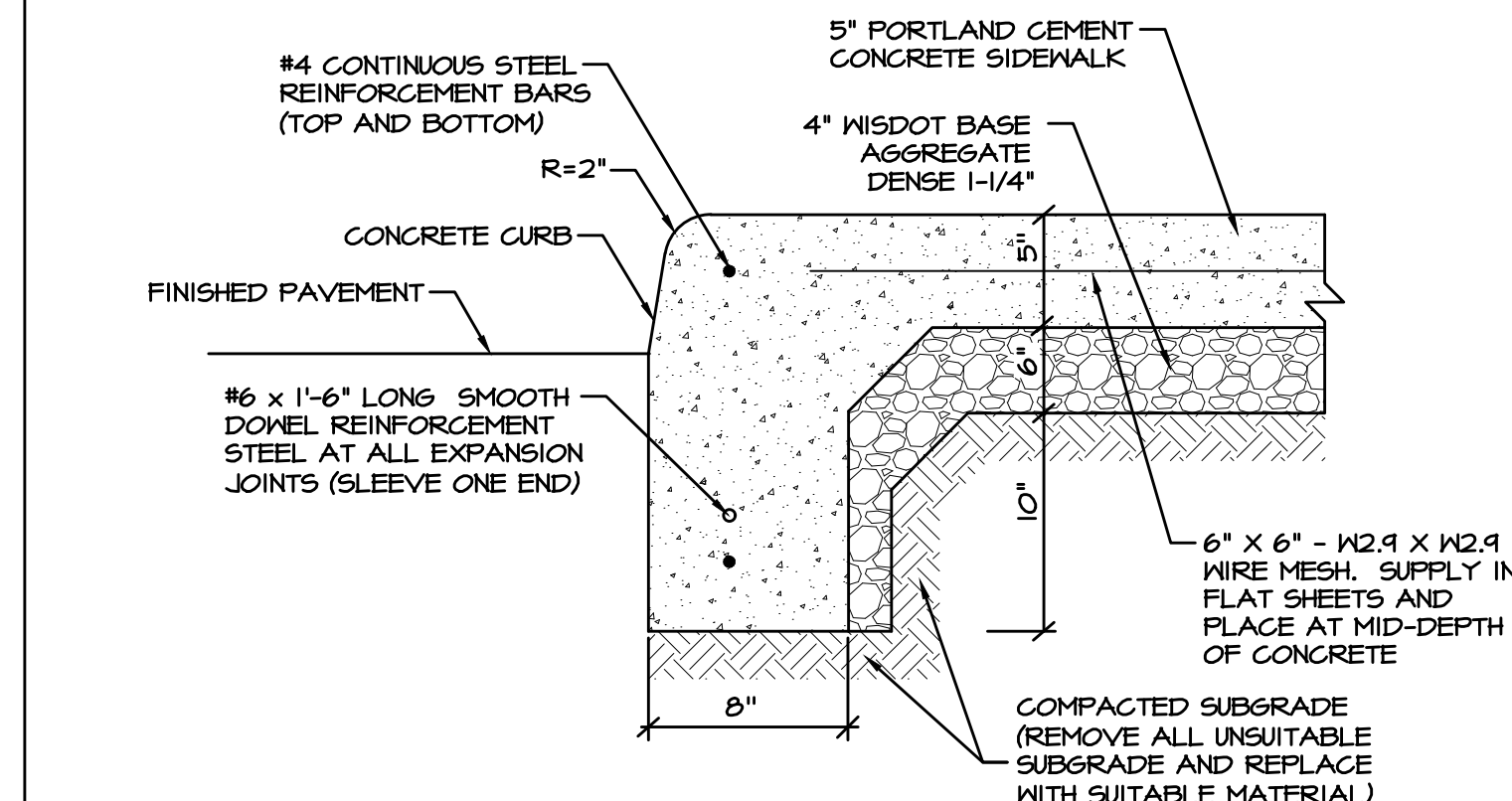


S.D.D. 8 D 1-17



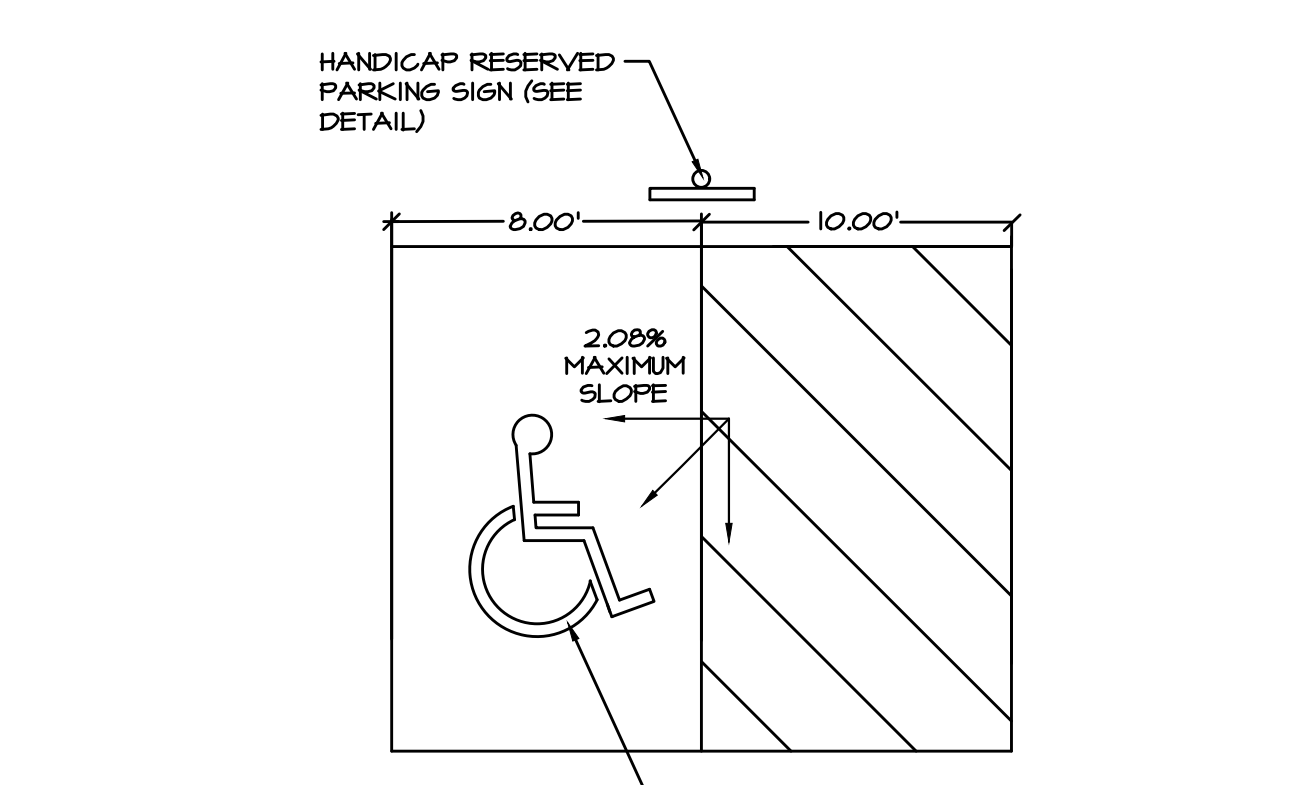
- NOTES:**
- EXISTING PAVEMENT SECTION IS SHOWN FOR REFERENCE ONLY.
 - ALL ASPHALT PAVEMENT MILLINGS SHALL BE DISPOSED OF BY THE CONTRACTOR.
 - BITUMINOUS TACK COAT SHALL BE APPLIED AT A RATE OF 0.1 GALLONS PER SQUARE YARD TO BOTH THE EXISTING AND PROPOSED ASPHALT BINDER COURSE PRIOR TO NEW HMA SURFACE COURSE INSTALLATION.

DETAIL - BUTT JOINT
 NOT TO SCALE



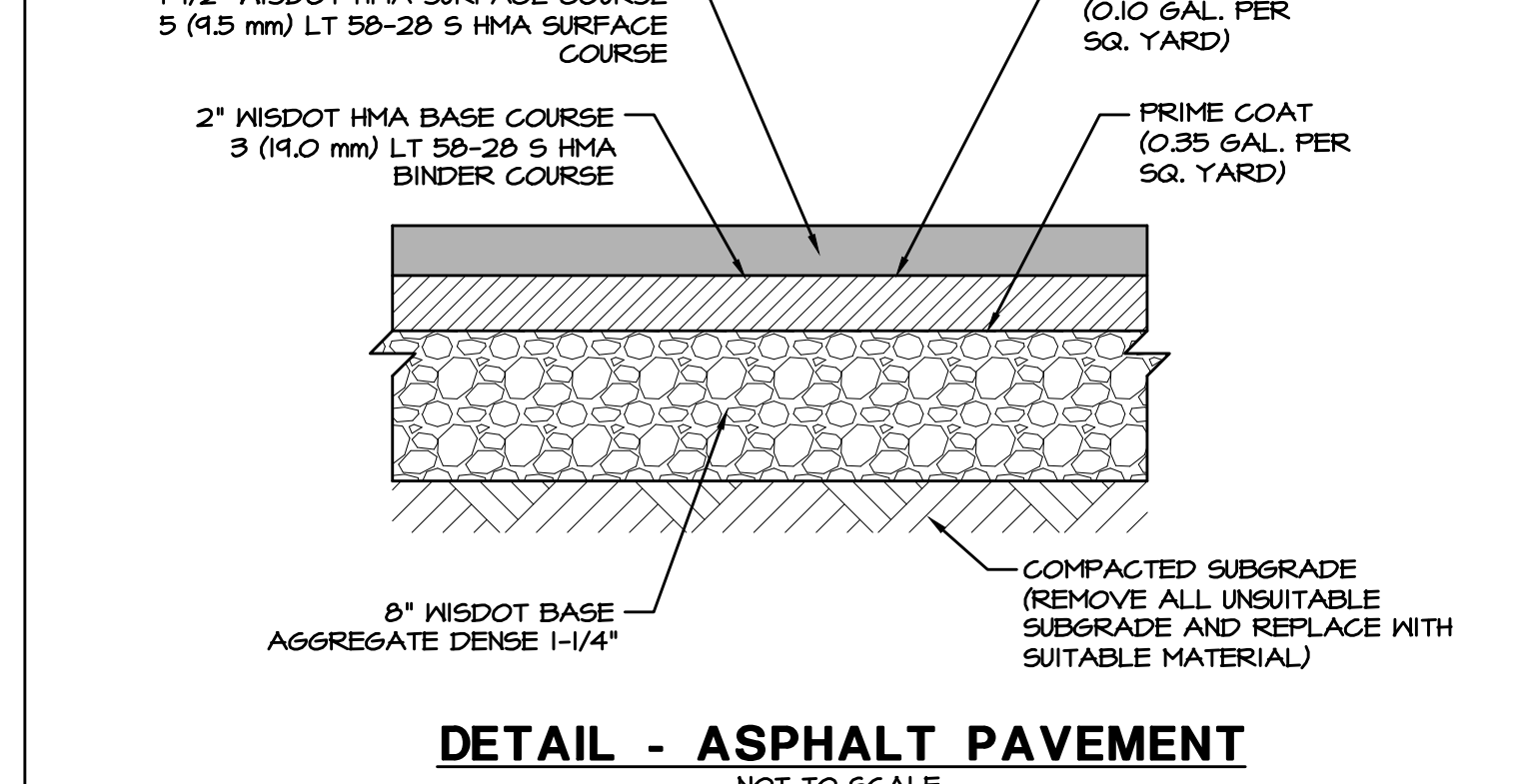
*THE GRANULAR BASE COURSE SHOULD CONSIST OF WELL-GRADED CRUSHED STONE MEETING THE REQUIREMENTS FROM SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION FOR A 1 1/4" DENSE GRADED BASE. THE GRANULAR BASE COURSE MATERIAL SHOULD BE PLACED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557 (MODIFIED PROCTOR) AND WITHIN +/- 2% OF THE OPTIMUM MOISTURE CONTENT VALUE.

DETAIL - MONOLITHIC CURB AND SIDEWALK
 NOT TO SCALE



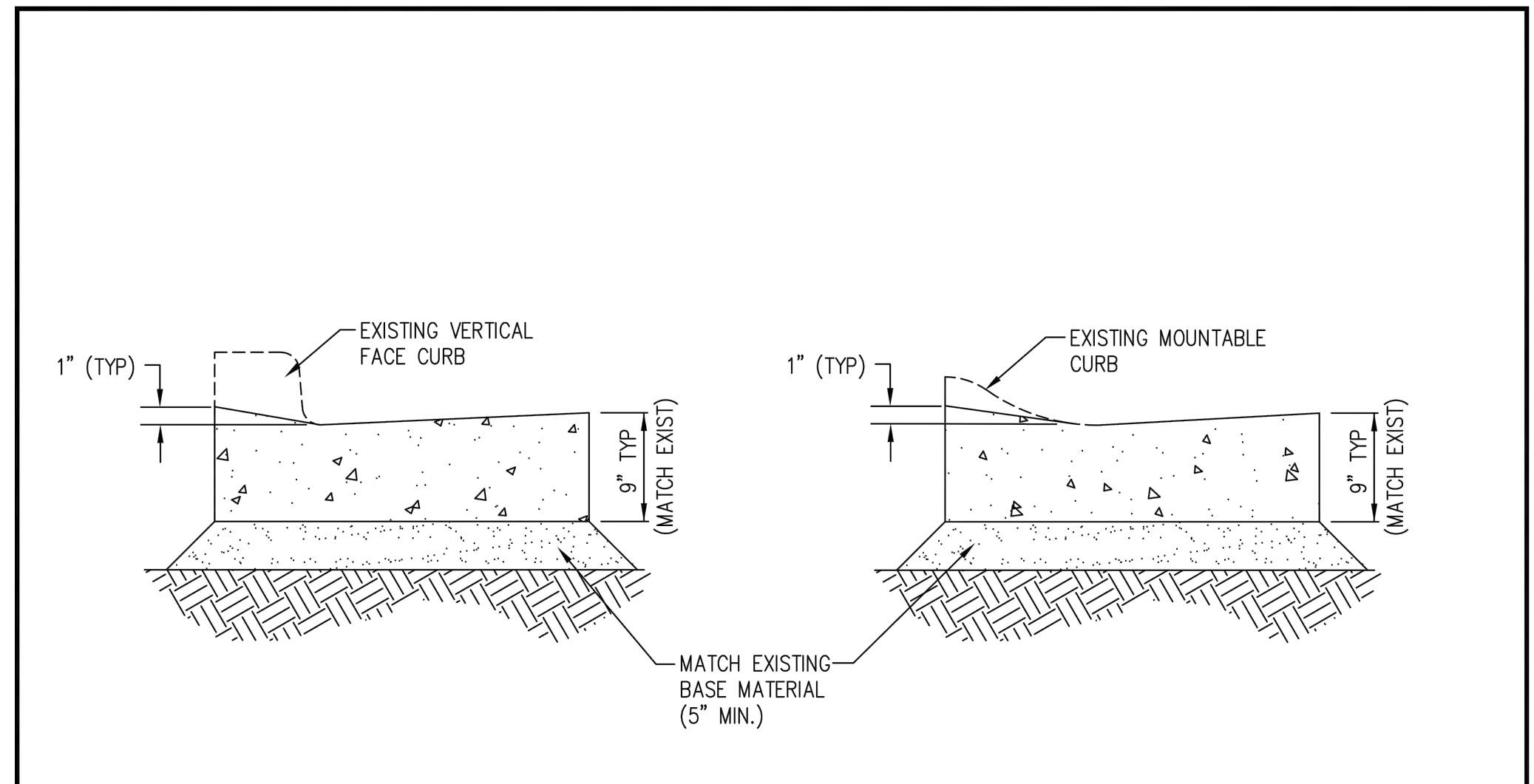
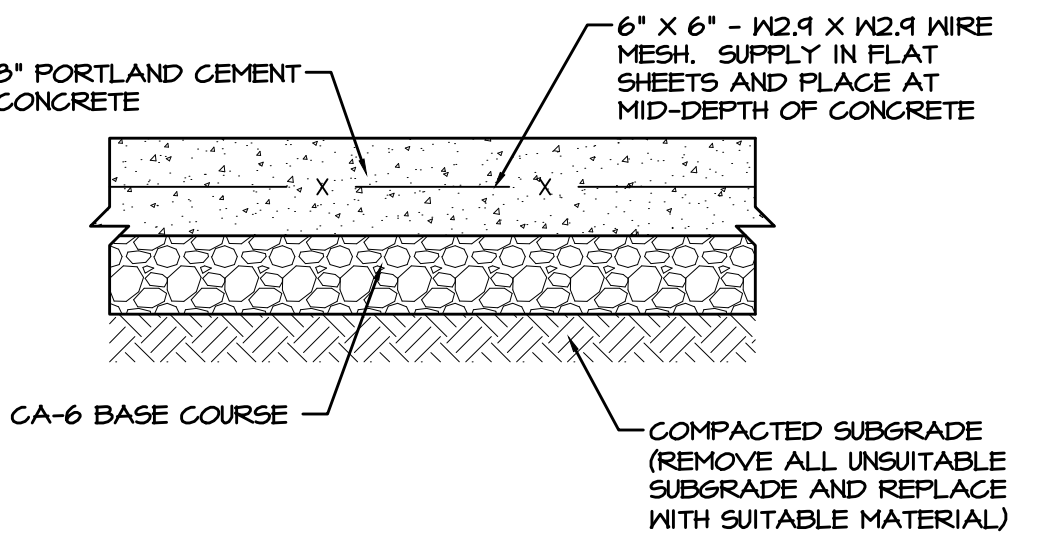
- NOTES:**
- ALL PAVEMENT STRIPING SHALL BE YELLOW.
 - MAXIMUM SLOPE WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2.00% IN ANY DIRECTION.

DETAIL - ACCESSIBLE HANDICAP PARKING STALL
 NOT TO SCALE



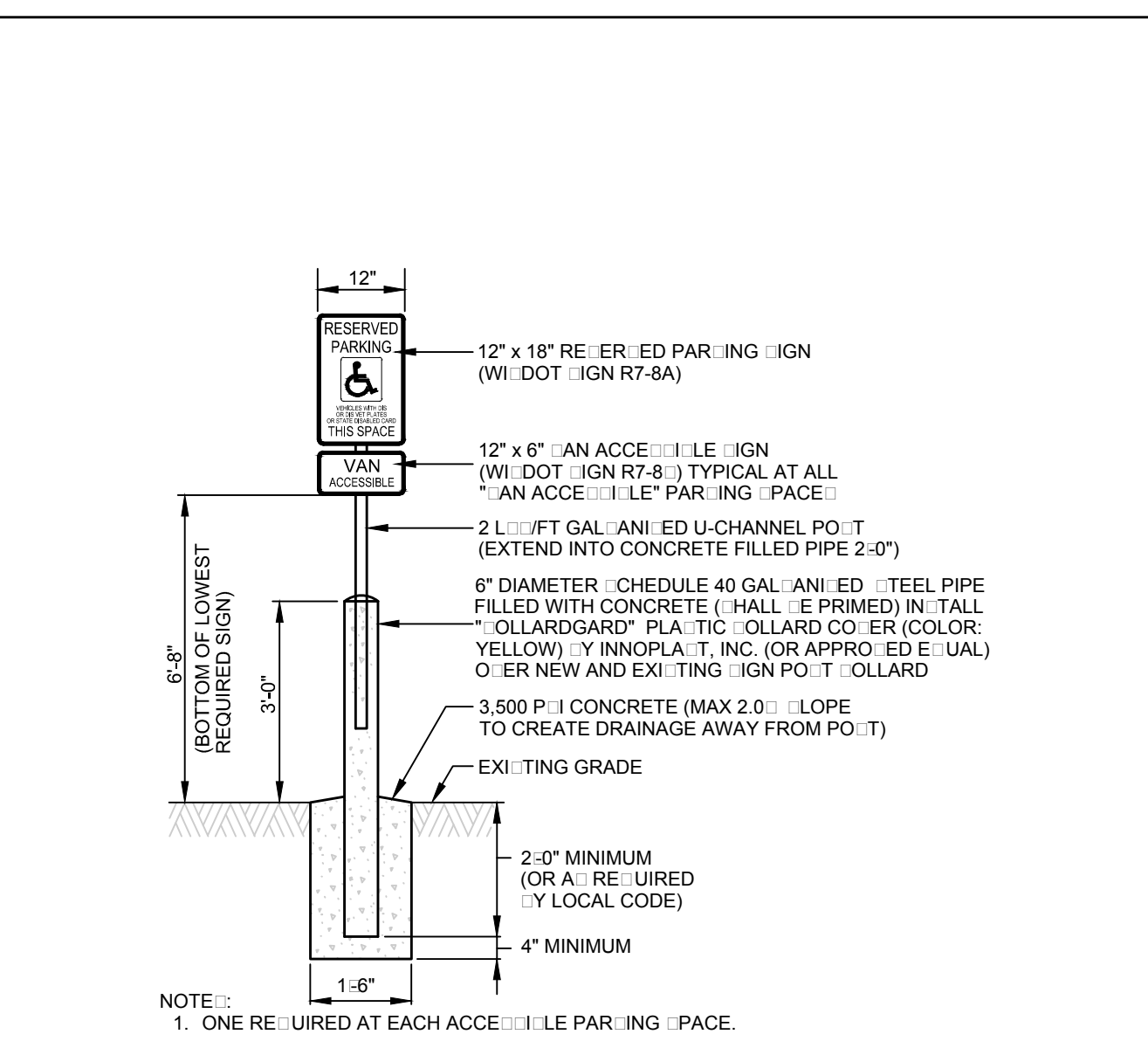
*THE GRANULAR BASE COURSE SHOULD CONSIST OF WELL-GRADED CRUSHED STONE MEETING THE REQUIREMENTS FROM SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION FOR A 1 1/4" DENSE GRADED BASE. THE GRANULAR BASE COURSE MATERIAL SHOULD BE PLACED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557 (MODIFIED PROCTOR) AND WITHIN +/- 2% OF THE OPTIMUM MOISTURE CONTENT VALUE.

DETAIL - ASPHALT PAVEMENT
 NOT TO SCALE



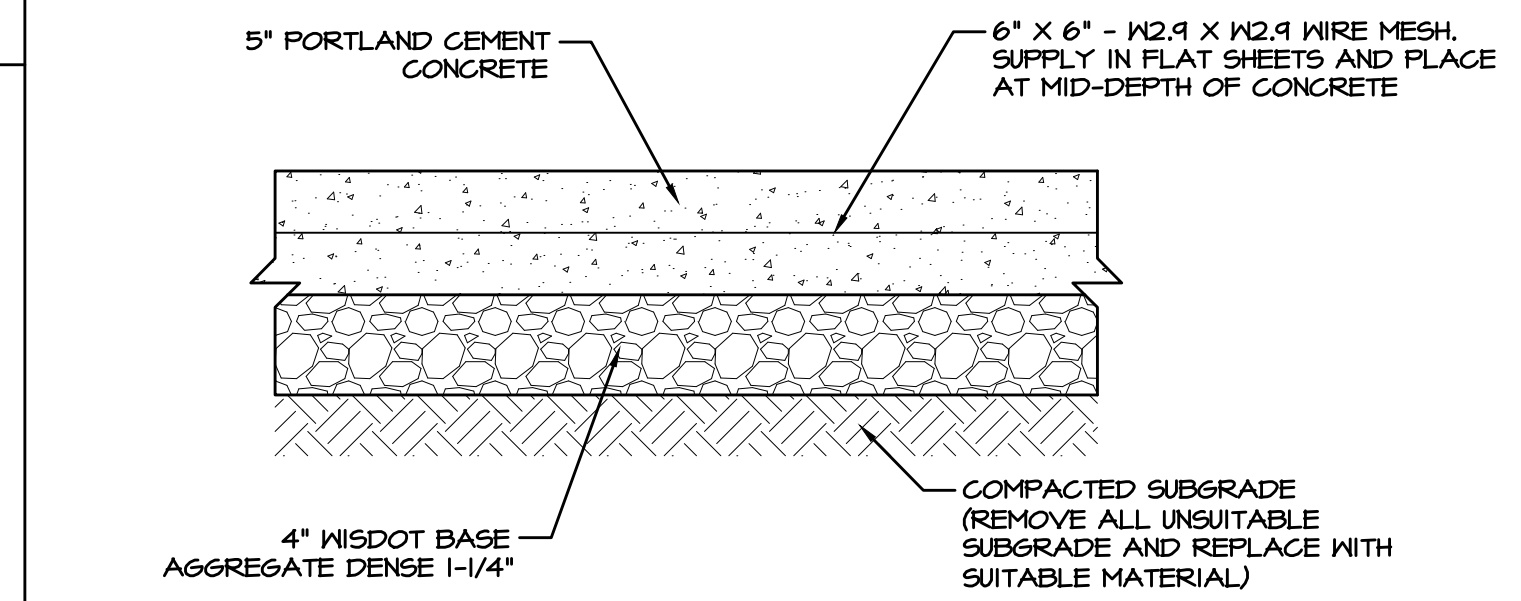
City of Oak Creek
 Department of Public Works

Drawn By: L.F.	Scale: N.T.S.
Appv. By: W. ST. JOHN	Date: 12/5/03 (Revised)
DEPRESSED CURB DETAIL	
R0-7	



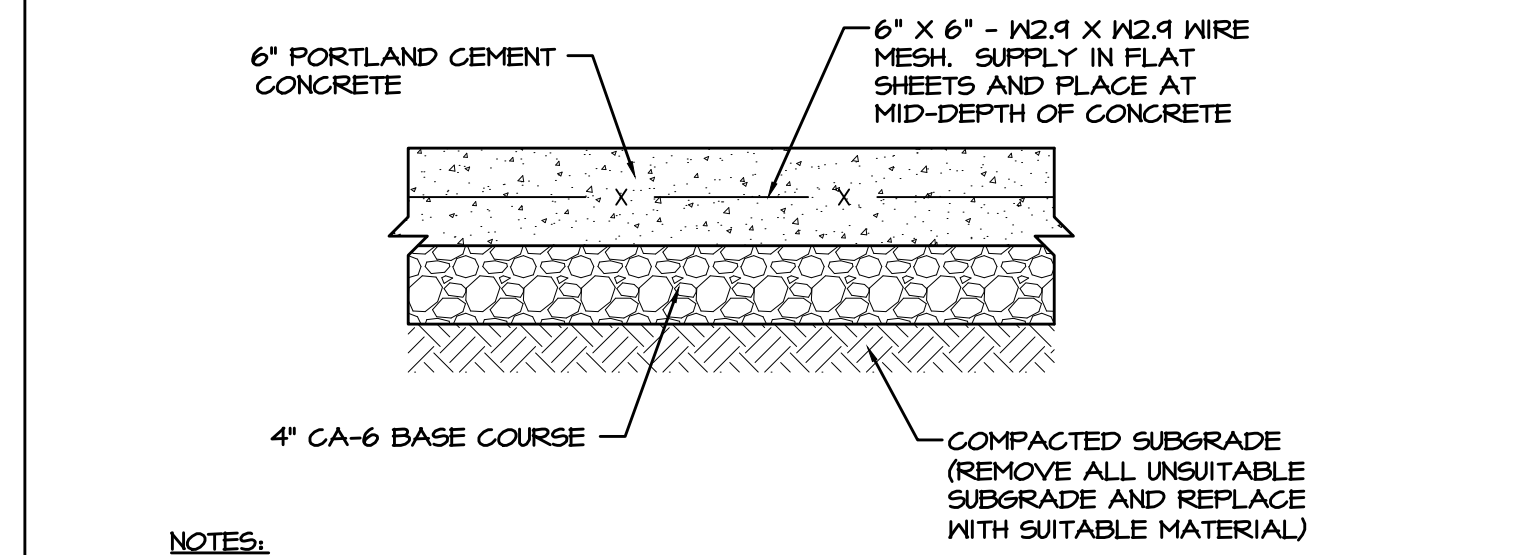
- NOTES:**
- ONE REQUIRED AT EACH ACCESSIBLE PARKING SPACE.
 - WHERE ACCESSIBLE SPACE FACE EACH OTHER WITHOUT WALL, THERE SHALL BE ONE POST WITH SIGN MOUNTED OTHER SIDE.
 - SIGN SHALL BE MOUNTED TO POST WITH GALV ANI ED OR CADMIUM PLATED 1/2" DIAMETER STEEL COLT NUT AND WASHER. CONTRACTOR SHALL SUPPLY AND INSTALL NYLON WASHER BETWEEN COLT HEAD AND SIGN FACE TO PROTECT FINISH.
 - SIGN SHALL CONFORM TO THE SIGN PLATE MANUAL PUBLISHED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION (WI DOT) FOR TYPE, COLOR AND DIMENSION.

ACCESSIBLE PARKING SIGN DETAIL
 NOT TO SCALE



*THE GRANULAR BASE COURSE SHOULD CONSIST OF WELL-GRADED CRUSHED STONE MEETING THE REQUIREMENTS FROM SECTION 305 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR CONSTRUCTION FOR A 1 1/4" DENSE GRADED BASE. THE GRANULAR BASE COURSE MATERIAL SHOULD BE PLACED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557 (MODIFIED PROCTOR) AND WITHIN +/- 2% OF THE OPTIMUM MOISTURE CONTENT VALUE.

DETAIL - 5" CONCRETE SIDEWALK
 NOT TO SCALE

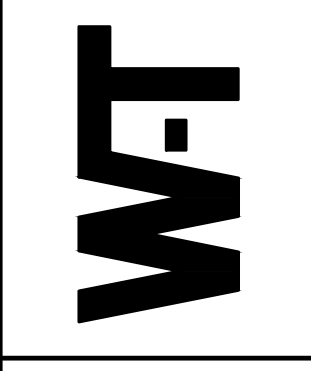


- NOTES:**
- INSTALL THREE (3) CONTINUOUS NO. 4 STEEL REBAR PERPENDICULAR TO AND CENTERED OVER ALL UTILITY TRENCH CROSSINGS SO BARS EXTEND A MINIMUM OF FIVE (5) FEET BEYOND THE TRENCH.

DETAIL - TRASH ENCLOSURE CONCRETE PAVEMENT
 NOT TO SCALE

REVISIONS	DATE	BY
	5-25-10	KJM

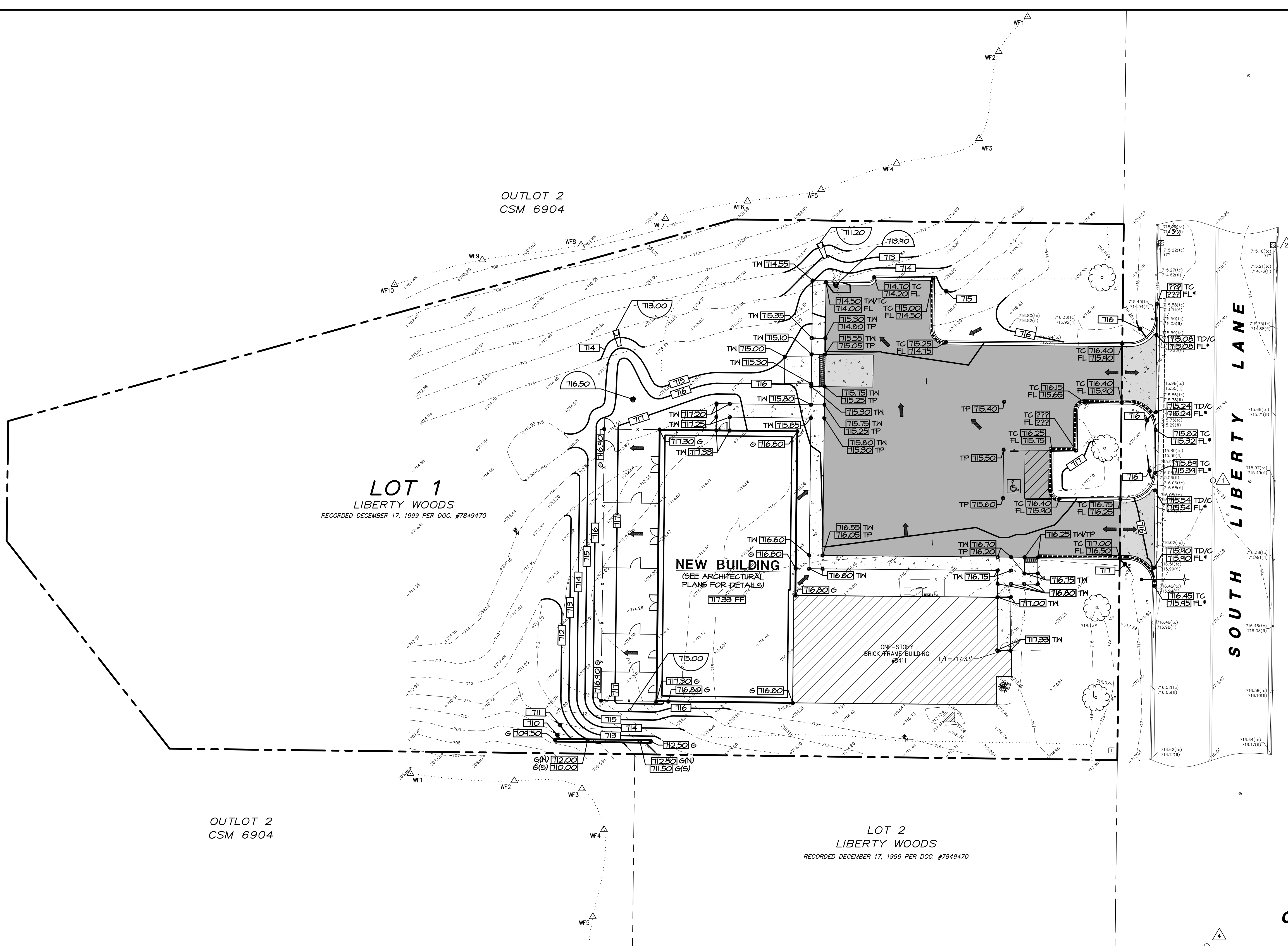
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CAMP BOW WOW
 8411 SOUTH LIBERTY LANE
 OAK CREEK, WISCONSIN 53154

SITE DEVELOPMENT DETAILS

DATE:	12-22-17
SCALE:	N.T.S.
DRAWN:	VE/DAK
CHECK:	JPG
JOB:	CEI1729
SHEET:	C-3.1



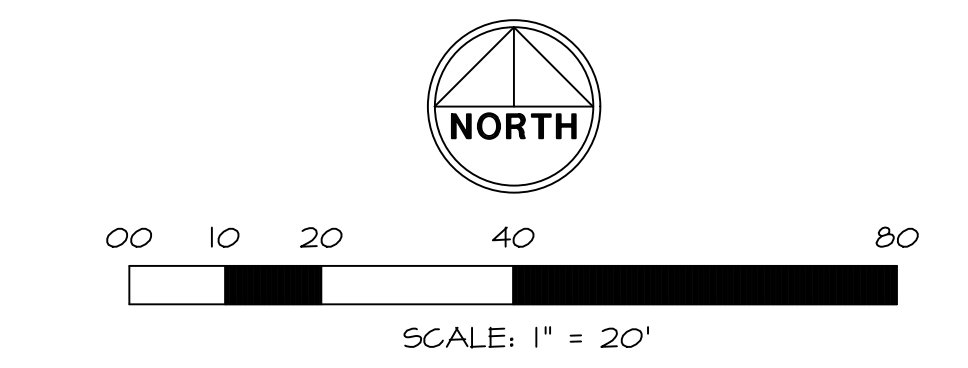
- SITE GRADING NOTES:**
- EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY & TOPOGRAPHIC SURVEY LAST DATED 12-4-11, PREPARED BY W-T LAND SURVEYING. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - ALL PROPOSED GRADES ARE GIVEN TO FINISHED GRADE, I.E. TOP OF PROPOSED ASPHALT, CONCRETE, TOP OF PROPOSED CURB, ETC. SEE DETAILS FOR PAVEMENT THICKNESS.
 - CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (811 OR 1-800-242-8811) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
 - CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
 - CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
 - CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
 - CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
 - ALL EXISTING TREES SHOWN ARE TO REMAIN UNLESS OTHERWISE NOTED.
 - ALL HANDICAP ACCESSIBLE ROUTES (SIDEWALKS, WALKWAYS, DRIVEWAYS, ETC.) SHALL MAINTAIN A MAXIMUM GROSS SLOPE OF 2.00% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.00%. ACCESSIBLE PARKING SPACES SHALL MAINTAIN A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.
 - VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.
 - ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE, CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
 - CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
 - ALL EXISTING SUBGRADE TO BE SCARIFIED (DISKED) TO A DEPTH OF 12" AND RE-COMPACTED, AND THEN TESTED USING A DYNAMIC CONE PENETROMETER. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
 - ALL EXCESS SOILS THAT CANNOT BE USED AS SUITABLE FILL SHALL BE HAULED FROM THE SITE AND LEGALLY DISPOSED OF.
 - PREPARE SUBGRADE AS SPECIFIED WITHIN THE GEOTECHNICAL INVESTIGATION REPORT DATED NOVEMBER 15, 2011, PREPARED BY G2 CONSULTING GROUP.
 - ALL TOPSOIL BENEATH PROPOSED STRUCTURES AND PAVEMENT SHALL BE REMOVED. REFER TO THE GEOTECHNICAL INVESTIGATION REPORT DATED NOVEMBER 15, 2011, PREPARED BY G2 CONSULTING GROUP FOR EXISTING TOPSOIL DEPTHS.

- GRADING LEGEND**
- EXISTING SPOT GRADE
 - PROPOSED SPOT GRADE
 - INTERPOLATED SPOT GRADE
 - PROPOSED RIM ELEVATION
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - OVERLAND FLOW ARROW
 - 100 YEAR OVERLAND FLOW ROUTE
 - TP TOP OF PAVEMENT ELEVATION
 - TM TOP OF SIDEWALK ELEVATION
 - G FINISHED GRADE ELEVATION
 - FF FINISHED FLOOR ELEVATION
 - TC TOP OF CURB ELEVATION
 - FL FLOW LINE ELEVATION
 - TD/C TOP OF CURB DEPRESSED CURB ELEVATION
 - O EXISTING CLOSED MANHOLE
 - G EXISTING GUTTER FRAME MANHOLE
 - B EXISTING B-BOX
 - WF1 EXISTING WETLAND FLAGS
 - M EXISTING MONITOR WELL
 - I PROPOSED INLET
 - F PROPOSED FLARED END SECTION

- EXISTING UTILITY DATA**
- RIM=715.92' (SANITARY)
48" CONCRETE STRUCTURE
INV=703.94' (12" PVC S)
BOTTOM OF STRUCTURE=703.99'
 - RIM=714.69' (STORM)
36" CONCRETE STRUCTURE
INV=710.69' (15" CPP N)
INV=710.79' (12" CPP W)
BOTTOM OF STRUCTURE=710.69'
 - RIM=714.63' (STORM)
24" x 24" CONCRETE VAULT
INV=711.26' (12" CPP E)
TOP OF WATER=711.11'
TOP OF DEBRIS=710.45'
 - RIM=717.05' (SANITARY)
48" CONCRETE STRUCTURE
INV=703.60' (12" PVC N)
INV=703.55' (12" PVC S)
12" PVC E
BOTTOM OF STRUCTURE=703.55'

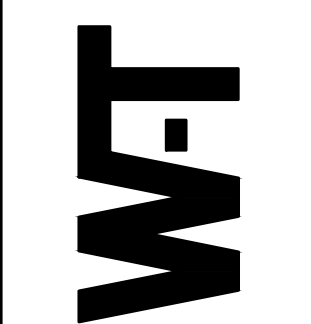
BELL COURT

- NEW CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
4" OF 1-1/4-INCH BASE COURSE
- NEW FULL DEPTH ASPHALT DRIVEWAY PAVEMENT
1-1/2" HMA SURFACE COURSE
2" HMA BINDER COURSE
8" OF 1-1/4-INCH BASE COURSE
- NEW CONCRETE PAVEMENT
8" PORTLAND CEMENT CONCRETE
4" OF 1-1/4-INCH BASE COURSE



REVISIONS	DATE	BY
FOR PERMIT	5-25-18	KJM

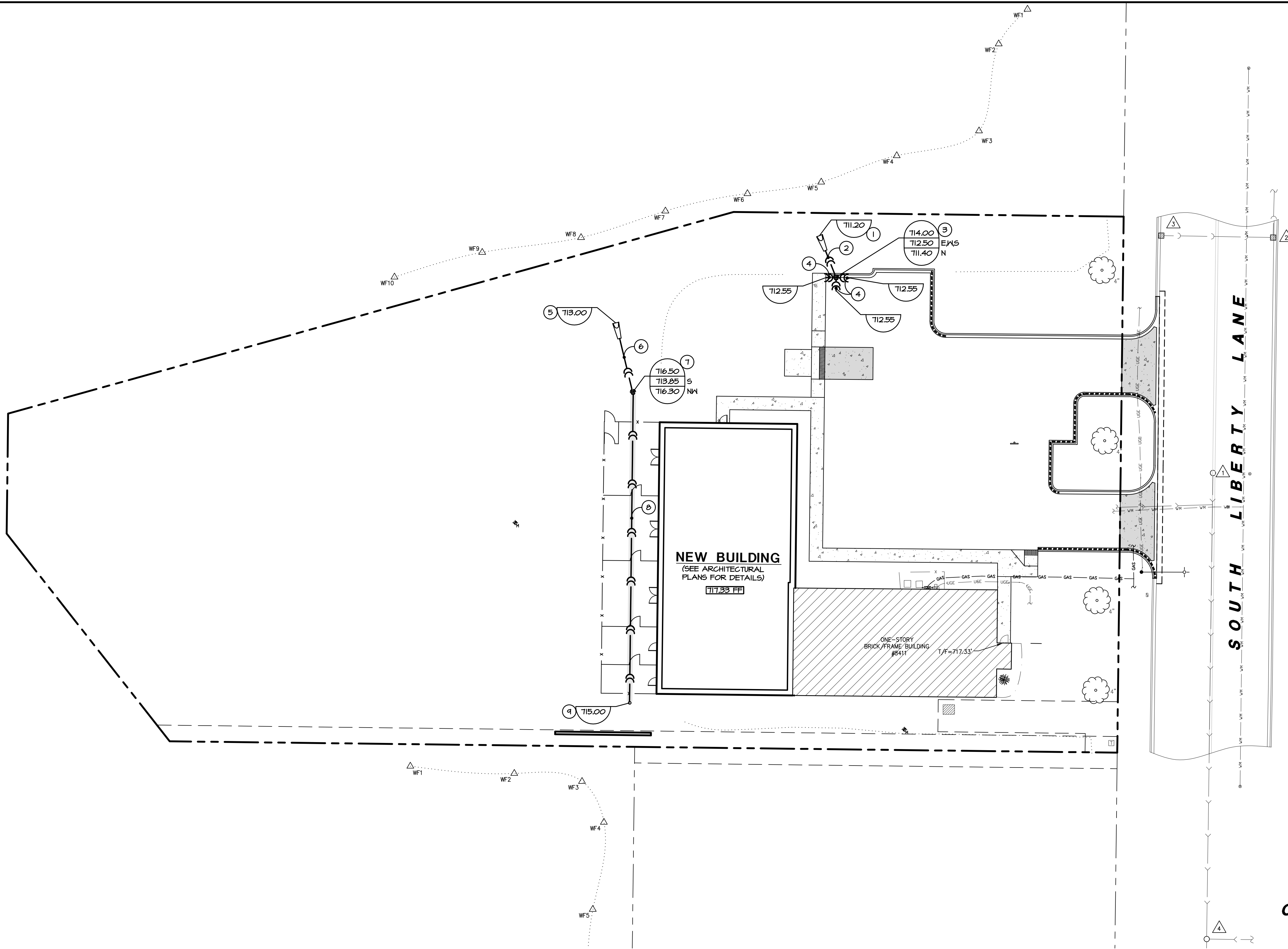
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PH: (224) 229-6444
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CAMP BOW WOW
8411 SOUTH LIBERTY LANE
OAK CREEK, WISCONSIN 53154

SITE GRADING PLAN

DATE: 12-22-17
SCALE: 1" = 20'
DRAWN: VE/DAK
CHECK: JPG
JOB: CE1129
SHEET
C-4.0



SITE UTILITY NOTES:

- A. CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (811 OR 1-800-242-9811) AND PRIVATE LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO STARTING ANY DEMOLITION AND/OR EXCAVATION. EXACT LOCATIONS OF ANY EXISTING ELECTRIC, GAS, TELEPHONE, ETC. LINES ARE UNKNOWN.
- B. CONTRACTOR TO UTILIZE CARE WHEN WORKING NEAR EXISTING UTILITIES TO REMAIN. ANY DAMAGE TO EXISTING UTILITIES NOT NOTED TO BE REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- C. CONTRACTOR SHALL EXCAVATE AND VERIFY IN FIELD ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- D. REFER TO THE GENERAL NOTES AND SPECIFICATION SHEETS FOR ALL PIPE MATERIAL AND JOINT SPECIFICATIONS.
- E. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER. CONTRACTOR SHALL VERIFY IN FIELD EXACT SIZE, MATERIAL, INVERT, PIPE ROUTING, AND SLOPE OF ALL EXISTING UTILITIES AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO CONSTRUCTION.
- F. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF UTILITY TRENCHES DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING AND BRACING AS NECESSARY TO MAINTAIN STABILITY UNTIL CONSTRUCTION OF THE UTILITY IS COMPLETE IN ORDER TO MEET OSHA AND LOCAL CODES, AS WELL AS MANUFACTURER'S REQUIREMENTS.
- G. ALL RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443.
- H. ADJUST RIM ELEVATIONS OF EXISTING STRUCTURES IN PAVEMENT AS NECESSARY TO MEET PROPOSED FINISHED GRADE.
- I. CONTRACTOR TO COORDINATE ALL CONNECTIONS TO CITY UTILITIES AND STORM SEWERS WITH THE PUBLIC WORKS DEPARTMENT.
- J. CONTRACTOR TO USE CAUTION WHEN EXCAVATING AT EXISTING UTILITY LINES.
- K. ALL STORM MANHOLES SHALL HAVE OPEN LIDS UNLESS OTHERWISE SPECIFIED.

UTILITY LEGEND

- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- PROPOSED RIM ELEVATION
- PROPOSED INVERT ELEVATION
- FINISHED FLOOR ELEVATION
- EXISTING CLOSED MANHOLE
- EXISTING GUTTER FRAME MANHOLE
- EXISTING B-BOX
- EXISTING WETLAND FLAGS
- EXISTING MONITOR WELL
- PROPOSED INLET
- PROPOSED FLARED END SECTION

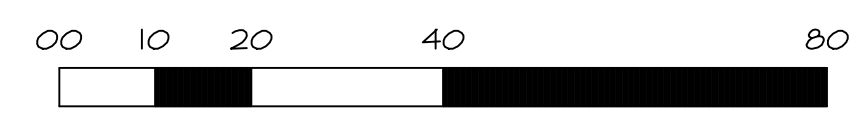
PROJECT NOTES:

- STORM SEWER**
- 1. NEW 12" CONCRETE FLARED END SECTION WITH TRASH GRATE.
- 2. NEW 12" RCP, 20 L.F., @ 1.00% SLOPE.
- 3. NEW 24" DIA. PRECAST CONCRETE INLET W/NEENAH R-2502-D FRAME AND GRATE.
- 4. NEW 6" PERFORATED HDPE FINGER DRAIN, 5 L.F., @ 1.00% SLOPE.
- 5. NEW NEW 12" CONCRETE FLARED END SECTION WITH TRASH GRATE.
- 6. NEW 12" RCP PIPE, 27 L.F., @ 1.10% SLOPE.
- 7. NEW 24" DIA. PRECAST CONCRETE INLET W/NEENAH R-2502-D FRAME AND GRATE.
- 8. NEW 6" PERFORATED HDPE PIPE, 119 L.F., @ 1.00% SLOPE.
- 9. NEW CLEAN-OUT.

EXISTING UTILITY DATA

- △ RIM=715.92' (SANITARY)
48" CONCRETE STRUCTURE
INV=703.94' (12" PVC S)
BOTTOM OF STRUCTURE=703.99'
- △ RIM=714.69' (STORM)
36" CONCRETE STRUCTURE
INV=710.69' (15" CPP N)
INV=710.79' (12" CPP W)
BOTTOM OF STRUCTURE=710.69'
- △ RIM=714.63' (STORM)
24" X 24" CONCRETE VAULT
INV=711.26' (12" CPP E)
TOP OF WATER=711.11'
TOP OF DEBRIS=710.45'
- △ RIM=717.05' (SANITARY)
48" CONCRETE STRUCTURE
INV=703.60' (12" PVC N)
INV=703.55' (12" PVC S)
(12" PVC E)
BOTTOM OF STRUCTURE=703.55'

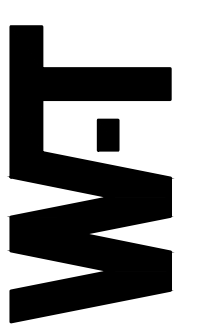
BELL COURT



SCALE: 1" = 20'

REVISIONS	DATE	BY
FOR PERMIT	5-25-18	KJM

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CAMP BOW WOW
8411 SOUTH LIBERTY LANE
OAK CREEK, WISCONSIN 53154

SITE UTILITY PLAN

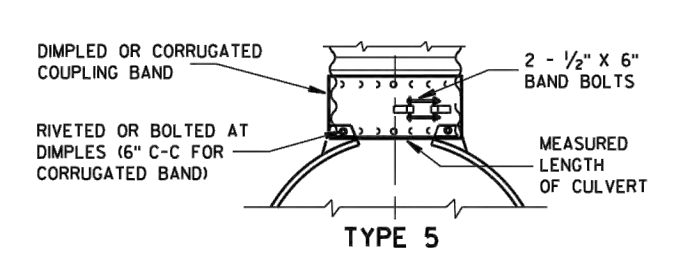
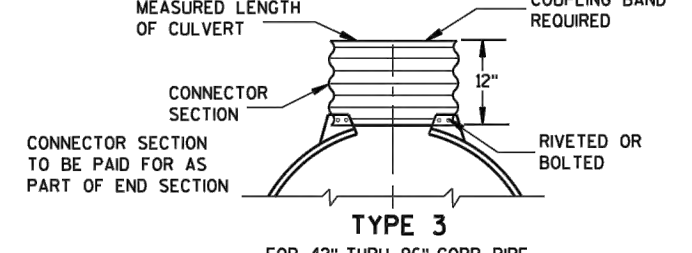
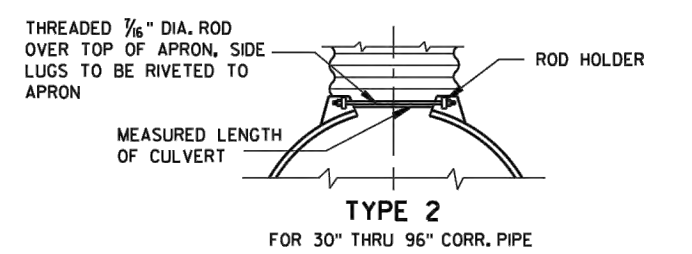
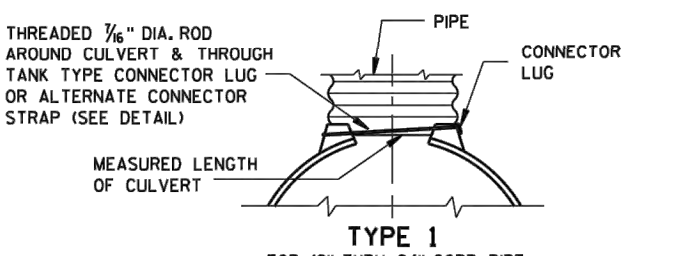
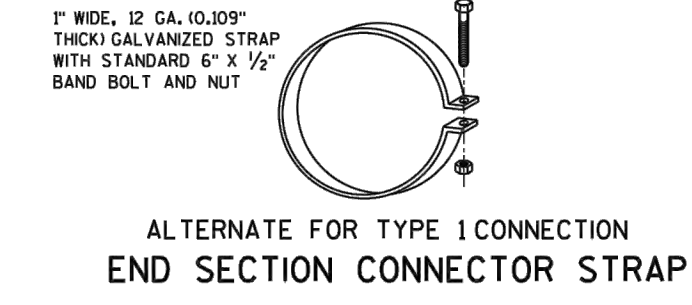
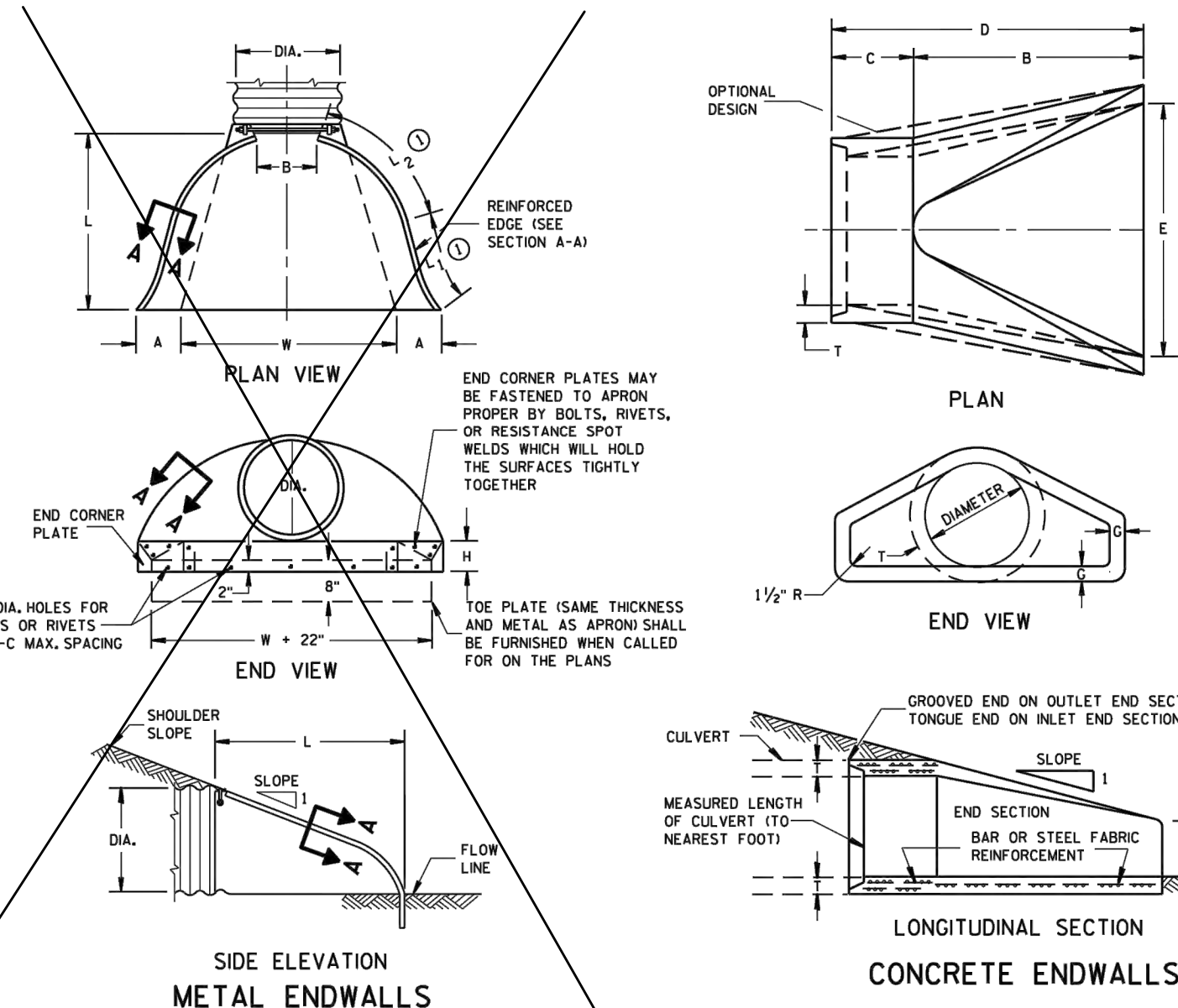
DATE:	12-22-17
SCALE:	1" = 20'
DRAWN:	VE/DAK
CHECK:	JP6
JOB:	CEI124
SHEET	C-5.0

8F1: Apron Endwalls for Culvert Pipe

METAL APRON ENDWALLS									
PIPE DIA. (IN.)	MIN. THICK. (IN.)	DIMENSIONS (inches)					APPROX. SLOPE	BODY	
		A	B	H	L1	L2			
12	.064	.060	6	6	21	12	17 1/2	84	2 1/2 to 1 1/2 Pc.
15	.064	.060	7	6	26	14	18 1/2	90	2 1/2 to 1 1/2 Pc.
18	.064	.060	8	10	31	16	19 1/2	96	2 1/2 to 1 1/2 Pc.
21	.064	.060	9	12	36	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
24	.064	.045	10	15	41	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
30	.079	.045	12	18	46	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
36	.079	.045	14	18	51	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
42	.089	.045	16	20	56	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
48	.089	.045	18	24	61	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
54	.089	.045	18	30	66	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
60	.089	.045	18	33	71	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
66	.089	.045	18	36	76	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
72	.099	.054	18	39	81	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
78	.099	.054	18	42	86	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
84	.099	.054	18	45	91	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
90	.099	.054	18	48	96	18	19 1/2	96	2 1/2 to 1 1/2 Pc.
96	.099	.054	18	51	101	18	19 1/2	96	2 1/2 to 1 1/2 Pc.

REINFORCED CONCRETE APRON ENDWALLS									
PIPE DIA. (IN.)	T	A	B	C	D	E	G	APPROX. SLOPE	
									12
15	2 1/2	6	27	46	73	30	2 1/2	3 to 1	
18	3	9	27	46	73	36	3	3 to 1	
21	3 1/2	9	36	37 1/2	73 1/2	42	3 1/2	3 to 1	
24	4	12	36	37 1/2	73 1/2	48	4	3 to 1	
30	5 1/2	12	42	30	73 1/2	54	5 1/2	3 to 1	
36	6 1/2	12	42	30	73 1/2	60	6 1/2	3 to 1	
42	7 1/2	12	42	30	73 1/2	66	7 1/2	3 to 1	
48	8 1/2	12	42	30	73 1/2	72	8 1/2	3 to 1	
54	9 1/2	12	42	30	73 1/2	78	9 1/2	3 to 1	
60	10 1/2	12	42	30	73 1/2	84	10 1/2	3 to 1	
66	11 1/2	12	42	30	73 1/2	90	11 1/2	3 to 1	
72	12 1/2	12	42	30	73 1/2	96	12 1/2	3 to 1	
78	13 1/2	12	42	30	73 1/2	102	13 1/2	3 to 1	
84	14 1/2	12	42	30	73 1/2	108	14 1/2	3 to 1	
90	15 1/2	12	42	30	73 1/2	114	15 1/2	3 to 1	
96	16 1/2	12	42	30	73 1/2	120	16 1/2	3 to 1	

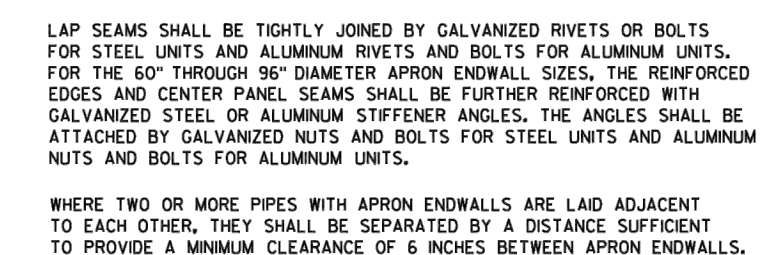
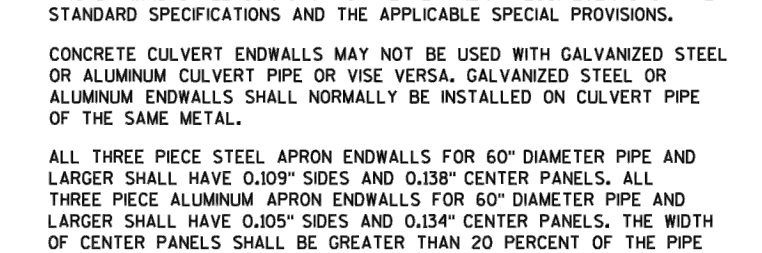
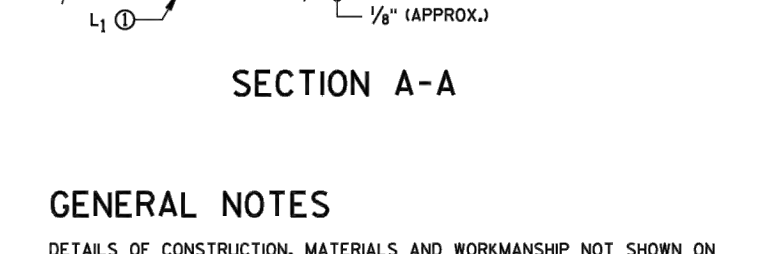
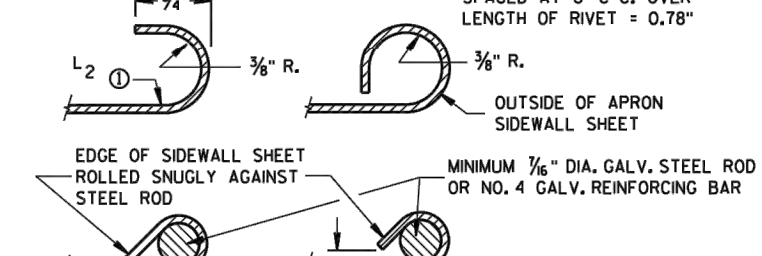
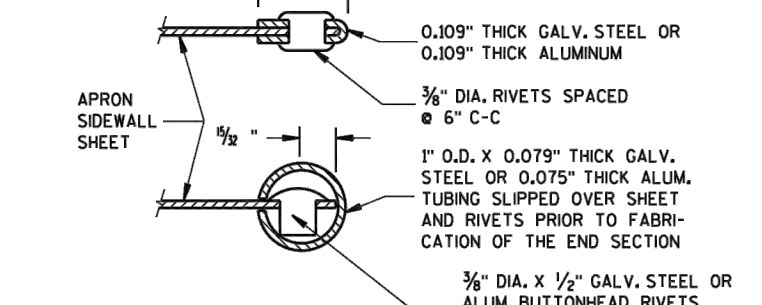
* EXCEPT CENTER PANEL SEE GENERAL NOTES



NOTE: DIMPLED BAND FITS OVER OUTSIDE OF ENDWALL, AND CORRUGATED BAND FITS INSIDE ENDWALL. DIMPLED BAND MAY BE USED WITH HELICALLY CORRUGATED PIPE.

FOR CIRCUMFERENTIALLY CORRUGATED PIPE USE ENDWALL CONNECTION DETAILS L 2, 3 OR 5 AS APPLICABLE.

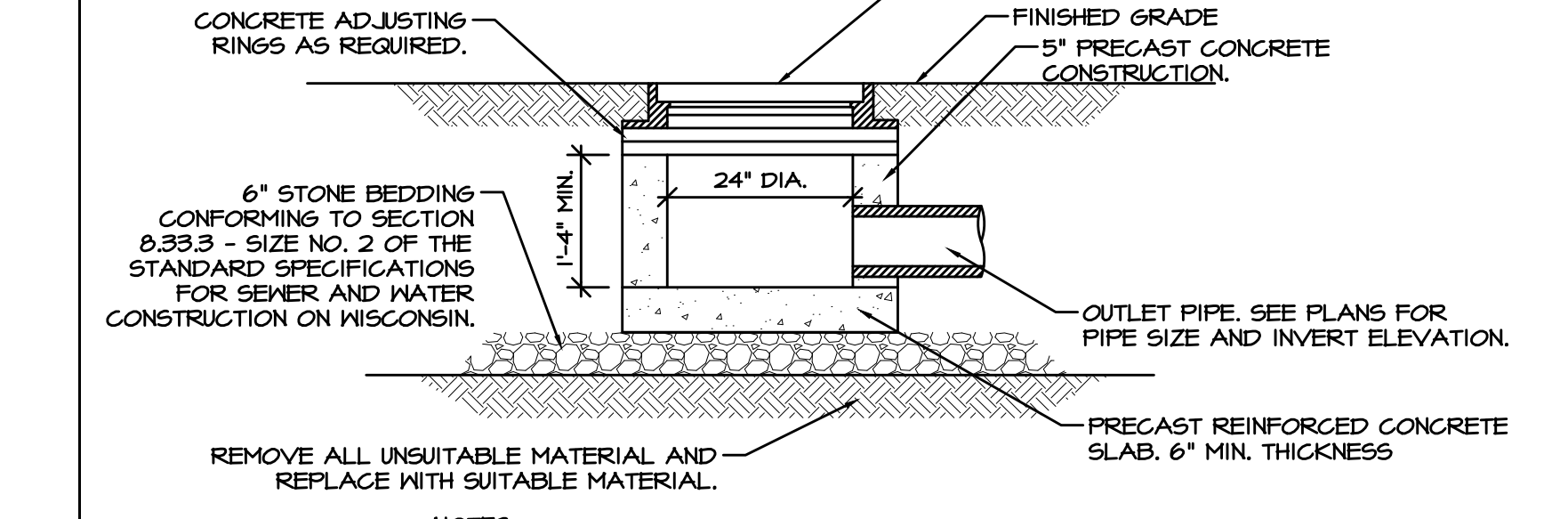
FOR HELICALLY CORRUGATED PIPE USE ENDWALL CONNECTION DETAILS L 2 OR 5.



APRON ENDWALLS FOR CULVERT PIPE

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

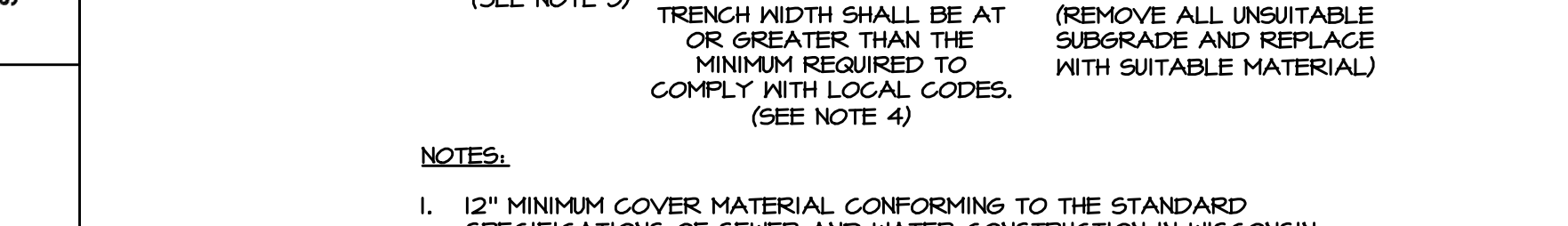
APPROVED: 8-30-94 DATE: 1/5/ Rory L. Rhineasmith
1/88a CHIEF ROADWAY DEVELOPMENT ENGINEER



- NOTES:
1. PRECAST REINFORCED CONCRETE ADJUSTING RINGS SHALL CONFORM TO ASTM C-39 (COMPRESSIVE STRENGTH TEST). MAXIMUM ALLOWABLE HEIGHT FOR CONCRETE ADJUSTING RINGS SHALL BE 6".
 2. PRECAST REINFORCED MONOLITHIC CONCRETE MANHOLE BOTTOM WITH INTEGRAL SIDEWALLS CAN BE SUBSTITUTED IN PLACE OF THE CONCRETE BOTTOM SLAB DESIGN SHOWN.
 3. SEE PLANS FOR INLET RIM ELEVATIONS AND PIPE INVERT ELEVATIONS AND LOCATIONS.



- NOTES:
1. 12" MINIMUM COVER MATERIAL CONFORMING TO THE STANDARD SPECIFICATIONS OF SEWER AND WATER CONSTRUCTION IN WISCONSIN INITIAL BACKFILL REQUIRED OVER TOP OF PIPE.
 2. BACKFILL TRENCH WITH INORGANIC EXCAVATED MATERIAL EXCEPT WHERE UNDER OR WITHIN 2' OF PAVEMENT WHERE CA-6 GRANULAR MATERIAL IS REQUIRED.
 3. ALL BACKFILL MATERIALS SHALL BE PROPERLY COMPACTED ACCORDING TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
 4. ALL TRENCH EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS AND RULES. AT A MINIMUM, THEY SHALL NOT BE LESS THAN THE STANDARDS AND REGULATIONS ESTABLISHED BY OSHA IN 29 CFR PART 1926.



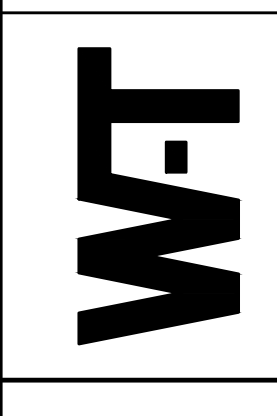
- NOTES:
1. PERFECT TURF PEGGRASS SLOPED PER SITE GRADING PLAN.
 2. SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR DENSITY AND GRADED TO WITHIN 0.5" OF DESIGN GRADE (REMOVE ALL UNSUITABLE SUBGRADE AND REPLACE WITH SUITABLE MATERIAL).
 3. 12" MINIMUM 3/8" CRUSHED STONE CHIPS.
 4. PERIMETER COMPOSITE NAILER BOARD.
 5. SUBGRADE SLOPED AT A MINIMUM OF 1.0%.
 6. UPPER 1' OF PIPE TRENCH WALLS SHALL BE EXCAVATED AT A 1:1 SLOPE (TYP).
 7. MIRAFI 140N NONWOVEN GEOTEXTILE FABRIC LINING OR APPROVED EQUAL (SEE SYNTHETIC TURF MANUFACTURER DETAILS AND SPECIFICATIONS).
 8. 12" MINIMUM 3/8" CRUSHED STONE CHIPS.
 9. 12" PERFORATED DOUBLE WALL HDPE UNDERDRAIN WITH PERMEABLE NYLON SOCK.

DETAIL - PERFORATED PIPE UNDERDRAIN
NOT TO SCALE

DATE	BY	REVISIONS
5-25-18	KJM	FOR PERMIT

W-T CIVIL ENGINEERING, LLC
CIVIL ENGINEERING CONSULTANTS

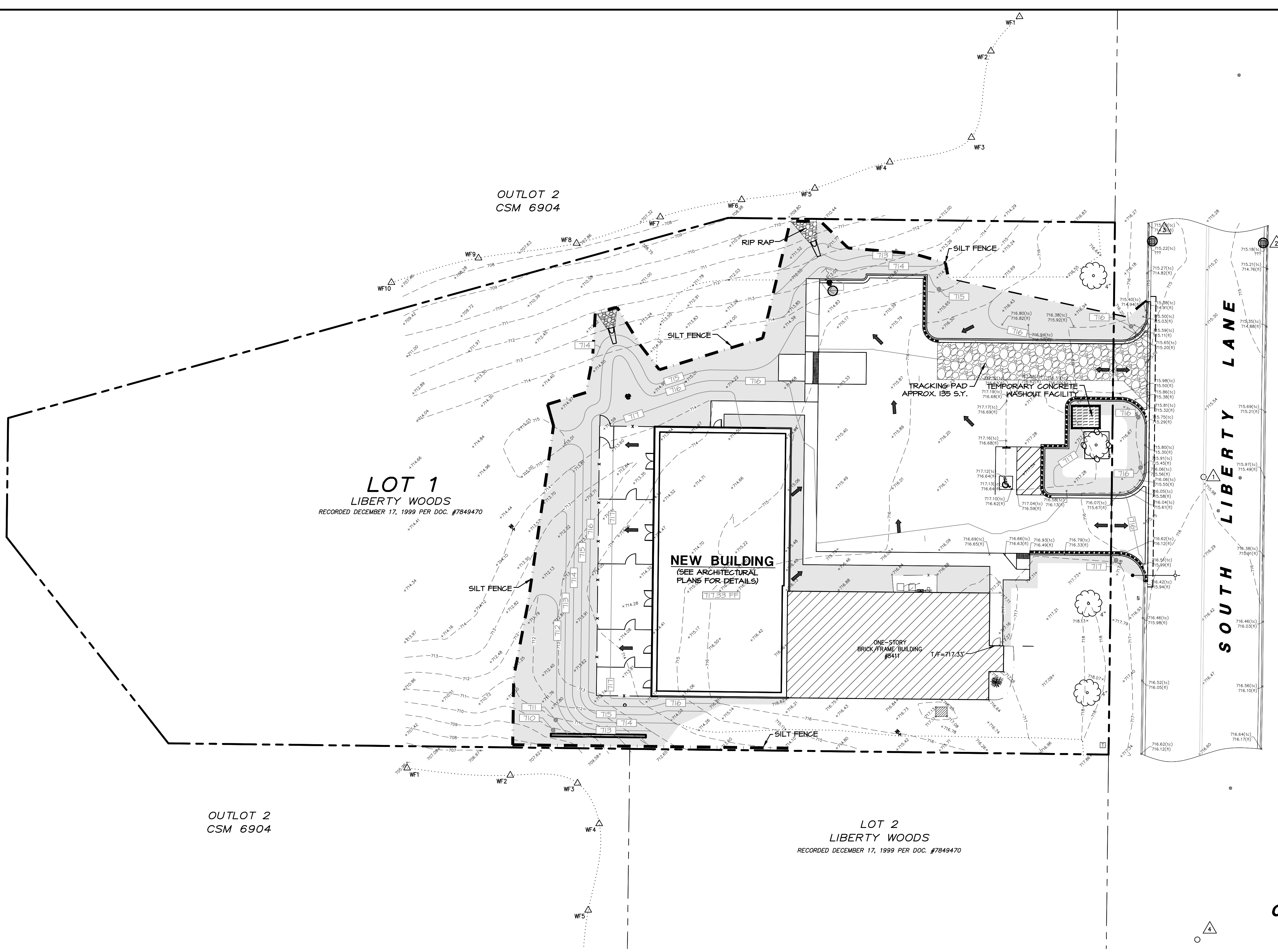
2675 Pratum Avenue
Hoffman Estates, Illinois 60192
PH: (224) 226-6444
www.wtengineering.com



CAMP BOW WOW
8411 SOUTH LIBERTY LANE
OAK CREEK, WISCONSIN 53154

SITE UTILITY DETAILS

DATE:	12-22-17
SCALE:	N.T.S.
DRAWN:	VE/DAK
CHECK:	JPG
JOB:	CE17129
SHEET:	C-5.1



- SWPPP NOTES:**
- ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE RESTORED ACCORDING TO THE SEED BED PREPARATION SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS SHOWN ON THE PLANS.
 - TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING.
 - CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAUL SOILS ON-SITE. TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.
 - EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIO-STAPLES AS MANUFACTURED BY NORTH AMERICAN GREEN. METAL STAPLES AND STAPLES ARE PROHIBITED.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL MEASURES FOR THE DURATION OF THE PROJECT.
 - FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE SILT FENCE TRENCH WITH SOD.
 - SEED BED PREPARATION:
 - ALL STONES, ROCKS, DEBRIS LARGER THAN 1" IN DIAMETER SHALL BE REMOVED.
 - DISK OR TILL TOPSOIL TO A DEPTH OF 3" AND REDUCE ALL SOIL PARTICLES TO NO LARGER THAN 2". THE SURFACE SHALL BE FREE OF WEEDS, STONES, ROCKS, STICKS, GULLIES, CLODS, AND DEBRIS.
 - THE AREA SHALL BE FINE GRADED.
 - THE SEED SHALL BE PLACED INTO THE SOIL WITH A MACHINE THAT MECHANICALLY PLACES THE SEED IN DIRECT CONTACT WITH THE SOIL AND COVERS THE SEED WITH THE SOIL.
 - BROADCAST AND HYDROSEED WILL NOT BE ALLOWED.
 - SEEDING AREAS SHALL BE COVERED WITH THE EROSION BLANKET RIGHT AFTER THE SEED HAS BEEN SOWN.
 - ANY SOIL AMENDMENTS NEEDED TO ACHIEVE A 90% HEALTHY STAND OF VEGETATION WILL BE ADDED TO THE SOIL AT NO EXTRA CHARGE TO THE OWNER. THE STAND OF VEGETATION WILL NEED TO BE ACCEPTED BY THE ENGINEER.
 - THE SEED MIX SHALL BE KENTUCKY BLUEGRASS 100LBS/ACRE, REVENGE PERENNIAL RYEGRASS 60 LBS/ACRE, ANNUAL RYE 40 LBS/ACRE AND GREENTONE RED FESCUE 40 LBS/ACRE TOTAL.

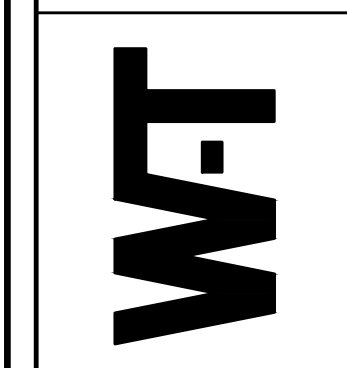
- SWPPP LEGEND**
- +000.00— EXISTING SPOT GRADE
 - - - - - EXISTING CONTOUR LINE
 - O—O— PROPOSED CONTOUR LINE
 - OVERLAND FLOW ARROW
 - ~ ~ ~ 100 YEAR OVERLAND FLOW ROUTE
 - ADJUST ADJUST EXISTING RIM ELEVATION
 - EXISTING CLOSED MANHOLE
 - EXISTING GUTTER FRAME MANHOLE
 - EXISTING B-BOX
 - △ WF1 EXISTING WETLAND FLAGS
 - ⊕ EXISTING MONITOR WELL
 - ⊥ PROPOSED INLET
 - |— PROPOSED FLARED END SECTION
 - |— SILT FENCE
 - INLET PROTECTION
 - ▽ RIP RAP
 - ▨ FINE GRADE, FERTILIZE, AND SEED. INSTALL D5T5 EROSION CONTROL BLANKET WITH 6" MANUFACTURED BY NORTH AMERICAN GREEN. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS
 - ▩ TEMPORARY CONCRETE WASHOUT FACILITY AS
 - TREE PRESERVATION FENCING

BELL COURT



REVISIONS	DATE	BY
FOR PERMIT	5-25-18	KJM

W-T CIVIL ENGINEERING, LLC
 CIVIL ENGINEERING CONSULTANTS
 2675 Pratum Avenue
 Hoffman Estates, Illinois 60192
 PH: (224) 226-6444
 www.wtengineering.com



CAMP BOW WOW
 8411 SOUTH LIBERTY LANE
 OAK CREEK, WISCONSIN 53154

STORM WATER POLLUTION PREVENTION PLAN

DATE:	12-22-17
SCALE:	1" = 20'
DRAWN:	VE/DAK
CHECK:	JP6
JOB:	CEI1129
SHEET	C-6.0

KEYED NOTES

- 1 PROVIDE BLOCKING FOR WALL MOUNTED TV ABOVE FIREPLACE
- 2 NEW ELECTRIC PANEL, SEE ELEC. DRAWINGS
- 3 PROVIDE TACTILE SIGN STATING "EXIT" IN COMPLIANCE WITH ICC/ANSI A117.1, AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES. INSTALL ADJACENT TO LATCH SIDE OF DOOR 60" ABOVE FINISHED FLOOR TO THE CENTER LINE OF THE SIGN TOP OF COUNTER # 34" AFF.
- 4 EXISTING SERVICE SINK TO REMAIN, G.C. TO CLEAN TO "LIKE NEW". SEE PLUMBING DRAWINGS
- 5 EXISTING WATER HEATER TO REMAIN - SEE PLUMBING DRAWINGS
- 6 PORTABLE FIRE EXTINGUISHER. VERIFY EXACT LOCATION AND OTHER REQUIREMENTS WITH LOCAL FIRE MARSHAL. MIN RATING 3A40BC.
- 7 EXIST. ELECTRICAL METER TO BE UPGRADED
- 8 NEW ADA COMPLIANT DRINKING FOUNTAINS. SEE DETAIL 5/A12.0
- 9 PROVIDE PLYWOOD SHEATHING FOR FLOORING IN ATTIC AREA
- 10 STORAGE AREA (MOPS, BUCKETS, ETC.)
- 11 NEW HVAC EQUIPMENT. SEE MECH. DRAWINGS. PROVIDE CONC. SLABS FOR EXTERIOR UNITS.
- 12 EXTEND FENCE AS SHOWN. NEW FENCE TO MATCH EXISTING.
- 13 PROVIDE 4"x8 1/2" PLYWOOD ON ENTIRE BACK WALL OF CLOSET FOR EQUIPMENT AND POWER

LEGEND

- WALL TYPE - SEE DETAIL 1/A10-C
- DOOR NUMBER - REFER TO SHEET A-4.0
- ◇ GATE NUMBER - REFER TO SHEET A-4.0
- FENCE TYPE - REFER TO SHEET A-1 FOR FENCE TYPES
- ▬ NEW WALL CONSTRUCTION-REFER TO WALL TYPE SECTIONS
- ▬ NEW HALF-WALL CONSTRUCTION-REFER TO WALL TYPE SECTIONS

FENCE TYPES

- 1 INDOOR PLAY AREA INTERIOR FENCE 4'-0" x 5'-0" HIGH 6COUTS CAMP CORRAL WALL AND GATES. SEE SHEET SP-1 FOR DETAILS.
- 2 NOT USED
- 3 OUTDOOR INTERNAL FENCE: 8'-0" PVC VINYL FENCE. SEE SHEET SP-1 FOR DETAILS.
- 4 OUTDOOR FENCE: 10'-0" HIGH PVC VINYL FENCE. SEE SHEET SP-1 FOR DETAILS.

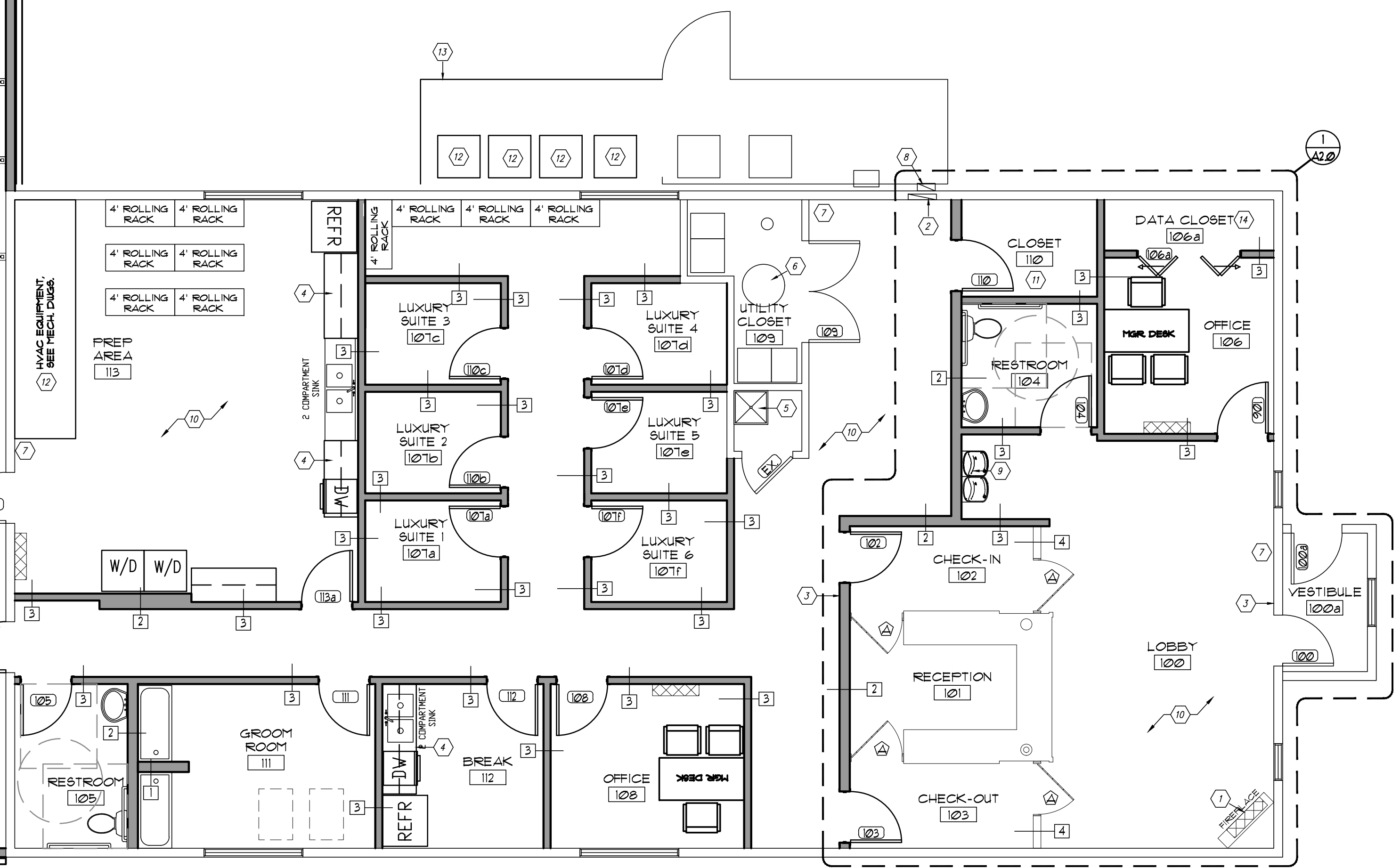
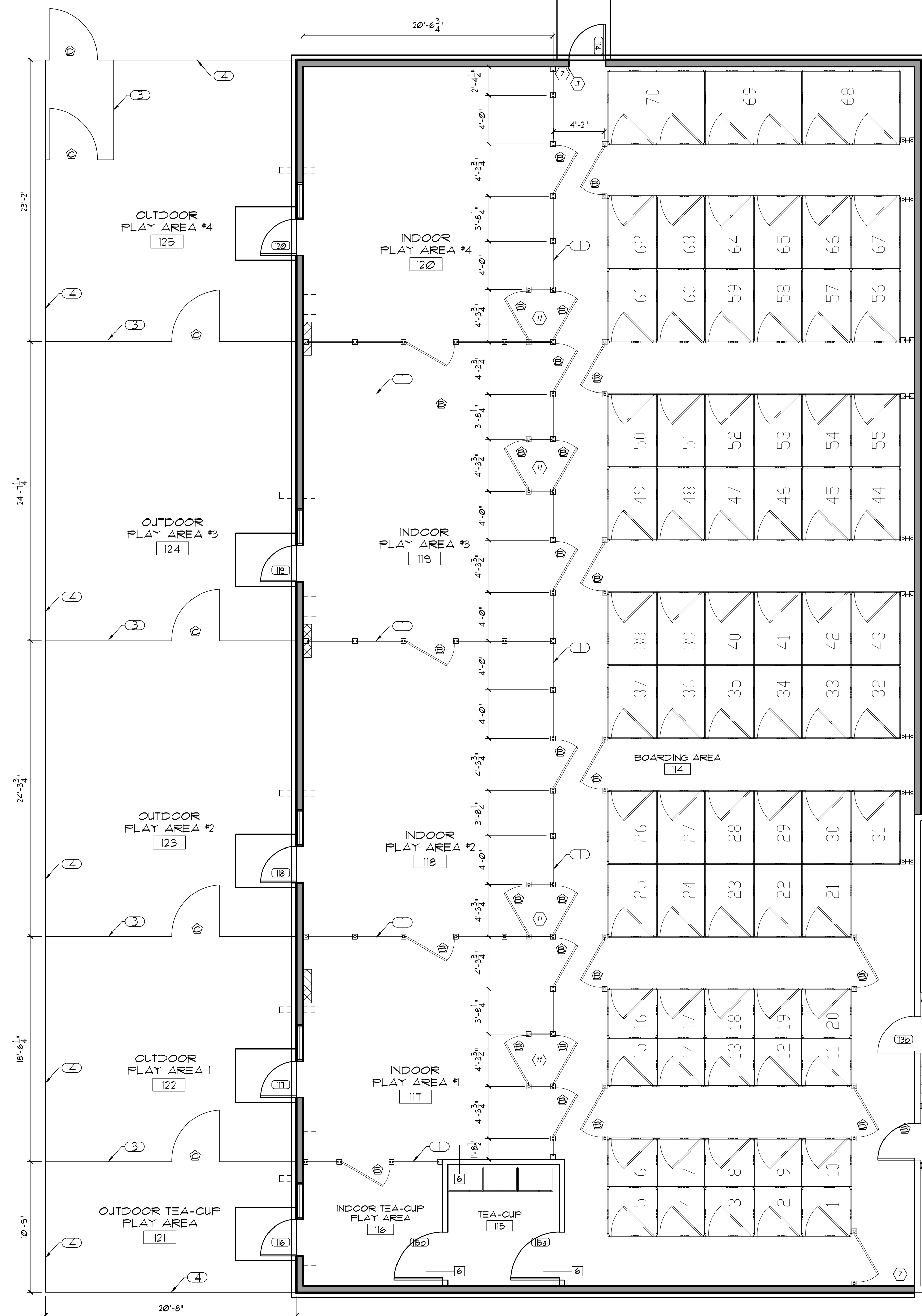
KENNEL DESIGN:

CABINS:

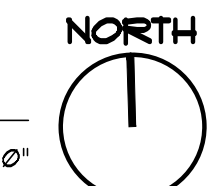
- SMALL DOGS CABIN 4'10"x4'10"x6'H
- MEDIUM DOGS CABIN 4'10"x6'10"x6'H
- LARGE DOGS CABIN 8'10"x6'10"x6'H

GENERAL NOTES:

- 1 RECEPTION DESK, "A" GATES PROVIDED BY OWNER AND INSTALLED BY G.C.
- 2 ALL NUMBERED CABINS AND INTERIOR FENCE TYPE 1 ARE PROVIDED BY OWNER AND INSTALLED BY THE GENERAL CONTRACTOR.
- 3 48" FRP COLOR "ALMOND", CLASS III/C RATING. SEE SHEET A11 FOR LOCATIONS.
- 4 48" FRP COLOR "WHITE", CLASS III/C RATING. SEE SHEET A11 FOR LOCATIONS.
- 5 ALL ELECTRICAL OUTLETS MOUNTED IN GROOM ROOM, TEA CUP ROOM, BOARDING ROOM, AND INDOOR PLAY YARDS SHALL BE GFCI PROTECTED.
- 6 IF WOOD STUDS ARE USED, BOTTOM PLATE SHALL BE PRESERVATIVE TREATED (B2204.11)
- 7 IF USING WOOD STUDS, PROVIDE FIRE BLOCKING IN NEW WALLS @ CEILING LINES (B112)
- 8 RESTROOM WALL SHALL BE INSULATED WITH SOUND ATTENUATED BATT
- 9 WALLS INSIDE PREP ROOM, GROOM ROOM, AND JANITOR'S CLOSET TO RECEIVE 1/2" CDX PLYWOOD BACKING BEHIND FRP.
- 10 ALL GYPSUM AT WET AREA WALLS TO BE FIBERGLASS MAT FACED GYPSUM IN LIEU OF STANDARD.
- 11 PROVIDE CLEAR SILICONE CAULKING WHERE COMPOSITE BOARD BASE MEETS FLOORING.
- 12 PROVIDE DEDICATED CIRCUIT FOR TWO QUAD RECEPTACLE POINTS - RACEWAY MOUNTED UNDER COUNTER OF FRONT RECEPTION DESK. TWO HOLLOW LOG COLUMNS FROM COUNTERTOP TO CEILING AREA PROVIDED WITH RECEPTION DESK TO HOUSE POWER AND LOW VOLTAGE CABLE.
- 13 PROVIDE THREE SETS OF CAT 5E CABLES FROM PHONE/DATA DEMARK - RACEWAY MOUNTED UNDER COUNTER OF FRONT RECEPTION DESK.
- 14 PROVIDE JUNCTION BOX AND ELECTRICAL CIRCUITRY FOR POWER SUPPLY ASSOCIATED WITH DETEX V40XEE DELAYED EGRESS DEVICE. CONNECT FIRE ALARM INPUT AT POWER SUPPLY TO FAIL SAFE UPON SYSTEM ACTIVATION. CONNECT SECURITY SYSTEM TO NOTIFY OWNER UPON SYSTEM ACTIVATION.
- 15 INSTALL CEMENT BACKER BOARD TO 12" AFF. BEHIND TILE.
- 16 ALL "B" GATES SWING IN BOTH DIRECTIONS, EXCEPT WHERE NOTED



1 FLOOR PLAN
A1.0B



3/16" = 1'-0"

3/28/2018 ISSUE FOR PERMIT
NO DATE REMARKS
REVISIONS

CAMP BOW WOW

8411 S. LIBERTY LN.
OAK CREEK, WI
(FRANKLIN)

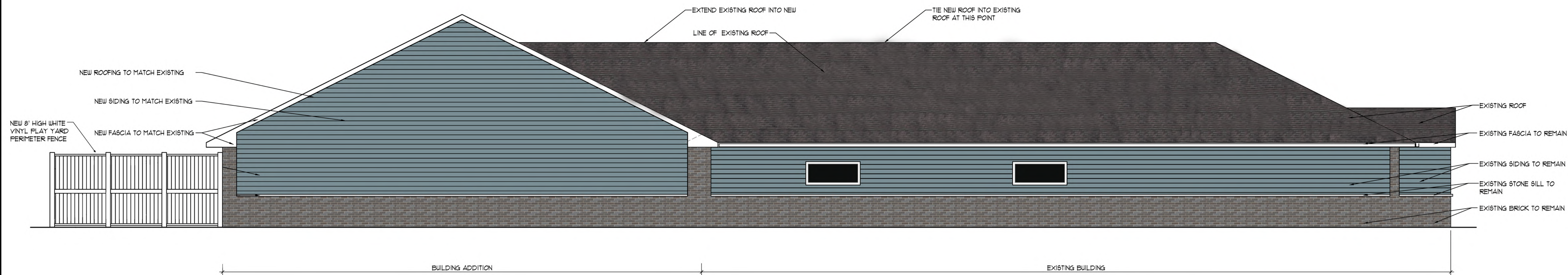
PROJECT NO: 2017.0496
DATE: 1.12.2018

A1.0B
FLOOR PLAN

CHECKED: JS DRAWN: TN

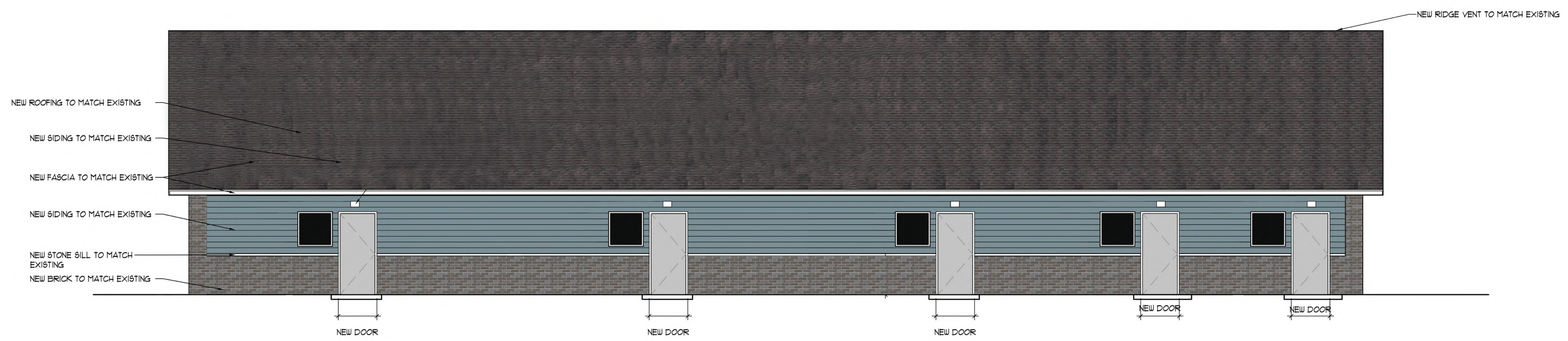
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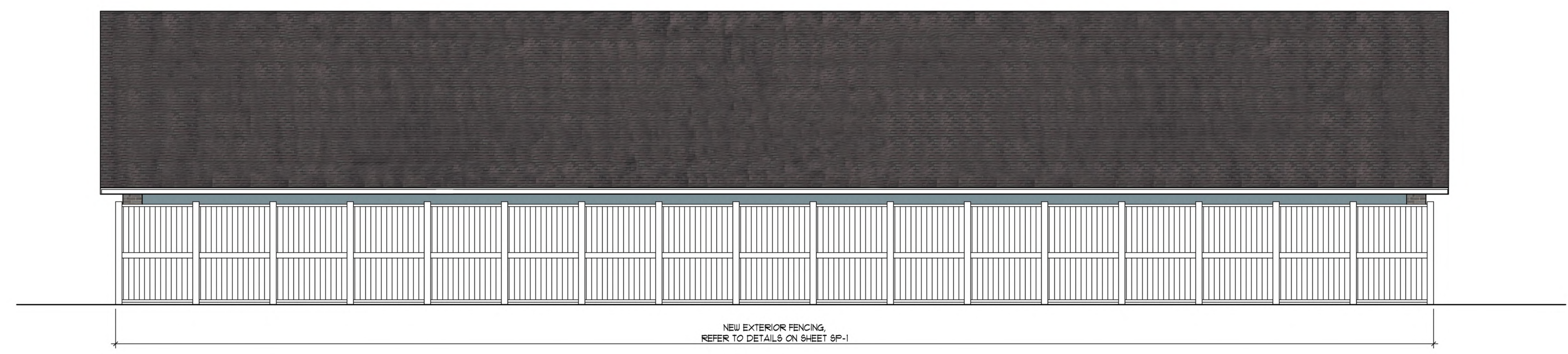
1 SOUTH ELEVATION

3/16" = 1'-0"



2 WEST ELEVATION

3/16" = 1'-0"



3 ELEVATION (NEW W/ OUTDOOR PLAY YARDS)

3/16" = 1'-0"

3/28/2018	ISSUE FOR PERMIT
NO DATE	REMARKS
REVISIONS	

CAMP BOW WOW

8411 S. LIBERTY LN.
OAK CREEK, WI
(FRANKLIN)

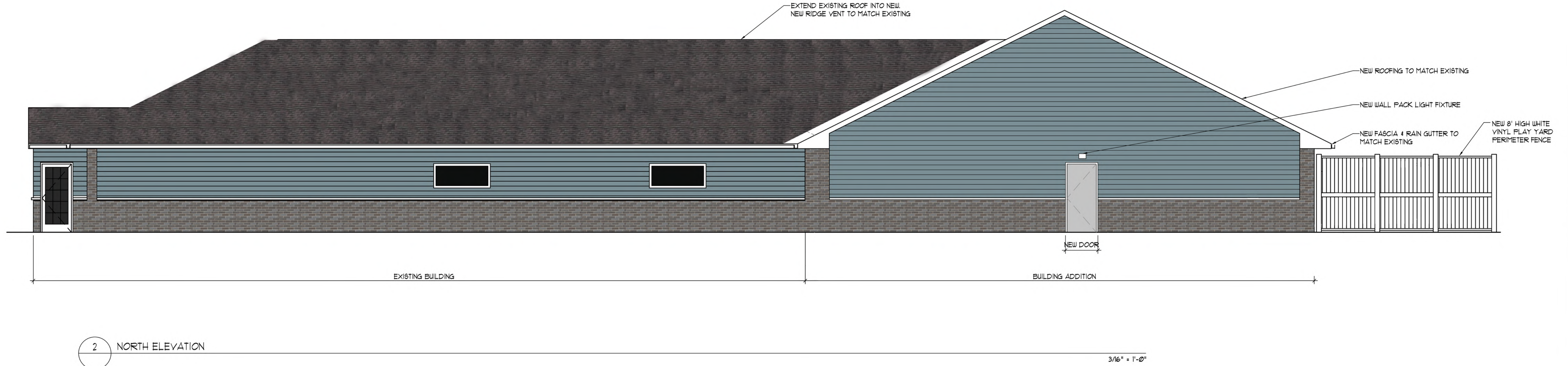
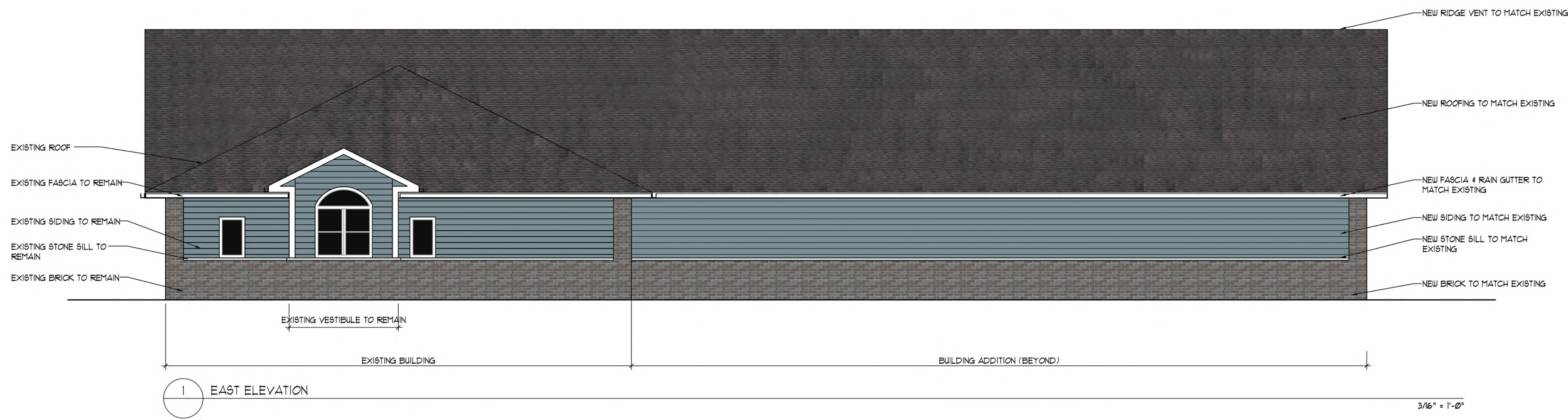
PROJECT NO: 2017.0496
DATE: 05.25.2018

ELEV - 1
EXTERIOR ELEVATIONS

CHECKED: JS DRAWN: TN

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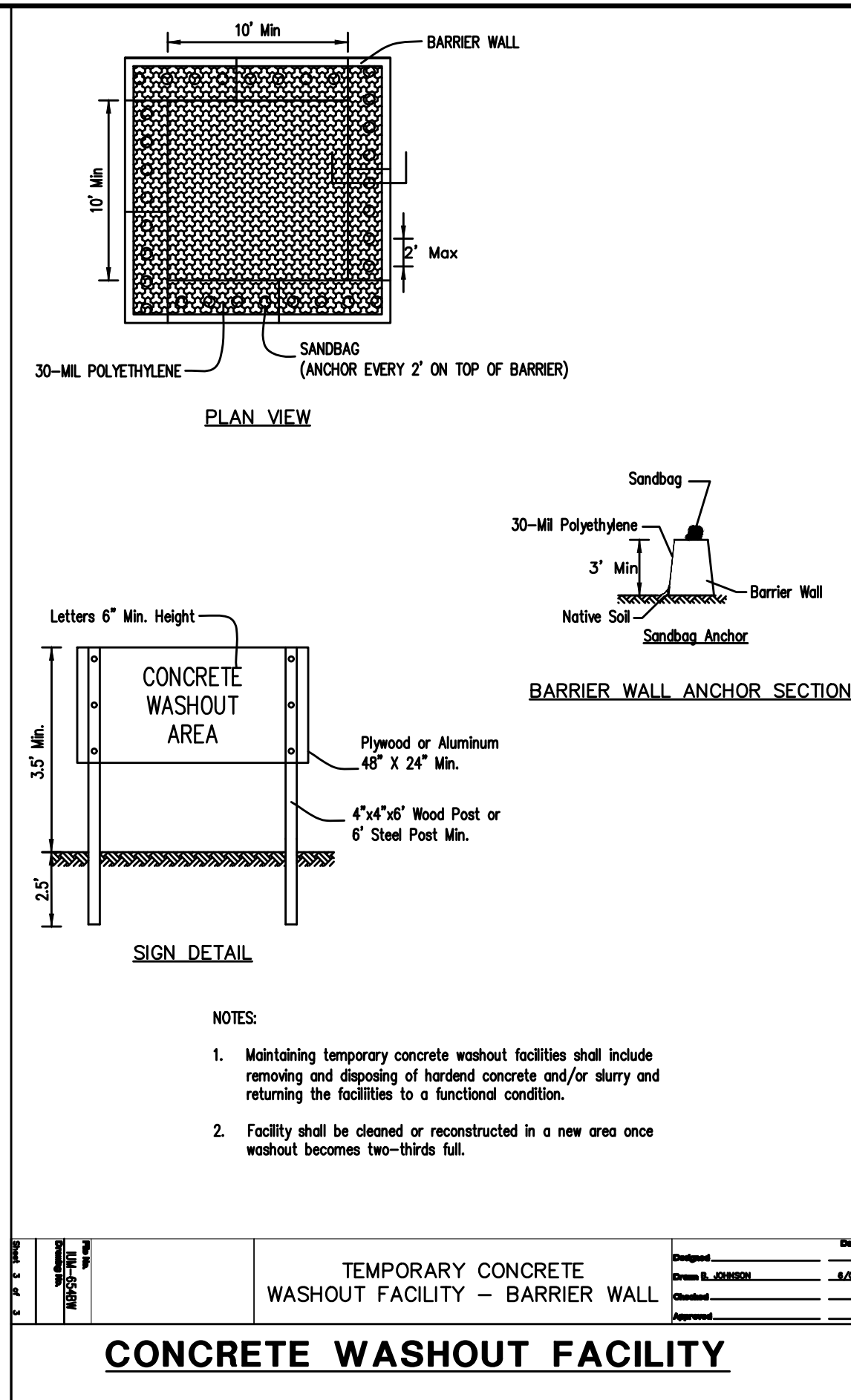
CAMP BOW WOW

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OAK CREEK, WI
(FRANKLIN)

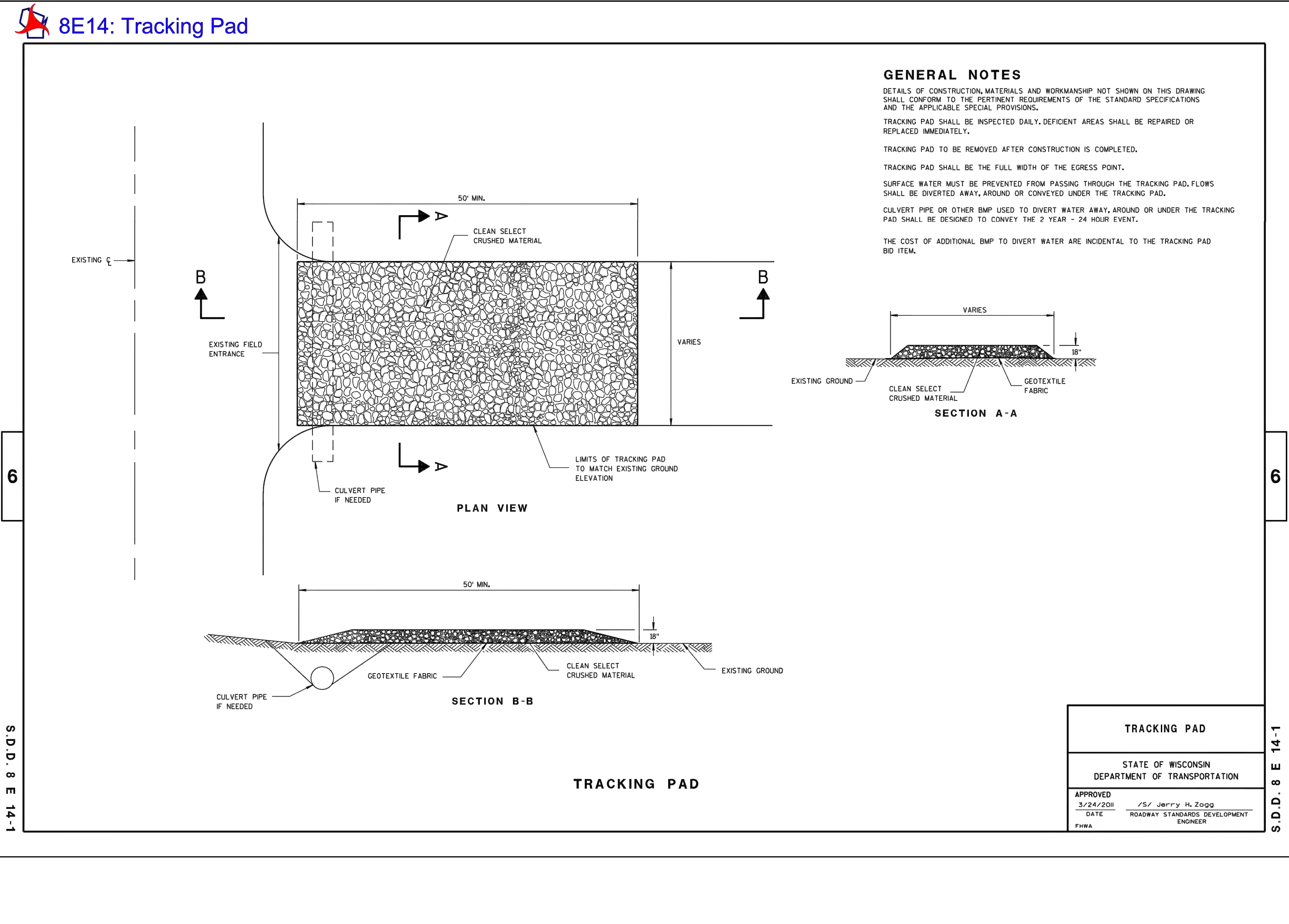
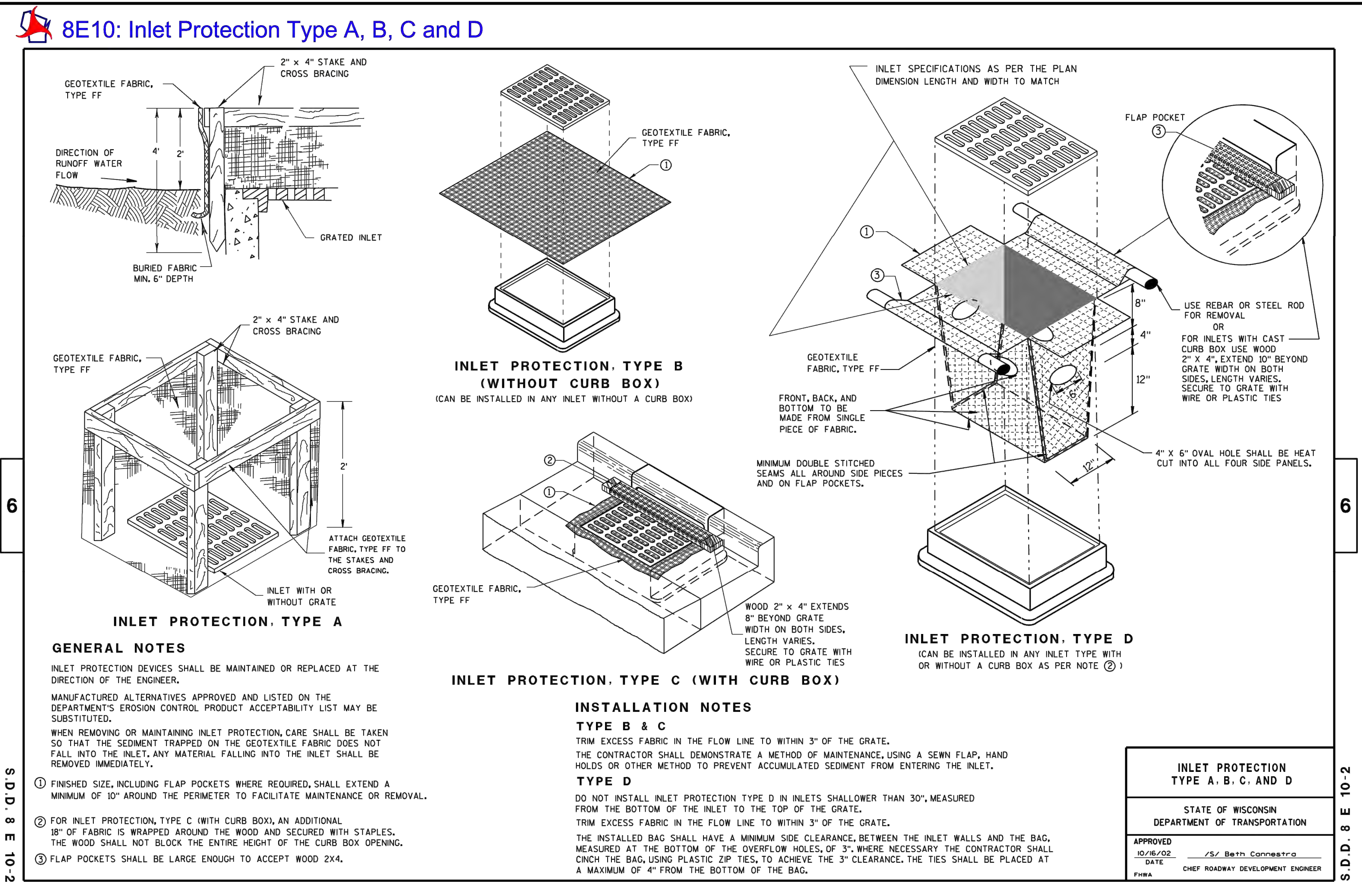
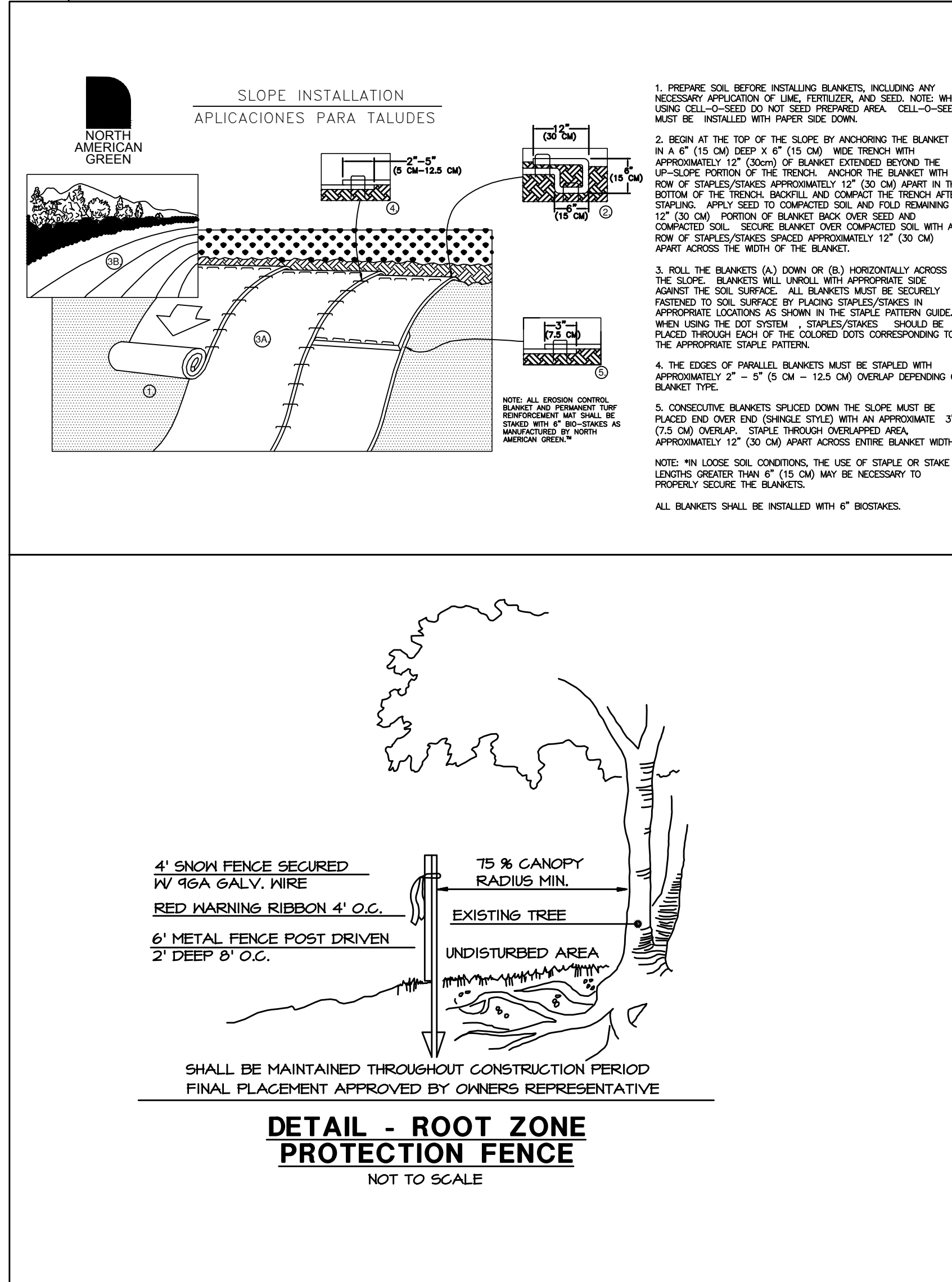
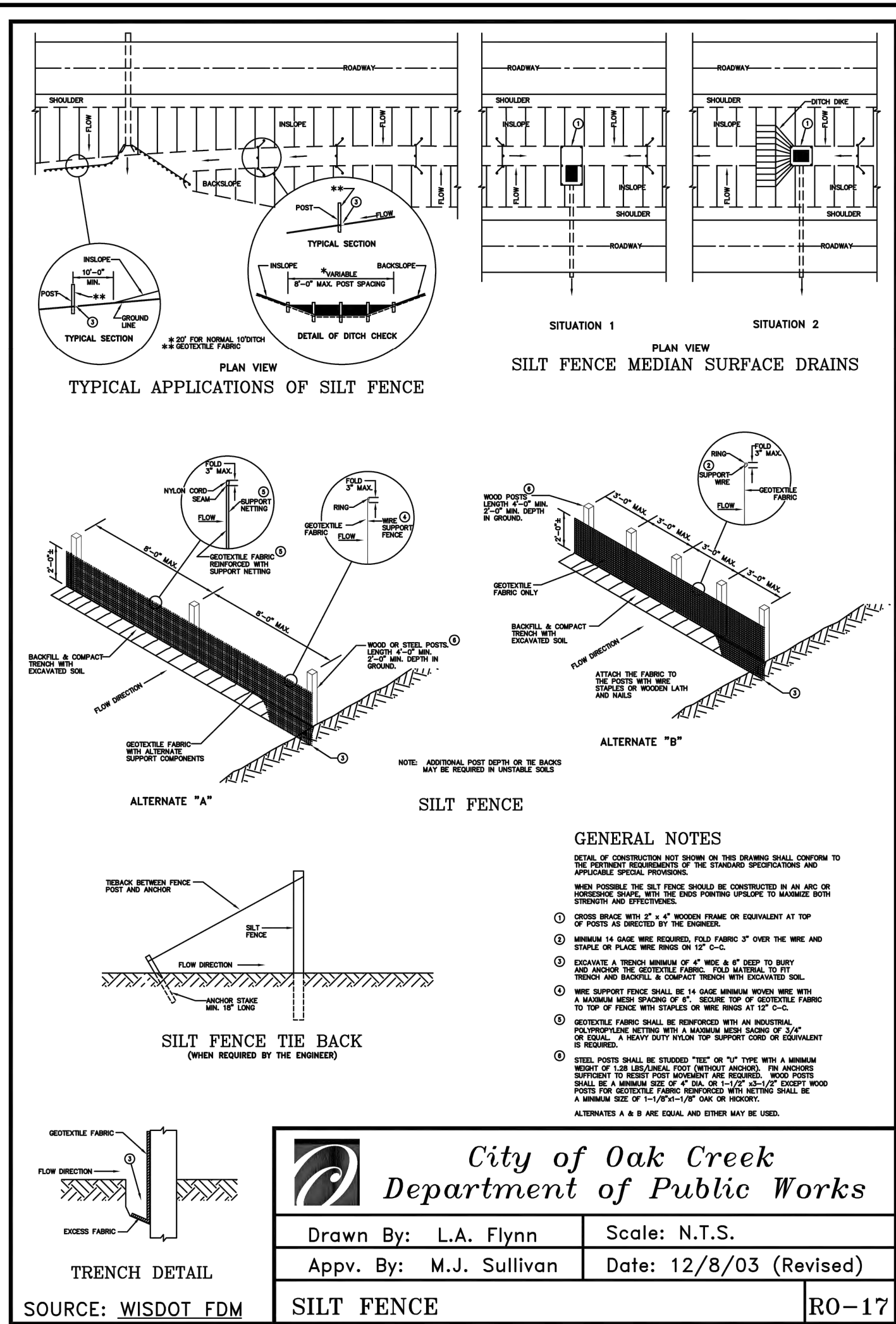
PROJECT NO: 2017.0496
DATE: 5.24.2018

ELEV- 2
EXTERIOR ELEVATIONS

CHECKED: JS DRAWN: TN



DATE	12/8/03
DESIGNED BY	L.A. Flynn
CHECKED BY	M.J. Sullivan
APPROVED BY	M.J. Sullivan
TITLE	TEMPORARY CONCRETE WASHOUT FACILITY - BARRIER WALL



W-T CIVIL ENGINEERING, LLC
2875 Pratum Avenue
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PH: (224) 226-6444
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W-T CIVIL ENGINEERING CONSULTANTS

CAMP BOW WOW
8411 SOUTH LIBERTY LANE
OAK CREEK, WISCONSIN 53154

STORM WATER POLLUTION PREVENTION PLAN DETAILS

DATE: 12-22-17
SCALE: N.T.S.
DRAWN: VE/DAK
CHECK: JPG
JOB: CEI129
SHEET: C-6.1

DATE: 5-25-18
BY: KJM

REVISIONS FOR PERMIT

APPROVED 10/16/03 DATE 12/8/03 BY JERRY H. ZOGG CHIEF ROADWAY DEVELOPMENT ENGINEER
FWHA

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING:
 - 1.1. WISCONSIN DEPARTMENT OF TRANSPORTATION 2010 "STANDARD SPECIFICATIONS," AND ALL SUBSEQUENT REVISIONS THERETO.
 - 1.2. AMERICAN WATER WORKS ASSOCIATION STANDARDS.
 - 1.3. WISCONSIN STORM WATER MANUAL CURRENT EDITION.
 - 1.4. BUILDING CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES.
 - 1.5. UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS, 29 CFR PART 1926, "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
 - 1.6. WISCONSIN DRAINAGE LAW.
 - 1.7. AMERICANS WITH DISABILITIES ACT.
 - 1.8. WISCONSIN DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
 - 1.9. WISCONSIN ADMINISTRATIVE CODE.
 - 1.10. STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.
2. ALL REQUIRED PERMITS FROM THE APPROPRIATE GOVERNING AGENCY(S) SHALL BE OBTAINED FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING, SHORING AND OTHER PROTECTION OF ALL EXISTING STRUCTURES, ROADWAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE AND TO THE SATISFACTION OF THE GOVERNING AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNAGE AND TRAFFIC CONTROL DEVICES TO INFORM AND PROTECT THE PUBLIC.
3. CONTRACTOR SHALL NOTIFY THE LOCAL ENGINEERING OR PUBLIC WORKS DEPARTMENT AND/OR OTHER GOVERNING AUTHORITY(S) 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ON EACH MAJOR CATEGORY OF WORK, INCLUDING BUT NOT LIMITED TO, ANY PUBLIC IMPROVEMENTS, ROADWAY CLOSURES OR UTILITY INSTALLATIONS. 72 HOUR NOTICE SHALL BE GIVEN FOR ANY WORK ITEM THAT REQUIRES INSPECTION AND TESTING SUCH AS SANITARY SEWER OR WATER MAIN INSTALLATION.
4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) AND THE LOCAL MUNICIPALITY TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER TO AVOID POTENTIAL CONFLICTS. CONTRACTOR SHALL CALL DIGGER'S HOTLINE, WISCONSIN'S ONE-CALL CENTER AT (800) 242-8511, (262) 432-7410 OR BY DIALING 811. IT IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON PLANS AND NOT AND TO HAVE THESE UTILITIES STAKED PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PRIVATE AND PUBLIC UTILITIES EXCEPT THOSE WHICH ARE NOT SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER.
6. ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE ENGINEER ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
7. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNER(S).
8. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.
9. ALL PROPERTY MARKERS AND REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.
10. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE CONSTRUCTION OPERATIONS ABUT PUBLIC THROUGH-FARES AND ADJACENT PROPERTY.
11. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITIONS OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.
12. NO BURNING OR INCINERATION OF RUBBISH WILL BE PERMITTED ON SITE.
13. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF 18 (EIGHTEEN) MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
15. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.
16. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
17. THREE (3) ORIGINAL COPIES OF ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:
 - 17.1. ASPHALT PAVEMENT MIX DESIGN
 - 17.2. CONCRETE MIX DESIGN
 - 17.3. GRANULAR MATERIAL GRADATION
 - 17.4. PRECAST CONCRETE STRUCTURES (MANHOLES, INLETS, CATCH BASINS, VAULTS, ETC.)
 - 17.5. WATER MAIN MATERIALS (VALVES, FIRE HYDRANTS, ETC.)
18. AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS AND WHEN REQUIRED BY THE GOVERNING AUTHORITY(S), CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM (WHERE APPLICABLE TO THE SCOPE OF WORK) THE FOLLOWING ITEMS:
 - 19.1. TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.
 - 19.2. HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.
 - 19.3. RIM AND INVERT AND/OR TOP OF PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES.
 - 19.4. AS-BUILT AND/OR RECORD DRAWING INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION, ANY AND ALL DEVIATIONS FROM THESE APPROVED PLANS SHALL BE SHOWN BY MEANS OF STRIKING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.

SITE GRADING AND PAVING

1. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION 2010 "STANDARD SPECIFICATIONS," AND ALL SUBSEQUENT REVISIONS THERETO ("STANDARD SPECIFICATIONS"), ANY SPECIAL PROVISIONS, THE NOTES IN THE PLANS AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
 2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE "STANDARD SPECIFICATIONS." ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.
 3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADINGS. UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 6" TOPSOIL RE-Spread AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.
 4. THE SOILS INVESTIGATION REPORT FOR THE SITE AND ALL ADDENDA THERETO ARE SUPPORTING DOCUMENTS FOR THIS PROJECT. THE RECOMMENDATIONS AS STATED IN SAID REPORT ARE HEREBY INCORPORATED INTO THESE CONSTRUCTION NOTES BY REFERENCE AND SHALL BE FOLLOWED BY ALL CONTRACTORS. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING BREAKING, GRADING AND CROSS SECTIONS SHOWN ON THE PLANS. ALL ALLIUMS, FERTILIZERS, AND OTHER CHEMICALS SHALL BE STORED AND HANDLED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE ENGINEER ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.
 5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE CONTRACTOR.
 6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.
 7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.
 8. REMOVED DRIVEWAY PAVEMENT, SIDEWALK, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFF-SITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.
 9. ON AND OFF SITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.
 10. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVING (ROADS, WALKS, DRIVE, ETC.) SECTION OR TOPSOIL AS INDICATED ON THE PLANS.
 11. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.
 12. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.
 13. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
 14. ALL CONCRETE POURED SHALL BE:
 - 14.1. MINIMUM COMPRESSIVE STRENGTH:
 - 14.1.1. 3500 P.S.I. AT 14 DAYS
 - 14.1.2. 4500 P.S.I. AT 28 DAYS (PER A.C.I.)
 - 14.2. MAX WATER-CEMENTITIOUS MATERIALS RATIO: 0.44 (AIR-ENTRAINED)
 - 14.3. AIR CONTENT: 6%, +/- 1.5% AT POINT OF DELIVERY FOR EXPOSED CONCRETE
 15. WHEN FIBER MESH REINFORCEMENT IS SPECIFIED, IT SHALL CONSIST OF FIBRILLATED POLYPROPYLENE FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE PAVEMENT, COMPLYING WITH ASTM C 1116, TYPE III, 1/8" TO 3/8" LONG. FIBERS SHALL BE UNIFORMLY DISPERSED IN THE CONCRETE MIXTURE AT THE MANUFACTURER'S RECOMMENDED RATE, BUT NOT LESS THAN 1.5 LBS / CU. YD.
 16. THE GRADING AND CONSTRUCTION OF THE PROPOSED PAVEMENT IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.
 17. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.
 18. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.
 19. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARDS AND SHALL BE INSTALLED AND PROVIDED WHENEVER CONSTRUCTION FOR UTILITIES ARE WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.

STORM SEWERS

1. ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, THE WISCONSIN DEPARTMENT OF TRANSPORTATION 2010 "STANDARD SPECIFICATIONS," THE "STANDARD SPECIFICATIONS" FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN DATED APRIL 2008 AND ALL SUBSEQUENT REVISIONS THERETO, ANY SPECIAL PROVISIONS, THE NOTES ON THE PLANS, AND IN ACCORDANCE WITH THE CODES AND ORDINANCES OF THE GOVERNING AUTHORITIES. IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.
 2. ALL STORM SEWER PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS" FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN DATED APRIL 2008.
 3. ALL RCP STORM SEWER PIPE 12" IN DIAMETER AND LARGER SHALL BE REINFORCED CONCRETE PIPE, CLASS IV, PER ASTM C-76 WITH FLEXIBLE (O-RING) GASKET JOINTS IN CONFORMANCE WITH ASTM C-443. ALL 10" DIAMETER RCP STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS V.
 4. ALL HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F-2306 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212, UNLESS OTHERWISE NOTED.
 5. ALL PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE SDR 26 PIPE PER ASTM D-3034 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212, UNLESS OTHERWISE NOTED.
 6. ALL STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS" FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN DATED APRIL 2008.
 - 6.1. ALL STORM SEWERS MUST BE PLACED ON PROPERLY COMPACTED STONE BEDDING. PIPE BEDDING MATERIAL SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE AND FOR PVC PIPE, MATERIAL SHALL BE EXTENDED A MINIMUM OF 12" OVER THE TOP OF THE PIPE PER ASTM D-2921. PIPE BEDDING MATERIAL SHALL BE CRUSHED GRAVEL OR STONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS" FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN DATED APRIL 2008.
 - 6.2. TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR DENSITY PER ASTM D-1581. OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TWO (2) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS.
 7. ALL REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS NOT TO EXCEED A MAXIMUM OF EIGHT (8) INCHES IN OVERALL HEIGHT. A MAXIMUM OF TWO (2) ADJUSTING RINGS ARE ALLOWED. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.
 8. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.

STORMWATER POLLUTION PREVENTION NOTES

1. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS, AND DELEGATION OF AUTHORITY FORMS FOR THE DURATION OF THE PROJECT.
 - 2.1. WISCONSIN QUALIFIED PERSONNEL SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN TWENTY-FOUR (24) HOURS OF THE INSPECTION.
 - 2.2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INFORM ANY SUBCONTRACTOR(S) WHO MAY PERFORM WORK ON THIS PROJECT, OF THE REQUIREMENTS IN IMPLEMENTING AND MAINTAINING THESE EROSION CONTROL PLANS AND THE WISCONSIN POLLUTANT DISCHARGE ELIMINATION SYSTEM (WPDES) PERMIT REQUIREMENTS SET FORTH BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
4. PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO, ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY EROSION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW.
5. THE GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT SITE MUST BE NOTIFIED ONE (1) WEEK PRIOR TO THE PRE-CONSTRUCTION CONFERENCE, ONE (1) WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITIES, AND ONE (1) WEEK PRIOR TO THE FINAL INSPECTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE GOVERNING AUTHORITY.
7. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL EROSION, POLLUTION, AND/OR SILTATION, THE GOVERNING AUTHORITIES RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
8. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION PRACTICE STANDARD.
9. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN. THESE SHALL BE MAINTAINED UNTIL THE TRIBUTARY DRAINAGE AREAS HAVE ADEQUATE GRASS COVER OR APPROPRIATE GROUND STABILIZATION.
10. ALL STREETS ADJACENT TO THE SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS.
11. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION.
12. ALL DISTURBED AREAS SHOULD BE SEEDED OR SODDED WITHIN THREE (3) DAYS OF FINAL DISTURBANCE.
13. WHENEVER DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED.
14. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
15. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
16. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE FROM THE PROPOSED CONSTRUCTION ENTRANCE. THE USE OF ANY OTHER ACCESSSES IS PROHIBITED.
17. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DISCHARGED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, DEWATERING BAGS OR POLYNYER MIXING SHALES. DEWATERING DIRECTLY INTO FIELD TILES, WETLANDS, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, STREAMS, LAKES, PONDS, RIVERS, OR STORMWATER SYSTEMS IS PROHIBITED.
18. ALL STOCKPILES SHOULD BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
19. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
 - 19.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES ON A PORTION OF THE SITE IS PRECLUDED BY SNOW COVER.
 - 19.2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (I.E. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 14 DAYS). THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
20. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 6:1 SLOPE OR STEEPER AND AS SHOWN ON THE PLANS.
21. ALL DISTURBED GREEN SPACES WITHIN THE R.O.M. SHALL BE RESTORED WITH 6" OF TOPSOIL AND SEEDING SHALL CONFORM TO THE REQUIREMENTS OF THE WISCONSIN STATUTES AND OF THE ADMINISTRATIVE CODE CHAPTER ATCP 20.01.
22. THE CONDITION OF THE CONSTRUCTION SITE FOR WINTER SHUTDOWN SHALL BE ADDRESSED EARLY IN THE FALL GROWING SEASON SO THAT THE SLOPES AND OTHER BARE EARTH AREAS MAY BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATIVE COVER FOR PROPER EROSION AND SEDIMENT CONTROL. ALL OPEN AREAS THAT ARE TO REMAIN IDLE THROUGHOUT THE WINTER SHALL RECEIVE TEMPORARY EROSION CONTROL MEASURES INCLUDING TEMPORARY SEEDING, MULCHING AND/OR EROSION CONTROL BLANKET PRIOR TO THE END OF THE FALL GROWING SEASON. THE AREAS TO BE WORKED BEYOND THE END OF THE GROWING SEASON MUST INCORPORATE SOIL STABILIZATION MEASURES THAT DO NOT RELY ON VEGETATIVE COVER SUCH AS EROSION CONTROL BLANKET AND HEAVY MULCHING.
23. ONCE ALL UPSTREAM AREAS ARE STABILIZED WITH SEED AND BLANKET OR SOD AS SHOWN IN THE PLANS, SILT FENCING SHALL BE REMOVED AND THE TRENCH SHALL BE RESTORED WITH TOPSOIL, SEED, FERTILIZER AND BLANKETING. RESTORATION SHALL OCCUR IMMEDIATELY FOLLOWING THE REMOVAL OF THE SILT FENCE. RESTORATION SHALL BE COMPLETED THE SAME WORKING DAY AS ANY SILT FENCING REMOVAL AND AT LEAST 2 HOURS BEFORE ANY FORECASTED PRECIPITATION.
24. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OFF BY THE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION SCHEDULE

1. OBTAIN APPLICABLE SITE PERMITS AND REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SWPPP THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE/TRACKING PAD.
3. INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT FENCE).
4. INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.
5. PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.
 - 5.1. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN TWENTY-FOUR (24) HOURS OF THE INSPECTION.
 - 5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.
 - 5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.
6. PERFORM SITE CLEARING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
7. REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION PLAN.
8. PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SHALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).
9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.
10. INSTALL BUILDING FOUNDATIONS AND BEGIN BUILDING CONSTRUCTION.
11. INSTALL STORM SEWERS AND OTHER SITE UTILITIES AND IMMEDIATELY INSTALL DRAINAGE INLET AND OUTLET PROTECTION DEVICES AS INDICATED ON THE PLANS.
12. PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.
13. INSTALL CURBS AND BEGIN SITE PAVING OPERATIONS (I.E. DRIVEWAYS, SIDEWALKS, ETC.).
14. COMPLETE BUILDING CONSTRUCTION AND REMAINING SITE IMPROVEMENTS.
15. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.

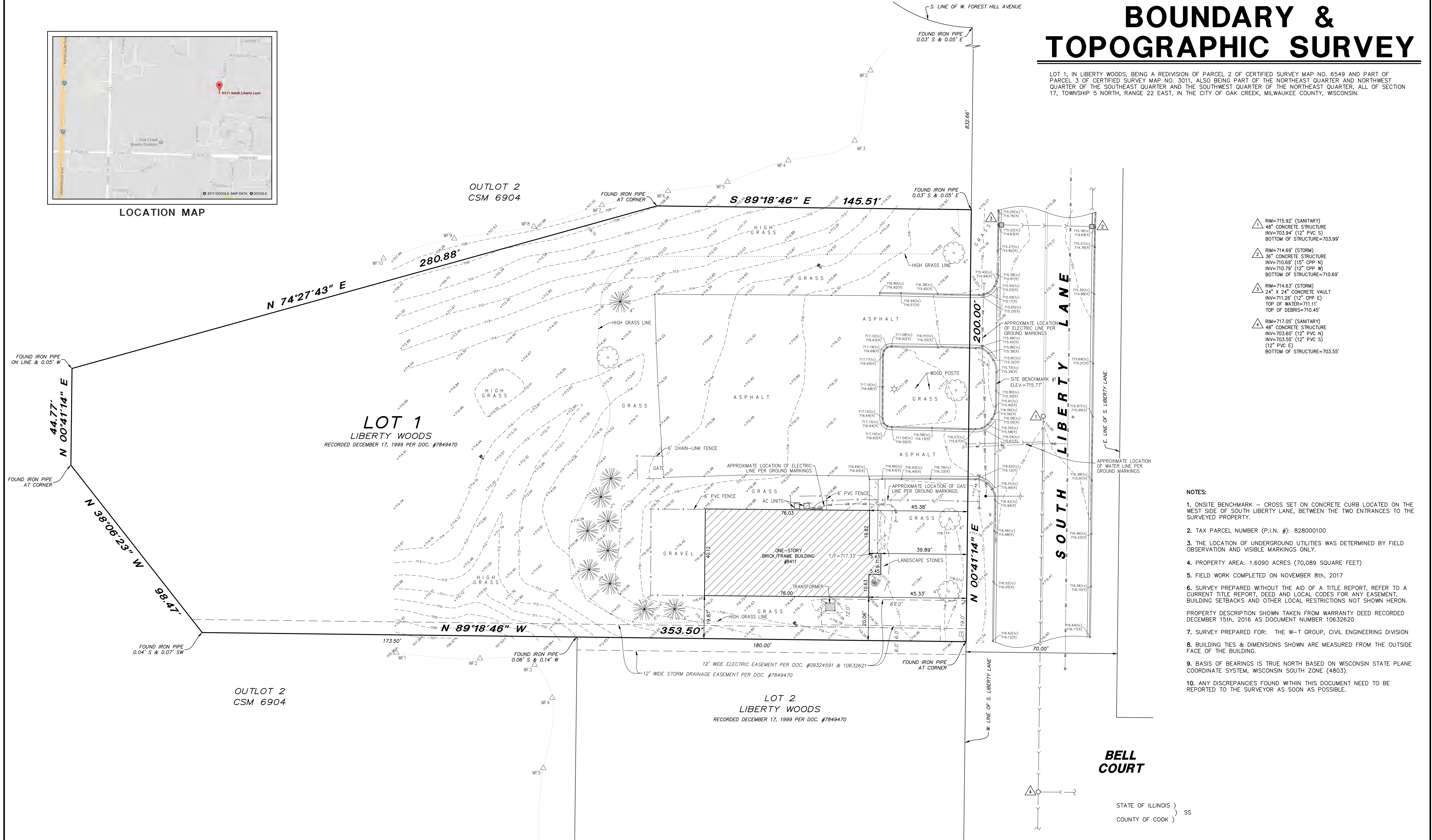
DATE	BY						
5-25-18	K-JH						
REVISIONS FOR PERMIT							
<p>W-T CIVIL ENGINEERING, LLC CIVIL ENGINEERING CONSULTANTS</p> <p>2675 Pratum Avenue Hoffman Estates, Illinois 60102 PH: (224) 226-6444 www.wtengineering.com</p>							
<p>CAMP BOW WOW 8411 SOUTH LIBERTY LANE OAK CREEK, WISCONSIN 53154</p>							
<p>PROJECT SPECIFICATIONS</p>							
DATE:		12-22-17					
SCALE:		N.T.S.					
DRAWN:		VE/DAK					
CHECK:		JPG					
JOB:		CEI124					
SHEET		<p>C-7.0</p>					

BOUNDARY & TOPOGRAPHIC SURVEY

LOT 1, IN LIBERTY WOODS, BEING A REDIVISION OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 6549 AND PART OF PARCEL 3 OF CERTIFIED SURVEY MAP NO. 3011, ALSO BEING PART OF THE NORTHEAST QUARTER AND NORTHWEST QUARTER OF THE SOUTHEAST QUARTER AND THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, ALL OF SECTION 17, TOWNSHIP 5 NORTH, RANGE 22 EAST, IN THE CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



LOCATION MAP



- △ RM=715.92' (SANITARY)
48" CONCRETE STRUCTURE
INV=703.94' (12" PVC S)
BOTTOM OF STRUCTURE=703.99'
- △ RM=714.69' (STORM)
36" CONCRETE STRUCTURE
INV=710.69' (15" CPP N)
INV=710.79' (12" CPP W)
BOTTOM OF STRUCTURE=710.69'
- △ RM=714.63' (STORM)
24" X 24" CONCRETE VAULT
INV=711.26' (12" CPP E)
TOP OF WATER=711.11'
TOP OF DEBRIS=710.45'
- △ RM=717.05' (SANITARY)
48" CONCRETE STRUCTURE
INV=703.60' (12" PVC N)
INV=703.55' (12" PVC S)
BOTTOM OF STRUCTURE=703.55'

- NOTES:
- ONSITE BENCHMARK - CROSS SET ON CONCRETE CURB LOCATED ON THE WEST SIDE OF SOUTH LIBERTY LANE, BETWEEN THE TWO ENTRANCES TO THE SURVEYED PROPERTY.
 - TAX PARCEL NUMBER (P.I.N. #): 828000100
 - THE LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY FIELD OBSERVATION AND VISIBLE MARKINGS ONLY.
 - PROPERTY AREA: 1.6090 ACRES (70,089 SQUARE FEET)
 - FIELD WORK COMPLETED ON NOVEMBER 8th, 2017
 - SURVEY PREPARED WITHOUT THE AID OF A TITLE REPORT, REFER TO A CURRENT TITLE REPORT, DEED AND LOCAL CODES FOR ANY EASEMENT, BUILDING SETBACKS AND OTHER LOCAL RESTRICTIONS NOT SHOWN HERON.
 - PROPERTY DESCRIPTION SHOWN TAKEN FROM WARRANTY DEED RECORDED DECEMBER 15th, 2016 AS DOCUMENT NUMBER 10632620
 - SURVEY PREPARED FOR: THE W-T GROUP, CIVIL ENGINEERING DIVISION
 - BUILDING TIES & DIMENSIONS SHOWN ARE MEASURED FROM THE OUTSIDE FACE OF THE BUILDING.
 - BASIS OF BEARINGS IS TRUE NORTH BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM, WISCONSIN SOUTH ZONE (4803).
 - ANY DISCREPANCIES FOUND WITHIN THIS DOCUMENT NEED TO BE REPORTED TO THE SURVEYOR AS SOON AS POSSIBLE.

BELL COURT

STATE OF ILLINOIS)
COUNTY OF COOK) SS

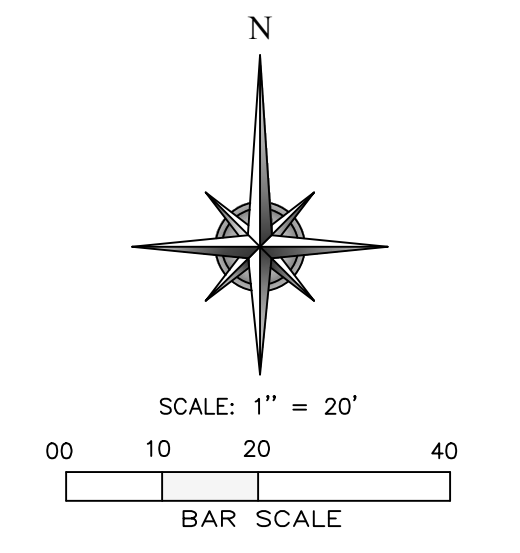
WE THE W-T GROUP DO HEREBY DECLARE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY AND TOPOGRAPHIC SURVEY.

GIVEN UNDER OUR HAND AND SEAL THIS 4th DAY OF DECEMBER, A.D. 2017, AT HOFFMAN ESTATES, ILLINOIS.

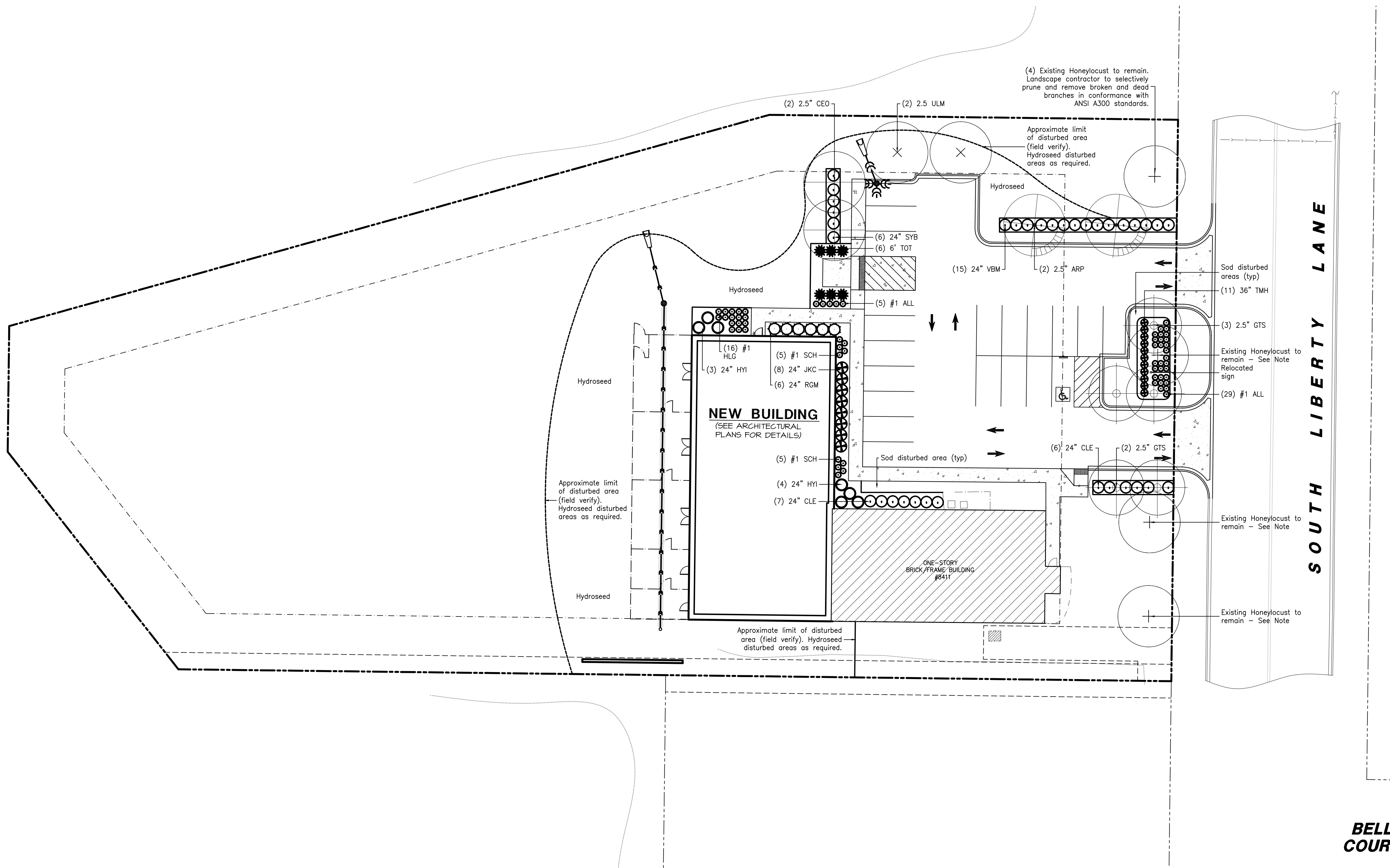
THE W-T GROUP, LLC

FRANJO I. MATIJC - PLS #035-003556 EXPIRES 11/30/2018
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007570-0015

LEGEND			
—	PROPERTY LINE	⊕	UTILITY POLE
---	CENTER LINE	⊕	SOIL BORING
---	EASEMENT LINE	⊕	TELEPHONE MANHOLE
---	BUILDING SETBACK	⊕	PARKING METER
---	RECORD DATA	⊕	GUARDRAIL
---	TOP OF (GRASS, ETC)	⊕	OUT WIRE ANCHOR
---	SPOT GRADE	⊕	CONTOUR LINE
---	BOTTOM OF (OPENING, OUTER ETC)	⊕	TREE LINE / HEDGE LINE
---	CONCRETE	⊕	EDGE GRAVEL/STONE
---	EVERGREEN, DECIDUOUS	⊕	FENCE LINE
---	W/IN SIZE IN INCHES	⊕	STORM SEWER
---	SHRUB	⊕	SANITARY SEWER
---	MONITOR WELL	⊕	COMBO SEWER
---	GAS VALVE	⊕	STREET LIGHT
---	UTILITY MARKINGS	⊕	TRAFFIC SIGNAL
---	(cable, elec, fiber)	⊕	MAST ARM SIGNAL
---	MANHOLE	⊕	HANDHOLE (electric/traffic)
---		⊕	GAS METER
---		⊕	GAS LINE
---		⊕	ELECTRIC METER
---		⊕	U.S. TELECO LINE
---		⊕	REDESTRAL (tele, elec, cable)
---		⊕	U.G. ELECTRIC LINE



BY:	MG
DATE:	12/14/17
REVISIONS:	REVISED TO SHOW WETLAND FLAGS
W-T LAND SURVEYING	
LAND AND CONSTRUCTION SURVEYORS	
2075 Pratum Avenue	
Itasca, IL 60143	
PH: (630) 202-8333 FAX: (630) 202-8444	
www.wtgroup.com	
ILL. License No.: 184.007570-0015 Exp: 04/30/19	
PREPARED BY:	W-T
8411 SOUTH LIBERTY LANE	
OAK CREEK, WI	
BOUNDARY & TOPOGRAPHIC SURVEY	
SCALE: 1"=20'	
DRAWN BY: BB/MO	
BOUNDARY: MWO	
FIELD WORK: MM	
CHECK: FIM	
JOB: S17260	
SHEET	
S-1	
OF ONE SHEETS	



Plant List

Shade Trees					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
ARP	2	2.5"	Acer rubrum 'Red Pointe'	Red Pointe Red Maple	BB
CEO	2	2.5"	Celtis occidentalis	Common Hackberry	BB
GTS	5	2.5"	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	BB
ULM	2	2.5"	Ulmus 'New Horizon'	New Horizon Elm	BB

Shrubs					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
CLE	13	24"	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	BB
HYI	7	24"	Hydrangea arborescens 'Incrediball'	Incrediball Smooth Hydrangea	BB
JKC	8	24"	Juniperus chinensis 'Kallay's Compact'	Kallay's Compact Juniper	BB
RGM	6	24"	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	BB
SYB	6	24"	Syringa Bloomerang 'Dark Purple'	Bloomerang Dark Purple Lilac	BB
TMH	11	36"	Taxus x media 'Hicksii'	Hicks Yew	BB
TOT	6	6"	Thuja occidentalis 'Technyii'	Mission Arborvitae	BB
VBM	15	24"	Viburnum dentatum 'Christom'	Blue Muffin Arrowwood Viburnum	BB

Perennials and Ornamental Grasses					
Key	Qty.	Size	Botanical Name	Common Name	Remarks
ALL	34	#1	Allium 'Summer Beauty'	Summer Beauty Allium	Container
HLG	16	#1	Hemerocallis 'Little Grapette'	Little Grapette Daylily	Container
SCH	10	#1	Schizachyrium scoparium	Little Bluestem	Container

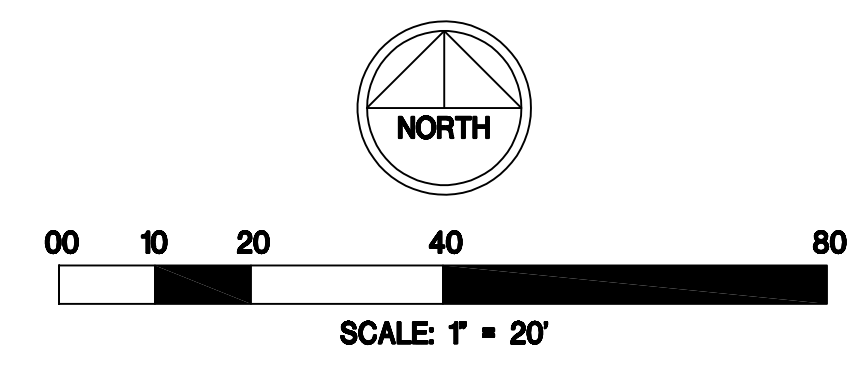
Landscape Calculations

Parking Lot Screening - 88 l.f. @ R.O.W.			
	Required	Provided	
3' height screen		3' height screen	Meets
Deciduous trees - 2.5"	3 trees	3 trees	Meets
Min. 25% of total green space area shall be landscaped	Min. 25%	Min. 25%	Meets
Min. 25% evergreen	Min. 25%	Min. 25%	Meets

Interior Landscape Area - 9140 sq. ft.			
	Required	Provided	
Min. 5% landscape area	457 sq. ft.	721 sq. ft.	
Shade trees	2 trees	2 trees	

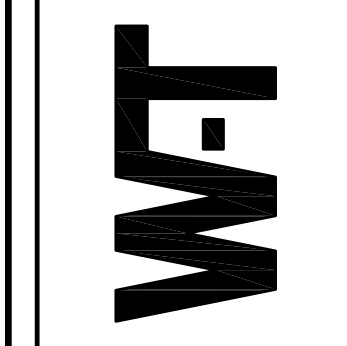
Perimeter Landscape Area - 188 l.f.			
	Required	Provided	
Trees	7 trees	7 trees	
Shrubs	33 shrubs	33 shrubs	

Landscaping Adjacent to Buildings			
	Required	Provided	
Min. 3' landscape area	3' landscape area	Meets	



REVISIONS FOR PERMIT	DATE	BY
	5-25-18	KJM

W-T CIVIL ENGINEERING, LLC.
 CIVIL ENGINEERING CONSULTANTS
 2675 Pretium Avenue
 Hoffman Estates, Illinois 60139
 PH: (224) 255-6444
 www.wtcivileng.com



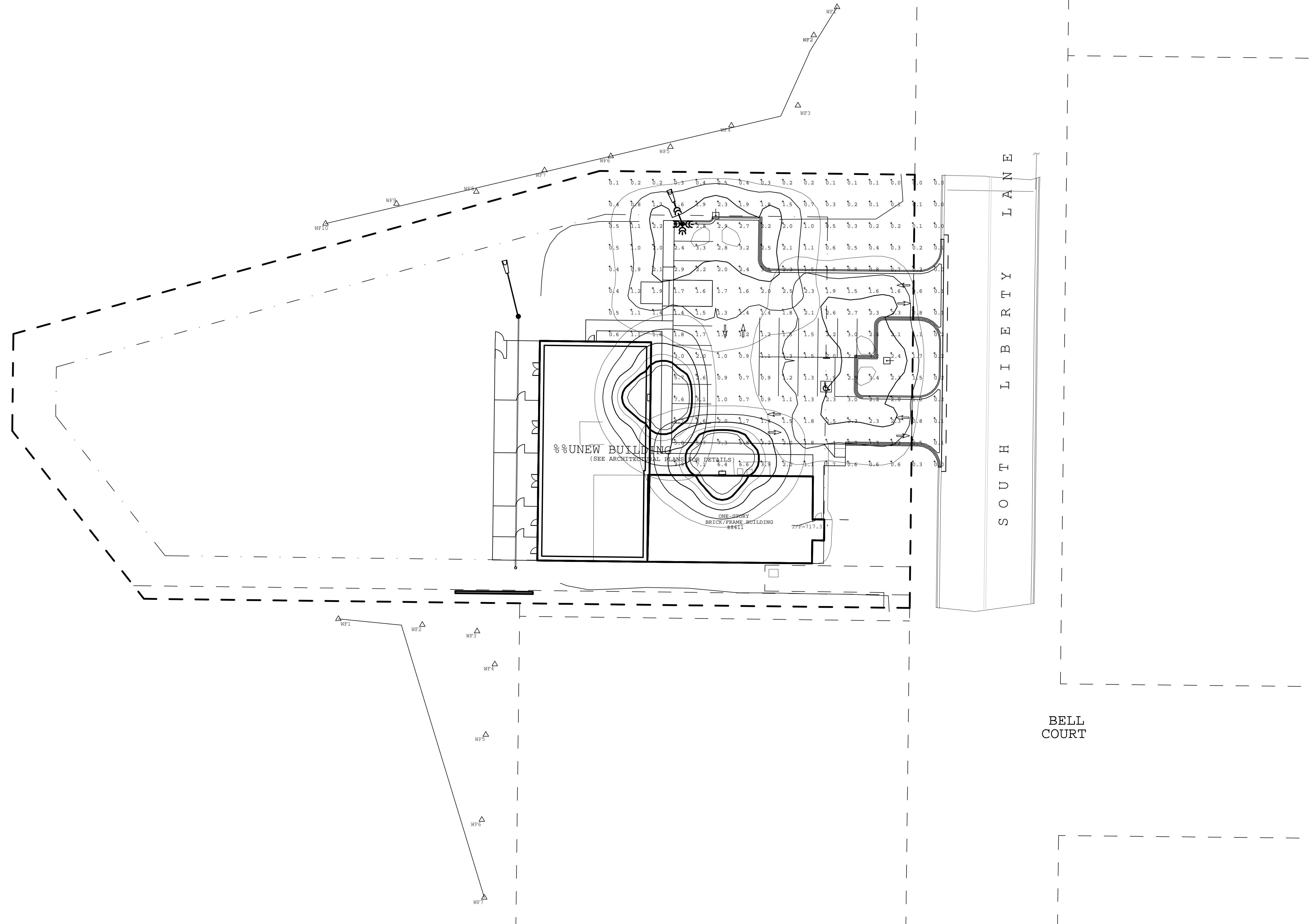
CAMP BOW WOW
 8411 SOUTH LIBERTY LANE
 OAK CREEK, WISCONSIN 53154

LANDSCAPE PLANS

DATE: 04-27-18
 SCALE: 1" = 20'
 DRAWN: DRM
 CHECK: KS
 JOB: CE17124
 SHEET
L-10
 FOR PERMIT

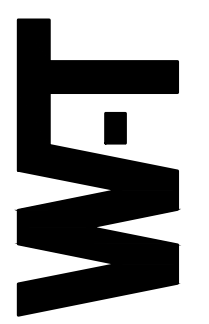
Luminaire Schedule					
Symbol	Qty	Label	Arrangement	LLF	Description
☐	2	S1	SINGLE	0.950	CREE OSQ-A-xx-4ME-K-40K-ULxxxxx w_OSQ-BLSMP
⊞	2	WP	SINGLE	0.950	CREE SEC-EDG-3M-xx-06-E-UL-700-40K or BXSEX306E-UD7 (700mA)

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.62	7.6	0.0	N.A.	N.A.



REVISIONS FOR PERMIT	DATE	BY
	5-25-18	KJM

W-T CIVIL ENGINEERING, LLC.
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 2675 Pratum Avenue
 Hoffman Estates, Illinois 60192
 PH: (224) 254-6333 FAX: (224) 254-6444
 www.wteng.com



CAMP BOW WOW
8411 SOUTH LIBERTY LANE
OAK CREEK, WISCONSIN 53154

SITE
PHOTOMETRIC
PLAN

DATE: 12-22-17
 SCALE: 1" = 20'
 DRAWN: VE/DAK
 CHECK: JPS
 JOB: CEI17129

SHEET
PH-1.0

PLAN COMMISSION REPORT

Proposal: Zoning Text Amendment – LM-1 District Parking Lot Setbacks

Description: Review of a request to amend Section 17.03170(i)(1) of the Municipal to reduce the minimum parking lot setback from a public right-of-way from 30 feet to 10 feet.

Applicant(s): Zund America, LLC

Address(es): N/A

Suggested Motion: That the Plan Commission recommends to the Common Council that Section 17.03170(i)(1) of the Municipal Code be amended as presented, requiring a 10-foot parking lot setback from the public right-of-way, after a public hearing.

Owner(s): N/A

Tax Key(s): N/A

Lot Size(s): N/A

Current Zoning District(s):

Overlay District(s): N/A

Wetlands: Yes No **Floodplain:** Yes No

Comprehensive Plan: N/A

Background:

Zund America LLC is requesting Plan Commission and Common Council consideration of a proposed amendment to the required parking lot setback to rights-of-way for a development in the LM-1 District. Currently, the parking lot setbacks in Section 17.03170(i)(1) of the Code states:

Setbacks as established for the M-1, Manufacturing District shall apply.

This would require all development in the LM-1 district to have a minimum 30-foot parking lot setback from W. Market Street and S. 6th Street. In creating the LM-1 District, the City mirrored the parking lot setbacks in the M-1 District. Currently, there are only three parcels zoned LM-1, and staff have determined that

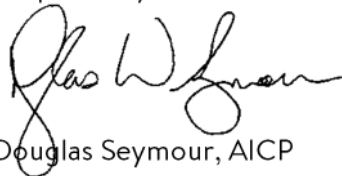
modifying the Code to reduce parking lot setbacks for this district will provide more flexibility of development while preserving sufficient areas for landscaping and easements. Staff is proposing to amend the text to the following:

- (1) There shall be a minimum setback of ten (10) feet from the right-of-way from all streets.

Should the Plan Commission agree with the proposed amendment to Section 17.03170(i)(1), a motion recommending Council approval is provided above.

Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed Zoning Text Amendment, recommend approval with changes, or that the Common Council not approve of the proposed amendment. Disapproval of the proposal may affect future proposals for LM-1 developments within the City, up to and including loss of potential projects, and the existing conditions of undeveloped or underutilized parcels may remain.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Peter Wagner, AICP
Zoning Administrator/Planner

Attachments:

Section 17.03170(i)(1)

lic street or right-of-way as a modification ONLY:

- i. If a $\frac{3}{4}$ majority vote of those Commissioners present at a meeting approves of the orientation; AND
 - ii. If it is proven to the satisfaction of the Plan Commission that no practical alternative exists; AND
 - iii. if screening through vegetation, architectural walls, fencing, or a combination thereof is approved; AND
 - iv. If supplemental design elements or improvements are incorporated into the project which compensate for the modification.
- f. All other applicable requirements as defined in the Municipal Code.
- (e) Lot area and width. Lots shall have a minimum area of 1 acre (43,560 square feet), and shall not be less than 150 feet in width. Lots shall provide sufficient area and width for the principal structure(s) and its accessory structures, off-street parking and loading areas, required setbacks and buffer yards, and minimum green/open space areas.
- (f) Building height and area:
- (1) No principal building or parts of a principal building shall exceed fifty (50) feet in height. No accessory building shall exceed seventeen (17) feet in height, subject to regulations and permitting requirements under the jurisdiction of the Federal Aviation Administration and Milwaukee County.
 - (2) The sum total of the floor area on all floors of the principal building and all accessory buildings shall not exceed sixty (60) percent of the lot area.
- (g) Building setbacks and yards:
- (1) There shall be a minimum front setback of twenty-five (25) feet from the right-of-way of all public streets.
 - (2) There shall be a side setback on each side of not less than fifteen (15) feet.
 - (3) There shall be a rear setback of not less than twenty-five (25) feet.
 - (4) Side and rear setbacks shall not be less than thirty (30) feet to a residential, institutional, or park district line, and subject to buffer requirements in Section 17.0205(d).
- (h) Loading. All provisions of Section 17.0402 of the Municipal Code are applicable to this subsection.
- (i) Parking. In addition to the provisions of Sections 17.0403 and 17.0404 of the Municipal

Code, the following shall apply in the LM-1, Light Manufacturing District:

- (1) Setbacks as established for the M-1, Manufacturing District shall apply.
 - (2) Buffers, landscape areas and screening for parking lots shall be approved by Plan Commission.
 - (3) Parking for self-service storage/mini-warehouse premises shall be in accordance with the following:
 - a. (1) space per employee;
 - b. (1) space per 1,000 gross square feet of retail/leasing office space;
 - c. (1) space for every 10 units for interior/controlled-access buildings. Units accessed via exterior overhead/roll-up doors may count one (1) space in front of each unit as a parking stall. All travel aisles and emergency access areas shall remain completely unobstructed at all times.
 - (4) The Plan Commission may modify these requirements in accordance with Section 17.0404.
- (j) Site plan and architectural review. All provisions of Section 17.1009 of the Municipal Code are applicable to this subsection.
- (k) Landscaping. All provisions of Sections 17.1010 and 17.0205 of the Municipal Code are applicable to this subsection.

Ordinance #2848 A 4/3/17 Sec. 17.03170

Ordinance #2893, A 12/19/17, Sec. 17.03170(g)(1)



PLAN COMMISSION REPORT

Proposal: Rezone

Description: Review of a request to rezone the parcels at 2600 W. Southbranch Blvd. and 9810 S. 27th St. from M-1 (PUD), Manufacturing and OO, Mixed Use Office Overlay district to M-1 (PUD), Manufacturing.

Applicant(s): City of Oak Creek

Address(es): 2600 W. Southbranch Blvd. and 9810 S. 27th St.

Suggested Motion: That the Plan Commission recommends to the Common Council that the properties at 2600 W. Southbranch Blvd. and 9810 S. 27th St. be rezoned from M-1 (PUD), Manufacturing and OO, Mixed Use Office Overlay district to M-1 (PUD), Manufacturing after a public hearing.

Owner(s): White Brothers Trucking Co., Secure Mini Storage LTD Partnership, C/O Public Storage, Inc.

Tax Key(s): 903-9023-000 & 903-9015-000

Lot Size(s): 5.859 ac & 3.187 ac

Current Zoning District(s): M-1, Manufacturing

Overlay District(s): PUD OO, Mixed-Use Office

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Planned Industrial

Background:

At the September 25, 2018 meeting, the Plan Commission reviewed and recommended Common Council approval of a request by M & M Truck Center, Inc. to rezone the properties at 9840 and 9872 S. 27th St. from M-1 (PUD), Manufacturing and OO, Mixed Use Office Overlay district to M-1 (PUD), Manufacturing. Plan Commissioners will recall that the staff report requested the Plan Commission consider whether removing additional properties in the immediate area from the OO, Mixed Use Office Overlay district should

be researched and proposed. During that meeting, the Plan Commission determined that staff should research removing the properties north of the M & M Truck Center, Inc. properties from the overlay district.

Staff is requesting consideration to rezone the properties at 2600 W. Southbranch Blvd. and 9810 S. 27th St. out of the OO, Mixed Use Office Overlay District. As was mentioned during the review of the rezone for the M & M Truck Center, Inc. properties, the purpose of the OO, Mixed Use Office Overlay district is “to provide for office and professional uses along the 27th Street corridor while integrated [with] a mix of retail and open space uses.” Unfortunately, this portion of the 27th Street corridor has not developed or redeveloped as intended by the overlay district since its creation in 2005. Both of the subject parcels:

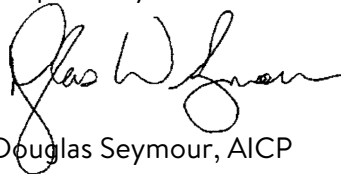
- Are part of the Southbranch Industrial Park PUD;
- Have a base zoning of M-1, Manufacturing;
- Were developed in the mid-1990s in conformance with the M-1, Manufacturing district allowed uses prior to the establishment of the overlay district; and
- Have consistently been utilized for manufacturing/industrial uses.

According to the Comprehensive Plan, properties in the area have been identified for Planned Industrial uses. Existing parcels in the immediate area are zoned for manufacturing uses.

Should the Plan Commission agree that rezoning the parcels at 2600 W. Southbranch Blvd. and 9810 S. 27th St. to be removed from the OO, Mixed Use Office Overlay district and retain the base M-1 (PUD), Manufacturing base zoning is appropriate, a motion recommending Council approval is provided above.

Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed rezone, or that the Common Council not approve of the proposed rezone. Disapproval of the rezone would result in the parcel remaining in its current split-zoned condition, which may result in the continued underutilized condition of the property.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



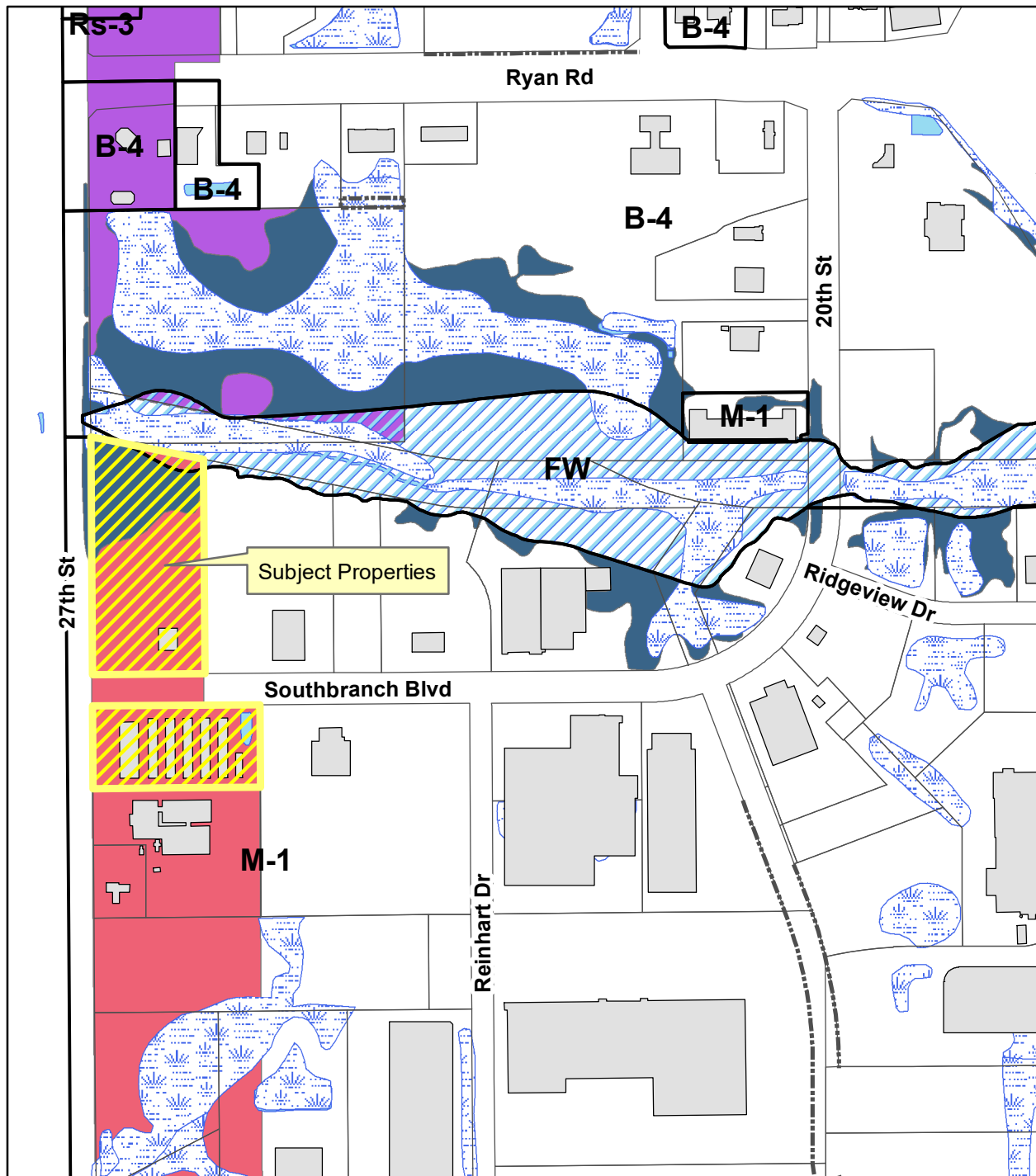
Kari Papelbon, CFM, AICP
Planner

Attachments:

Location Map

Location Map

9810 S 27th St. & 2600 W Southbranch Blvd.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

- Officially Mapped Streets
- Subject Properties
- DNR Wetlands Inventory
- Floodplain 2008
- Waterbodies

Zoning Overlays

- C-1-Shoreland Wetland
- FF-Flood Fringe
- Lakefront Overlay
- NO-Mixed Use Neighborhood
- OO-Mixed Use Office
- RR-Regional Retail