



PLAN COMMISSION

May 8, 2018
6:00 P.M.

Common Council Chambers
8040 S. 6TH Street
Oak Creek, WI 53154
(414) 766-7000

Daniel Bukiewicz - Chair
Dawn Carrillo
Chaucey Chandler
Patrick Correll
Chris Guzikowski
Brian Johnston
Gregory Loreck
Fred Siepert
Christine Hanna
Edward Ciechanowski – ex-officio
Doug Seymour – ex-officio

The City's Vision

Oak Creek: A dynamic regional leader, connected to our community, driving the future of the south shore.

1. Call Meeting to Order
2. Roll Call
3. Approval of Minutes – April 24, 2018
4. Significant Common Council Actions
5. New Business
 - a. CERTIFIED SURVEY MAP – Review a certified survey map submitted by Samuel Dickman, Oakview Industrial Property III, LLC, the City of Oak Creek, and Wispark, LLC, dividing and reconfiguring the properties at 301 & 401 W. Oakview Parkway, and 10861 S. Howell Ave. (Tax Key Nos. 955-1016-000, 955-1026-000, and 955-1001-000). Follow this item on Twitter **@OakCreekPC#OCPCDickmanCSM**.
 - b. PLAN REVIEW – Review site, building, landscaping, and lighting plans submitted by Jacob Odders, Lakeshore Veterinary Specialists, for an emergency veterinary hospital on the property at 9472 S. 27th St. (Tax Key No. 878-9000-001). Follow this item on Twitter **@OakCreekPC#OCPCLakeshore**.
 - c. PLAN REVIEW – Review site, building, landscaping, and lighting plans submitted by Larry Bachmaga, Avelius, LLC, for live/work building on the property at 9079 S. 5th Ave. (Tax Key No. 865-9009-002). Follow this item on Twitter **@OakCreekPC#OCPCAvelius**.

Adjournment.

Dated this 3 day of May, 2018

Posted 5-3-18 JF

Public Notice

Upon reasonable notice, a good faith effort will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aid at no cost to the individual to participate in public meetings. Due to the difficulty in finding interpreters, requests should be made as far in advance as possible preferably a minimum of 48 hours. For additional information or to request this service, contact the Oak Creek City Clerk at 766-7000, by fax at 766-7976, or by writing to the ADA Coordinator at the Oak Creek Health Department, 8040 S. 6th Street, Oak Creek, Wisconsin 53154.

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice

Visit our website at www.oakcreekwi.org for the agenda and accompanying Plan Commission reports.

**DRAFT MINUTES OF THE
OAK CREEK PLAN COMMISSION MEETING
TUESDAY, APRIL 24, 2018**

Mayor Bukiewicz called the meeting to order at 6:00 p.m. The following Commissioners were present at roll call: Commissioner Hanna, Commissioner Johnston, Commissioner Carrillo, Alderman Guzikowski, Commissioner Siepert and Commissioner Chandler. Commissioner Loreck and Commissioner Correll were excused. Also present: Kari Papelbon, Planner; Pete Wagner, Zoning Administrator.

Minutes of the April 10, 2018 meeting

Commissioner Siepert motioned moved to approve the minutes of the April 10, 2018 meeting. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**CONDITIONS & RESTRICTIONS
MARIC INVESTMENTS, LLC
9880 S. RIDGEVIEW DR.
TAX KEY NO. 903-0012-000**

Planner Papelbon provided an overview of the conditions and restrictions that are specific to this conditional use permit for the proposed trans-shipment depot facility and truck engine repair (see staff report for details).

Mayor Bukiewicz invited the applicant to the podium. Marija Mihic, 10226 Park Ridge Circle, Franklin, WI introduced herself as the spokesperson for the applicant.

Seeing as there were no questions from the Commissioners, Commissioner Siepert moved that the Plan Commission recommends that the Common Council adopts the conditions and restrictions as part of the Conditional Use Permit for a trans-shipment depot facility and truck engine repair on the property at 9880 S. Ridgeview Dr., after a public hearing. Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

**HOUSE MOVING APPROVAL
JAKE'S WRECKING AND DISPOSAL, LLC
1900 W. DREXEL AVE.
TAX KEY NO. 784-9013-000 & 830-9996-001**

Zoning Administrator/Planner Wagner provided an overview of the request for a house relocation as the Plan Commission must determine that this house is a suitable design, size, that it fits in with the character of the neighborhood, and that the moving route is acceptable (see staff report for details).

Mayor Bukiewicz invited the applicant to the podium. Jake George introduced himself as the owner of the parcel and the person who will be doing the house move. Robert George, 3860 E. Addison Lane, Oak Creek, commented that with regard to the statement from Zoning Administrator/Planner Wagner that the house is not going to be totally dismantled, the vaulted ceiling rafters are being removed to get the loaded height down so that power lines do not have to be disturbed.

Commissioner Siepert asked what the timetable is for this move. Robert George informed the Commission that he has been in contact with the Police Department, Department of Public Works, and the Engineering Department and has decided on a move date of Sunday morning (3 a.m.), May 6, 2018.

Robert George has an agreement with Northwestern Mutual to remove the old foundation and backfill with compactable clay and restore the site to an erosion-free seed/hay.

Alderman Guzikowski asked if the driveway and/or building footprint will be along the driveway of the middle school. Zoning Administrator/Planner Wagner responded that that is correct. The applicant has received the necessary approvals from Milwaukee County to have access to that parcel at that location.

Don Behlke, 8506 S. 13th St., asked how high off the ground the house will be placed. Robert George responded that there should be 3½ foot clearance from the bottom of the house to the roadway. Mr. Behlke explained his concern that there is a school there and the kids may use that gap and crawl in the house. Robert George stated that they are already planning on putting a safety fence up once the construction is underway.

Mr. Behlke asked how far their driveway is going to be from the school's exit. Robert George answered that they would be about 35 to 40 feet away from the exit.

Discussion ensued about children potentially scaling the fence and crawling under the house. Robert George reiterated that there will be a safety fence in place. Zoning Administrator/Planner Wagner noted that the security portion of this move will be addressed as part of the moving permit.

Mayor Bukiewicz asked when the foundation is going in. Robert George responded that the foundation is starting on Monday (*didn't give a date*).

Robert George stated that Oostburg Concrete will be putting the foundation in. The sewer and water and contractor has already pulled the proper permits and is ready to go.

Commissioner Siepert motioned that the Plan Commission approve the proposed house relocation from 1900 W. Drexel to S. 13th Street with the condition that a moving permit is issued prior to the relocation of the home. Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

PLAN REVIEW

BOYLAND PROPERTIES

7008 AND 7018 S. 27TH ST. & 2500 W. RAWSON AVE.

TAX KEY NOS. 737-9989-001, 737-9988-001 AND 737-9037-001

Planner Papelbon provided an overview of the plan review for the proposed auto dealership (see staff report for details).

Mayor Bukiewicz opened up the discussion for citizen input. Ed Lisowski, 6988 S. 27th St., stated his concern about how close the building and lighting will be to his lot line.

Dave Stava, Ingleside, Illinois representing Custom Facilities and this project for Dorian Boyland Properties, LLC out of Wisconsin, stated that the light poles will be between the curb line and

the lot line. There is an area of approximately 5 to 10 feet between that curb line. The light poles will be within that area. The applicant has submitted the required photometrics for the property indicating the lighting levels. This still has to be reviewed by Engineering staff to make sure all the lighting levels meet current City Code requirements. They will typically knock down the foot candles along property lines that are adjacent to residential areas to zero by the use of shades. The business runs until 9:00 p.m. Other than 27th St., there will only be security lighting after that point. Planner Papelbon noted that from a rough calculation, the building is over 100 feet from the property line. Mayor Bukiewicz added that there will also be a berm and vegetation separating the two properties. Mr. Stava added that in working with the Plan Commission and staff, the applicant has added a tremendous amount of landscaping along the property line. In fact, there is no more room for anything else. Mayor Bukiewicz read an excerpt from the perimeter landscape requirements: (1) tree and (5) shrubs provided for every 35 linear feet along the perimeter parking with a minimum width of 5 feet. Of particular note is the north perimeter, there will be: (12) trees and (60) shrubs required, (16) tree and (107) shrubs will be added on the north end. He also added that there is another note in the requirements that at the request of the Plan Commission, an additional row of evergreen plantings has been provided as a landscape buffer along the adjacent residential development. Mr. Stava concurred and added that there is an additional \$30-35,000 worth of additional plantings.

Ross Brown, Sunshine Car Care LLC, dba Super Lube/Super Splash Car Wash, 6900/6906 S. 27th St., asked if it would be a private or public cash wash. Mayor Bukiewicz responded that it is for the auto dealership's private use only.

Mr. Brown noticed that there is a back road heading north and it looks like it cuts into his property line. Commissioner Johnston responded that that road is an officially mapped street pattern. The City was working with WisDOT several years ago about putting in an access road from Riverside Dr. to Rawson Ave. That proposal fell through. The proposed road is still there in concept, but is not being installed at this time.

Mayor Bukiewicz invited commentary from the Plan Commission.

Commissioner Siepert stated it looks good.

Commissioner Hanna asked about traffic. Commissioner Johnston responded that a traffic impact analysis has not been done on this site. They are looking at 40 employees there. Mr. Stava concurred with Commissioner Johnston. They have been in discussions with WisDOT regarding that. They are all on board on the access locations, and it is their right-of-way.

Commissioner Johnston asked that another condition of approval be added for the Memorandum of Understanding for the future road to go through there, although he believes it is stated in the Conditions and Restrictions, which were already approved. Mr. Stava added that this language is also on the certified survey map.

Mayor Bukiewicz stated that it is the applicant's responsibility to take care of the sidewalks when it snows, as they have been negligent in this area this past winter. Mr. Stava was asked by the applicant to extend their apologies.

Commissioner Johnston moved that the Plan Commission approves the site and building plans submitted by Dorian Boyland, Boyland Properties Oak Creek, LLC, for the properties at 7008 & 7018 S. 27th St. and 2500 W. Rawson Ave. with the following conditions:

1. That all relevant Code requirements are in effect.
2. That copies of all access approvals and agreements shall be provided to the City prior to the submission of building permit applications.
3. That a copy of any wetland fill approval and/or permit from the Wisconsin Department of Natural Resources is provided to the City prior to the submission of building permit applications.
4. That the plans are revised to include locations for all mechanicals, transformers, and utilities (see Condition 7 below).
5. That all mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) are screened from view (see Condition 7 below).
6. That corrected calculations shall be included on the plans prior to submission of building permit applications (see Condition 7 below).
7. That all revised plans (site with corrected calculations, building, landscaping, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.

Planner Papelbon worded condition of approval number 8 as follows:

8. That an MOU for the installation of the future road to the north property line is completed with the City prior to the issuance of occupancy.

Commissioner Johnston concurred. Alderman Guzikowski seconded. On roll call: all voted aye. Motion carried.

**PLAN REVIEW
I-DREXEL, LLC & ICAP DEVELOPMENT, LLC
500 W. DREXEL AVE.
TAX KEY NO. 782-9014-000**

Planner Papelbon provided an overview of the plan review for a multitenant commercial building (see staff report for details).

Mayor Bukiewicz invited the applicant to address the Plan Commission. Brian Adamson, ICAP Development, 833 E. Michigan Ave., Milwaukee, explained that this is an extension of the Aldi project that was previously presented to the City. They currently do not have tenants for these spaces. They are in discussions with several, however, they would like to start the process and understand the scope and the building they are working with them on. Mr. Adamson provided material samples and mentioned that in designing the building, they incorporated a modern touch of architecture with a lot of the elements that are already in the surrounding area. Mr. Adamson stated they have no objections with anything staff mentioned on the conditions. They understand the master sign plan that is required and any use of the drive-through (if required or desired) will go through the conditional use process. Mr. Adamson also provided renderings of the buildings.

Commissioner Siefert stated his one major concern is that of the drive-through because he feels the facility is very limited and sees major problems with traffic with a drive-through. He would not support condition 3 which states:

That a Conditional Use Permit request for a drive-through facility (if required) is submitted for review prior to submission of building permit applications.

Mr. Adamson expressed that he understood the concern, but wanted that item kept open just in case there is a drive-through of a limited use.

Commissioner Siefert reiterated twice that he is not in support of a drive-through.

Commissioner Hanna stated her concern with the drive-through for emergencies, the potential for cars breaking down, or delivery vehicles. Mr. Adamson responded that is where the need for the "exit only" relief access point is needed on the west side of the four parking stalls. They anticipate that being extremely limited use and only be used for the four employee parking stalls and relief valve for that circulation around the building.

Commissioner Johnston stated that this is going to be tight. Hopefully those 4 parking stalls (north) are for employees with small vehicles because of having to back out to a 16-foot-wide lane. Even for the drive-through, making that corner to get around the northwest corner of the building is going to be a challenge if that moves forward. Mr. Adamson referenced Associated Bank as having a similar drive-through and that one does not have a "relief valve" at all.

Commissioner Chandler inquired about the flow of traffic with the entrances and exits. Planner Papelbon explained that there is an access point off of Drexel that is shared with Aldi (right in/right out) and there is another on S. 6th St. There is also a full access point (north entrance on S. 6th St.) just for deliveries for Aldi. As a condition of the first phase (the Aldi phase), they will be closing the access point in the median on S. 6th St.

(Commissioner Chandler comments inaudible.)

Commissioner Chandler asked for clarification of condition number 3 concerning a drive-through facility. Planner Papelbon explained that condition number 3 is saying that if that access aisle becomes a drive-through, they have to ask for a conditional use permit. Right now, it is being shown as an access aisle only. It would have to come back to the Plan Commission for approval as a drive-through.

Commissioner Chandler asked what the plans are to direct traffic. Mr. Adamson responded that they will have significant signage for all the right-in/right-outs in the single access "relief valve" on the north. The rest of the traffic flow is regular integrated parking lot that is in any typical shopping center.

Mayor Bukiewicz stated that this is a very nice looking building and blends in well with Aldi and with what is in Drexel Town Square. It is a modern, cleaning looking building with a lot of glass.

Mayor Bukiewicz asked about the dumpster location. Mr. Adamson stated that staff suggested they put it against the building on the east side. No matter where it goes, the dumpsters will be rolled out and accessed. Their hope on keeping it on the east side is that the garbage trucks don't use the access point on the north side of the building. They continue through the truck isle to the north of it. They anticipate that happening when they have roll out garbage containers. It gets a little bit tighter if they put it on the west side.

Mayor Bukiewicz asked what is going to prevent traffic from turning in on the "exit only" access. Mr. Adamson responded that other than signage, nothing. They can continue to work to create less of a "mouth" and more of an L-shape so it is truly only an exit.

Mayor Bukiewicz stated that the drive-through is going to be tight. He was not in favor of any drive-throughs in Drexel Town Square, but it is actually working at Associated Bank. He would prefer to not issue a definite “no” to the drive-through condition of approval. Discussion ensued about other drive-through uses throughout the City.

Commissioner Chandler asked where the patio would be located. Mr. Adamson responded that the patio detail would need to be approved with the use, so they removed the patio from the plan and is not included in this approval.

Commissioner Johnston moved that the Plan Commission approves the site and building plans submitted by I-Drexel, LLC / ICAP Development, LLC, for the property at 500 W. Drexel Ave. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That the CSM approved by the Common Council on December 5, 2017 is submitted for recording prior to submission of building permit applications.
3. That a Conditional Use Permit request for a drive-through facility (if required) is submitted for review prior to submission of building permit applications.
- ~~4. That the plans are revised to show a reduced width of the north interior curb cut.~~
5. That the plans are revised to include locations for all mechanicals, transformers, and utilities.
6. That all mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) are screened from view.

Planner Papelbon stated that conditions 4 and 8 of the original staff recommendation have been met in the revised plans. Commissioner Johnston struck conditions 4 and 8.

7. That a Master Sign Program is submitted for review and approval by the Plan Commission prior to installation of any tenant signs.
- ~~8. That the building elevations are revised to adequately screen the rooftop mechanical units on the north and east elevations.~~
9. That plans for the dumpster enclosure are revised to incorporate CMU block to match the existing building.
10. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.

Commissioner Hanna seconded. On roll call: all voted aye. Motion carried.

**CERTIFIED SURVEY MAP
WISPARK, LLC
300 W. OAKVIEW PARKWAY
TAX KEY NO. 955-1031-000**

Planner Papelbon provided an overview of this certified survey map request (see staff report for details).

Mayor Bukiewicz opened up the discussion to the Commissioners.

Commissioner Siepert asked what was being proposed for these two lots. Planner Papelbon responded that there are specific proposals for lots 1 and 2, and those will go before the Plan Commission once this CSM is approved.

Commissioner Siepert moved that the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by Erica-Nicole Harris, Wispark, LLC, for the property at 300 W. Oakview Parkway be approved, with the following conditions:

1. That all easements and wetlands are shown and clearly labeled on the map prior to recording.
2. That all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Commissioner Chandler seconded. On roll call: all voted aye. Motion carried.

Commissioner Carrillo moved to adjourn. Commissioner Siepert seconded. On roll call: all voted aye. The meeting was adjourned at 7:24 p.m.

ATTEST:

Douglas Seymour, Plan Commission Secretary

April 26, 2018

Date



Significant Common Council Actions

ITEM: 4

DATE: May 8, 2018

Summary of Significant Common Council Actions

May 1, 2018

APPROVED Resolution No. 11938-050118, approving a Certified Survey Map for Wispark, LLC for the property at 300 W. Oakview Parkway.

A handwritten signature in cursive script that reads "Kari Papelbon".

Kari Papelbon, CFM, AICP
Planner



PLAN COMMISSION REPORT

Proposal: Certified Survey Map

Description: Review of a Certified Survey Map request to divide and reconfigure the existing parcels at 301 and 401 W. Oakview Parkway & 10861 S. Howell Ave.

Applicant(s): Samuel M. Dickman, Oakview Industrial Property III, LLC

Address(es): 301 and 401 W. Oakview Parkway & 10861 S. Howell Ave.

Suggested Motion: That the Plan Commission recommends to the Common Council that the Certified Survey Map submitted by Samuel M. Dickman, Oakview Industrial Property III, LLC, for the properties at 301 and 401 W. Oakview Parkway & 10861 S. Howell Ave. be approved, with the condition that all technical corrections, including, but not limited to spelling errors, minor coordinate geometry corrections, and corrections required for compliance with the Municipal Code and Wisconsin Statutes, are made prior to recording.

Owner(s): Wispark, LLC & City of Oak Creek

Tax Key(s): 955-1016-000, 955-1026-000, 955-1001-000

Lot Size(s): Lot 1 = 16.2466 ac, Lot 2 = 3.8615 ac, Outlot 1 = 16.6455 ac

Current Zoning District(s): M-1, Manufacturing

Overlay District(s): PUD

Wetlands: Yes No Floodplain: Yes No

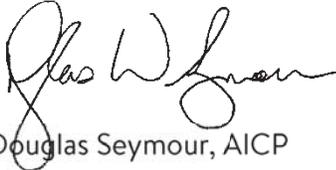
Comprehensive Plan: Planned Industrial

Background:

The Applicant is requesting approval of a Certified Survey Map (CSM) for the properties at 301 and 401 W. Oakview Parkway & 10861 S. Howell Ave. in OakView Business Park. The proposal is to redivide the properties to provide water and sewer lateral access for the benefit of the property at 10861 S. Howell Ave. There are no other changes or lots proposed.

Options/Alternatives: The Plan Commission may recommend Common Council approval of the proposed CSM with specified conditions, or that the Common Council not approve of the proposed division. Disapproval will likely result in the existing condition of the property at 10861 S. Howell Ave. to remain as water and sewer access is not otherwise available.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

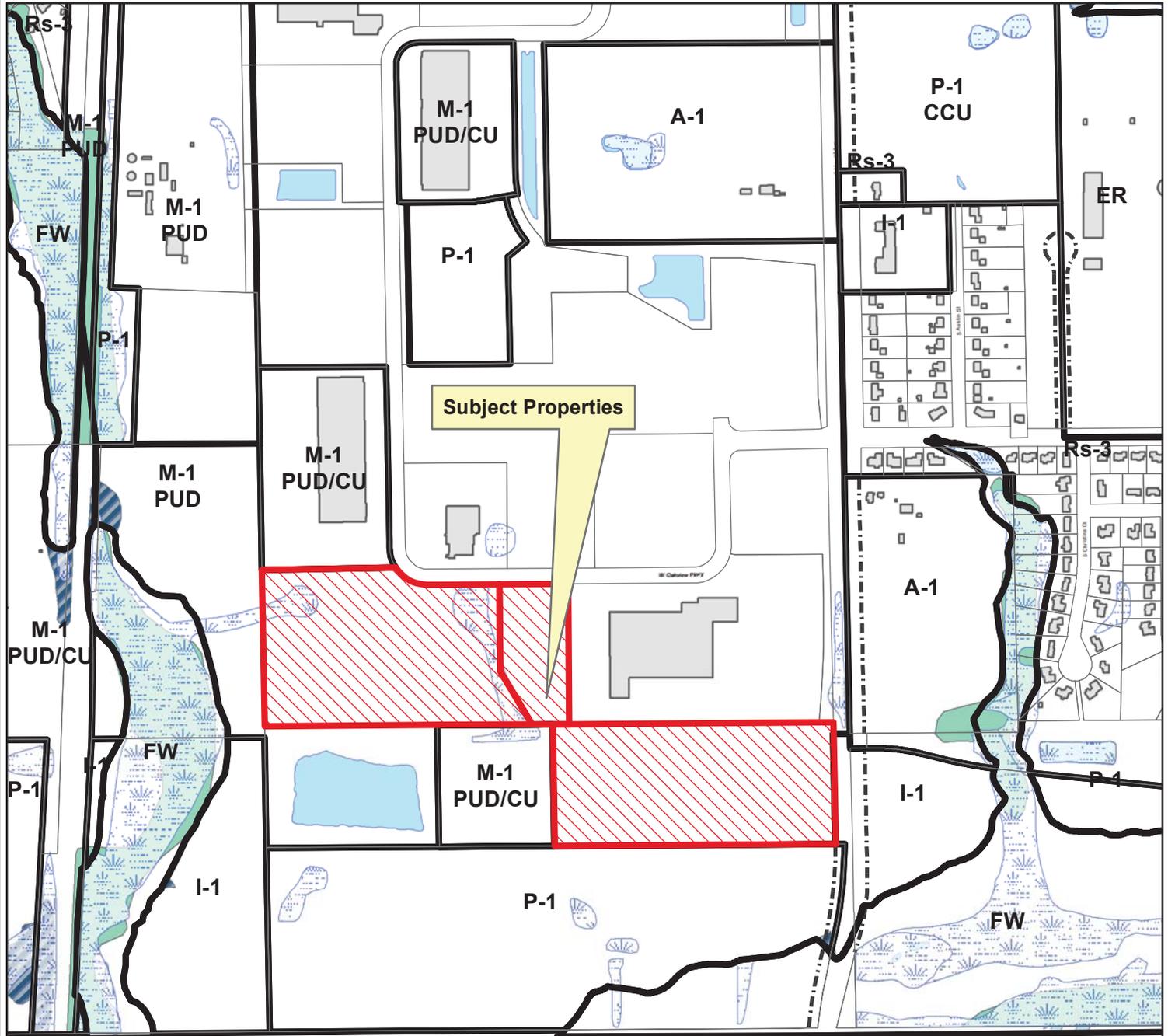
Attachments:

Location Map

CSM

Location Map

301 & 401 W. Oakview Pkwy. & 10861 S. Howell Ave.



CALEDONIA

This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development

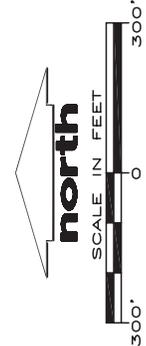
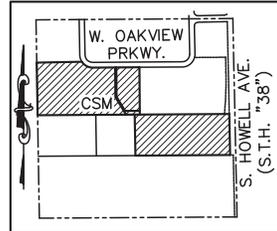
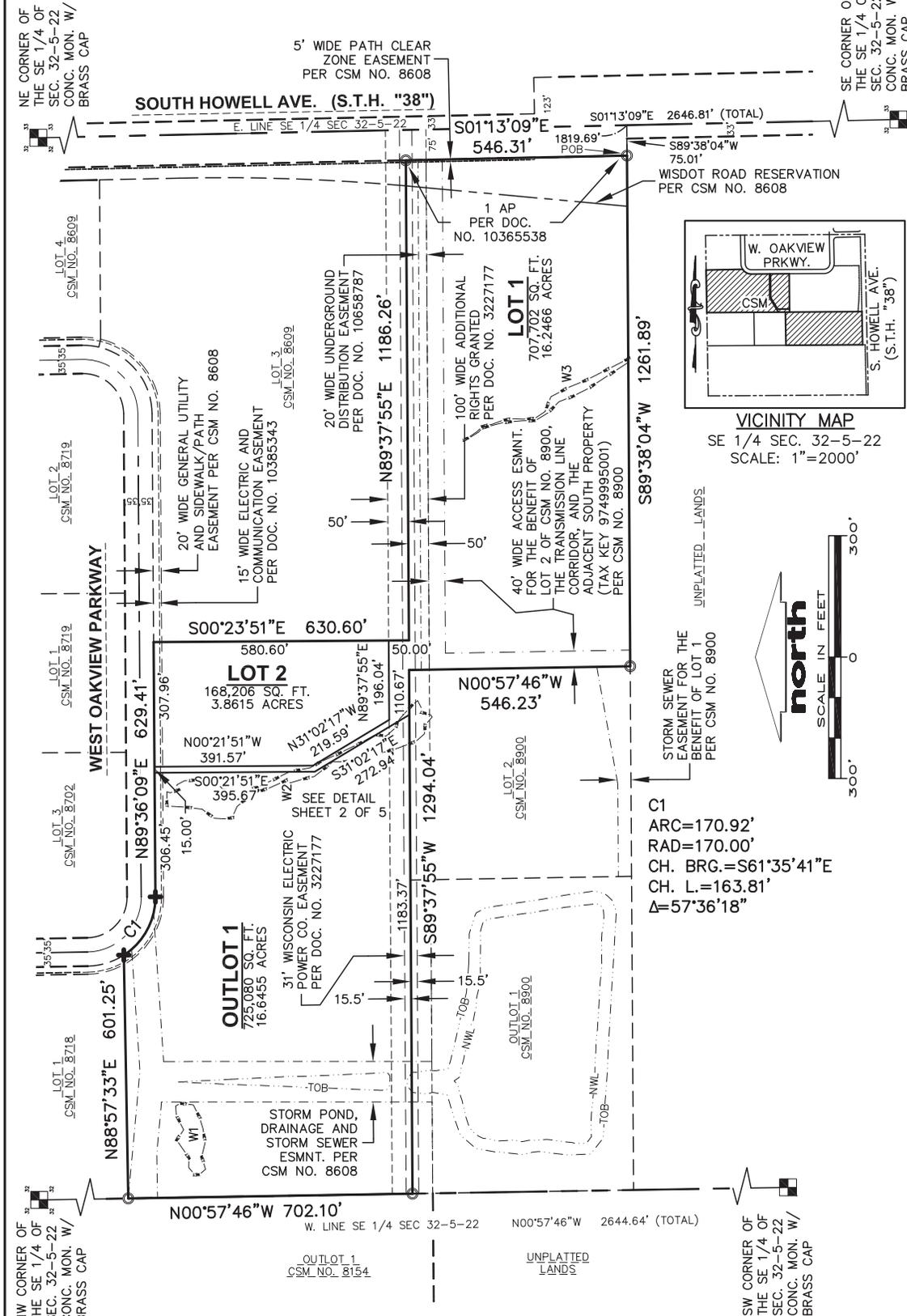


Legend

- | | | | |
|--|---------------------------|---|---------------------------|
|  | Subject Properties |  | Zoning Overlays |
|  | Officially Mapped Streets |  | C-1-Shoreland Wetland |
|  | DNR Wetland Inventory |  | FF-Flood Fringe |
|  | Waterbodies |  | Lakefront Overlay |
|  | Floodplain (2008) |  | NO-Mixed Use Neighborhood |
| | |  | OO-Mixed Use Office |
| | |  | RR-Regional Retail |

CERTIFIED SURVEY MAP No. _____

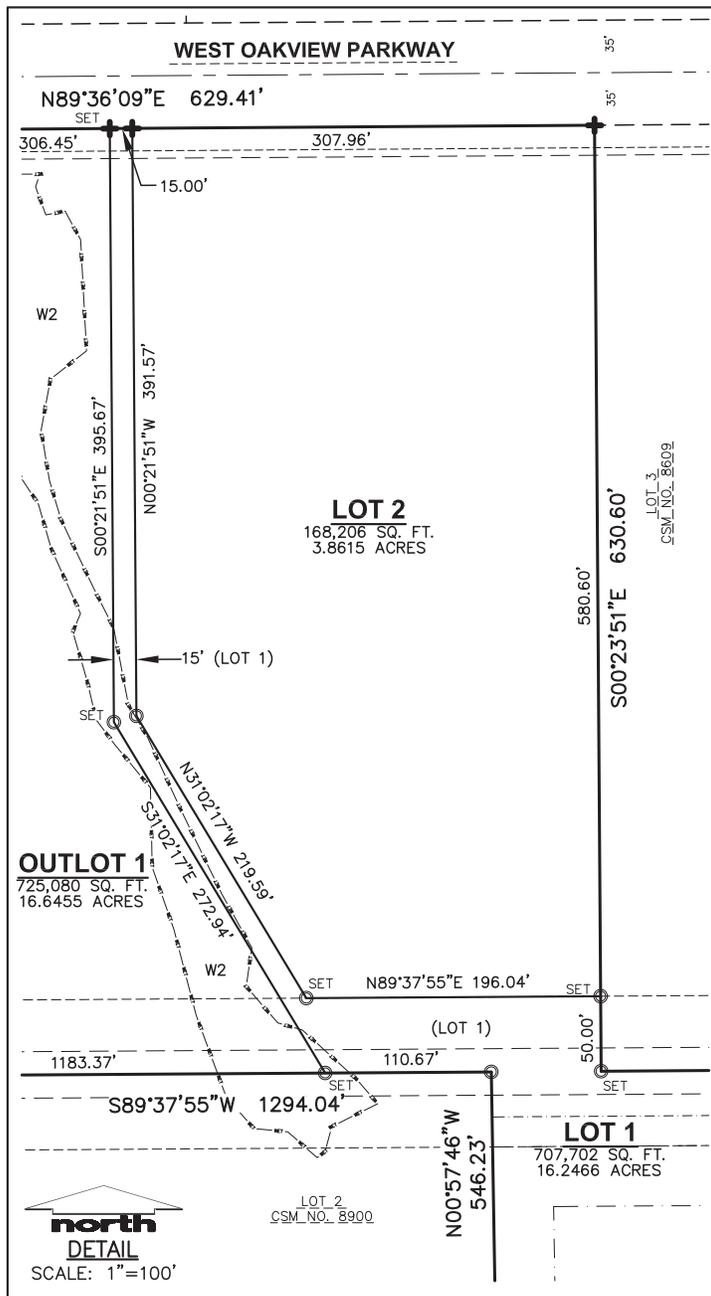
BEING A REDIVISION OF ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8900, LOT 2 OF CERTIFIED SURVEY MAP NO. 8609, AND OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 8718, LOCATED IN THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



C1
ARC=170.92'
RAD=170.00'
CH. BRG.=S61°35'41"E
CH. L.=163.81'
Δ=57°36'18"

CERTIFIED SURVEY MAP No. _____

BEING A REDIVISION OF ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 8900, LOT 2 OF CERTIFIED SURVEY MAP NO. 8609, AND OUTLOT 1 OF CERTIFIED SURVEY MAP NO. 8718, LOCATED IN THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHWEST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, CITY OF OAK CREEK, MILWAUKEE COUNTY, WISCONSIN.



LEGEND:

- 1" IRON PIPE FOUND & ACCEPTED
- 3/4" REBAR FOUND & ACCEPTED
- ⊕ CHISELED CROSS FOUND & ACCEPTED
- SET ○ 1"X18" IRON PIPE SET WT. 1.13 LBS/LIN. FT.
- SET ⊕ CHISELED CROSS SET
- WETLAND (SEE NOTES BELOW)
- NWL- POND* (NORMAL WATER LEVEL)
- TOB- POND* (TOP OF BERM)

* POND LOCATIONS BASED ON OAKVIEW BUSINESS PARK CONSTRUCTION AS-BUILT PLAN DATED OCTOBER 14, 2015.

NOTES:

CSM NO. 8609 RECORDED ON JUNE 3, 2014 AT MILWAUKEE CO. REGISTER'S OFFICE AS DOC. 10364226.

CSM NO. 8718 RECORDED ON AUGUST 31, 2015 AT MILWAUKEE CO. REGISTER'S OFFICE AS DOC. 10494589.

CSM NO. 8900 RECORDED ON MARCH 14, 2017 AT MILWAUKEE CO. REGISTER'S OFFICE AS DOC. 10656340.

W1 & W2 WETLAND LOCATIONS BASED ON WETLAND DELINEATION REPORT DATED DECEMBER 5, 2008 AS PREPARED BY NATURAL RESOURCES CONSULTING, INC., WITH SUPPLEMENT REPORT BY WETLAND & WATERWAY CONSULTING, LLC DATED DECEMBER 23, 2012 AND WETLAND FILL PERMIT LETTERS ISSUED BY WDNR AND USACOE DATED OCTOBER 30, 2013 AND JUNE 14, 2013, RESPECTIVELY.

W3 WETLAND LOCATIONS BASED ON WETLAND DELINEATION REPORT DATED DECEMBER 11, 2017 AS PREPARED BY DAVE MEYER, WETLAND & WATERWAY CONSULTING, LLC. WETLAND DISCHARGE (FILL) APPLICATION MADE TO WDNR, JANUARY 26, 2018.

THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), PER FEMA MAP PANEL NUMBER 55079C0231E, EFFECTIVE DATE: SEPTEMBER 26, 2008.

PREPARED FOR:

CENTRAL LAND COMPANY III, LLC
 C/O THE DICKMAN COMPANY, INC
 626 E. WISCONSIN AVENUE, #1020
 MILWAUKEE, WI 53202

AND
 WISPARK LLC
 231 W. MICHIGAN ST., P423
 MILWAUKEE, WI 53203

AND
 CITY OF OAK CREEK
 8040 S. 6TH STREET
 OAK CREEK, WI 53154

PREPARED BY:

JSD Professional Services, Inc.
 Surveyors • Engineers • Planners
 MILWAUKEE REGIONAL OFFICE
 W238 N1610 BUSSE ROAD SUITE 100
 WAUKESHA, WISCONSIN 53186
 262.513.0666 PHONE | 262.513.1232 FAX

BEARING BASIS

ALL BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 32, TOWNSHIP 5 NORTH, RANGE 22 EAST, WAS USED AS NORTH 01°13'09" WEST.

PROJECT CONVERSION FACTOR:
 GRID/0.99994301 = GROUND

SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

ALL MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE-HUNDREDTH OF A FOOT.

ALL ANGULAR MEASUREMENTS HAVE BEEN MADE TO THE NEAREST ONE SECOND.

DATED THIS _____ DAY OF APRIL, 2018

THIS INSTRUMENT WAS DRAFTED BY RIZAL W. ISKANDARSJACH, S-2738



Meeting Date: May 8, 2018

Item No. 5b

PLAN COMMISSION REPORT

Proposal: Plan Review – Veterinary Hospital

Description: Site, building, landscaping, and related review for a proposed veterinary hospital facility.

Applicant(s): Dr. Jacob Odders, Lakeshore Veterinary Specialists

Address(es): 9472 S. 27th St.

Suggested Motion: That the Plan Commission approves the site and building plans submitted by Dr. Jacob Odders, Lakeshore Veterinary Specialists, for the property at 9472 S. 27th St. with the following conditions:

1. That all relevant Code requirements remain in effect.
2. That a copy of the signed Conditions and Restrictions for the Conditional Use Permit are submitted to the Department of Community Development prior to the submission of building permit applications.
3. That the color of the spandrel windows shall not be a dark or mirrored glass per Overlay District standards, and shall be specified on the final plans.
4. That the plans are revised to include locations for all mechanicals, transformers, and utilities. That all mechanical equipment, transformers, and utility boxes (ground, building, and rooftop) are screened from view.
5. That the landscape plan is revised to include the heights of plants both at installation and maturity. Plants used to screen parking areas from rights-of-way must be installed and maintained at a minimum height of 3 feet.
6. That all revised plans (site, building, landscaping, etc.) are submitted in digital format for review and approval by the Department of Community Development prior to the submission of building permit applications.

Owner(s): AM Community Credit Union, C/O Trustone Financial Credit Union

Tax Key(s): 878-9000-001

Lot Size(s): 3.678 ac

Current Zoning District(s): B-4, Highway Business

Overlay District(s):	CU	27th Street Overlay	NO, Mixed-Use Neighborhood
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Wetlands:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Floodplain:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
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Comprehensive Plan:	Planned Business
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Background:

The Applicant is requesting site, building, landscaping, and lighting plan approval for a proposed 17,000 square-foot emergency veterinary hospital facility on the property at 9472 S. 27th St. Plan Commissioners will recall that a remnant portion of the property was rezoned from Rs-3, Single Family Residential to B-4, Highway Business, and a Conditional Use Permit for an animal hospital was recommended for Council approval in February of this year. Council approved the rezone and Conditional Use Permit on April 2, 2018. Conditions and Restrictions approved as part of the Conditional Use Permit are included with this report. Signed Conditions and Restrictions are forthcoming as of writing this report.

Plan Commissioners will recall that these parcels are part of the 27th Street Corridor Plan and are located in the 27th Street and NO, Mixed Use Neighborhood Overlay Districts. Code requirements for these Districts are included with this report for reference.

As proposed, the lot, building, and parking areas meet all dimensional requirements, including requirements for corner lots. Access is proposed via the shared easement to the east off of Ryan Rd. Staff has confirmed that this easement was required to be shared by WisDOT as part of an overall 27th Street access plan. Future access to 27th Street will be required by WisDOT to be shared by several properties, including the properties at 9430 and 9472 S. 27th St.

Parking was reviewed as part of the Conditional Use Permit request; however, there have been several changes:

1. Areas designated as “future parking” on the conceptual site plan are now shown to be constructed with this building.
2. The configuration of the access drive and parking areas has slightly changed.
3. The parking area to the east of the proposed building has been removed.
4. A total of 89 parking stalls were to be constructed, which is an excess of 5 stalls per Code based on 12 doctors and 48 staff. This proposed plan calls for a total of 115 stalls to be constructed, which is an excess of 16 stalls based on 17 doctors and 48 staff. New information provided in the narrative

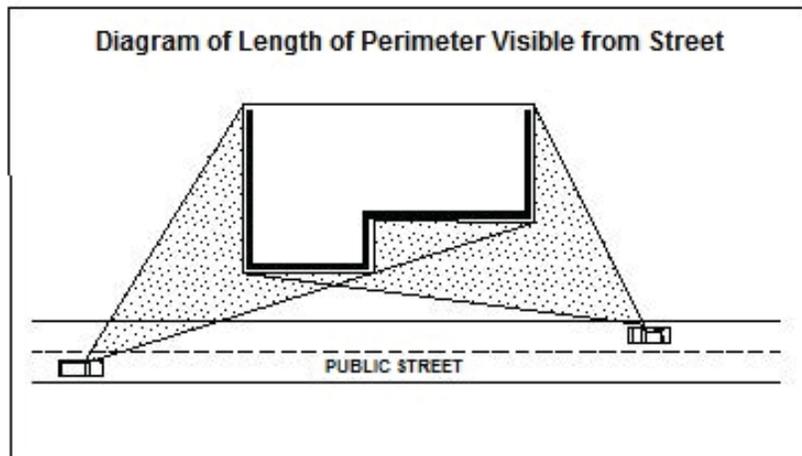
indicates that because this is intended to be a training facility for other Lakeshore locations, up to 60 staff could be onsite at various times throughout the year. Taking this into consideration, the plans still provide 5 more stalls than would be required by Code.

Details for the operation are included in the narrative that accompanies this report.

Staff has previously expressed concerns with the number of excess parking stalls that are being proposed. Assuming all staff are onsite, 50 parking stalls would be available for patients. While staff recognizes that this is an emergency facility and hospital needs can fluctuate, it is unlikely for 50 patients to be onsite at any given time or that the stalls would be regularly utilized. It is suggested that the 99 stalls required by Code are constructed with the building, and that the remaining 16 stalls are installed at a future time as needs warrant.

The building is proposed to be constructed with brick veneer (in 3 patterns and 2 colors), a prefinished ACM metal panel wall system in white, and light gray tinted storefront systems as the primary exterior building materials on all elevations. Some spandrel glass panels are also shown as hatched areas on the elevations. The color of the spandrel may not be a dark or mirrored glass per Overlay District standards, and should be specified on the final plans. Metal canopies are proposed over windows on all but the north elevation, with a prefinished longboard aluminum siding system (Italian Rosewood color) proposed as accents between windows and adjacent to doors (west elevation). The entry element and arch on the west elevation will utilize the same prefinished ACM metal panel wall system in white as is proposed on the rest of the building. All roof elements are proposed to be prefinished standing seam in gray. Several 6-foot-tall decorative fences with frosted panels are proposed on the east and west elevations near comfort and ICU areas. Although one overhead rollup door is proposed on the south elevation, it will be composed of windows to match the storefront system. Extensive landscaping has been proposed to screen this door from Ryan Rd.

Materials percentages are shown on the elevation sheet. Metal panels are not listed as acceptable primary exterior building materials, and can only be used as accent materials comprising a maximum of 25% of the visible perimeter of the building per Code. Additionally, Section 17.1009(a)(2)(ii) states: "The façade of a manufacturing, commercial, office, institutional, or park building shall be finished with an aesthetically pleasing material. A minimum of seventy-five (75) percent of the visible perimeter (see diagram) shall be finished with an acceptable glass, brick or decorative masonry material."



In the past, the Plan Commission has approved, with a $\frac{3}{4}$ majority vote, the use of alternate building materials in plans that have provided "supplemental design elements or improvements are incorporated into the project which compensate for the modifications of the particular standard," or for those preexisting buildings that were constructed prior to the inclusion of building materials restrictions. The proposal for the animal hospital, however, must take into consideration the standards and requirements of the Overlay Districts, as previously mentioned.

Section 17.0329(c)(2)(f) of the Municipal Code allows for a modification to the building standards by a $\frac{3}{4}$ majority of the Plan Commission "only if supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the modification of the particular standard." The Applicant is required to provide both a written and graphical representation of the supplemental design elements, and how such fulfill the requirement for the modification request(s). Modification requests are forthcoming as of writing this report.

While not mentioned in the submitted narrative or depicted on the elevations/renderings, rooftop mechanicals will be screened via the parapets or roof elements. All ground, building, and rooftop mechanical units, utility boxes, and transformers must be screened per Code. This has been included in the recommended conditions of approval above. Signs are not part of this review.

One 22' 10" x 19' 0" trash enclosure is proposed in the northeast portion of the parking area. Proposed materials include brick veneer to match the building and a painted cedar plank gate (facing west). As with other trash enclosure proposals, staff recommends utilizing a more durable material such as composite for the gate. Landscaping is proposed in the islands immediately around the enclosure, and will be fully screened from the property to the east. Extensive landscaping is proposed throughout the site, with drifts on the northwest and southwest corners, wrapping around the south along a portion of Ryan Rd. Per Code, the landscape plan must include the heights of plants both at installation and maturity. Plants used to screen parking areas from rights-of-way must be installed and maintained at a minimum height of 3 feet. These requirements have been incorporated into the recommended conditions of approval above.

Below are the sections of the Overlay District Standards that apply to this development. They are provided to assist the Plan Commission with assessing the requests for modification.

General 27th Street Overlay Districts Design Standards

Section 17.0329(c)(2)(b)(2) - Exterior materials shall be durable, high-quality materials, true to form (such as stone below wood rather than the opposite), and appropriate for external use.

Section 17.0329(c)(2)(b)(3) - Brick, stone and terra-cotta shall be the primary materials for new buildings or additions.

- Metal panels are becoming more frequently proposed in plans received for review by the City. The Plan Commission has previously approved the use of metal panels as primary exterior building materials, most recently in the 27th Street and RRO, Regional Retail Overlay Districts for the proposed auto dealership (27th & Rawson Ave). The proposal for the animal hospital would be constructed with a majority of brick and glass, with each elevation comprising between 28.7% and 47.4% ACM metal panel or metal accent siding.

Section 17.0329(c)(3)(c)(5) – Bicycle storage facilities shall be located near the building entrance.

- Staff notes that no bicycle storage/parking facilities are proposed with this development. However, this is an emergency animal hospital and not a traditional commercial or service facility. Staff is supportive of a modification request, if requested, to eliminate this requirement.

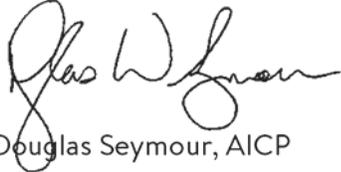
Section 17.0329(c)(3)(a)

- (1) Locate buildings close to the street.
 - (2) Connect entrances with public sidewalks.
 - (3) Avoid parking in front yards.
- The building is located sufficiently close to Ryan Rd. while still meeting setback requirements. Although the standards for the Overlay Districts would place the building at the southwest corner of the property, which would address all three items above, staff recognizes that the type of facility may not lend itself to strict adherence. Staff has recommended a public sidewalk connection if possible, but recognizes that this is not a facility that will see pedestrian traffic. Extensive landscaping treatments have been provided to buffer the parking area from the public rights-of-way. If the Plan Commission is comfortable with this configuration and landscaping as meeting the requirements of a modification request, staff is supportive.

With the above in mind, and recognizing that City staff will continue to work with the Applicant and all involved parties on outstanding issues, staff has provided a suggested motion for approval with conditions above for Plan Commission consideration.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Should the request not be approved, Plan Commissioners must provide the Code Sections upon which the denial is based so that the Applicant may revise and resubmit (if necessary).

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:



Kari Papelbon, CFM, AICP
Planner

Attachments:

Location Map

Overlay Districts Standards

Narrative

Plans

A1.0 (Site Plan)

C-1 through C-6

L-1 (Photometric)

LSP1.1 (Landscape Plan)

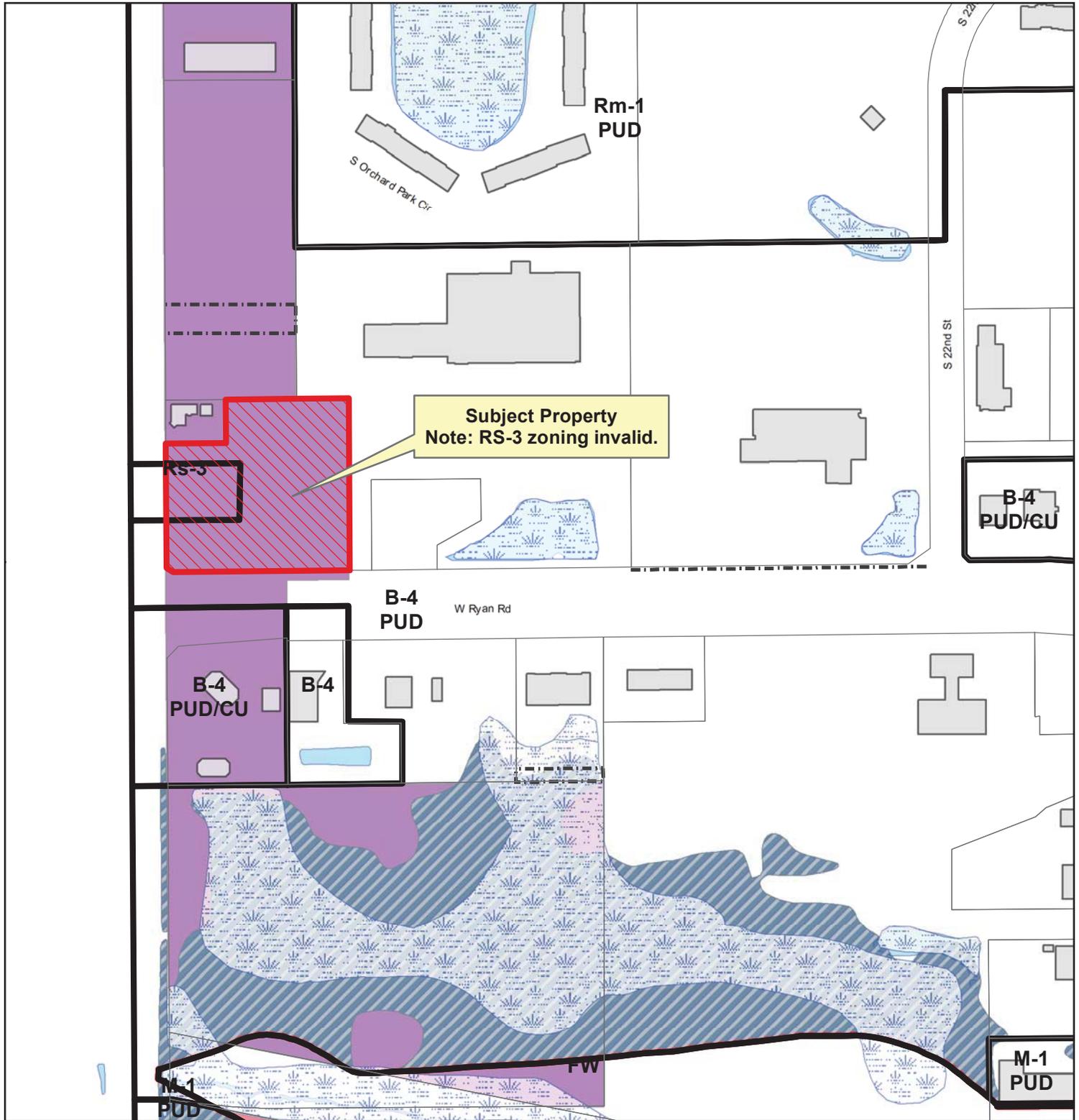
A2.1 (Floor Plan)

A4.0 (Elevations)

Renderings (7 pages)

Location Map

9472 S. 27th St.



This map is not a survey of the actual boundary of any property this map depicts.



Department of Community Development



Legend

- | | | | |
|--|---------------------------|--|---------------------------|
| | 9472 S. 27th St. | | Zoning Overlays |
| | Zoning | | C-1-Shoreland Wetland |
| | Officially Mapped Streets | | FF-Flood Fringe |
| | DNR Wetland Inventory | | Lakefront Overlay |
| | Floodplain (2008) | | NO-Mixed Use Neighborhood |
| | | | OO-Mixed Use Office |
| | | | RR-Regional Retail |

SEC. 17.0329 GENERAL 27TH STREET OVERLAY DISTRICTS DESIGN STANDARDS.

Coordinated efforts between the City of Oak Creek and the City of Franklin have resulted in the creation of four overlay districts along the 27th Street corridor within Oak Creek. The intent of the 27th Street overlay districts is to allow current permitted uses to maintain their permitted use standing while planning for coordinated development or redevelopment along the 27th Street corridor.

Whether the current use is permitted or special use, does not change based on the overlay district zoning until the specific use changes. At that time the new overlay district zoning and design standards come in effect.

The intent of the design standards is to provide creative ideas, stimulate forward thinking, promote quality design, and preserve designated woodlands and wetlands as well as ensure that the construction of buildings, facilities, and properties are compatible with their surroundings, are attractive, and enhance the corridor and building design and development standards established by the City of Oak Creek. These design standards shall apply to Sec. 17.0330 Regional Retail Overlay District, Sec. 17.0331 Mixed-Use/Office/Urban Village Overlay District, Sec. 17.0332 Mixed-Use Neighborhood Overlay District, and Sec. 17.0333 Mixed-Use Office Overlay District and as shown on the Official Zoning Map.

(a) General Design Guidelines

1. Establish and improve the visual character of the 27th Street corridor to reflect its role as one of the most prominent entrances and gateways in the cities of Franklin and Oak Creek and Milwaukee County, and to establish a unique, quality identity for this important corridor.
2. Enhance the destination and market appeal of the corridor.
3. Design a visually pleasing, safe, and socially stimulating business district and destination for Franklin, Oak Creek, and southern Milwaukee County.
4. Facilitate well-planned, coordinated, quality private development along and across the corridor.
5. Ensure that public streets, buildings, infrastructure, and open spaces set a high standard for a quality physical environment throughout the corridor.
6. Enhance the quality of the pedestrian experience along the corridor by providing a pleasant experience for business patrons, employees, and residents.
7. Enhance economic investment for business and property owners.
8. Protect and conserve neighborhood character, and establish safe, convenient and attractive linkages between neighborhoods and shopping and employment areas.
9. Encourage flexible and individual creativity rather than uniformity.
10. Promote community awareness of the physical environment.
11. Preserve and protect environmentally sensitive areas including woodlands and wetlands.

(b) Design Principles

1. Land Use
 - a. Development must provide a mix of uses that encourage pedestrian activity, respect the natural topography and express the street's cultural identity. Fostering a mix of retail, restaurants, offices, service businesses, light industry, residential, civic/institutional uses, and public open spaces is encouraged.
2. Buildings
 - a. Buildings must be, or appear to be at least two stories in height to give scale to the street. Buildings are located closer to the street to create a sense of enclosure for the public sidewalk. Building setbacks provide space for amenities that enhance pedestrian activity along the street.
3. Parking
 - a. Parking lots must be primarily located on the sides and rears of buildings and are shared by two or more businesses. Large parking areas contain significant landscape islands with clear pedestrian walkways.
4. Streets
 - a. Streets within developments must be designed to accommodate efficient traffic flow and multiple transportation choices including automobiles, bicycles, buses, and possible other mass transit options.

5. Walkability

- a. Sidewalks/terrace areas within developments must be a minimum of ten (10) feet wide with a six (6) foot unobstructed sidewalk zone and minimum four (4) foot wide terrace next to the public street. Street furnishings are provided in the terrace to enhance the pedestrian character and use of the street including pedestrian scale lighting, benches, bicycle racks, information kiosks, etc. Crosswalks are clearly marked and include pedestrian refuge islands for safe pedestrian and bicycle crossings.

6. Landscaping

- a. Street trees must be provided to shade the sidewalk, provide a sense of enclosure for the street, and visually unify the blockface.

(c)

Design Standards

The following general design standards provide overarching design principles that are common to all new construction and renovation projects along the 27th Street corridor. These standards fit into four (4) functional categories: blockface design, building design, site design, and streetscape design.

1. Blockface Design

The buildings and sites along 27th Street are not isolated structures. The placement and appearance of the buildings, sites, and signs contribute to the character of the entire block and ultimately to the character of the street. A blockface is one side of a street block. Because 27th Street runs north and south, the blockface along the street area oriented either east or west. When the buildings along a street block are closely spaced or contiguous, the blockface becomes a cohesive vertical element or “street wall”. The opposing blockfaces along the street create a series of relatively parallel street walls that – to varying degrees – enclose the public streetscape and create outdoor, linear “rooms”.

a. The general guidelines for how private property owners can improve the blockface design include:

- 1) Coordinate building and site designs with adjoining properties.
- 2) Promote shared driveways and parking.
- 3) Use landscaping and furnishings to enhance the public sidewalk.
- 4) Consider infill development and landscaping to create a continuous blockface.

b. Circulation and Access

- 1) The internal transportation network for new developments or redevelopment of existing properties shall be designed to accommodate all modes of transportation and incorporate a network of interconnecting streets and blocks with respect to the natural landscape. The internal transportation network shall provide alternate routes to every destination, distributing automobile traffic and shortening walking distances.
- 2) Commercial buildings shall incorporate pedestrian walkways and open spaces and encourage safe movement through their site and to the surrounding area. Such walkways shall be connected with public streets in an engaging and identifiable manner and conflicts between pedestrians and vehicles shall be minimized, to the extent possible.
- 3) Development that maximizes the opportunity to preserve and access adjacent natural and scenic areas including Falk Park, the Root River Corridor, and the Oak Creek Corridor is expected.
- 4) Loading docks and other service requirements shall be placed at the rear of buildings and accessed from service driveways. Pedestrian areas and customer parking areas shall be separated from these areas.

2. Building Design

The design of buildings is a key part of shaping a positive and attractive character for the 27th Street corridor. New buildings and renovation of existing buildings shall enliven the public streetscape, complement the character of adjacent buildings, and provide inviting entrances to pedestrians. Building designs shall be sustainable, as well. “Green” architecture, which uses water, energy, and other natural resources more efficiently, is encouraged.

a. General design parameters for building design include:

- 1) Create buildings with details and proportions that are scaled to the pedestrian.
- 2) Complement scale and character of adjacent buildings.
- 3) Encourage mixed-use buildings.
- 4) Create inviting entrances.
- 5) Maximize storefront transparency.
- 6) Design all sides of the building visible to the public.

- 7) Encourage franchises to respect the character of the street.
 - 8) Employ sustainable design practices.
 - 9) Provide details that express the corridor's character and identity.
- b. The building character and design standards.
- 1) Multi-story buildings with quality architectural design shall be located on prominent sites, such as key intersections, corners, terminations of street vistas, and on high points to serve as landmarks.
 - 2) Exterior materials shall be durable, high-quality materials, true to form (such as stone below wood rather than the opposite), and appropriate for external use.
 - 3) Brick, stone and terra-cotta shall be the primary materials for new buildings or additions.
 - 4) The use of false brick or other "faux" sidings is not permitted.
 - 5) Painting of natural brick and stone is not permitted.
 - 6) Color choice shall complement the style and materials for the building's façade and provide a pleasing relationship with adjoining buildings.
 - 7) Trash, service and mechanical areas shall be entirely screened from view and located on the side or rear of properties.
 - 8) All visible sides of the building shall be designed with details that complement the front façade. Side façades that are visible from the public street shall receive equal design attention.
 - 9) Building massing that creates modulation and articulation is encouraged.
 - 10) Multi-story buildings that allow for a mix of retail, office or residential uses are encouraged.
- c. Building details
- 1) Building design standards less than 20,000 square feet (excluding single and two family residential).
 - a. Building Materials and Colors
 - (i) Façades shall be varied and articulated to provide visual interest to pedestrians. Within larger projects, variations in façades, floor levels, architectural features, and exterior finishes shall create the appearance of several smaller buildings.
 - (ii) Masonry, stone, stucco and wood shall be used on the exterior to convey an impression of durability. Metal is not allowed as the primary exterior building material, but it may be used for accents including awnings.
 - (iii) Where masonry is used for exterior finish, decorative patterns shall be incorporated. Ex. Multicolored masonry units such as brick, stone, or cast stone, in layered or geometric patterns, or split-faced concrete block to simulate a rusticated stone-type construction.
 - (iv) Wood siding shall be bevel, shingle siding, or channel siding and not be applied in a diagonal or herringbone pattern.
 - (v) Building façade colors shall be non-reflective, subtle, neutral, or earth tone. Building trim and architectural accent elements may feature brighter colors, but such colors shall be muted, not metallic, not fluorescent, and not specific to particular uses or tenants. Standard corporate and trademark colors shall be permitted only on a sign face and copy areas.
 - b. Roof Materials, Parapets and Roof Pitch
 - (i) Pitched roof structures shall have a minimum roof pitch of 6/12.
 - (ii) Flat roofs are permitted with detailed stepped parapets or detailed brick coursing.
 - (iii) Parapet corners shall be stepped or designed to emphasize the center or primary entrance(s), unless the primary entrance is at the corner of the building.
 - (iv) Visible sloped roofs shall be neutral in color, such as gray, black or dark brown.
 - (v) Visible roof materials shall be wood or architectural grade composition shingle or sheet metal with standing or batten seam.
 - (vi) All roof and wall-mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, shall be screened from public view by parapets, walls, or by other approved means.
 - c. Building Façades

- (i) Decorative devices, such as molding, entablature, and friezes, are encouraged at the roofline. Where such ornamentation is present in the form of a linear molding or board, the band shall be at least eight (8) inches wide.
 - (ii) Buildings shall incorporate features such as arcades, roofs, porches, alcoves, porticoes, and awnings to protect pedestrians from the rain and sun. Awnings and entrances may be designed to be shared between two (2) structures.
 - (iii) For buildings designed to house retail, service, or office businesses, traditional storefront elements are required. These elements include:
 - Front and side building walls placed as close as permitted to property lines.
 - Clearly delineated upper and lower façades.
 - A lower façade dominated by large display windows and a recessed entry or entries.
 - Smaller, regularly spaced windows in the upper floor.
 - Decorative trims, such as window hoods, surrounding upper floor windows.
 - A decorative cornice near the top of the façade.
- d. Change in Relief of Building
- (i) Buildings shall include changes in relief on ten (10) percent of their primary façade. Relief changes include cornices, bases, fenestration, fluted masonry, or other treatment for pedestrian interest and scale.
- e. Windows
- (i) Windows that allow views to the interior activity or display areas are required. Windows shall include sills at the bottom and pediments at the top. Glass curtain walls, reflective glass, and painted or darkly tinted glass shall not be used.
 - (ii) Ground floor window standards.
 - All new buildings shall provide ground floor windows.
 - Required window areas shall be wider windows that allow views into working areas or lobbies, pedestrian entrances, or display windows.
 - Required windows shall have a sill no more than four (4) feet above grade. Where interior floor levels prohibit such placement, the sill shall be raised to allow it to be no more than two (2) feet above the finished floor level, up to a maximum sill height of six (6) feet above grade.
 - Darkly tinted windows and mirrored windows that block two-way visibility are prohibited as ground floor windows along street facades.
 - The primary façade of each building, or for corner buildings, each of the two facades, shall contain at least twenty (20) percent of the ground floor wall area in display areas, windows, or doorways. Blank walls are prohibited.
 - Ground floor windows are also required on facades facing any public parking lot. The minimum requirement is sixteen (16) square feet per story, or six (6) percent of the façade, whichever is greater.
 - (iii) Upper floor window standards.
 - Glass area dimensions shall not exceed 5'x7'. (The longest dimension may be taken either horizontally or vertically).
 - Windows shall have trim or molding at least two (2) inches wide around their perimeters.
- f. Modification of Standards
- The Plan Commission may modify any of the above building design standards by a $\frac{3}{4}$ vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the modification of the particular standard. In support of the modification request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the modification is requested.
- g. Pedestrian Accessibility
- (i) Buildings shall maintain and/or enhance the pedestrian scale.
 - (ii) Building entries shall comply with the accessibility requirements of the applicable state and federal codes.

- (iii) Special attention shall be given to designing a primary building entrance that is both attractive and functional.
 - (iv) Buildings located at the intersection of two (2) streets shall utilize a corner entrance to the building unless this is deemed by the Plan Commission to be impractical.
 - (v) Pedestrian environment may be enhanced by street furniture, landscaping, awnings, and movable planters of seasonal flowers.
- 2) Building detail for buildings more than 20,000 square feet
- a. Building Materials
 - (i) Building materials shall be unified throughout the building, and shall complement other buildings in the vicinity.
 - (ii) Exterior building materials shall be of high and comparable aesthetic quality on all sides.
 - (iii) Building materials such as glass, brick, decorative concrete block, or stucco shall be used.
 - (iv) Decorative architectural metal with concealed fasteners may be approved if sensitively incorporated into the overall design of the building.
 - b. Building Design
 - (i) The building exterior shall be unified in design throughout the structure, and shall complement other building in the vicinity.
 - (ii) The building shall employ varying building setbacks, height, roof treatments, door and window opening, and other structural and decorative elements.
 - (iii) A minimum of twenty (20) percent of all of the combined façades of the structure shall employ actual façade protrusions or recesses.
 - (iv) A minimum of twenty (20) percent of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height, with such differences being six (6) feet or more as measured eave to eave or parapet to parapet for buildings over fifty thousand (50,000) square feet.
 - (v) Roofs with particular slopes may be required by the City to complement existing buildings or otherwise establish a particular aesthetic objective.
 - (vi) Ground floor façades that face and are on properties that are in any part within one hundred (100) feet of public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than fifty (50) percent of their horizontal length.
 - c. Building Entrances
 - (i) Public building entryways shall be clearly defined and highly visible on the building's exterior design, and shall be emphasized by on-site traffic flow patterns.
 - (ii) Two (2) or more of the following design features shall be incorporated into all public building entryways:
 - canopies or porticos
 - overhangs
 - projections
 - arcades
 - peaked roof forms
 - arches
 - outdoor patios
 - display windows
 - distinct architectural details
 - (iii) All sides of the building that directly face or abut a public street or public parking area shall have at least one public entrance, except that the City shall not require building entrances on more than two (2) sides of any building.
 - d. Building color
 - (i) Building façade colors shall be non-reflective, subtle, neutral, or earth tone.
 - (ii) The use of high intensity colors, metallic colors, black, or fluorescent colors on façades shall be prohibited.

- (iii) Building trim and architectural accent elements may feature brighter colors, but such colors shall be muted, not metallic, not fluorescent, and not specific to particular uses or tenants.
- (iv) Standard corporate and trademark colors shall be permitted only on sign face and copy areas.
- e. Modification of Standards
The Plan Commission may modify any of the above building design standards by a $\frac{3}{4}$ vote of members in attendance, but only if supplemental design elements or improvements are incorporated into the project (over and above those which are otherwise required) which compensate for the modification of the particular standard. In support of the modification request, the applicant shall detail such supplemental design elements in written and graphical form, and provide an explanation as to the nature of the standards for which the modification is requested.
- f. Building location
(i) Where buildings are proposed to be distant from a public street, the overall development design shall include smaller buildings on pads or outlots closer to the street.
- g. Screening
(i) Mechanical equipment, refuse containers and any permitted outdoor storage shall be fully concealed from on-site and off-site ground level views, with materials identical to those used on the building exterior.
(ii) Loading docks shall be completely screened from surrounding roads and properties. Said screening may be accomplished through loading areas internal to buildings, screen walls which match the building exterior in materials and design, fully opaque landscaping at time of planting, or combinations of the above.
(iii) Gates and fencing may be used for security and access, but not for screening, and shall be of high aesthetic quality.
- h. Traffic impact
(i) All projects that include buildings over twenty thousand (20,000) square feet shall have direct access to an arterial or collector street, or shall dedicate public roads that have direct access to a public street.
(ii) Vehicle access shall be designed to accommodate peak on-site traffic volumes without disrupting traffic on public streets or impairing pedestrian safety through parking lot design and capacity; access drive entry throat length, width, design, location, and number; and traffic control devices; and sidewalks.
(iii) The site design shall provide direct connections to adjacent land uses if required by the City.
(iv) Prior to development approval, the applicant's traffic engineer shall complete and present a traffic impact analysis following WiDOT guidelines. Where the project will cause off-site public roads, intersections, or interchanges to function below level of service C, as defined by the Institute of Transportation Engineers, the City may deny the application, require a size reduction in the proposed development, or require that the developer construct and/or pay for required off-site improvements.

3. Site Design

Site design refers to the physical arrangement of buildings, walkways, parking lots, landscaping, and other elements on a property. The placement of these elements of the site will contribute to the functional and aesthetic character of the site and the entire 27th Street corridor. For example, sites with large front parking areas or large setbacks generally contribute little to the aesthetic quality or walkability of 27th Street. Site development that places well-designed buildings closer to the street will strengthen the character and spatial enclosure of the street.

a. The general guidelines for how private property owners shall improve their sites include:

- 1) Locate buildings close to the street.
- 2) Connect entrances with public sidewalks.
- 3) Avoid parking in front yards.
- 4) Provide attractive landscape- ing/outdoor spaces.
- 5) Utilize woodlands and wetlands as functional open spaces.
- 6) Complement the public "streetscape".

- 7) Locating and screening trash and utility areas away from the street.
 - 8) Promote crime prevention through environmental design.
 - 9) Employ sustainable design practices.
- b. Parking
- 1) Parking lots shall be landscaped around the perimeter to screen the view from public streets.
 - 2) Parking lots shall include landscape islands to break up large surface areas. A common standard is a nine (9) foot landscape island for every linear row of ten (10) to fifteen (15) parking spaces.
 - 3) Parking for new buildings shall be primarily located at the rear and on the sides of the building for buildings fronting 27th Street. If parking in front can not be avoided, landscaping shall be provided between the parking area and the public street. For existing properties, where the site permits, parking in the front shall be relocated to the side and rear of the building as properties redevelop.
 - 4) For properties such as gas stations --where front parking cannot be removed – walkways, landscaping, architectural features, and lighting shall be provided to make these areas more attractive and inviting. Decorative fences, walls, and/or landscaped edges shall screen front parking areas from the public sidewalk. Screening shall not exceed forty-two (42) inches in height.
 - 5) Large parking areas shall include walkways to allow safe pedestrians access to the building entrance and connect the site to adjacent streets and properties. Pedestrian walkways shall be designed with amenities such as special paving treatments (colored paver blocks or textured concrete), lighting, and furnishings to create a pedestrian friendly character.
 - 6) Parking lots shall be connected with adjoining lots where practical.
- c. Landscaping, Lighting, and Site Furnishings.
- 1) All landscaping standards in the City of Oak Creek Zoning Code Section 17.1010 shall be upheld in all 27th Street corridor overlay districts.
 - 2) Lighting styles and fixtures shall complement the architectural design and coordinate with lighting in the larger development or on adjacent properties.
 - 3) Light fixtures shall have a cut-off or beveled prism light that directs lighting toward the ground to minimize off-site impacts. Higher lighting levels shall be provided for pedestrian use areas. Low-level building and landscape accent lighting is encouraged, where appropriate.
 - 4) Lighting and site furnishings (benches, trash receptacles, bicycle racks, etc.) shall be designed to complement the character of the building, and provide an attractive and strong relationship with adjoining properties and the public sidewalk.
 - 5) Bicycle storage facilities shall be located near the building entrance.
 - 6) Screen fences and/or landscaped buffers shall be provided at property edges, particularly where commercial and light industrial properties adjoin residential properties.
 - 7) New streets as proposed as part of new developments shall provide “pedestrian friendly” streetscape with on-street parking.
- d. Environment
- 1) All environmentally sensitive areas such as wetlands and woodlands as designated by the City Engineer shall remain uninterrupted.
 - 2) All primary and secondary environmental corridors and isolated natural areas as recorded by the Southeastern Wisconsin Regional Planning Commission shall remain uninterrupted.
 - 3) Development shall not negatively impact any environmentally sensitive areas.
- e. Signage
- Building signage shall fit with and enhance the character of a building and the overall environment of the 27th Street corridor. The 27th Street area shall be designated a special signage district to ensure well-designed and cohesive signage in the gateway corridor into the cities of Oak Creek and Franklin and Milwaukee County.
- 1) Preferred sign types include signs integrated into the design of the building, along a sign band, window signs, awning signs, projecting signs, and monument signs of six (6) to eight (8) feet in height.
 - 2) Natural landscaping features shall be used in conjunction with monument signs.
 - 3) Signs shall be simple and easy to read and include street names and addresses prominently.
 - 4) Sign colors shall relate to and complement the primary colors of the building façade.

- 5) Sign design and placement shall fit the character of the building and not obscure architectural details.
- 6) Signage shall be centered within the prescribed signage area of the building.
- 7) Large pylon or post mounted box signs are prohibited on 27th Street.
- 8) Plastic, internally illuminated signs are not allowed.
- 9) Window signs shall not exceed fifty (50) percent of the total window area.
- 10) Billboards or signs on roofs, dormers, and balconies are not allowed.
- 11) Signs affixed to the exterior of a building shall be architecturally compatible with the style, composition, materials, colors, and details of the building, as well as with other signs used on the building or its vicinity.

4. Streetscape Design

The 27th Street/State Highway 41 corridor has long served as an auto-oriented commercial district and a major arterial street that historically provided a direct truck route between Milwaukee and Chicago. Public input during the 27th Street Corridor Planning process has identified the need to create a high-quality urban atmosphere for the 27th Street corridor. The following are standards for public street improvements to accomplish this goal.

a. The general design standards for public street improvements include:

- 1) Establish gateways and districts.
- 2) Accommodate multiple transportation modes (e.g., transit, autos, pedestrians, bicyclists).
- 3) Create and enhance pedestrian safety and comfort (e.g., crosswalks, lighting).
- 4) Visually ‘unify’ the streetscape (lighting, street trees, and street furniture).
- 5) Reduce visual ‘clutter’ (private signage and overhead utilities).

b. These standards are divided into four (4) parts:

1) Street Design

a. Sidewalks

- (i) Sidewalks shall be provided along South 27th Street in areas not served by the proposed multi-use trail system.
- (ii) All sidewalks shall be a minimum of six (6) feet wide, and include a minimum eight (8) foot wide landscaped terrace area.

b. Crosswalks

- (i) Clearly define crosswalk areas on 27th Street with reflective paint or specialty pavement such as colored concrete, or other DOT/City approved materials. Pavements shall meet ADA standards to allow for the ease of travel by persons with disabilities. Install handicap accessible curb ramps at all crosswalks.
- (ii) Provide refuge islands at all crosswalk locations that are wide enough for pedestrian and bicyclists.
- (iii) Provide pedestrian activated crossing lights, (countdown pedestrian walk lights) at key signalized intersections.

c. Medians

- (i) The nose of the median shall fully enclose the crosswalk and be wide enough to allow safe refuge for multiple pedestrians and bicyclists.
- (ii) Provide landscaping, lighting, and banners.
- (iii) Sections of medians that are too narrow for landscaping shall be paved with special colored paving in lieu of plain concrete to visually break up the wide expanse of pavement and add character to the area.
- (iv) Explore having businesses, or business association, fund special median landscape treatments.

d. Bicycle Circulation

- (i) Establish a continuous bicycle system on both sides of 27th Street through eight to ten foot wide off-street multi-use paths within the right-of-way.

e. Stormwater Design

- (i) As 27th Street is reconstructed, the storm sewer system shall be designed to allow for stormwater infiltration and sediment collection.
- (ii) Open spaces along public right-of-ways shall be considered as locations for rain gardens to facilitate stormwater infiltration.

2) Streetscape Design

- a. Streetscape improvements shall be located in the terrace zone of the sidewalk and the median.
 - b. Lighting
 - (i) New roadway lighting shall be selected to provide a unique identity for 27th Street. Lighting fixtures shall be directed toward the ground and not toward the sky.
 - (ii) Existing and new roadway lighting shall accommodate banners, hanging floral baskets and holiday decorations that will improve the visual character and identity of the street.
 - c. Street Trees and Landscaping
 - (i) Street trees for 27th Street shall be selected to provide visual interest and seasonal variety in compliance with WISDOT standards. Street trees shall have the same characteristics of both sides of the street in a given block.
 - (ii) Provide low maintenance, perennial plantings in the medians. Higher maintenance plantings can be provided if individuals or groups take responsibility for contracting out annual planting and maintenance.
 - d. Street Furniture and Amenities
 - (i) Street furniture and amenities shall be provided in higher pedestrian use areas and present a uniform design that complements the desired theme and identity for 27th Street.
- 3) Gateways and Entrances
- a. All entrances shall be designed to improve the visual character and identity of 27th Street.
 - b. The design of key entrances shall present a coordinated identity and theme for 27th Street. The theme, colors, and design of entrance features and signage shall be coordinated with other design features such as lighting, furnishings, and street banners. Entrance features and signage shall be located to avoid clutter and confusion with other signage.
 - c. The 27th Street Corridor Land Use Plan recommends a full highway interchange at the intersection of 27th Street and I-94. Special landscaping, architectural, or public improvements shall be used at this interchange to identify this as an important community gateway.
 - d. All intersections shall be beautified with landscaping and signage features that are scaled and proportional to respond to both the pedestrian and vehicular travelers.
 - e. Neighborhood entrance signs or smaller business district signs shall be located in open spaces along the street. Easements on private property may be needed to locate these signs.
- 4) Wayfinding
- a. A coordinated wayfinding system shall be designed that directs visitors to the many public destinations located along and around 27th Street, and in both communities, such as the medical centers, the airport, park and ride facilities, parks, libraries, community centers, etc.
 - b. Wayfinding signage shall be located in the terrace or median.
- 5) Regulatory Signage
- a. Opportunities to reduce the number of regulatory signs shall be evaluated to limit signage clutter and improve the visual character of the street while maintaining safety standards.
 - b. Maximize opportunities to place multiple signs on each sign pole.
 - c. Locate signs in sidewalk terrace areas, wherever possible. Limit the number of signs in the median.
 - d. Inventory existing regulatory signage to identify and eliminate potential duplications. Consider use of electronic readerboard signage as a supplement or replacement signage along the corridor.

Ordinance 2346, A 6/21/05 Sec. 17.0329

Ordinance 2846, A 4/3/17 Sec. 17.0329(c)(2)(c)(1)(f), 17.0329(c)(2)(c)(2)(e)



Planning Commission
City of Oak Creek
8040 S. 6th St.
Oak Creek, Wisconsin 53154

April 10, 2018

Re: Project Narrative for Lakeshore Veterinary Specialists

Introduction:

Attached to this project narrative you will find the graphical information regarding the proposed business development located at 9472 South 27th Street, the northeast corner of S. 27th Street and Ryan Road. The proposed development will be a new Veterinary Hospital which will include a 17,000 square foot building and the requisite site development needed to support the new building.

Lakeshore Veterinary Specialists (LVS), currently located at 2400 West Ryan Road will be the owner/occupant of this building. LVS will be moving out of their existing tenant space in the multi-tenant building attached to the Pick 'n' Save building just east of this property.

Existing Site:

The existing site is approximately 3.48 acres and is currently vacant. The site frontage is S. 27th Street on the West, West Ryan Road on the South, an adjacent like-zoned vacant property and a bar/ restaurant to the North and the Pick 'n' Save development to the East. Vehicular access to the site is currently permitted only from an existing cross-access easement with the Pick 'n' Save property. Access from S. 27th Street and West Ryan Road is currently not allowed by the Wisconsin Department of Transportation (DOT). A possible resolution to allow access to 27th Street would require an agreement between LVS and the adjacent property owner to share the sole access point and create easement documents as necessary permitting the access. The DOT has indicated they would support an agreement that would allow shared access to both sites from 27th Street. Negotiations have been stalled at this point in time, but any revisions to site access in the future would be updated with the City accordingly.

The base zoning of the site is designated "B-4 Business". The site has recently gone through a re-zoning process to remove a remnant RS-3 Residential designation. Additionally, there are two Overlay districts which apply to the site, "NO" Mixed Use Neighborhood Overlay district and "27th Street" Overlay District. The site has also recently gone through a Conditional Use process that allows the Animal Hospital use as proposed.

N173 W21010

Northwest Passage Way

Jackson, WI 53037



Tel: 262.677-9933

Fax: 262.677.9934

Plan of Operation:

The plan of operation for the new development will not change from the existing facility. This veterinary hospital will be a referral center for cases that can't be handled routinely by surrounding area veterinary clinics/hospitals. It will also receive referrals for emergency care to be provided when surrounding hospitals are not open or available to provide the needed care. All parts of the operation will be within the building. The only exterior area to be utilized as part of the operation will be walking and pet relief spaces for hospital patients, who will be taken out on leash with a staff member to go to the bathroom and immediately brought back inside the facility. There will be no outside housing of patients associated with this business.

The following services will not be provided:

- Pet Boarding
- Pet Grooming
- Day Care
- Dog Training
- Retail sales of pet products
- On-site Cremation

The owners are keenly aware of concerns that are inherit with the development of veterinary hospitals, particularly noise, odor and waste. This design addresses these issues to be certain that the surrounding businesses and residents are in no way affected by these concerns. Hazardous waste is handled the same as in a human hospital, and deceased pets will be kept in a freezer until they are picked up by a private pet crematory service. This will take place in the designated pick-up/delivery area that will be adequately screened by the building and landscaping and at times other than normal business hours.

The days and hours of operation will be 24 hours Monday through Sunday, 365 days per year. The facility will be staffed by 17 Doctors and 48 staff members during the largest shift. Doctors and staff are a mix of full and part time positions. Staffing does vary based upon the needs of the hospital patients.

Proposed Building/Site:

The proposed building is approximately 17,000 square feet. The site arrangement plans for 115 total parking spaces. The Oak Creek Municipal Code requires a minimum of 99 spaces (3 spaces per doctor plus 1 space per employee on the largest shift) – because this new location will serve as the main training meeting location for LVS' other locations for the foreseeable future, the additional parking spaces can be warranted for times when there could potentially be 60 employees present at one time. At some point in the future LVS is anticipating an addition of approximately another 10,000 square feet. At that point in time, their business model and growth plan will be sure to factor any parking limitations as a result of current site arrangement and code requirements.

The building will be constructed using a combination of full brick veneer, an aluminum composite rainscreen system, and metal siding/cladding accent elements, in addition to aluminum storefront glazing systems with vision and spandrel glazing. See enclosed drawings and imagery for further information.

Storm-water management will be accomplished utilizing one proposed pond in the southeast corner of the site. Storm water management plans are enclosed in this submittal package for consideration by the Plan Commission.

Landscaping for the site will follow all City of Oak Creek guidelines as outlined in the city ordinances, and plans are enclosed in this submittal package for consideration by the Plan Commission.

We do not believe this new development will negatively impact or be a nuisance to the surrounding neighborhood. This is an expansion of a long standing established use and is consistent with the nature of the surrounding neighborhood which is currently a mix of commercial development. The traffic patterns in the neighborhood are already established and will not be affected by the new development.

If you have any questions or concerns regarding this proposed development please feel free to contact our office.

Sincerely,

Jordan O'Connor

A handwritten signature in black ink that reads "Jordan O'Connor". The signature is written in a cursive style with a large, stylized initial "J" and "O".

Design 2 Construct Development Corporation

DESIGN
2
CONSTRUCT
DEVELOPMENT CORPORATION

1725 W21010
HAWTHORNE BLVD
JACKSON, WI 53037

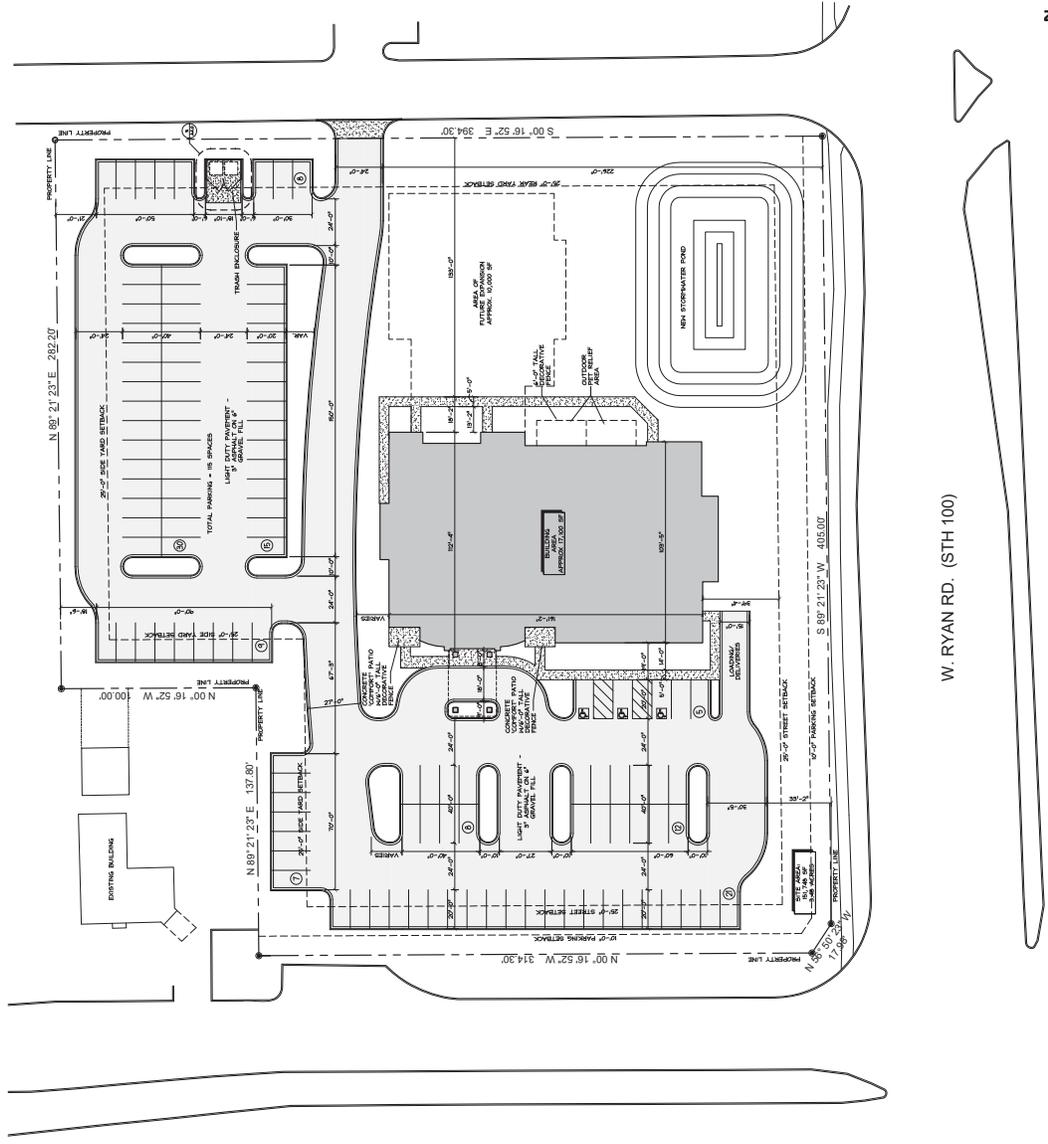
PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

BUILDING DESIGN FOR:
LAKESHORE VETERINARY SPECIALISTS
9472 S. 27th STREET
OAK CREEK, WI 53154

SHEET TITLE	SITE PLAN
REVISIONS	

PROJECT DATA	
DATE	04.10.2018
JOB NO.	17-00202
SITE YDRE	PLAN COMMISSION
FILE NAME	CLALD
DRAWN BY	SO SEW
SHEET NO.	A1.0



1 SITE PLAN
SCALE: 1" = 30'-0"

SITE DATA:

SITE AREA	851,288 S.F.
AREA OF CONCEPTUAL BUILDING	17,002 S.F.
TOTAL HARDSPREAD AREA	1,400 S.F.
CONCRETE APPROX.	279 S.F.
SYSTEMS APPROX.	3,588 S.F.
ASPHALT DRIVE	59,298 S.F.
TOTAL DRIVEWAY AREA	65,246 S.F.
ZONING DISTRICT	RS - RESIDENTIAL SINGLE-FAMILY & 27th STREET CORRIDOR
MAXIMUM BUILDING HEIGHT	35'-0"
BUILDING HEIGHT	28'-0" (MAX)
FRONT YARD SETBACK	25'-0"
REAR YARD SETBACK	25'-0"
MINIMUM SETBACKS	115' (INCL. H.C. STALLS)
TOTAL PARKING PROVIDED	3
HANDICAP PARKING REQUIRED	3

SOUTH 27th STREET

W. RYAN RD. (STH 100)

EROSION CONTROL NOTES

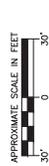
1. ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. DEVICES SHALL BE INSTALLED AND MAINTAINED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEST MANAGEMENT PRACTICES (BMP), TECHNICAL STANDARDS.
2. TEMPORARY EROSION CONTROL DEVICES SHALL BE INSTALLED FROM THE UPPER PORTION OF THE SLOPE TO THE LOWER PORTION OF THE SLOPE. CONSTRUCTION PHASING AND TIMELY STABILIZATION, SITE WATERING AND MULCH CAN ALSO BE USED TO REDUCE DUST ON THE SITE.
3. AT THE END OF EACH WORKDAY, ALL OFF-SITE SEDIMENT DEPOSITS OR TRACKED SOIL ORIGINATING FROM THE SITE SHALL BE CLEANED UP. FLUSHING IS NOT PERMITTED UNLESS TREATED PRIOR TO DISCHARGE FROM SITE.
4. STABILIZE ALL FINAL TOP-SOILED AREAS WITHIN 7 DAYS.
5. ALL EROSION CONTROL DEVICES SHALL BE CHECKED WEEKLY AND AFTER A RAINFALL EVENT OF 0.5 INCH OR MORE. ALL MAINTENANCE SHALL BE COMPLETED IMMEDIATELY.
6. CONTRACTOR SHALL VERIFY ALL ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION.
7. DURING THE CONSTRUCTION PERIOD, ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED. ANY DAMAGE TO EROSION CONTROL DEVICES SHALL BE REPAIRED IMMEDIATELY. ANY DAMAGE TO EROSION CONTROL DEVICES SHALL BE REPAIRED IMMEDIATELY. ANY DAMAGE TO EROSION CONTROL DEVICES SHALL BE REPAIRED IMMEDIATELY.
8. DURING THE WATER WORKS, ALL FILL RULES SHALL BE PUSHED INTO A STOCKPILE AND TEMPORARILY STABILIZED WITH A POLYMER.
9. ALL INLETS SHALL HAVE INLET PROTECTION PER DETAIL DRAWING AND MINE STANDARDS.
10. ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS WHERE STABILIZATION OR EROSION IS PROBLEMATICS DURING INCLEMENT WEATHER. WHEN SEEDING IS NOT LIKELY TO GERMINATE, APPLICATION OF POLYACRYLAMIDE SHALL BE PERFORMED IN POLYACRYLAMIDE WITH CONSERVATION FERTILIZER STANDARD 1003 (GREEN CONTROL, LAND APPLICATION OF ANIONIC POLYACRYLAMIDE).
11. TEMPORARY STOCKPILES OF SOIL SHALL BE PLACED WITHIN SILT FENCED AREAS PROTECTING ALL DOWN-SLOPE DIRECTIONS SURROUNDING THE STOCKPILE. STOCKPILES LEFT UNTOUCHED FOR 14 DAYS SHALL BE SUBJECT TO NOTE 11.

CONSTRUCTION SEQUENCE

1. INSTALL ALL EROSION CONTROL DEVICES, INCLUDING SILT FENCING, INLET PROTECTION, AND TRACKING PAD.
2. REMOVE AND PLACE TOPSOIL WITHIN TOPSOIL STOCKPILE AREA.
3. CONSTRUCT NET POND, IMMEDIATELY AS-BUILT AND STABILIZE AND RESTORE POND.
4. ROUGH GRADE SITE AND CONSTRUCT BUILDING.
5. INSTALL UNDERGROUND UTILITIES.
6. FINAL GRADE SITE.
7. CONSTRUCT CURB AND GUTTER.
8. INSTALL ASPHALT PAVEMENT AND STRIPING.
9. REMOVE ALL EROSION CONTROL DEVICES INCLUDING VEGETATED TURF AND LANDSCAPING.
10. REMOVE ALL EROSION CONTROL DEVICES AFTER 70% OF VEGETATION IS HEALTHY AND GROWING.

LEGEND

- - SET IRON STAKE
- - FOUND IRON PIPE
- P/A - PROPERTY LINE
- 100.00 - EXISTING SPOT ELEVATION
- - SENER MANHOLE
- - COMMUNICATION MANHOLE
- - ELECTRIC MANHOLE
- - CATCH BASIN
- - TRAFFIC MANHOLE
- - ELECTRIC METER
- - GAS METER
- - WATER VALVE
- - GAS VALVE
- - HYDRANT
- - UTILITY BOX
- - UTILITY POLE
- - FLOOD LIGHT
- - LIGHT POLE
- - WELL
- - CURVE TABLE ITEM
- - SCHEDULE "B" ITEM
- - ENCROACHMENT ITEM
- - BORING
- - CLEAN OUT
- - TRANSFORMER
- - AIR CONDITIONER
- - BOLLARD
- - UNDERGROUND WATER
- - UNDERGROUND ELECTRIC
- - UNDERGROUND TELECOMMUNICATIONS
- - OVERHEAD ELECTRIC
- - UNDERGROUND GAS
- - SANITARY SEWER
- - STORM SEWER
- - CHAIN LINK FENCE
- - SILT FENCE
- - HAND RAIL



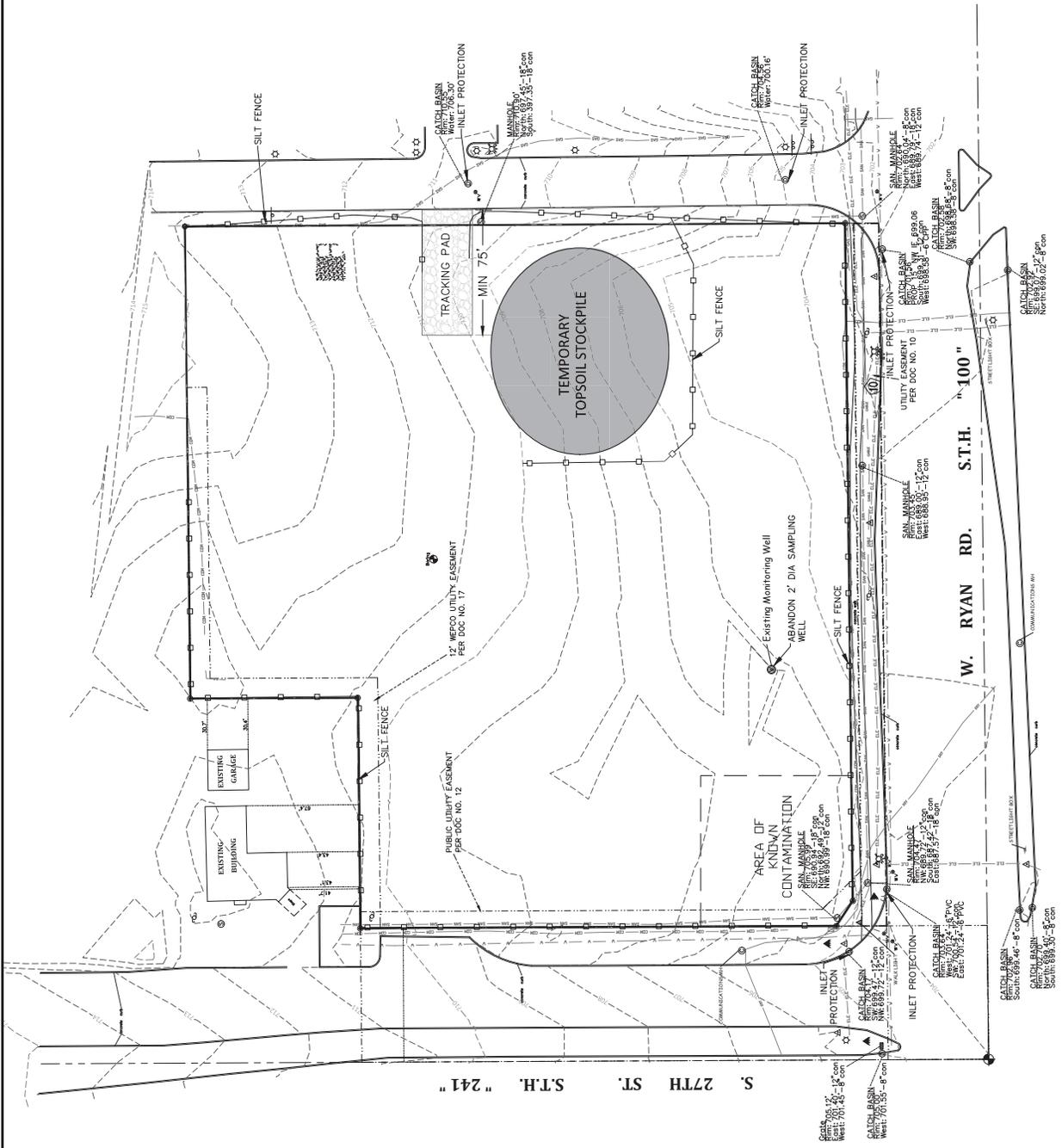
KEY ENGINEERING GROUP LTD.
 1000 WISCONSIN DEPARTMENT OF NATURAL RESOURCES
 1000 WISCONSIN DEPARTMENT OF NATURAL RESOURCES
 1000 WISCONSIN DEPARTMENT OF NATURAL RESOURCES

KEY PROJECT NUMBER: 1802-0749
 DATE: 4/9/2018
 DRAWN BY: CAT
 CHECKED BY: CAT
 APPROVED BY: CAT
 DATE: 4/10/2018

PROJECT LOCATION: 9472 S. 27TH ST. OAK CREEK, WI

**DEMOLITION & EROSION CONTROL PLAN
 LAKESHORE VETERINARY CLINIC
 9472 S. 27TH ST.
 OAK CREEK, WI**

REVISION	DATE	BY	REASON	DATE	DATE



MAINTENANCE PLAN

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PER TECHNICAL STANDARD 1081. ALL EXPOSED SOIL SHALL BE COVERED WITH A PROTECTIVE MATTING OR MULCH. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO ENSURE THE PROTECTIVE COVERING IS MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. ALL SEEDING AREAS WILL BE WATERED, FERTILIZED, MULCHED AND RESEED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
3. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE STREET SHALL BE REMOVED BY STREET CLEANING OPERATIONS. NECESSARY MEASURES WILL BE TAKEN TO PREVENT DEBRIS FROM ENTERING A STORM SEWER, DITCH, OR WATERWAY.
4. IN THE EVENT CONSTRUCTION ACTIVITIES RESULT IN SEVERE DUST CONDITIONS, SEE WORK TECHNICAL STANDARD 1086.
5. IN THE EVENT OF PERMITTING ACTIVITIES, FOLLOW WORK TECHNICAL STANDARD 1081. ALL EXPOSED SOIL SHALL BE COVERED WITH A PROTECTIVE MATTING OR MULCH. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO ENSURE THE PROTECTIVE COVERING IS MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. ANIONIC POLYMER AMES SHALL BE APPLIED TO ALL DISTURBED AREAS WHERE EROSION IS NOT LIKELY TO OCCUR. APPLICATION OF POLYMER AMES SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND STANDARD 1085 (EROSION CONTROL AND APPLICATION OF ANIONIC POLYMER AMES).

NOTES:

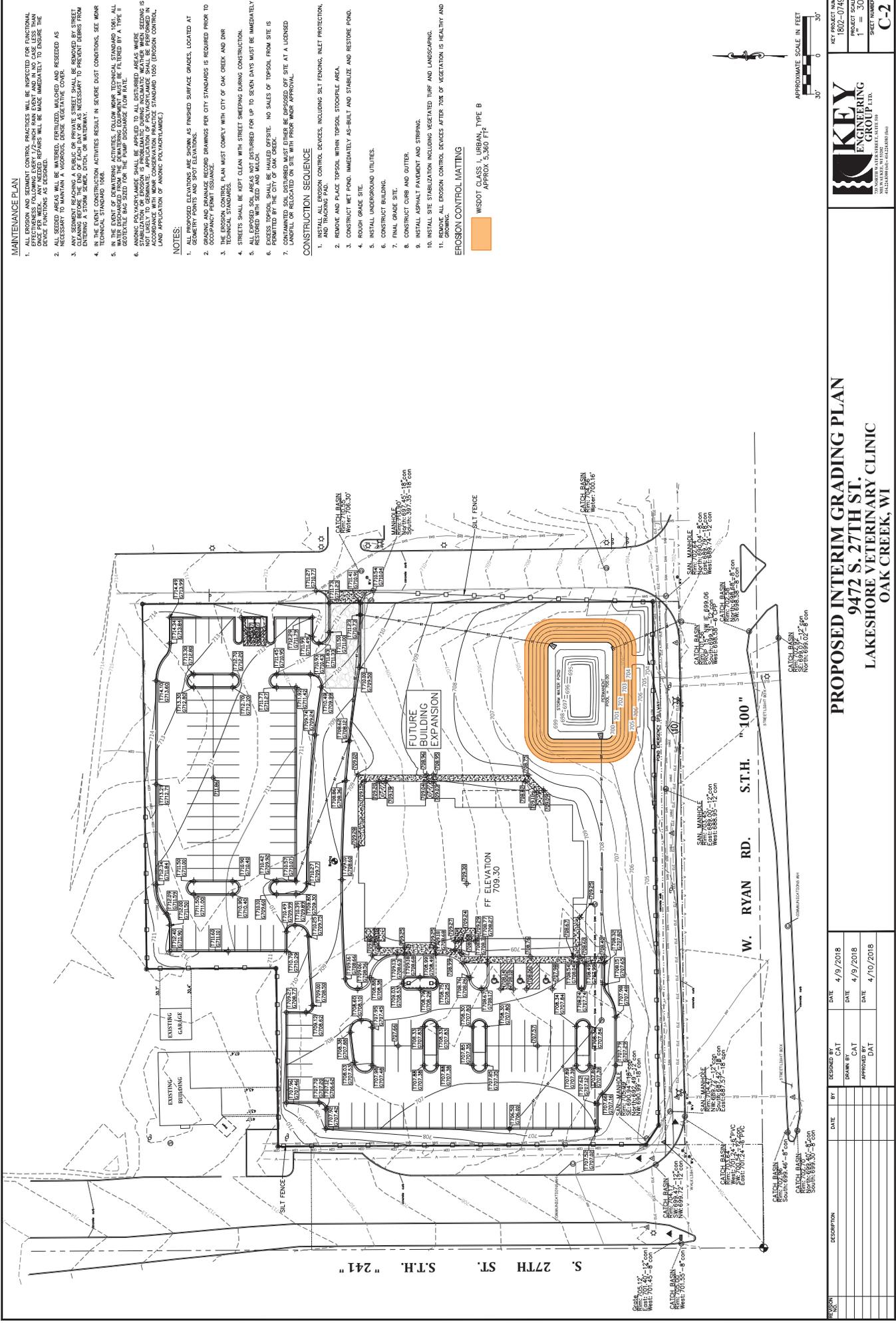
1. ALL PROPOSED ELEVATIONS ARE SHOWN AS FINISHED SURFACE GRADES, LOCATED AT GEOMETRY POINTS AND SPOT ELEVATIONS.
2. ALL PROPOSED ELEVATIONS ARE SHOWN AS FINISHED SURFACE GRADES, LOCATED AT GEOMETRY POINTS AND SPOT ELEVATIONS.
3. THE EROSION CONTROL PLAN MUST COMPLY WITH CITY OF OAK CREEK AND DNR TECHNICAL STANDARDS.
4. STREETS SHALL BE KEPT CLEAN WITH STREET SWEEPING DURING CONSTRUCTION.
5. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY COVERED WITH A PROTECTIVE MATTING OR MULCH.
6. EXPOSED TOPSOIL SHALL BE MARKED, STORED, AND SALES OF TOPSOIL FROM SITE IS PERMITTED BY THE CITY OF OAK CREEK.
7. CONTAMINATED SOIL DISTURBED MUST EITHER BE DISPOSED OFF SITE AT A LICENSED LANDFILL OR RELOCATED ON SITE WITH PRIOR WRITER APPROVAL.

CONSTRUCTION SEQUENCE

1. INSTALL ALL EROSION CONTROL DEVICES, INCLUDING SILT FENCING, INLET PROTECTION, AND TRACING PAID.
2. REMOVE AND PLACE TOPSOIL WITHIN TOPSOIL STOCKPILE AREA.
3. CONSTRUCT WET POND, IMMEDIATELY AS-BUILT AND STABILIZE AND RESTORE POND.
4. ROUGH GRADE SITE.
5. INSTALL UNDERGROUND UTILITIES.
6. CONSTRUCT BUILDING.
7. FINAL GRADE SITE.
8. CONSTRUCT CURB AND GUTTER.
9. INSTALL ASPHALT PAVEMENT AND STRIPING.
10. INSTALL SITE STABILIZATION INCLUDING VEGETATED TURF AND LANDSCAPING.
11. REMOVE ALL EROSION CONTROL DEVICES AFTER 70% OF VEGETATION IS HEALTHY AND

EROSION CONTROL MATTING

WSROOT CLASS 1, URBAN, TYPE B
APPROX. 5,360 FT²



KEY ENGINEERING GROUP LTD.
1000 W. WISCONSIN ST. SUITE 200
OAK CREEK, WI 53151
TEL: 414.224.8800 FAX: 414.224.8801

KEY PROJECT NUMBER: 1802-0749
1" = 30'
DATE PLOTTED: 4/9/2018
DESIGNER: [Name]
CHECKER: [Name]

C-2

PROPOSED INTERIM GRADING PLAN
9472 S. 27TH ST.
LAKESHORE VETERINARY CLINIC
OAK CREEK, WI

REVISION	DATE	BY	DESCRIPTION

DATE	DESIGNED BY	CAT	DATE
4/9/2018	[Name]	CAT	4/9/2018
4/9/2018	[Name]	CAT	4/9/2018
4/10/2018	[Name]	CAT	4/10/2018

MAINTENANCE PLAN

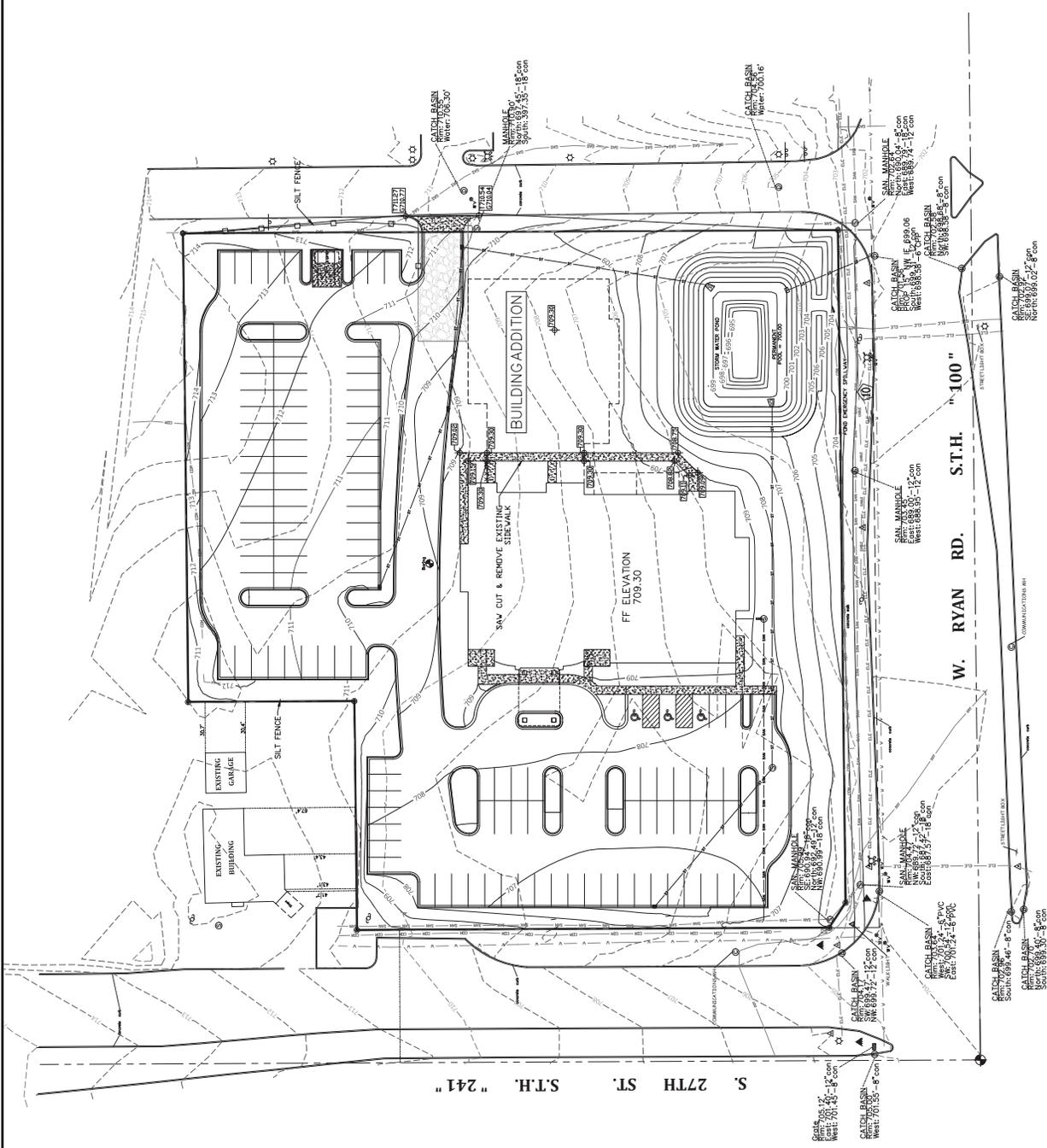
1. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND WEAR. PROTECTIVE MEASURES SHALL BE INSTALLED IMMEDIATELY UPON EXPOSURE AND MAINTAINED THROUGHOUT CONSTRUCTION. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO ENSURE THE PROTECTIVE MEASURES REMAIN EFFECTIVE.
2. ALL EXPOSED AREAS WILL BE WATERED, FERTILIZED, MULCHED AND RESEED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
3. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE STREET SHALL BE REMOVED BY STREET CLEANING, STORM SEWER, DITCH, OR WATERWAY. NECESSARY TO PREVENT DEBRIS FROM ENTERING A STORM SEWER, DITCH, OR WATERWAY.
4. IN THE EVENT CONSTRUCTION ACTIVITIES RESULT IN SEVERE DUST CONDITIONS, SEE WORK TECHNICAL STANDARD 108B.
5. IN THE EVENT OF REMEDIATION ACTIVITIES, FOLLOW WORK TECHNICAL STANDARD 108I. ALL EXPOSED SOIL SURFACES SHALL BE PROTECTED FROM EROSION AND WEAR. PROTECTIVE MEASURES SHALL BE INSTALLED IMMEDIATELY UPON EXPOSURE AND MAINTAINED THROUGHOUT CONSTRUCTION. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO ENSURE THE PROTECTIVE MEASURES REMAIN EFFECTIVE.
6. ANIONIC POLYMER/LAMBE SHALL BE APPLIED TO ALL DISTURBED AREAS WHERE EROSION IS NOT LIKELY TO OCCUR. APPLICATION OF POLYMER/LAMBE SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND STANDARD 105D (EROSION CONTROL AND APPLICATION OF ANIONIC POLYMER/LAMBE).

NOTES:

1. ALL PROPOSED ELEVATIONS ARE SHOWN AS FINISHED SURFACE GRADES, LOCATED AT GEOMETRY POINTS AND SPOT ELEVATIONS.
2. ALL PROPOSED DIMENSIONS ARE SHOWN AS FINISHED DIMENSIONS UNLESS OTHERWISE INDICATED. OCCUPANCY PERMIT ISSUANCE.
3. THE EROSION CONTROL PLAN MUST COMPLY WITH CITY OF OAK CREEK AND DNR TECHNICAL STANDARDS.
4. STREETS SHALL BE KEPT CLEAN WITH STREET SWEEPING DURING CONSTRUCTION.
5. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY REVEGETATED WITH SEED, MULCH, AND FERTILIZER.
6. EXPOSED TOPSOIL SHALL BE HAILED OFFSITE. NO SALES OF TOPSOIL FROM SITE IS PERMITTED BY THE CITY OF OAK CREEK.

CONSTRUCTION SEQUENCE

1. INSTALL ALL EROSION CONTROL DEVICES, INCLUDING SILT FENCING, INLET PROTECTION, AND TRACING PAD.
2. DEMOLITION AND GUTTER ABUTTING PHASE 2.
3. FINAL GRADE SITE.
4. CONSTRUCT CURB AND GUTTER.
5. INSTALL ASPHALT PAVEMENT AND STRIPING.
6. INSTALL SITE STABILIZATION INCLUDING VEGETATED TURF AND LANDSCAPING.
7. REMOVE ALL EROSION CONTROL DEVICES AFTER 70% OF VEGETATION IS HEALTHY AND GROWING.



KEY ENGINEERING GROUP, LTD.
 100 NORTH WASHINGTON STREET, SUITE 200
 OAK CREEK, WISCONSIN 53150
 PHONE: 414.224.8800 FAX: 414.224.8801

KEY PROJECT NUMBER: 1802-0749
 PLAN SET NO.: 301
 SHEET NUMBER: 301

C-3

PROPOSED MASTER GRADING PLAN
9472 S. 27TH ST.
LAKESHORE VETERINARY CLINIC
OAK CREEK, WI

REVISION	DATE	BY	REASON	DATE	BY	REASON

DATE	DESIGNED BY	CAT	DATE	DESIGNED BY	CAT
4/9/2018			4/9/2018		
4/9/2018			4/9/2018		
4/10/2018			4/10/2018		



UTILITY NOTES

1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL CALL "DIGGERS NOTICE" PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITIES SHALL BE PROTECTED BY 18" MIN. SAND OR GRANULAR FILL. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL CALL "DIGGERS NOTICE" PRIOR TO ANY CONSTRUCTION.
3. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF OAK CREEK SPECIAL PROVISIONS.
4. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR SETBACKS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
5. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS.
6. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, CATCH BASINS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
7. ALL WORK REQUIRED IN STREET RIGHT-OF-WAY REQUIRES A TEMPORARY WORK WITHIN PUBLIC RIGHT-OF-WAY PERMIT WHICH SHALL BE OBTAINED FROM THE CITY OF OAK CREEK ENGINEERING DEPARTMENT.
8. CONTACT MIKE SIMONS, CITY ENGINEER, 3 WORKING DAYS PRIOR TO ANY WORK WITHIN PUBLIC ROW AND 48 HOURS PRIOR TO BACKFILLING AND/OR RESTORATION.

PAVING NOTES

9. SEEGIC PAVEMENT DESIGN
 - a. ASPHALTIC PAVEMENT
 - b. CRUSHED AGGREGATE BASE COURSE
 - c. ASPHALTIC CONC. (2 LIFTS, 1.75" CROWN, 1.25" UPB) (RPS)
 - d. CONCRETE ON 4" CRUSHED AGGREGATE BASE COURSE (SEE LOCATION)
 - e. CONCRETE ON 6" CRUSHED AGGREGATE BASE COURSE
10. ASPHALTIC CONCRETE PAVING SPECIFICATIONS-
 - a. COURSE AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, EDITION, HEREINAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - b. WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (0° C) FOR 12 HOURS IMMEDIATELY PRIOR TO PAVING. APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN AMBIENT TEMPERATURE IS ABOVE 30° F (1° C).
 - c. ASPHALTIC CONCRETE SURFACE COURSE WHEN AMBIENT TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN AMBIENT TEMPERATURE IS ABOVE 30° F (1° C).
 - d. GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - e. ALL PAVING SHALL CONFORM TO APPLICABLE CITY OF OAK CREEK ORDINANCES AND THE SUBSURFACE EXPANSION.

KEY PROJECT NUMBER
1602-0749

1" = 30'

DATE PLOTTED
SEPTEMBER

SCALE
C-4

KEY ENGINEERING GROUP, LTD.
1000 W. WASHINGTON STREET, SUITE 200
OAK CREEK, WISCONSIN 53150-1000
TEL: 414.224.8800 FAX: 414.224.8801

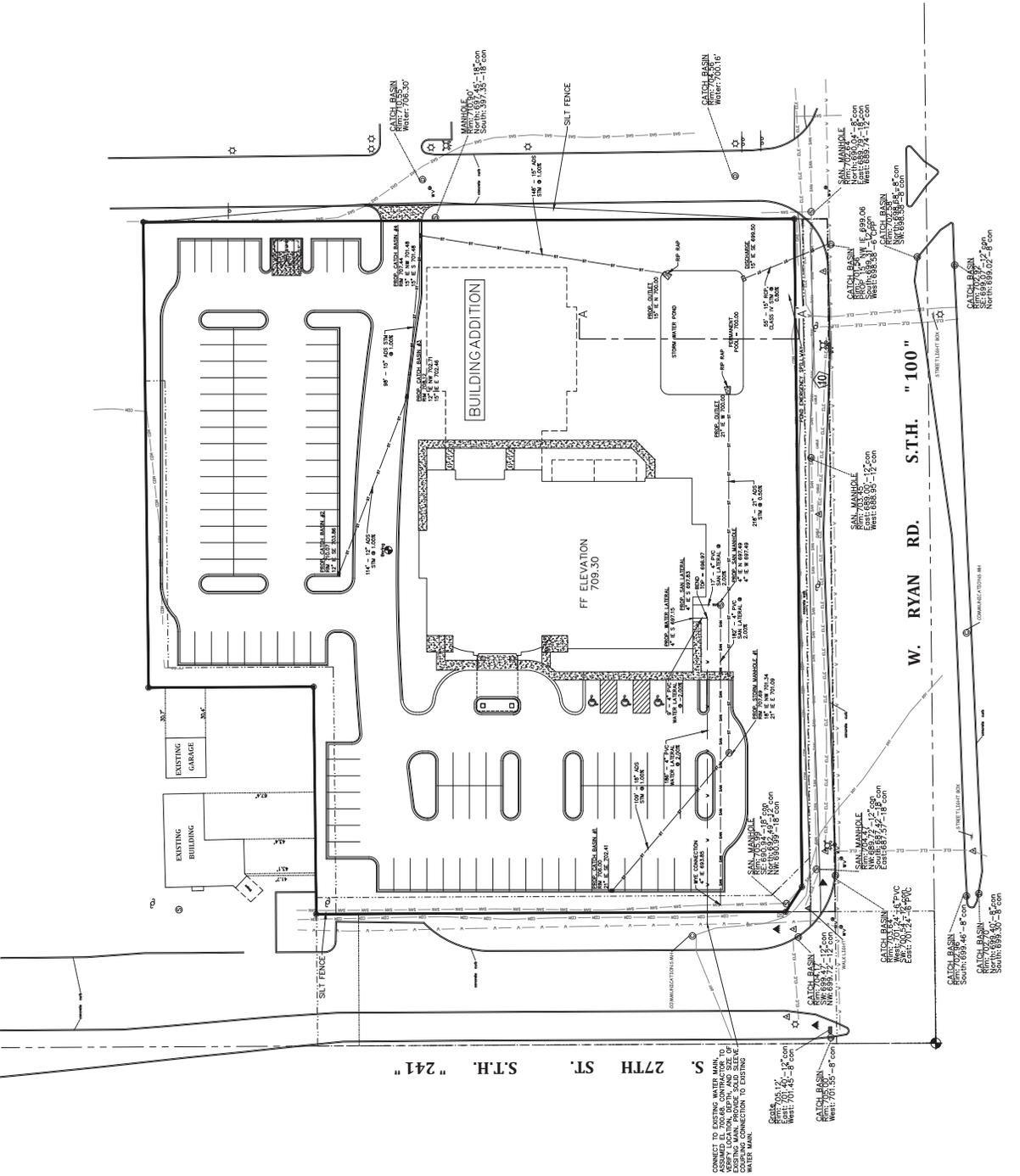
PROPOSED UTILITY PLAN
9472 S. 27TH ST.
LAKESHORE VETERINARY CLINIC
OAK CREEK, WI

REVISION	DATE	BY	DESCRIPTION

DATE	DESIGNED BY	CAT	DATE
4/9/2018			

DATE	DRAWN BY	CAT	DATE
4/9/2018			

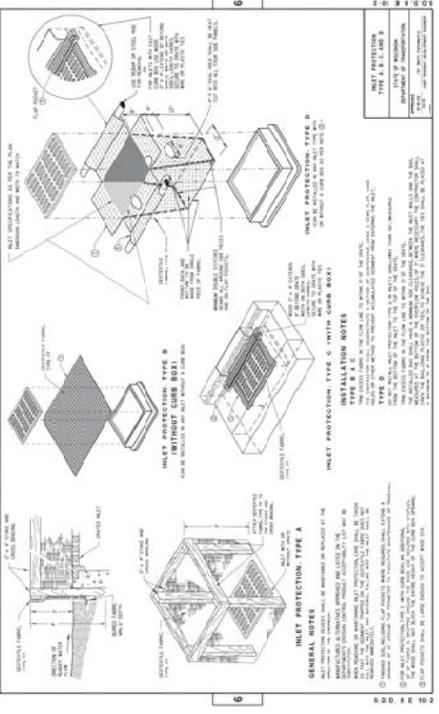
DATE	APPROVED BY	DATE
4/10/2018		



ASSUMED TO CONTAIN WATER MAIN
ASSUMED TO CONTAIN WATER MAIN
EXISTING MAIN, PROVIDE SLOPE
CONNECTION TO EXISTING
WATER MAIN

DATE: 4/9/2018
BY: [Signature]
DESCRIPTION: [Blank]

8E10 Inlet Protection Type A, B, C and D



GENERAL NOTES

1. Grate shall be installed in accordance with the manufacturer's instructions.
2. Grate shall be installed in accordance with the manufacturer's instructions.
3. Grate shall be installed in accordance with the manufacturer's instructions.
4. Grate shall be installed in accordance with the manufacturer's instructions.
5. Grate shall be installed in accordance with the manufacturer's instructions.
6. Grate shall be installed in accordance with the manufacturer's instructions.
7. Grate shall be installed in accordance with the manufacturer's instructions.
8. Grate shall be installed in accordance with the manufacturer's instructions.
9. Grate shall be installed in accordance with the manufacturer's instructions.
10. Grate shall be installed in accordance with the manufacturer's instructions.

INSTALLATION NOTES

1. Grate shall be installed in accordance with the manufacturer's instructions.
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4. Grate shall be installed in accordance with the manufacturer's instructions.
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8. Grate shall be installed in accordance with the manufacturer's instructions.
9. Grate shall be installed in accordance with the manufacturer's instructions.
10. Grate shall be installed in accordance with the manufacturer's instructions.



STONE TRACKING PAD
NOT TO SCALE



STONE TRACKING PAD
NOT TO SCALE



STONE TRACKING PAD
NOT TO SCALE



STONE TRACKING PAD
NOT TO SCALE



STONE TRACKING PAD
NOT TO SCALE



STONE TRACKING PAD
NOT TO SCALE



STONE TRACKING PAD
NOT TO SCALE



STONE TRACKING PAD
NOT TO SCALE



STONE TRACKING PAD
NOT TO SCALE

SILT FENCE GENERAL NOTES:

1. DETAILS AND CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND ANY APPLICABLE SPECIAL PROVISIONS.
2. WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR CURVE WITH THE ENDS POINTING UP-SLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
3. CROSS BRACE WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
4. MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C-C.
5. BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
6. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLY-PROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL.
7. STAPLES SHALL BE STAPLED "TIE" OR "X" TIGHT WITH A MAXIMUM WEIGHT OF 1.28 lbs/lin. ft. (WITHOUT ANCHOR). PIN ANCHORS SUFFICIENT TO HOLD FABRIC TO SOIL. WOODEN POSTS SHALL BE 4" DIA. AND 10' LONG. GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1-1/8" x 1-1/8" OAK OR PINE.
8. ALTERNATIVES A AND B ARE EQUAL AND OTHER MAY BE USED.



PLAN VIEW
TYPICAL APPLICATIONS OF SILT FENCE
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE

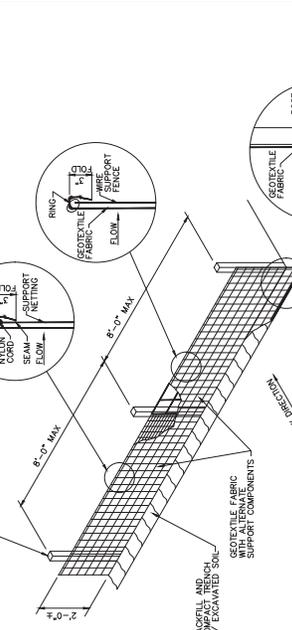


CROSS SECTION
TYPICAL SECTION
NOT TO SCALE

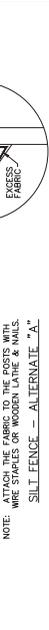


CROSS SECTION
TYPICAL SECTION
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL



PLAN VIEW
TYPICAL APPLICATIONS OF SILT FENCE
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE

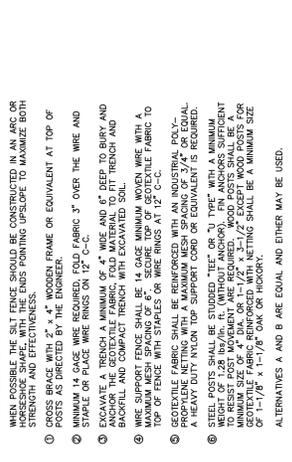


CROSS SECTION
TYPICAL SECTION
NOT TO SCALE



CROSS SECTION
TYPICAL SECTION
NOT TO SCALE

TRENCH DETAIL



TRENCH DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE



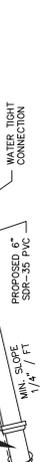
TRENCH DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE

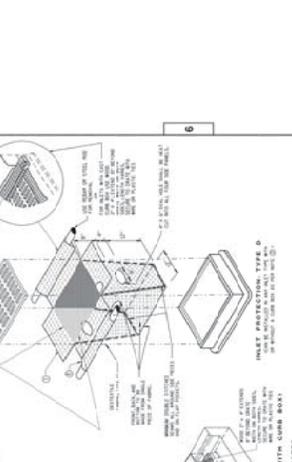


TRENCH DETAIL
NOT TO SCALE



TRENCH DETAIL
NOT TO SCALE

SILT FENCE TIE BACK



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



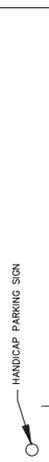
SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



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(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



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(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE

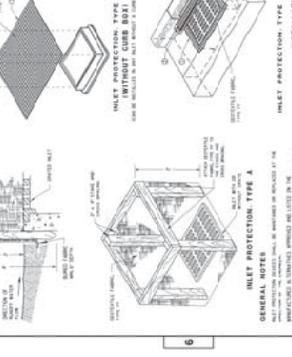


SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE



SILT FENCE TIE BACK
(WHEN REQUIRED BY THE ENGINEER)
NOT TO SCALE

WATERMAIN SERVICE DETAIL



WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE



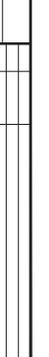
WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE



WATERMAIN SERVICE DETAIL
NOT TO SCALE

STANDARD DETAILS

9472 S. 27TH ST.
LAKESHORE VETERINARY CLINIC
OAK CREEK, WI

KEY PROJECT NUMBER
1802-0749

PROJECT FILE
N/S

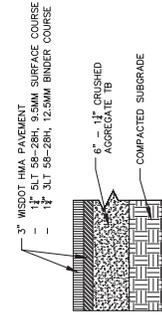
DESIGNER
KEY ENGINEERING GROUP, LTD.

DATE
4/10/2018

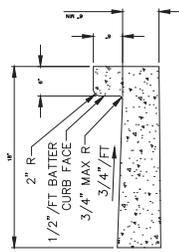
DATE
4/9/2018

DATE
4/9/2018

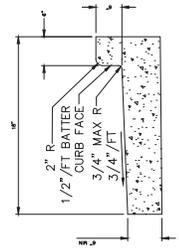
DATE
4/10/2018



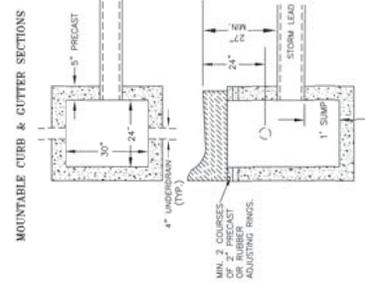
STANDARD-DUTY ASPHALT PAVEMENT
NOT TO SCALE



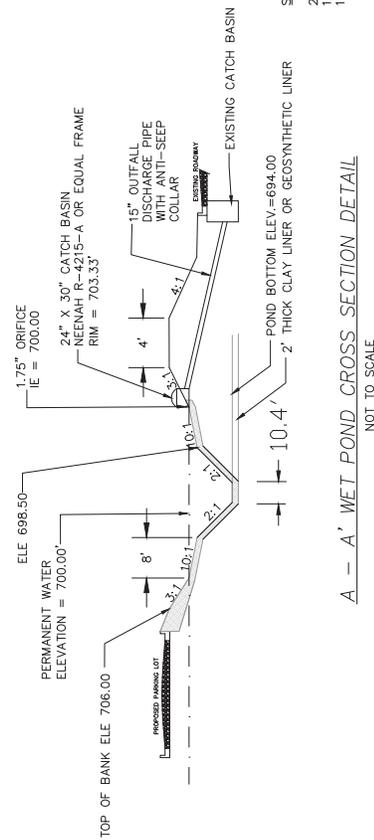
18" STANDARD CURB & GUTTER
NOT TO SCALE



18" REJECT CURB & GUTTER
NOT TO SCALE



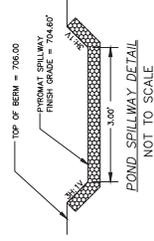
GRATE & FRAME - NEENAH
CASTING NO. R-3501-R



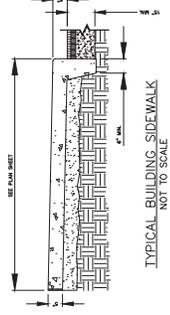
A - A' WET POND CROSS SECTION DETAIL
NOT TO SCALE

STORM ELEVATIONS

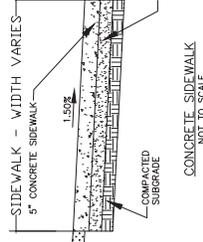
2-YEAR	703.14
10-YEAR	703.67
100-YEAR	705.07



POND SPILLWAY DETAIL
NOT TO SCALE

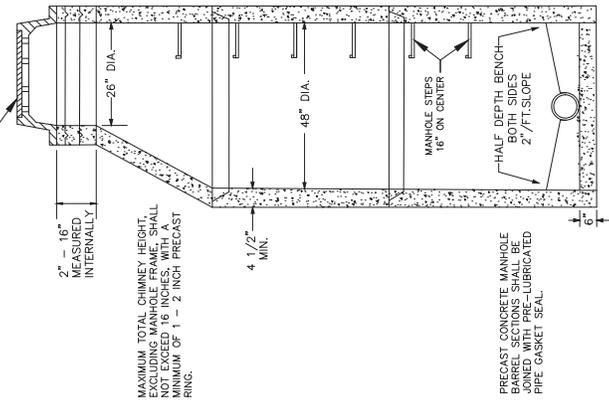


TYPICAL BUILDING SIDEWALK
NOT TO SCALE



CONCRETE SIDEWALK
NOT TO SCALE

MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1661 WITH TWO (2) PICHOLE IN THE LID. DIMENSION: NO SHORTER FRAMES WILL BE ALLOWED.



STANDARD STORM MANHOLE DETAIL
NOT TO SCALE

FRAME AND RINGS SHALL BE SET IN MORTAR. THE USE OF WOOD WEDGES OR SHIMS FOR FRAME OR RING ADJUSTMENT IS NOT ALLOWED.

ALL ANNULAR SPACES BETWEEN PRECAST CONCRETE MANHOLE BARREL SECTIONS SHALL BE FILLED WITH BRICK AND MORTAR.

WHEN NOTED, MANHOLES SHALL HAVE 1' SUMPS.

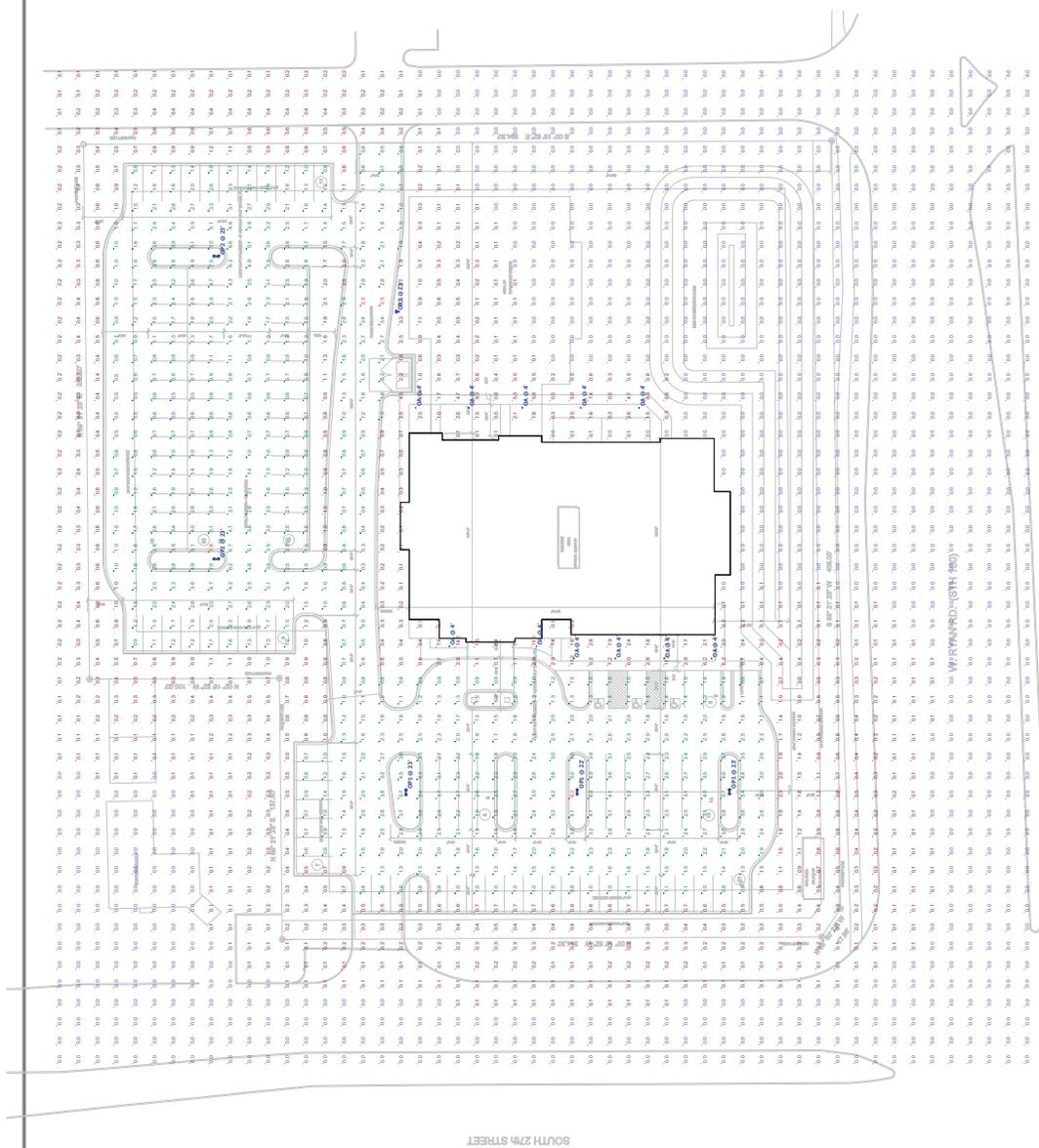
KEY PROJECT NUMBER	1802-0749
PROJECT NAME	NIS
DATE	SEPTEMBER



STANDARD DETAILS
9472 S. 27TH ST.
LAKESHORE VETERINARY CLINIC
OAK CREEK, WI

REVISION	DATE	BY	REVISION BY	DATE

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.7 fc	14.3 fc	0.0 fc	N/A	N/A
Drive	+	1.3 fc	3.5 fc	0.3 fc	11.7:1	4.3:1
North Parking Lot	+	2.0 fc	7.6 fc	0.5 fc	15.2:1	4.0:1
West Parking Lot	+	2.1 fc	6.2 fc	0.6 fc	10.3:1	3.5:1



1 SITE PLAN - OPT. 1
 SCALE: 1/8" = 1'-0"

Schedule Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Files Name	Lumens Per Lamp	Light Loss Factor	Wattage
OA		11	Lithonia Lighting	DSX8 LED 13C 700 40K ASY	D-SERIES SQUARE WITH 12-4000K LEDS WITH 7000MA AND ASYMMETRIC DISTRIBUTION	LED	1	DSX8_LED_13C_700_40K_ASY.asx	2335	0.9	31
OP1		3	Lithonia Lighting	DSX1 LED P4 40K 14H MWOLT	DSX1 LED P4 40K 14H MWOLT	LED	1	DSX1_LED_P4_40K_14H_MVOLT.asx	14181	0.9	250
OP2		2	Lithonia Lighting	DSX1 LED P7 40K 14H MWOLT	DSX1 LED P7 40K 14H MWOLT	LED	1	DSX1_LED_P7_40K_14H_MVOLT.asx	30295	0.9	366
OP3		1	Lithonia Lighting	DSX1 LED P5 40K 12M MWOLT	DSX1 LED P5 40K 12M MWOLT	LED	1	DSX1_LED_P5_40K_12M_MVOLT.asx	15796	0.9	138

DESIGN
2
CONSTRUCT
DEVELOPMENT CORPORATION

N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53537

PHONE: 262.577.9933
FAX: 262.577.9934
info@design2construct.com

LAKESHORE VETERINARY SPECIALISTS
BUILDING DESIGN FOR:
9472 S. 27TH STREET
OAK CREEK, WI 53154

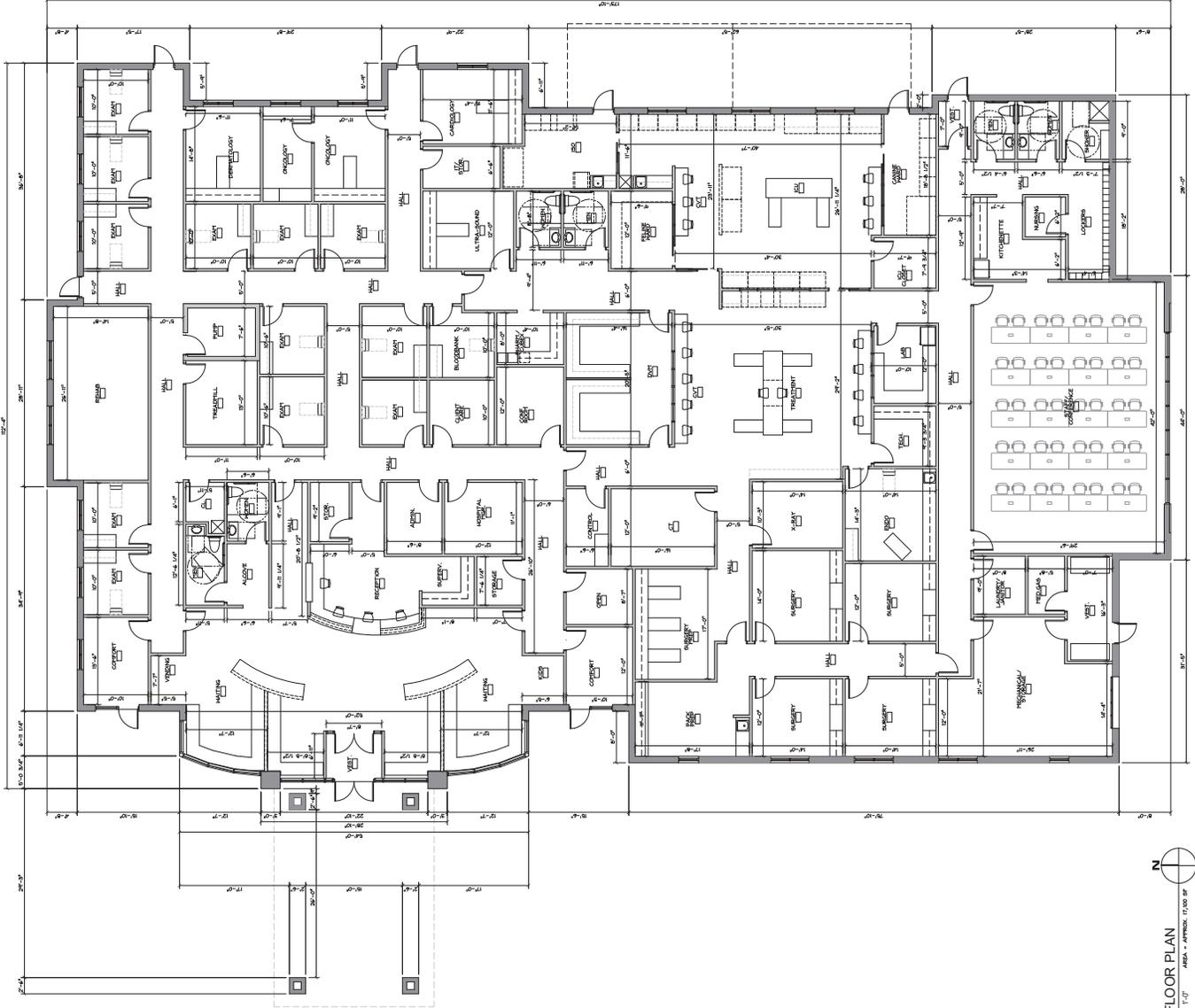
SHEET TITLE
FIRST FLOOR PLAN

REVISIONS

PROJECT DATA

DATE	04.10.2018
JOB NO.	17-00202
SHEET USE	PLAN COMMISSION
FILE NAME	E4.02.1
DRAWN BY	JODH
SHEET NO.	JODH

A2.1



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0" AREA = APPROX. 17,500 SF



ENTRY PERSPECTIVE
SCALE: NTS



N173 W21010 Northwest Passage, Jackson, WI 53037

P: 262.677.9933 F: 262.677.9934

DESIGN 2 CONSTRUCT

LAKESHORE VETERINARY SPECIALISTS - OAK CREEK, WI





NORTHWEST BUILDING PERSPECTIVE

SCALE: NTS



DESIGN 2 CONSTRUCT

N173 W21010 Northwest Passage, Jackson, WI 53037

P: 262.677.9933 F: 262.677.9934

LAKESHORE VETERINARY SPECIALISTS - OAK CREEK, WI

DESIGN 2 CONSTRUCT



SOUTHWEST BUILDING PERSPECTIVE

SCALE: NTS



DESIGN 2 CONSTRUCT

N173 W21010 Northwest Passage, Jackson, WI 53037

P: 262.677.9933 F: 262.677.9934

LAKESHORE VETERINARY SPECIALISTS - OAK CREEK, WI





NORTHEAST BUILDING PERSPECTIVE

SCALE: NTS



DESIGN 2 CONSTRUCT

N173 W21010 Northwest Passage, Jackson, WI 53037

P: 262.677.9933 F: 262.677.9934

LAKESHORE VETERINARY SPECIALISTS - OAK CREEK, WI





SOUTHEAST BUILDING PERSPECTIVE

SCALE: NTS



N173 W21010 Northwest Passage, Jackson, WI 53037

P: 262.677.9933 F: 262.677.9934

DESIGN 2 CONSTRUCT

LAKESHORE VETERINARY SPECIALISTS - OAK CREEK, WI





NW OVERHEAD PERSPECTIVE

SCALE: NTS





SE OVERHEAD PERSPECTIVE

SCALE: NTS



DESIGN 2 CONSTRUCT

N173 W21010 Northwest Passage, Jackson, WI 53037

P: 262.677.9933 F: 262.677.9934

LAKESHORE VETERINARY SPECIALISTS - OAK CREEK, WI





Meeting Date: May 8, 2018

Item No. 5c

PLAN COMMISSION REPORT

Proposal: Plan Review

Description: Site, building, landscaping, and related review for a proposed new commercial building.

Applicant(s): Larry Bachmaga

Address(es): 9079 S. 5th Avenue

Suggested Motion: That the Plan Commission approves the site and building plans for a commercial building with residential quarters submitted by Larry Bachmaga, for the property at 9079 S. 5th Avenue, with the condition that a revised landscaping plan be submitted for staff approval prior to a building permit being issued.

Owner(s): Larry Bachmaga, Avelius LLC

Tax Key(s): 865-9009-002

Lot Size(s): 0.204 ac

Current Zoning District(s): B-2, Community Business

Overlay District(s): N/A

Wetlands: Yes No Floodplain: Yes No

Comprehensive Plan: Single Family Residential

Background:

The Applicant is requesting site, building, and landscaping plan approval for a proposed 3,558 square-foot, two-story commercial building on the property at 9079 S. 5th Avenue. The first floor of the building will be used as a photography studio and administrative office. The second floor of the building will be used as a residential quarters for the business owner. Per code, a residential quarters for the business owner is a permitted accessory use in the B-2 zoning district.

This site is unique for a commercial parcel as it is quite small and has limited area for development. The applicant received a variance from the Board of Zoning Appeals waiving the requirement that a 20-foot buffer yard be established in addition to the zoning district building setbacks. The Zoning Appeals board determined that due to the small size of the site a variance was warranted. By granting this variance, all dimensional requirements for the site and building are met.

Access to the site will be from Depot Road. Parking is proposed on the north side of the parcel and is limited to four spaces onsite. In addition to the onsite parking, the applicant has identified eight off-street parking spaces. Due to proximity to the corner, parking spaces number 2 and 3 as illustrated on the site plan are not feasible. Therefore, the applicant is proposing a total of four onsite parking spaces and the potential for six additional parking spaces off site. Based on the proposed use of a photography studio and administrative office, the number of parking stalls required is eight parking stalls. The Plan Commission has the authority to waive this requirements and reduce the required number of onsite parking stalls with a $\frac{3}{4}$ majority approval.

Landscape plans have been submitted showing only the perimeter landscaping for the property. Per code, one tree and five shrubs for every 35 feet is required for parking lots. The applicant is proposing three trees along 5th Avenue and none along Depot Road. The minimum requirement is three trees along 5th Avenue and two trees along Depot Road. The plan does meet the minimum requirement for the number of shrubs per linear feet. There is an existing 6-foot privacy fence along the western lot line of the property screening the building from the residential lot to the west. Although the elevation drawings illustrate plantings around the building, it is not reflected in the landscape plan. The applicant will need to submit a revised plan showing the additional landscaping around the building which can be approved by staff prior to building permits being issued. Mechanicals for this building will need to be screened from public view, but to date, have not been identified. The mechanicals will likely be installed on the western elevation of the building and will be screened from public view. If not, the applicant will need to provide screening prior to occupancy.

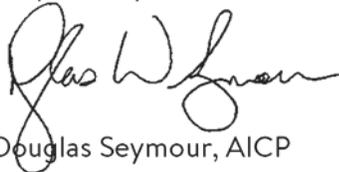
The building is proposed to be constructed with 4-inch brick on the first story and stucco on the second story. Per code, 75 percent of the visible perimeter must be finished with glass, brick, or decorative masonry material. Stucco is an acceptable masonry material, therefore, the proposed exterior finish meets architectural standards for a commercial building. Included with this report are rendering illustrating how the proposed building will look.

No dumpster location has been identified. Due to the small size of the parcel and small-scale of a commercial business for this location, a dumpster will not likely be required. However, the applicant will be responsible for garbage removal from the site.

A sign plan is not part review, however, due to abutting residential districts, the applicant will be prohibited from having illuminated signage. Any proposed signage will be approved at staff level.

Options/Alternatives: The Plan Commission has the discretion to approve the plans as presented, approve with specified conditions, or disapprove the proposal. Disapproval will likely result in the existing, vacant condition of the property to remain.

Respectfully submitted:



Douglas Seymour, AICP
Director of Community Development

Prepared:

Peter Wagner, AICP
Zoning Administrator/Planner

Attachments:

Location Map

Building & Landscape Plans

Renderings

Location Map

9079 S. 5th Avenue



OAKCREEK
— WISCONSIN —

Department of Community Development





9079 S 5th Ave Oak Creek WI 53154



